

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____
Project # _____

DATE SUBMITTED: <u>April 4, 2007</u>	Action Requested
UDC MEETING DATE: <u>April 11, 2007</u>	<input type="checkbox"/> Informational Presentation
	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: Lot 149 (302 Cross Oak Drive, 9439 Silicon Prairie Parkway, 301 South Point Road)

ALDERMANIC DISTRICT: District 9, Paul Skidmore

OWNER/DEVELOPER (Partners and/or Principals) <u>Great Neighborhood West, LLC.</u>	ARCHITECT/DESIGNER/OR AGENT: <u>Vandewalle & Associates</u>
_____	<u>120 East Lakeside Street</u>
_____	<u>Madison, WI 53715</u>

CONTACT PERSON: Brian Munson or Chris Landerud

Address: 120 East Lakeside Street
Madison, WI 53715

Phone: (608) 255-3988

Fax: (608) 255-0814

E-mail address: bmunson@vandewalle.com
clanderud@vandewalle.com

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
- General Development Plan (GDP)
- Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
- General Development Plan (GDP)
- Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 50,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)
- Other _____

***Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)**

April 4, 2007

Mr. Al Martin
City of Madison - Department of Planning & Development
215 Martin Luther King Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985

Re: Letter of Intent: Cardinal Glenn – Lot 149 Townhomes
UDC Submittal – Initial & Final Approval

Dear Mr. Martin:

On behalf of David Simon, Great Neighborhoods West, LLC, we are pleased to submit the attached packet of information for the Cardinal Glenn Lot 149 Townhomes. On this 1.6 acre site we are proposing development of 24 residential units: two 7-unit townhome buildings, a 6-unit townhome building, and a 4-unit townhome building. This land use transitions from single family residential located south, to higher density residential proposed to the north. The townhomes fronting onto Silicon Prairie Parkway continue the character of the townhomes planned to the east. Within the plan there are also visitor parking stalls.

Owners: Great Neighborhoods West, LLC.

Design Team: Vandewalle & Associates Mr. Brian Munson
120 East Lakeside Street Mr. Chris Landerud
Madison, Wisconsin 53715
Tel/Fax: (608) 255-3988 / (608) 255-0814

D'Onofrio Kottke Mr. Dan Day
7530 Westward Way
Madison, Wisconsin 53717
Tel/Fax: (608) 833-7530 / (608) 833-1089

Eppstein Uhen Architects Mr. Bill Rusk
222 W. Washington Ave, Suite 650
Madison, Wisconsin 53703
Tel/Fax: (608) 442-5350 / (608) 442-6680

Engberg Anderson Mr. John Fatica
611 N. Broadway
Milwaukee, WI 53202
Tel/Fax: (414) 944-9000 / (414) 944-9100

Development Information:

Legal Description: Lot 149, Cardinal Glenn, recorded in Volume 58-083A of plats on pages 421 through 425 as Document No. 4089593, Dane County Registry, located in the NW1/4 and SW1/4 of the NE1/4 of Section 28, T7N, R8E, City of Madison, Dane County, Wisconsin.

Project Name: Cardinal Glenn – Lot 149 Townhomes

Addresses: 302 Cross Oak Dr, 9439 Silicon Prairie Parkway, 301 South Point Rd

Parcel Number: 0708-281-2002-5

Zoning: PUD–GDP Doc. #4107395
Cardinal Glenn – Adopted: January 18, 2005

Proposed Use: District III: Multi-Family Residential

Schedule: Commencement – Summer 2007
Completion – January 2008

Lot Area: 69,532 sq. ft. (1.6 acres)

Total Dwelling Units: 24 units

Estimated Price: \$189,000 - \$209,000 per unit (2-3 bedrooms)

Floor Area: 58,014 square feet
Floor Area Ratio: 0.83

Impervious Area: 29,693 square feet
Impervious Area Ratio: 0.61

Surface Parking: 7
Garage Parking: 48
Total Parking: 55

Thank you for your time in reviewing this project.

Sincerely,

Chris Landerud

SIP Zoning Text

Cardinal Glenn Neighborhood

Lot 149 Townhomes

302 Cross Oak Dr, 9439 Silicon Prairie Parkway, 301 South Point Rd

Legal Description:

Lot 149, Cardinal Glenn, recorded in Volume 58-083A of plats on pages 421 through 425 as Document No. 4089593, Dane County Registry, located in the NW1/4 and SW1/4 of the NE1/4 of Section 28, T7N, R8E, City of Madison, Dane County, Wisconsin.

- A. Statement of Purpose:** This zoning district is established to allow for the construction of 24 residential units: two 7-unit townhome buildings, a 6-unit townhome building, and a 4-unit townhome building
- B. Permitted Uses:** Multi-Family Residential
- C. Lot Area:** 1.6 Acres
- D. Floor Area Ratio:** 0.83
 - 1. Maximum floor area ratio varies (set in the SIP).
 - 2. Maximum building height permitted is 45 feet.
- E. Yard Requirements:** As shown on approved plans.
- F. Landscaping:** As shown on approved plans.
- G. Accessory Off-Street Parking & Loading:** As shown on approved plans.
- H. Lighting:** As shown on approved plans.
- I. Signage:** Not applicable
- J. Family Definition:** The family definition of the PUD-SIP shall coincide with the definition given in Chapter 28.03(2) of the Madison Ordinances for the R-4 zoning district.
- K. Alterations and Revisions:** No alteration or revision of this planned unit development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administrator may issue permits for minor alteration or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.

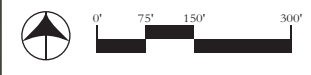
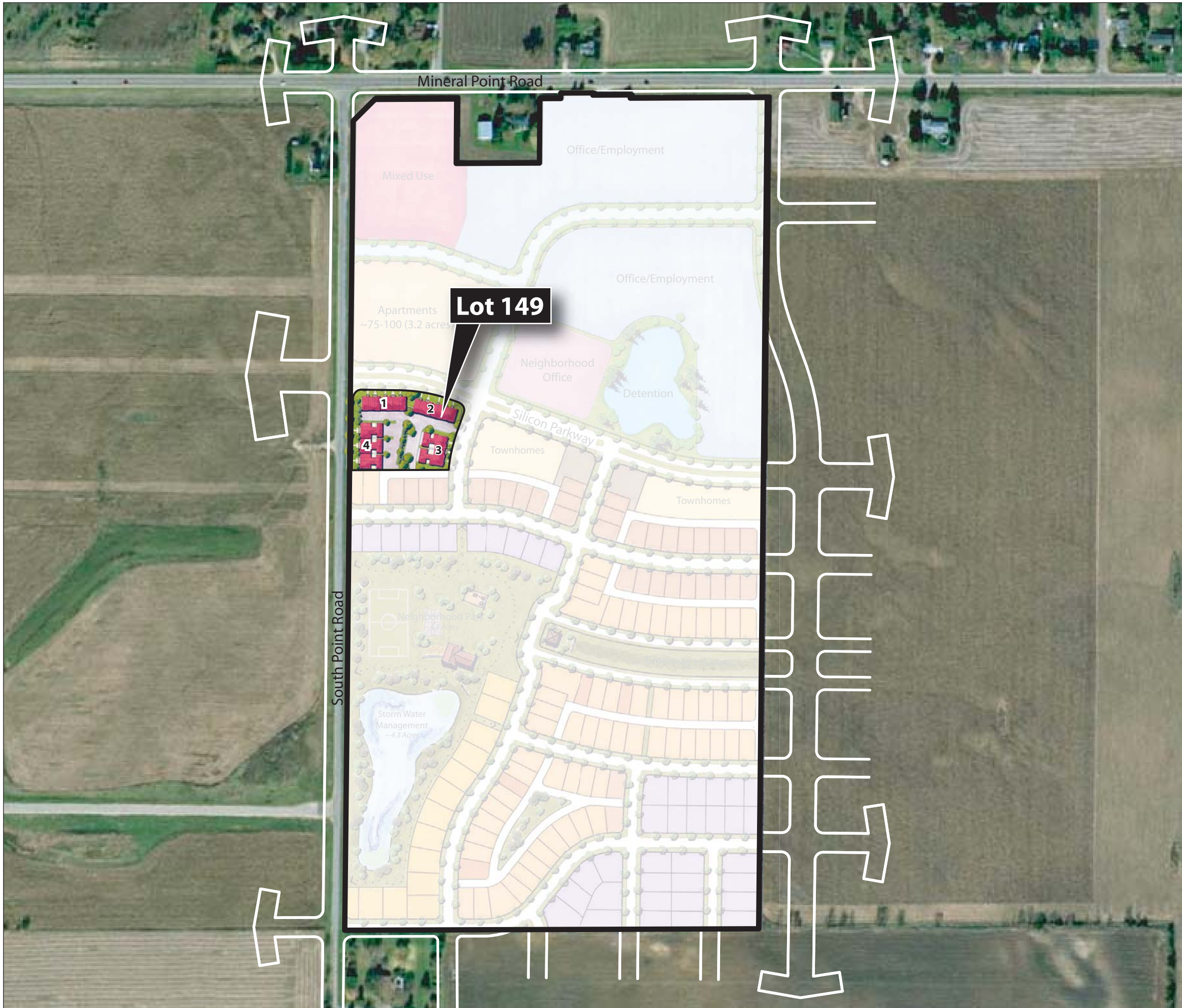
CARDINAL GLENN NEIGHBORHOOD

