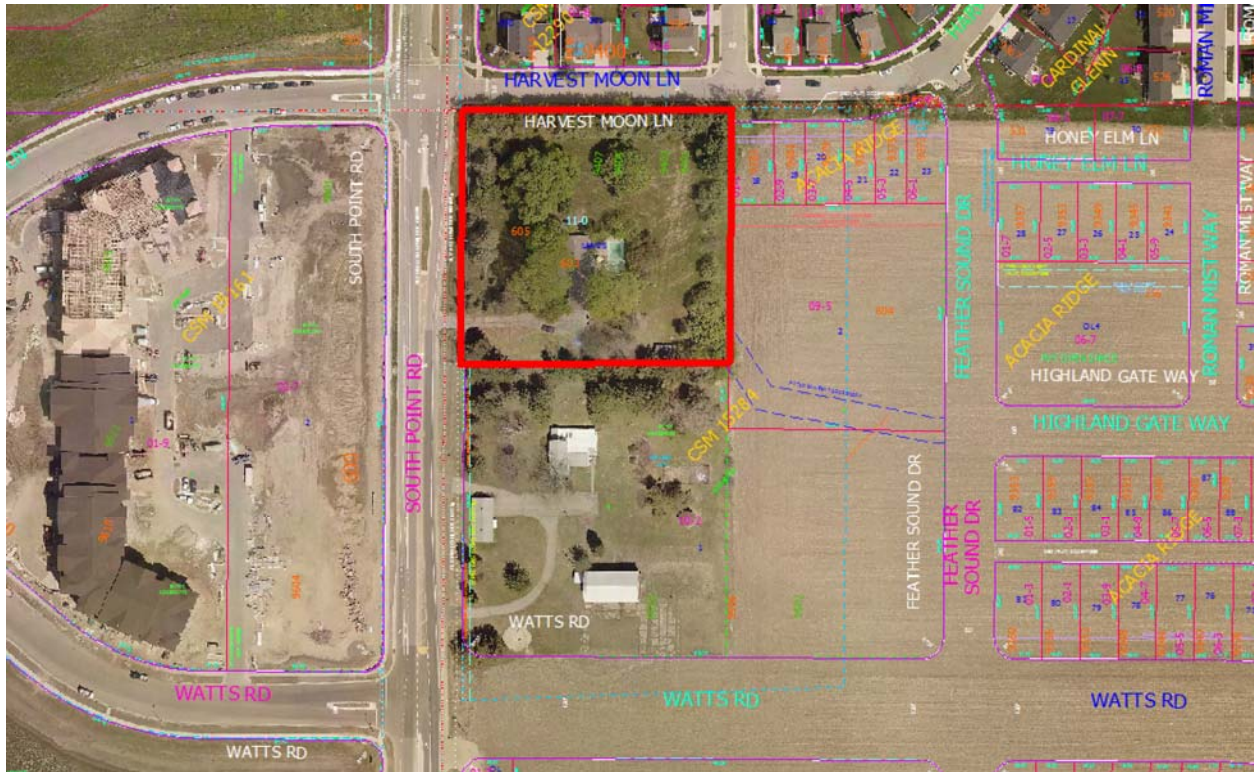


603 South Point Road – Edison Expansion

Contract No. 8946

MUNIS No. 13219



Improvements Summary

- Public Sidewalk adjacent to South Point Road and Harvest Moon Lane
- Median and Turn Lane improvements in South Point Road
- Pavement, curb & gutter, terrace, and lighting improvements as required for South Point Road and Harvest Moon Lane
- Private utility service laterals to serve units on Harvest Moon Lane