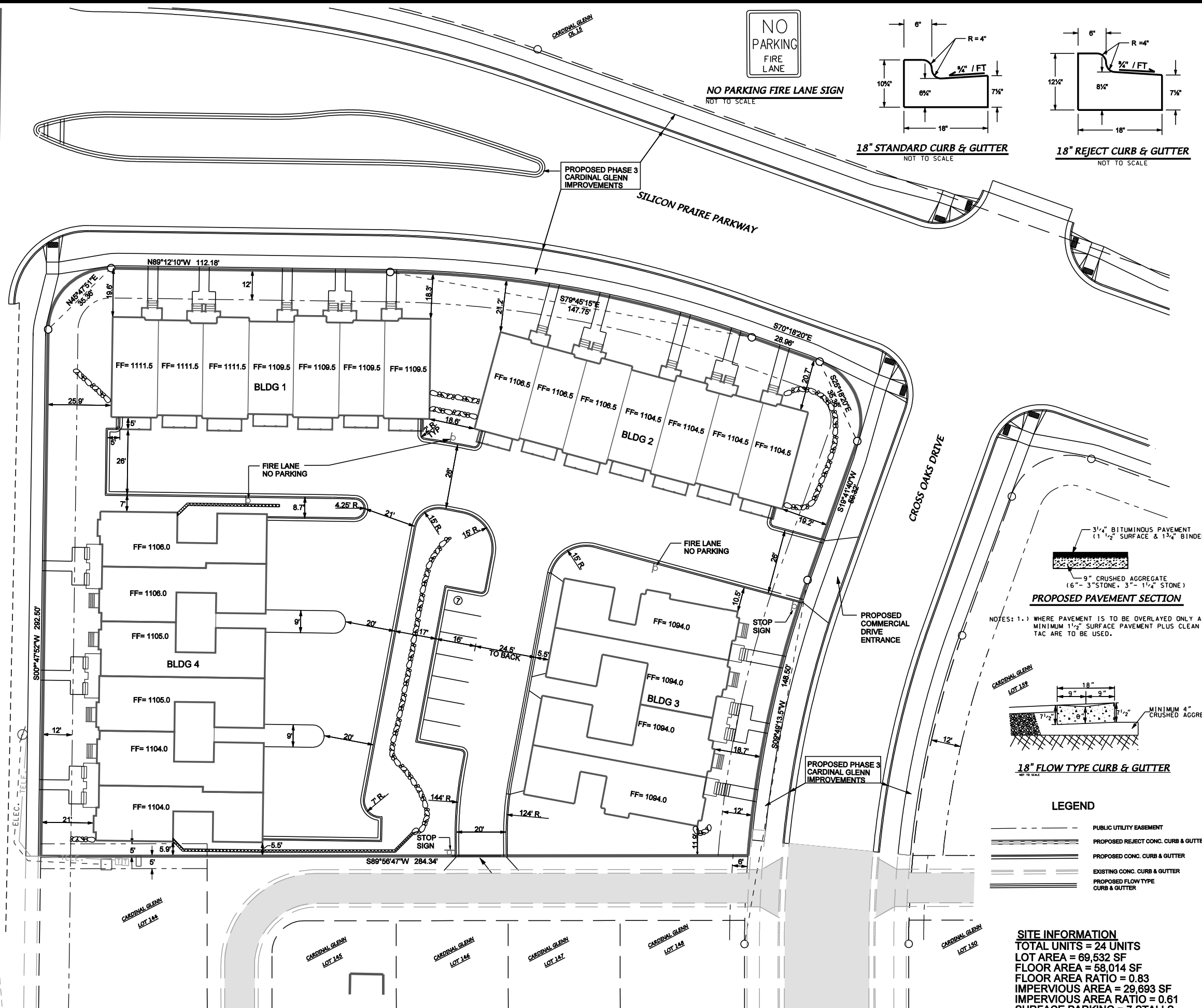
Madison, Wisconsin

UDC SUBMITTAL

LOT 149 TOWNHOMES

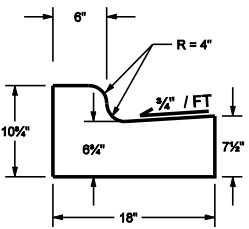
- Location Map/Cover Page
- Site Plan
- Site Grading Plan
- Site Utility Plan
- Townhome Buildings #1 & #2
 - Front, Rear, & Side Elevations
 - Garage Level & First Floor Plans
 - Second Floor Plan & Roof Plans
- Townhome Building #3
 - Front Elevation
 - Side & Rear Elevations
 - Lower Level Floor Plan
 - First Floor Plan
 - Second Floor Plan
 - Roof Plan
- Townhome Building #4
 - Front Elevation
 - Side & Rear Elevations
 - Lower Level Floor Plan
 - First Floor Plan
 - Second Floor Plan
 - Roof Plan
- Landscape Plan
- Lighting Plan
- Inclusionary Zoning Plan



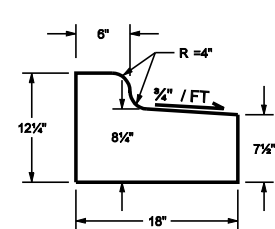


NO
PARKING
FIRE
LANE

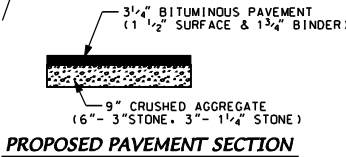
NO PARKING FIRE LANE SIGN
NOT TO SCALE



18" STANDARD CURB & GUTTER
NOT TO SCALE

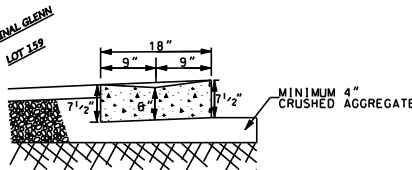


18" REJECT CURB & GUTTER
NOT TO SCALE



PROPOSED PAVEMENT SECTION

NOTES: 1.1 WHERE PAVEMENT IS TO BE OVERLAYED ONLY A MINIMUM 1 1/2" SURFACE PAVEMENT PLUS CLEAN AND TAC ARE TO BE USED.



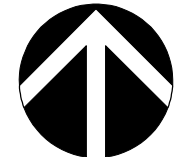
18" FLOW TYPE CURB & GUTTER
NOT TO SCALE

LEGEND

- PUBLIC UTILITY EASEMENT
- PROPOSED REJECT CONC. CURB & GUTTER
- PROPOSED CONC. CURB & GUTTER
- EXISTING CONC. CURB & GUTTER
- PROPOSED FLOW TYPE CURB & GUTTER

SITE INFORMATION

TOTAL UNITS = 24 UNITS
 LOT AREA = 69,532 SF
 FLOOR AREA = 58,014 SF
 FLOOR AREA RATIO = 0.83
 IMPERVIOUS AREA = 29,693 SF
 IMPERVIOUS AREA RATIO = 0.61
 SURFACE PARKING = 7 STALLS
 GARAGE PARKING = 48 STALLS



SCALE: 1" = 20'

DATE: 03-21-07
REV:

FN: 07-03-101
DRAWN BY: T.S.

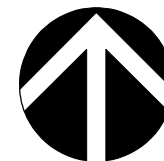
SITE PLAN

LOT 149 - CARDINAL GLENN

302 CROSS OAKS DRIVE
MADISON, WISCONSIN

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089

YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT



SCALE: 1" = 20'

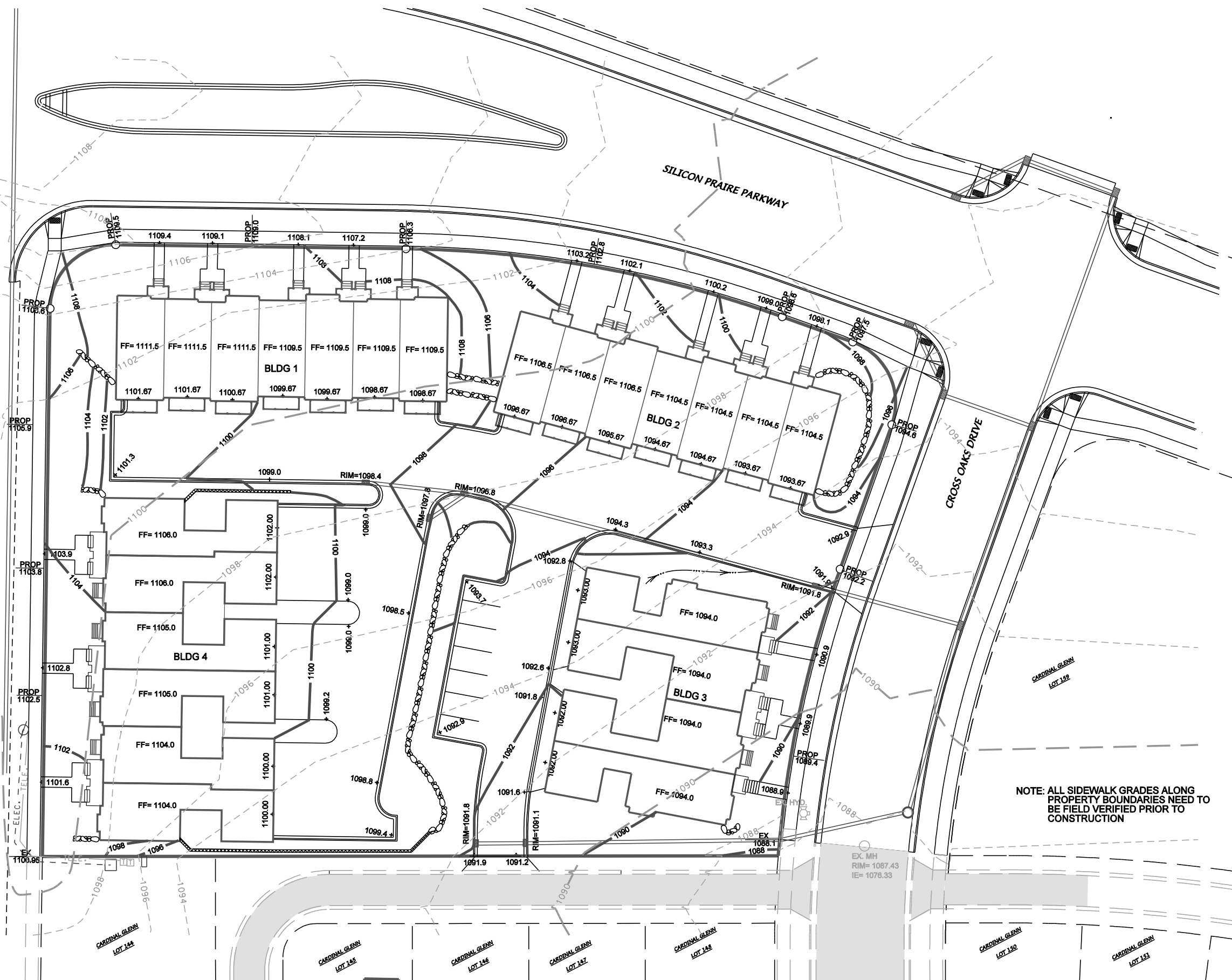
DATE: 03-21-07
REV:

FN: 07-03-101
DRAWN BY: TM

SITE GRADING PLAN

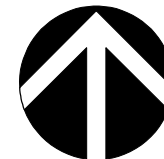
LOT 149 - CARDINAL GLENN

302 CROSS OAKS DRIVE
MADISON, WISCONSIN



NOTE: ALL SIDEWALK GRADES ALONG PROPERTY BOUNDARIES NEED TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT



SCALE: 1" = 20'

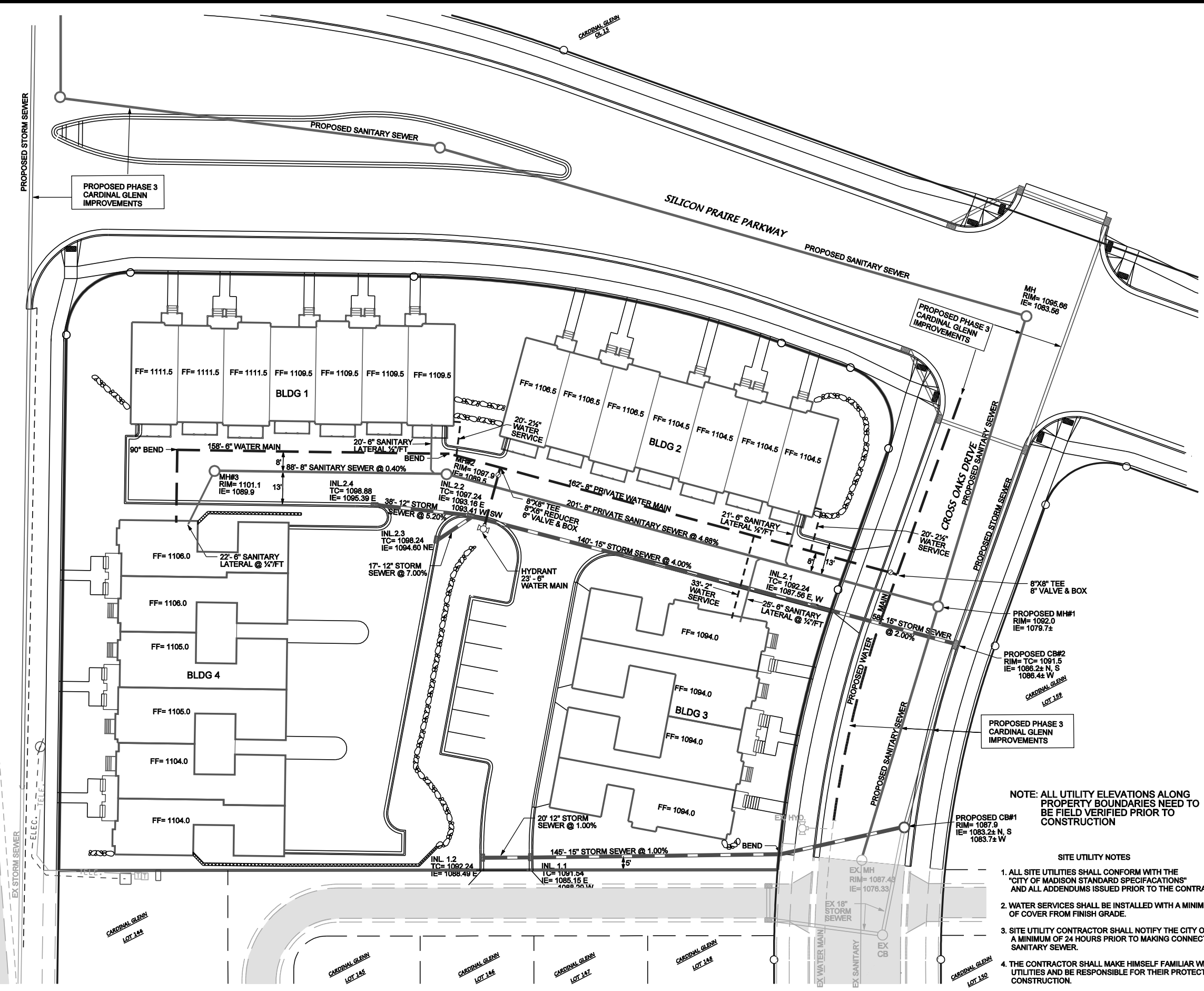
DATE: 03-21-07
REV:

FN: 07-03-101
DRAWN BY: TM

SITE UTILITY PLAN

LOT 149 - CARDINAL GLENN

302 CROSS OAKS DRIVE
MADISON, WISCONSIN



NOTE: ALL UTILITY ELEVATIONS ALONG PROPERTY BOUNDARIES NEED TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION

SITE UTILITY NOTES

1. ALL SITE UTILITIES SHALL CONFORM WITH THE "CITY OF MADISON STANDARD SPECIFICATIONS" AND ALL ADDENDUMS ISSUED PRIOR TO THE CONTRACT DATE.
2. WATER SERVICES SHALL BE INSTALLED WITH A MINIMUM 6.5 FEET OF COVER FROM FINISH GRADE.
3. SITE UTILITY CONTRACTOR SHALL NOTIFY THE CITY OF MADISON A MINIMUM OF 24 HOURS PRIOR TO MAKING CONNECTIONS TO THE SANITARY SEWER.
4. THE CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH EXISTING UTILITIES AND BE RESPONSIBLE FOR THEIR PROTECTION DURING CONSTRUCTION.
5. PRIVATE SANITARY INTERCEPTOR TO BE SDR 35 PVC.
6. PRIVATE WATER MAIN TO BE CLASS 52 DUCTILE IRON.
7. PRIVATE STORM SEWER TO BE REINFORCED CONCRETE PIPE.