LEGEND

- RETAINING WALL (DESIGN BY OTHERS)
- 18" REJECT CONCRETE CURB □ GUTTER

GENERAL NOTES

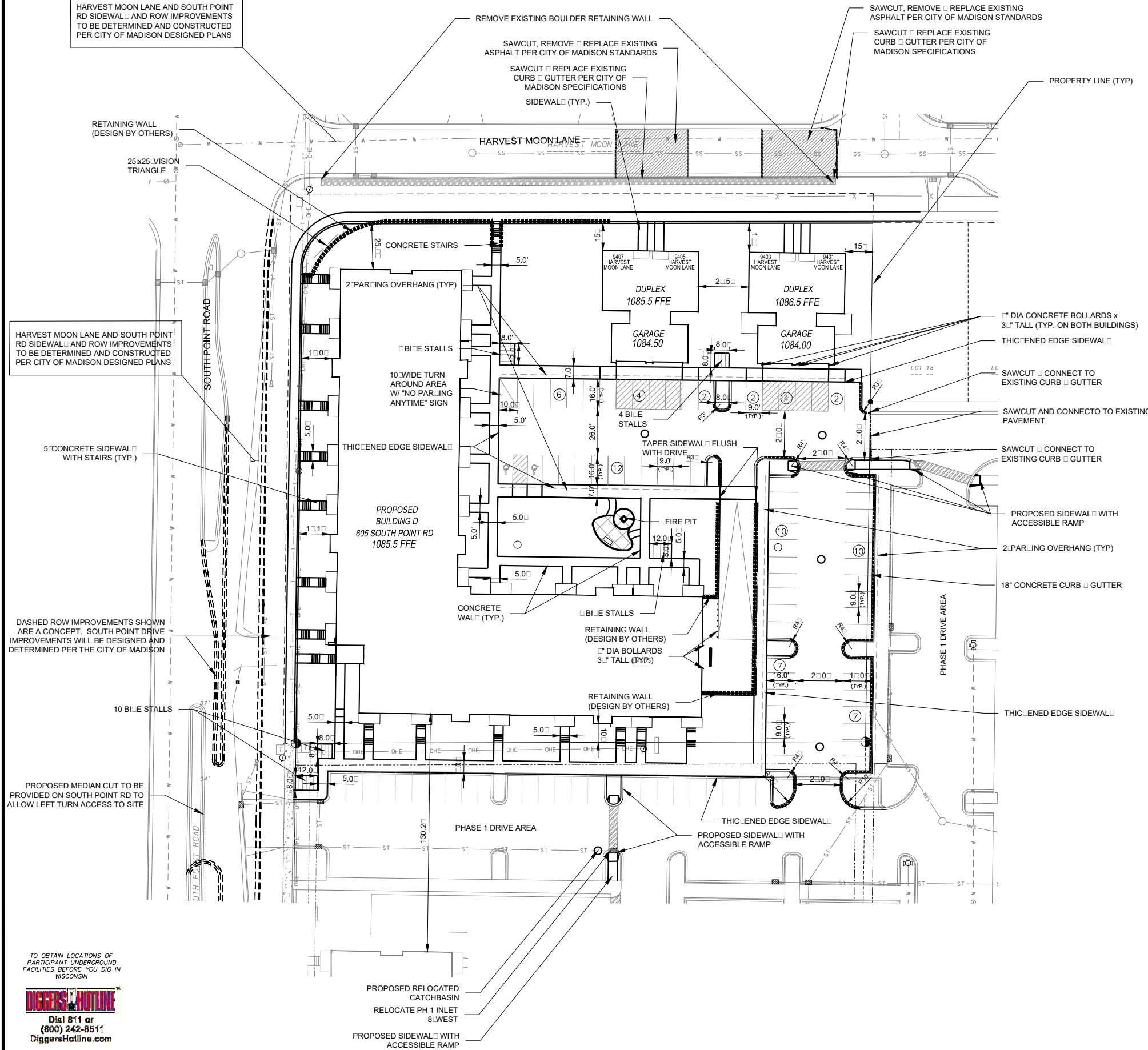
1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
4. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION
- ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED
- THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION / PLAN OF THE TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS
8. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR
9. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY AND IS DAMAGED BY CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION
10. ALL DAMAGE TO THE PAVEMENT OF ADJACENT PUBLIC STREETS SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA

SITE PLAN INFORMATION BLOCK
 THE EDISON-PH 2
 605 SOUTH POINT ROAD

TOTAL PROJECT AREA	88,300 SF
LOT AREA PER UNIT (BLD. D)	810 SF/DU □ 1200 SF FOR 1200 SF (4) BEDROOMS (2)
LOT AREA PER UNIT (TWINS)	3,100 SF
TOTAL IMPERVIOUS	1,825 SF
NUMBER OF PROPOSED SURFACE PARKING STALLS	□
NUMBER OF PROPOSED STRUCTURED PARKING STALLS	8
NUMBER OF ACCESSIBLE STALLS	4
TOTAL NUMBER OF STALLS	134
NUMBER OF SURFACE BICYCLE STALLS	20
NUMBER OF UNDERGROUND BICYCLE STALLS	85
TOTAL NUMBER OF BICYCLE STALLS	111
BLDG D COVERAGE	90
TWINS COVERAGE	49
USABLE OPEN SPACE	21,229 SF
PROPOSED MAXIMUM LOT COVERAGE	40