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT



STREET ELEVATION

1/16"=1'-0"



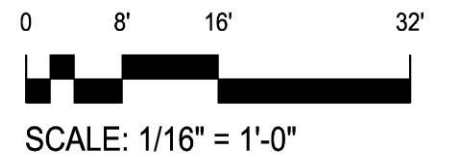
ALLEY ELEVATION

1/16"=1'-0"



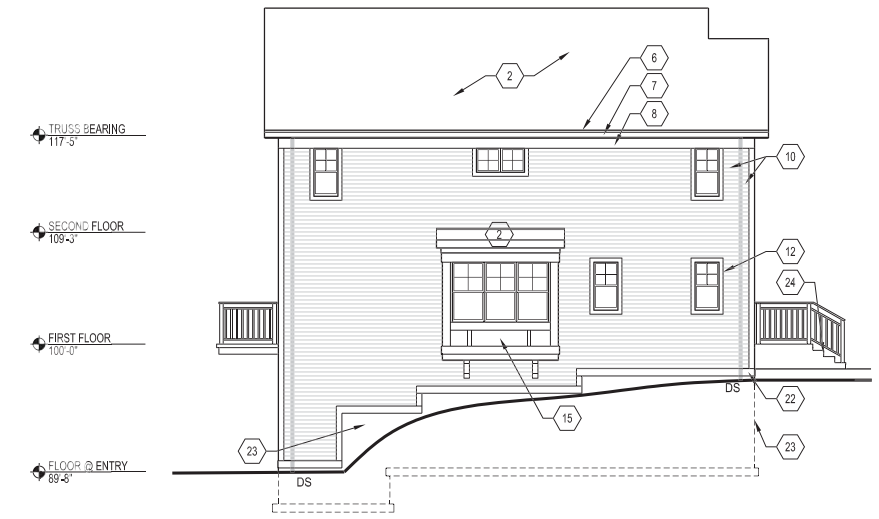
SIDE ELEVATION

1/16"=1'-0"





1 NORTH ELEVATION
1/8"=1'-0"

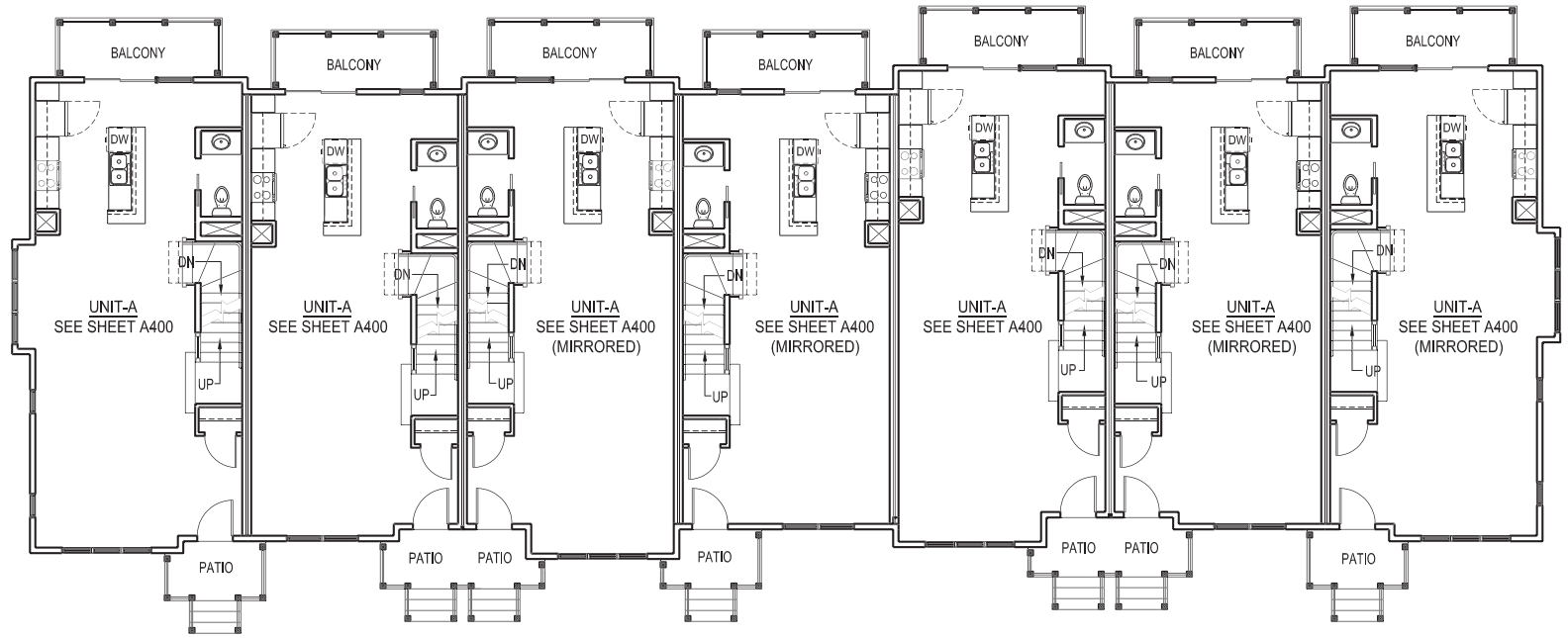


2 EAST ELEVATION
1/8"=1'-0"

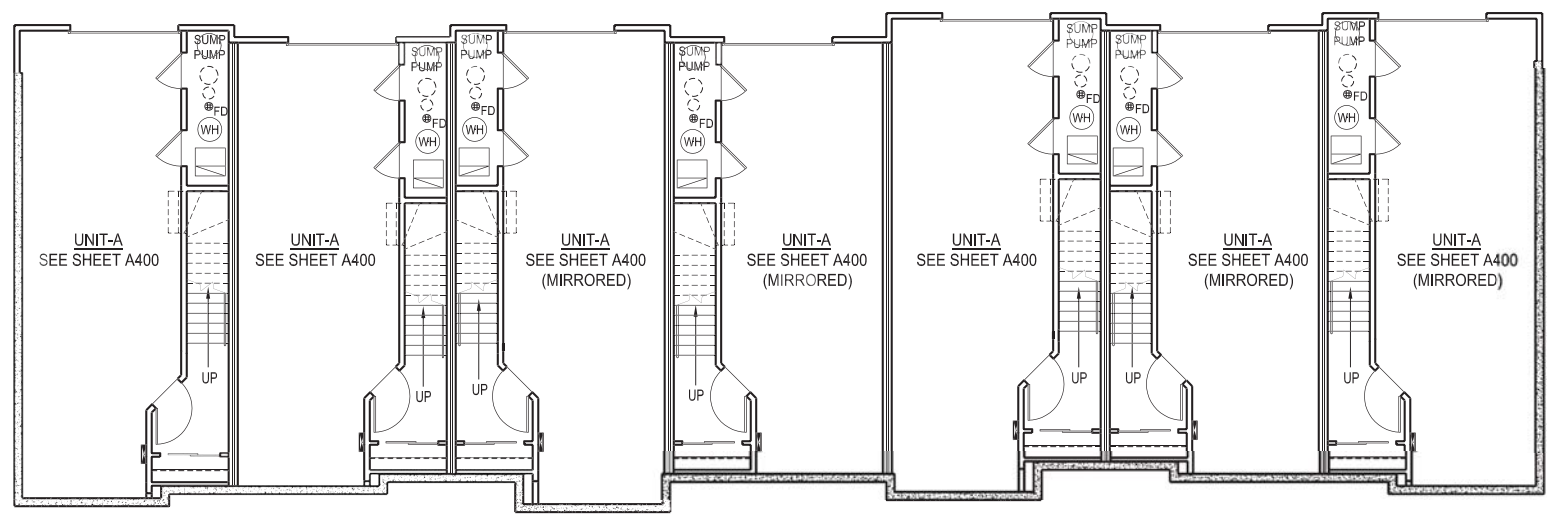


3 SOUTH ELEVATION
1/8"=1'-0"

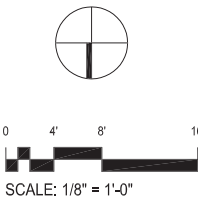
TOWNHOUSE MATERIAL KEY		
1	SHINGLED ROOF VENT	15 SMOOTH FINISH CEMENT BOARD PANEL (PAINT)
2	FIBERGLASS SHINGLES TYPICAL AT ALL SLOPED ROOF ASSEMBLIES	16 EXTERIOR LIGHT FIXTURE LOCATION ("KITCHLER" MODEL # 970802) - PHOTOCELL FIXTURE @ GARAGE DOOR
3	SHAKE CEMENT BOARD SIDING (PAINT)	17 PAINTED WOOD TRELLIS- SEE 22/A500
4	TYPICAL RAKE PREFINISHED ALUMINUM WRAPPED 1x RAKE FASCIA	18 10"x8" PAINTED CEMENT BOARD ADDRESS PLATE (1/2" ROUTED EDGES)
5	"NU-WOOD" 12"x24" DECORATIVE GABLE VENT	19 PAINTED WOOD RAILING
6	TYPICAL FASCIA "QUALITY EDGE" PREFINISHED ALUMINUM WRAPPED 1x FASCIA ON 2x SUB-FASCIA	20 5 1/2" COMPOSITE CORNER TRIM (PAINT)
7	ALUMINUM GUTTERS & DOWNSPOUTS	21 DECORATIVE BRACKET (SEE DETAIL 7/A500)
8	TYPICAL FRIEZE BOARD 5/4x8 COMPOSITE TRIM (SEE SECTIONS) - PAINT	22 TYPICAL SKIRT BOARD 5/4x8 COMPOSITE TRIM (PAINT)
9	SINGLE HUNG VINYL WINDOWS SEE 2 & 3/A-210 FOR TRIM DETAILS	23 CONCRETE FOUNDATION
10	CEMENT BOARD SIDING 'A' 4" EXPOSURE (PAINT) SEE SHEET A203 FOR COLOR	24 CONCRETE STAIRS
11	CEMENT BOARD SIDING 'B' 6" EXPOSURE (PAINT) SEE SHEET A203 FOR COLOR	25 PRIVACY WALL
12	3 1/2" COMPOSITE TRIM (PAINT)	26 NOT USED
13	5 1/2" COMPOSITE TRIM (PAINT)	27 NOT USED
14	COMPOSITE TRIM (SIZE VARIES) (PAINT)	28 NOT USED
19		29 NOT USED
20		30 NOT USED



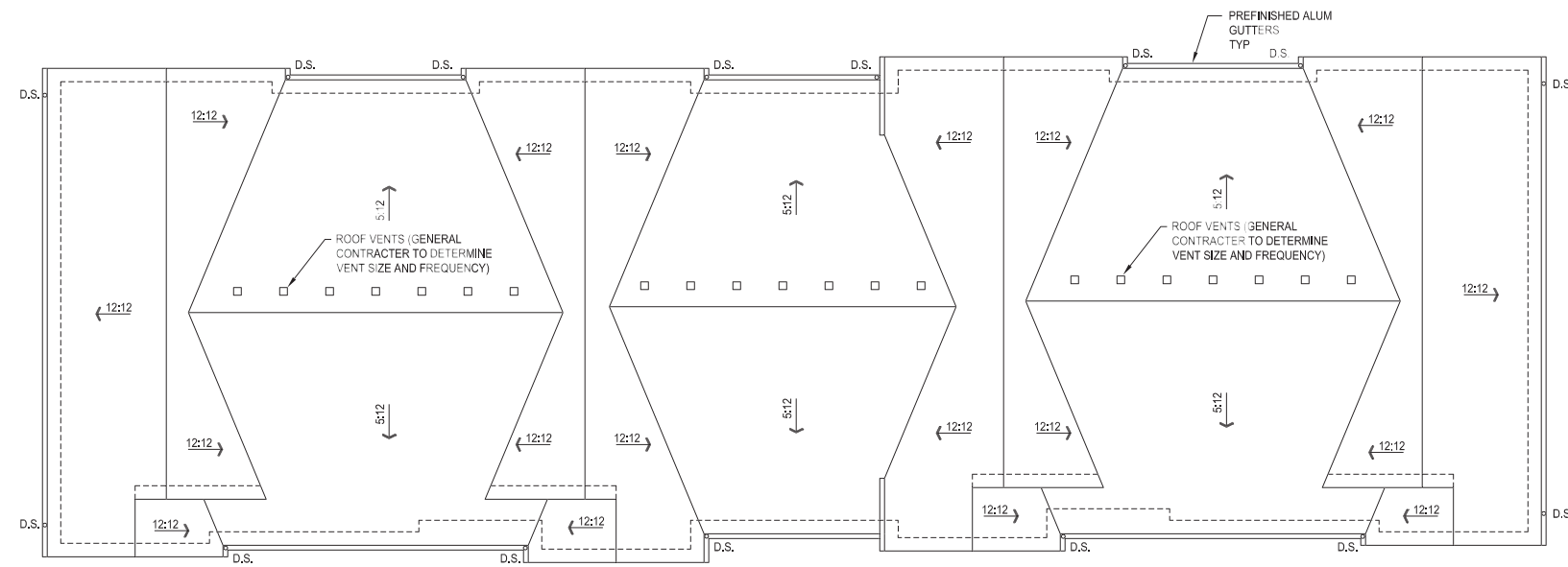
2 FIRST FLOOR PLAN
1/8"=1'-0"



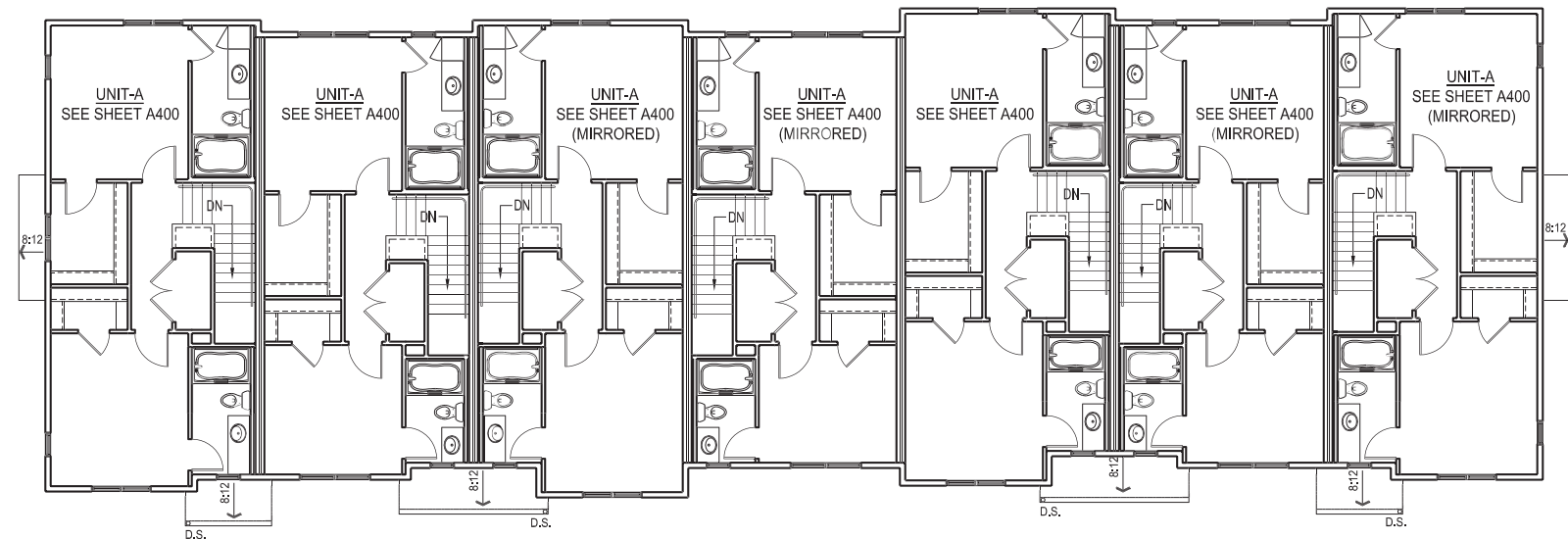
1 GARAGE LEVEL PLAN
1/8"=1'-0"