PARKING BREAKDOWN

BUILDING D	
VEHICLE PARKING	64
TOTAL INDOOR STALLS	58
TOTAL OUTDOOR STALLS	2
OUTDOOR ACCESSIBLE STALLS	2
DUPLEXES	
VEHICLE PARKING	4
TOTAL INDOOR STALLS	4
TOTAL OUTDOOR STALLS	8
SITE BICYCLE PARKING	
INDOOR STALLS	85
TENANT OUTDOOR STALLS	16
GUEST STALLS	10



HARVEST MOON LANE AND SOUTH POINT RD SIDEWALK AND ROW IMPROVEMENTS TO BE DETERMINED AND CONSTRUCTED PER CITY OF MADISON DESIGNED PLANS

HARVEST MOON LANE AND SOUTH POINT RD SIDEWALK AND ROW IMPROVEMENTS TO BE DETERMINED AND CONSTRUCTED PER CITY OF MADISON DESIGNED PLANS

DASHED ROW IMPROVEMENTS SHOWN ARE A CONCEPT. SOUTH POINT DRIVE IMPROVEMENTS WILL BE DESIGNED AND DETERMINED PER THE CITY OF MADISON

PROPOSED MEDIAN CUT TO BE PROVIDED ON SOUTH POINT RD TO ALLOW LEFT TURN ACCESS TO SITE

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
DIGGERS HOTLINE
 Dial 811 or (800) 242-8511
 DiggersHotline.com

SITE PLAN



DATE: 07/30/20
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FN: 20-03-103

Sheet Number:

C-101



0 30'