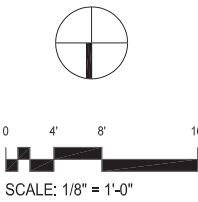
LOT 149 CARDINAL GLEN TOWNHOMES (BUILDINGS 1 & 2) - SIP SUBMITTAL



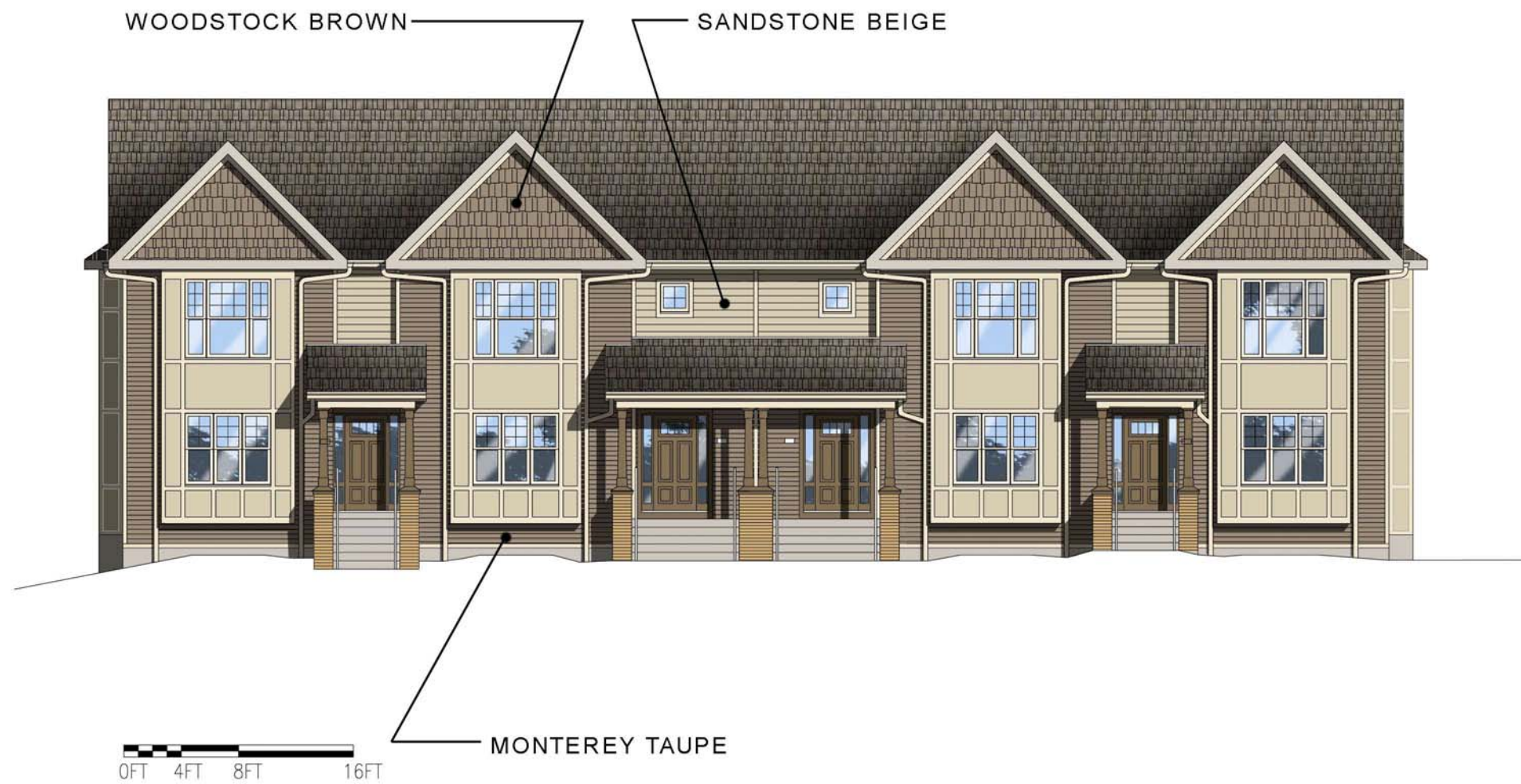
2 ROOF PLAN
1/8"=1'-0"



1 SECOND FLOOR PLAN
1/8"=1'-0"



LOT 149 CARDINAL GLEN TOWNHOMES (BUILDINGS 1 & 2) - SIP SUBMITTAL



CARDINAL GLEN - LOT 149 - BUILDING 3

ELEVATIONS

EADP Project No. 071704.00

Engberg Anderson  Design Partnership, Inc.

Scale: 3/32" = 1'-0"

March 21, 2007



0FT 4FT 8FT 16FT



0FT 4FT 8FT 16FT

CARDINAL GLEN - LOT 149 - BUILDING 3

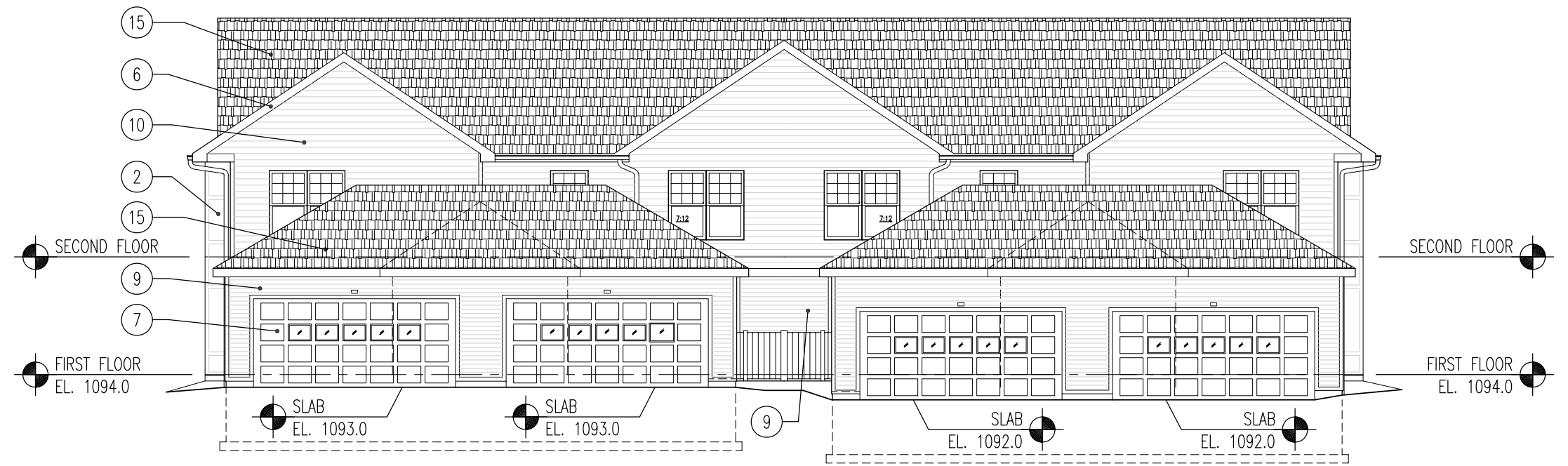


FRONT ELEVATION

0FT 4FT 8FT 16FT

EXTERIOR ELEVATION MATERIAL SCHEDULE	
1	BRICK
2	HARDIPANEL SMOOTH CEMENT BOARD PANEL
3	HARDIE SHINGLE STAGGERED EDGE PANEL
4	COMPOSITE BOARD TRIM, ROUGH SIDE EXPOSED
5	WOOD COLUMN PAINTED
6	WOOD FASCIA PAINTED
7	INSULATED GARAGE DOOR
8	ROOF SHINGLES
9	CEMENT BD SIDING WITH 3" EXPOSURE ROUGH SIDE OUT
10	CEMENT BD SIDING WITH 4 1/2" EXPOSURE ROUGH SIDE OUT