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 C-103

GENERAL NOTES

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SITE UTILITY NOTES

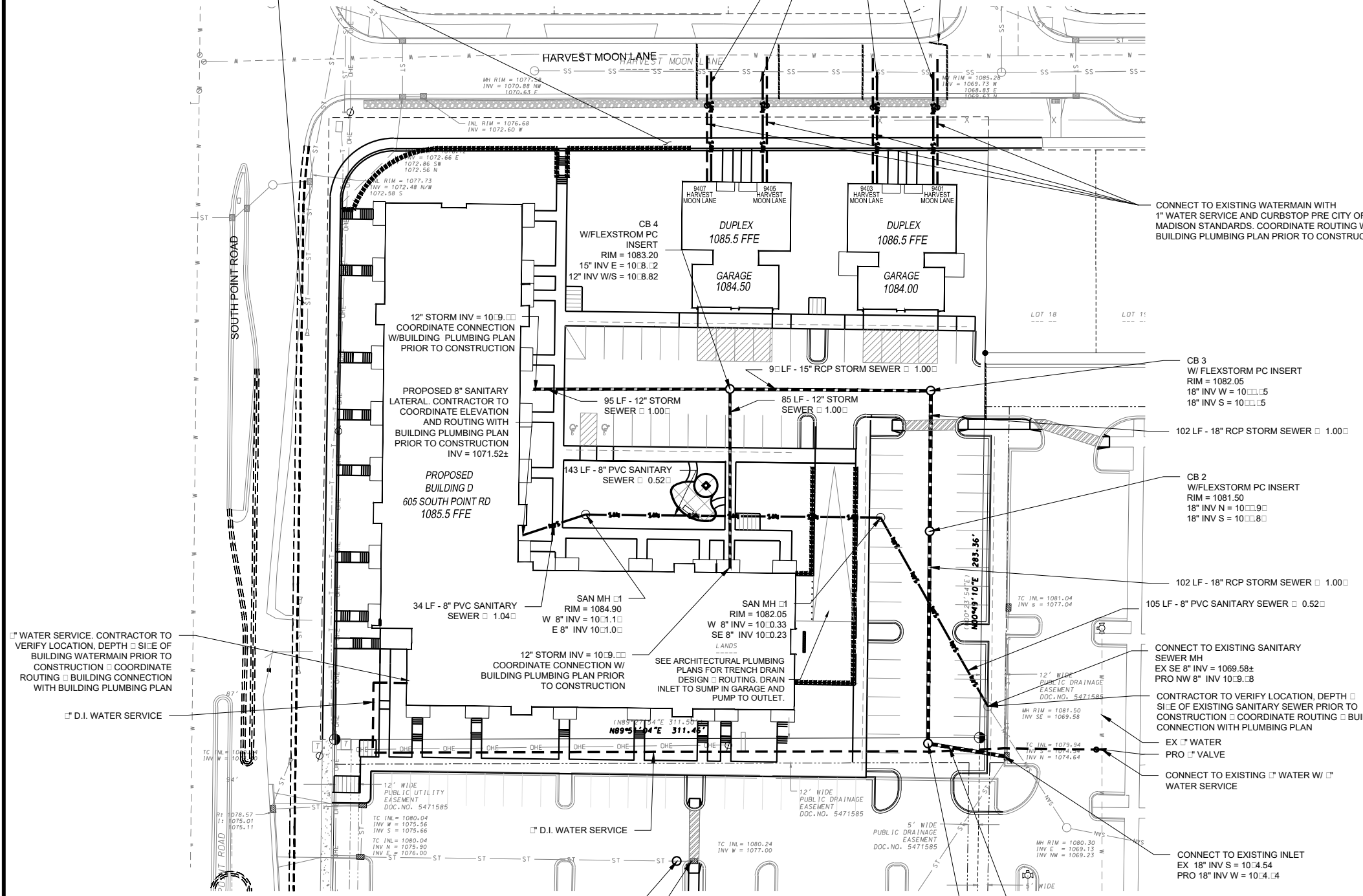
1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
2. CONTRACTOR TO VERIFY LOCATION, DEPTH AND SIZE OF EXISTING WATER, STORM AND SEWER PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO VERIFY AND COORDINATE SANITARY, STORM AND WATER BUILDING SERVICE CONNECTION LOCATION, SIZES AND DEPTHS WITH ARCHITECTURAL PLUMBING PLAN PRIOR TO CONSTRUCTION.
4. CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE AND CABLE INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
5. ALL WATER SERVICES AND HYDRANTS SHALL BE INSTALLED WITH A VALVE.
 - ALL STORM CATCHBASINS TO BE 48" DIAMETER WITH NEENAH R-2501 INLET FRAME, GRATE WITH TYPE G LID UNLESS NOTED AS SOLID LID ON PLAN
 - ALL STORM CURB INLETS TO BE 2X3 INLET BOXES WITH NEENAH R-30 COMBINATION INLET FRAME, GRATE, CURB BOX WITH TYPE C LID
6. PLACE 8" X 4" X 2" WATERMAIN INSULATION AT ALL STORM SEWER CROSSINGS
7. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SANITARY AND STORM SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THESE CODE SECTIONS SPS 382.30(11)(h), SPS 382.30(1)(d)10.a, AND SPS 382.40(8)(c) AS PER 182.015(2r) OF THE STATUTES.
8. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SUD. 2 TO NR 811.03
9. ALL INLETS RECEIVING RUNOFF FROM PARCELING LOTS SHALL BE INSTALLED WITH POST CONSTRUCTION FLEXSTORM INLET INSERTS TO REMOVE OIL AND GREASE OR EQUIVALENT.

HARVEST MOON LANE AND SOUTH POINT RD SIDEWALK AND ROW IMPROVEMENTS TO BE DETERMINED AND CONSTRUCTED PER CITY OF MADISON DESIGNED PLANS

CONNECT TO EXISTING SANITARY SEWER WITH WYE AND 4" LATERAL PER CITY OF MADISON STANDARDS. ROUTE PROPOSED SANITARY SEWER TO PROPOSED BUILDING. COORDINATE WITH ROUTING BUILDING PLUMBING PLAN PRIOR TO CONSTRUCTION

SAWCUT, REMOVE AND REPLACE EXISTING ASPHALT AND CURB AND GUTTER PER CITY OF MADISON STANDARDS (TYP. FOR ALL CONNECTIONS)

CONNECT TO EXISTING WATERMAIN WITH 1" WATER SERVICE AND CURBSTOP PER CITY OF MADISON STANDARDS. COORDINATE ROUTING WITH BUILDING PLUMBING PLAN PRIOR TO CONSTRUCTION



□ WATER SERVICE. CONTRACTOR TO VERIFY LOCATION, DEPTH AND SIZE OF BUILDING WATERMAIN PRIOR TO CONSTRUCTION. COORDINATE ROUTING AND BUILDING CONNECTION WITH BUILDING PLUMBING PLAN

□ D.I. WATER SERVICE

PROPOSED RELOCATED CATCHBASIN
 RIM = 10.9.0
 12" INV W = 10.9.95

RELOCATE PH 1 INLET
 8" WEST

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

 Dial 811 or
 (800) 242-8511
 DiggersHotline.com

OVERALL SITE LAYOUT

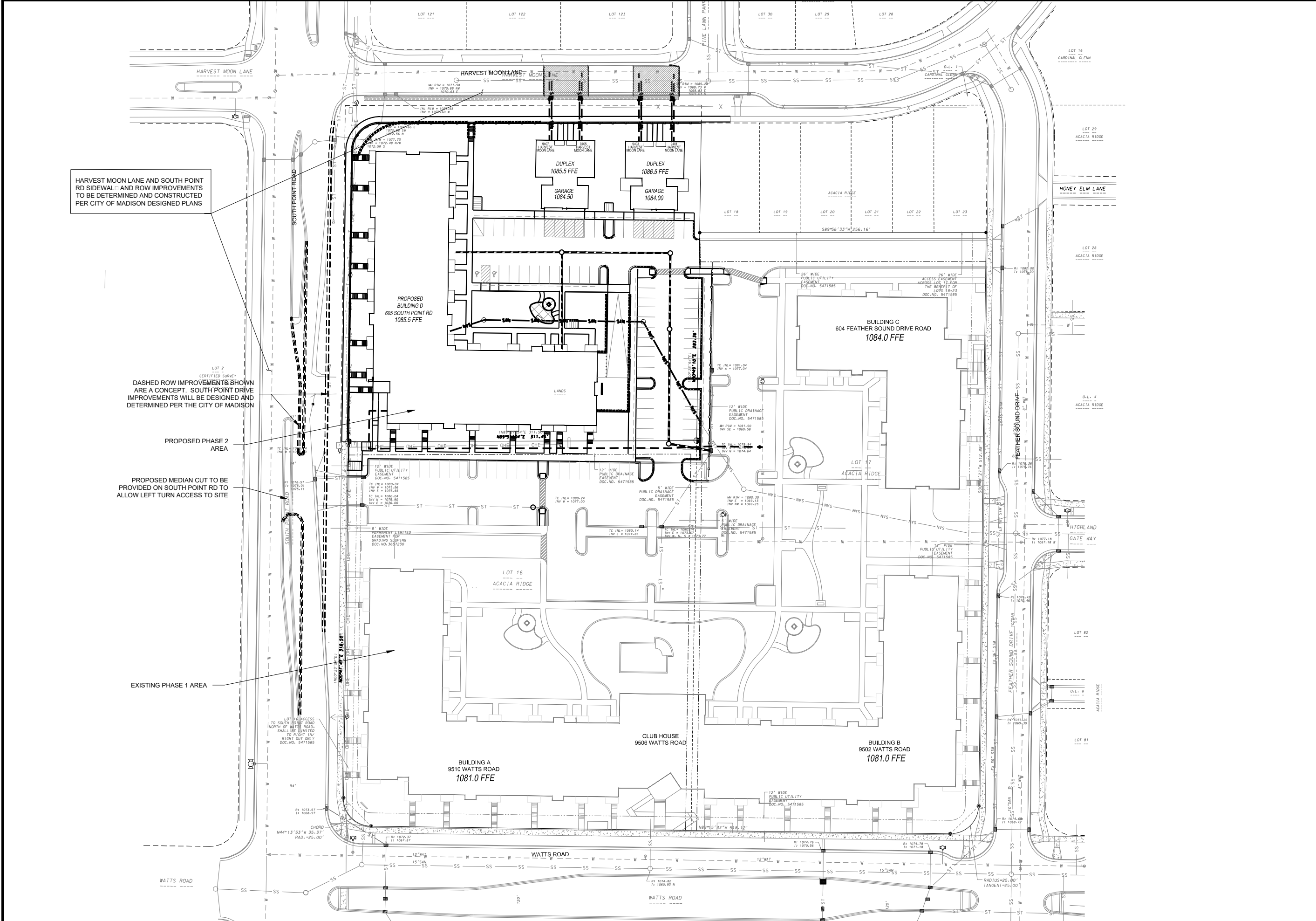
THE EDISON - PHASE II

605 SOUTH POINT ROAD