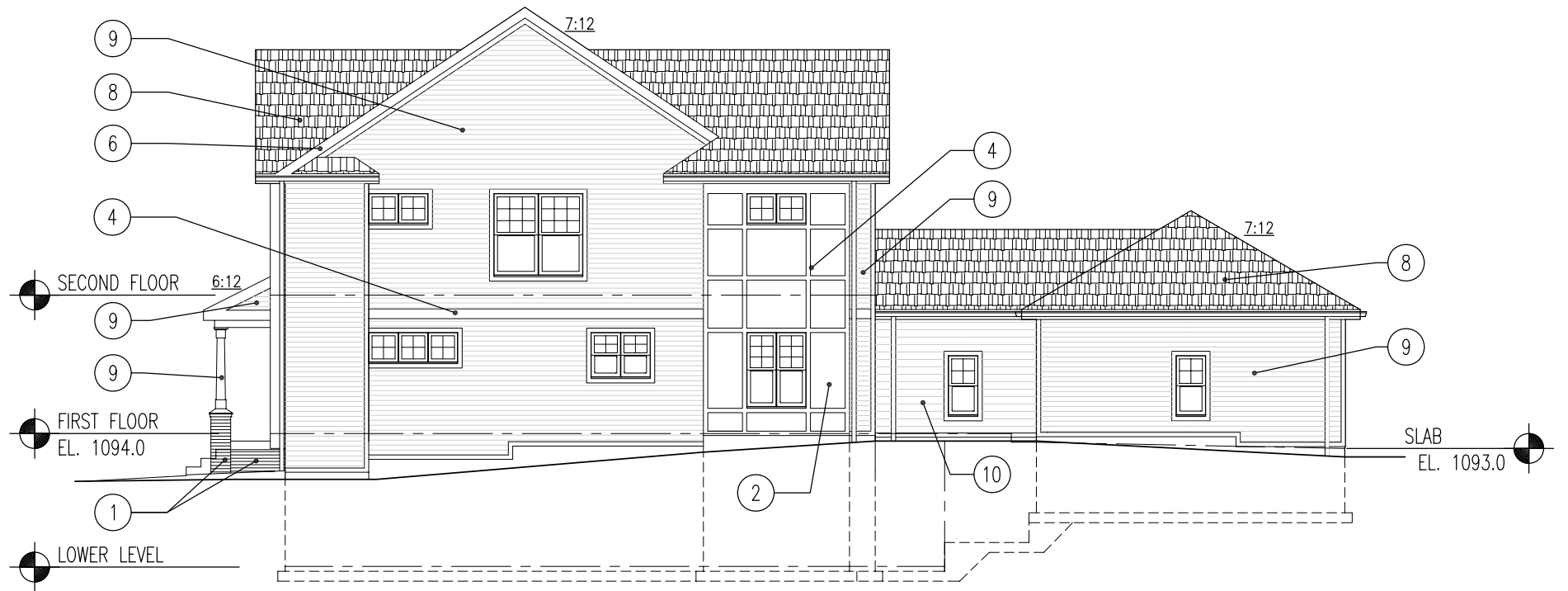
CARDINAL GLEN - LOT 149 - BUILDING 3



REAR ELEVATION

0FT 4FT 8FT 16FT

EXTERIOR ELEVATION MATERIAL SCHEDULE	
1	BRICK
2	HARDIPANEL SMOOTH CEMENT BOARD PANEL
3	HARDIE SHINGLE STAGGERED EDGE PANEL
4	COMPOSITE BOARD TRIM, ROUGH SIDE EXPOSED
5	WOOD COLUMN PAINTED
6	WOOD FASCIA PAINTED
7	INSULATED GARAGE DOOR
8	ROOF SHINGLES
9	CEMENT BD SIDING WITH 3" EXPOSURE ROUGH SIDE OUT
10	CEMENT BD SIDING WITH 4 1/2" EXPOSURE ROUGH SIDE OUT



SIDE ELEVATION

0FT 4FT 8FT 16FT

CARDINAL GLEN - LOT 149 - BUILDING 3

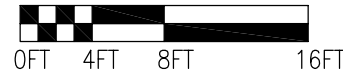
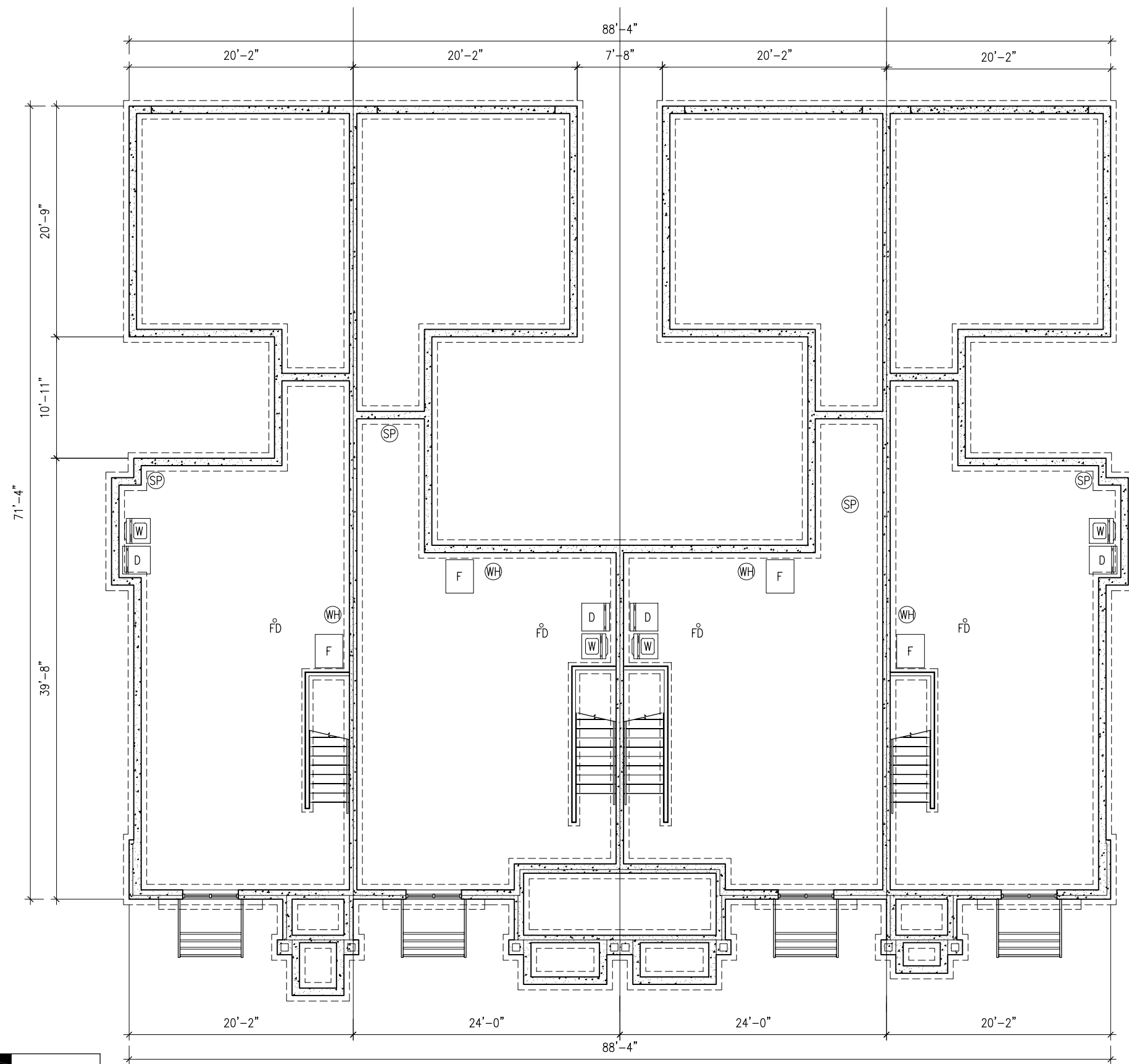
ELEVATIONS

EADP Project No. 071704.00



Scale: 3/32" = 1'-0"