 CITY OF MADISON, DANE COUNTY, WI

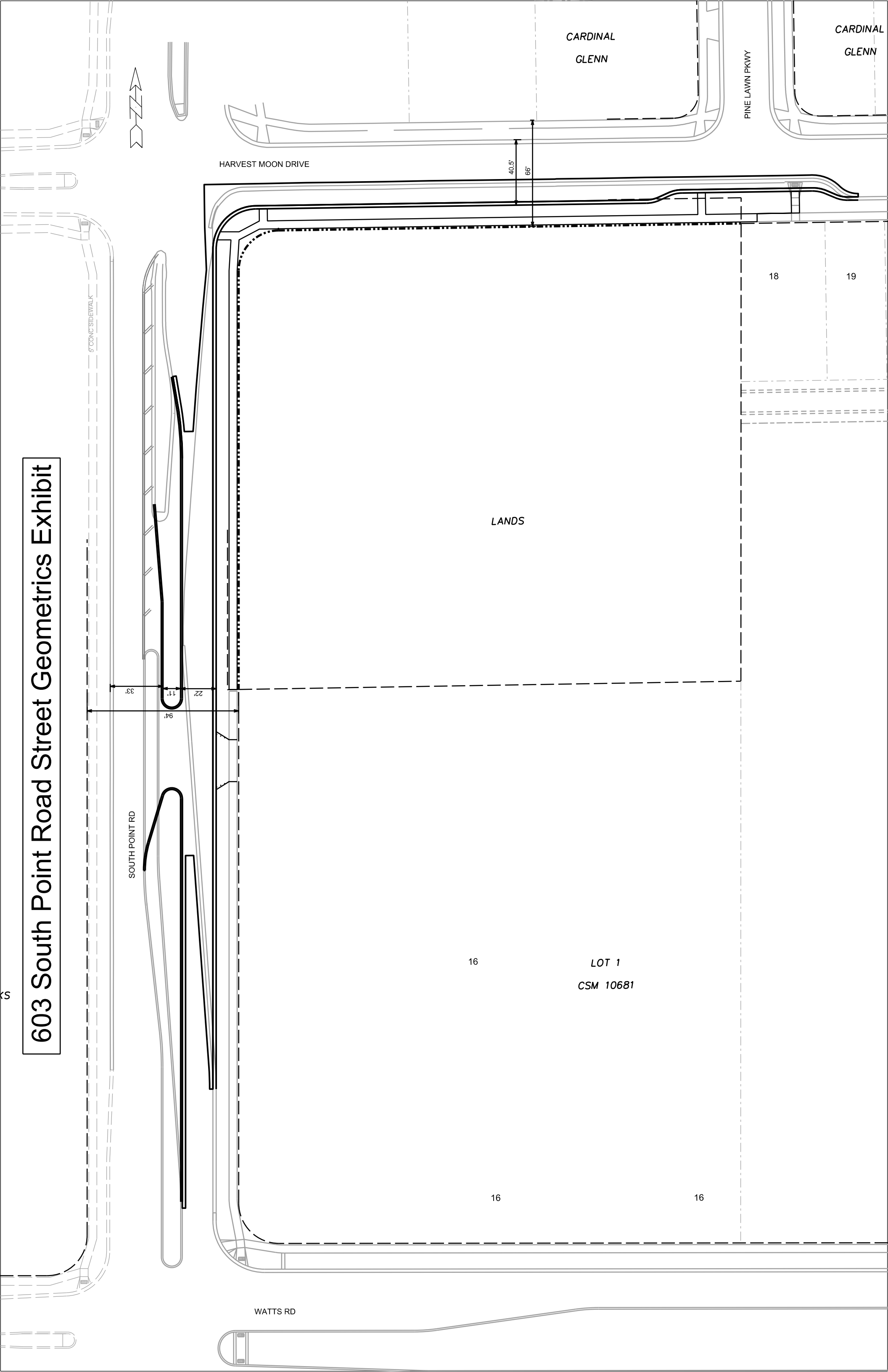


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603 South Point Road Street Geometrics Exhibit



HARVEST MOON DRIVE

CARDINAL
GLENN

CARDINAL
GLENN

PINE LAWN PKWY

5' CONC SIDEWALK

SOUTH POINT RD

LANDS

18

19

16

LOT 1
CSM 10681

16

16

WATTS RD