March 21, 2007

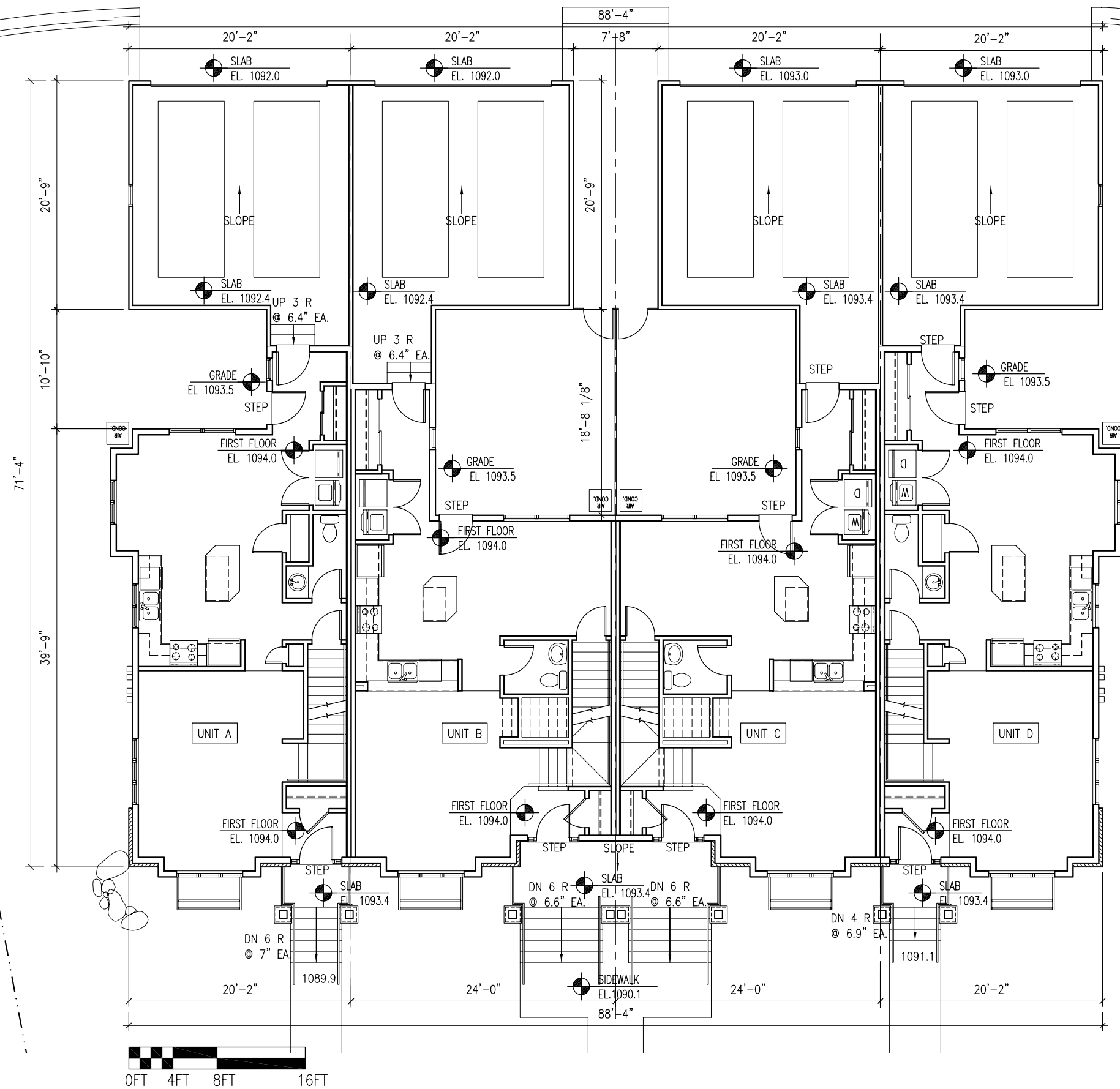


CARDINAL GLEN - LOT 149 - BUILDING 3

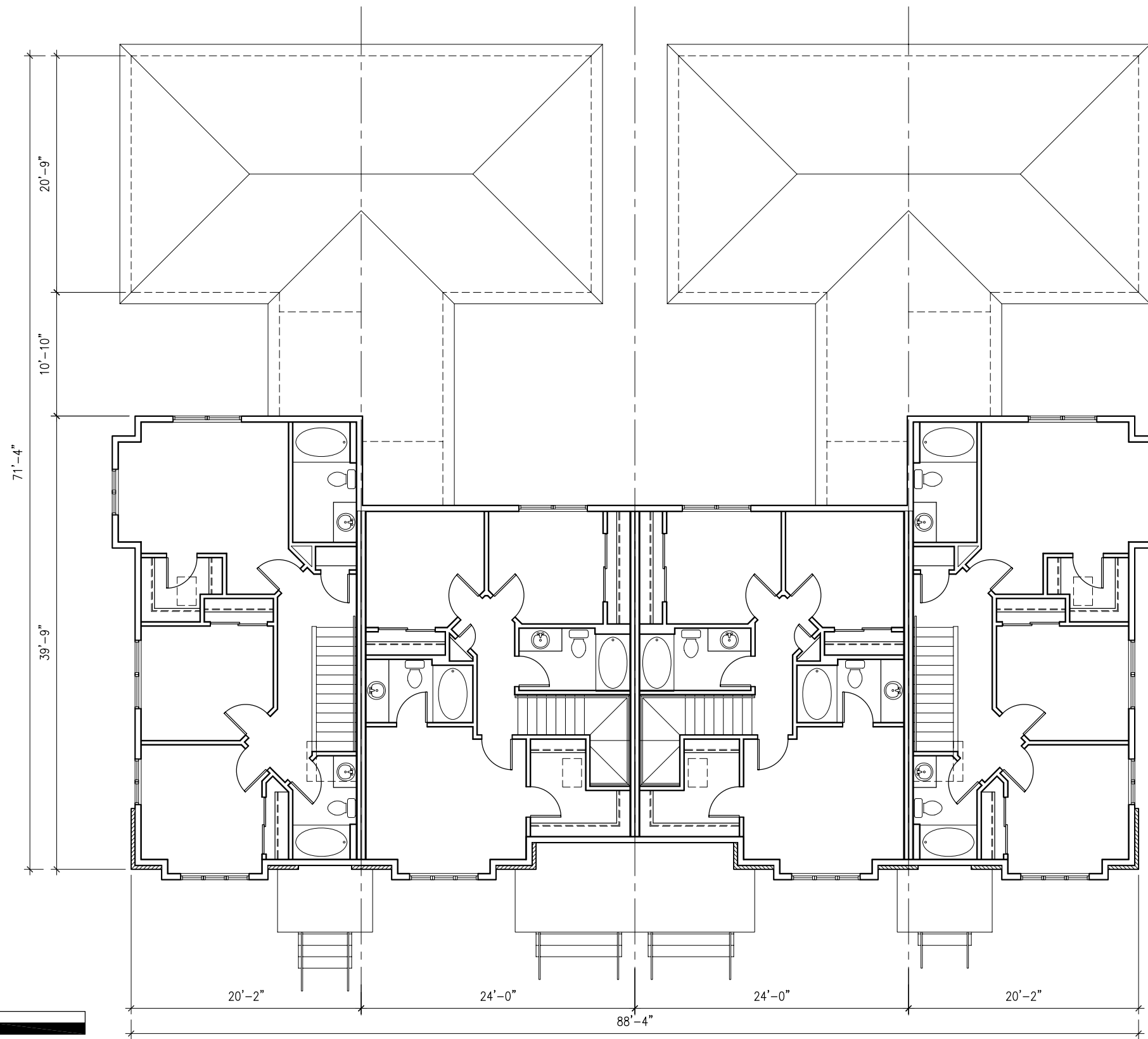
LOWER LEVEL FLOOR PLAN
 EADP Project No. 071704.00



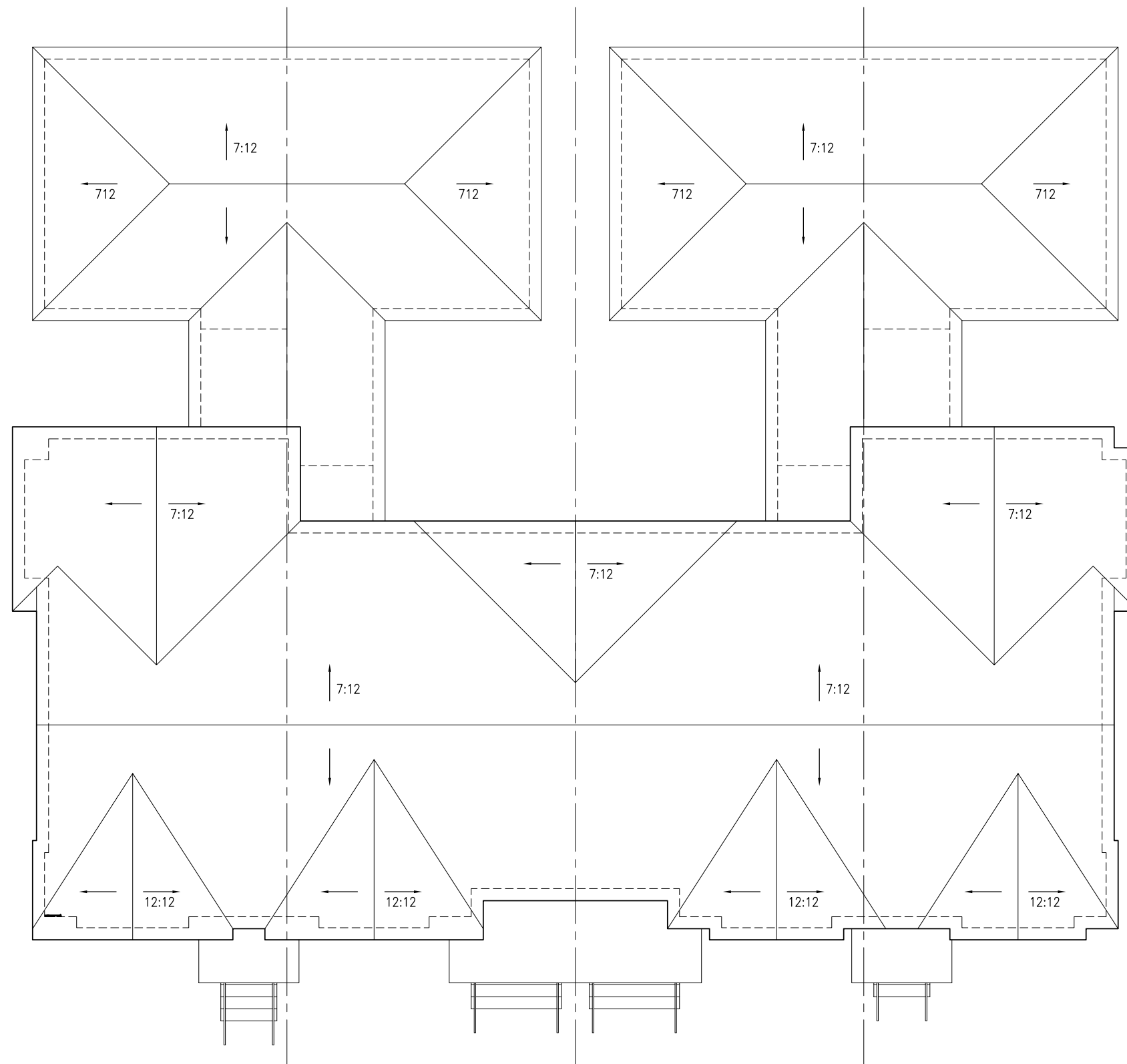
Scale: 3/32" = 1'-0"
 March 21, 2007



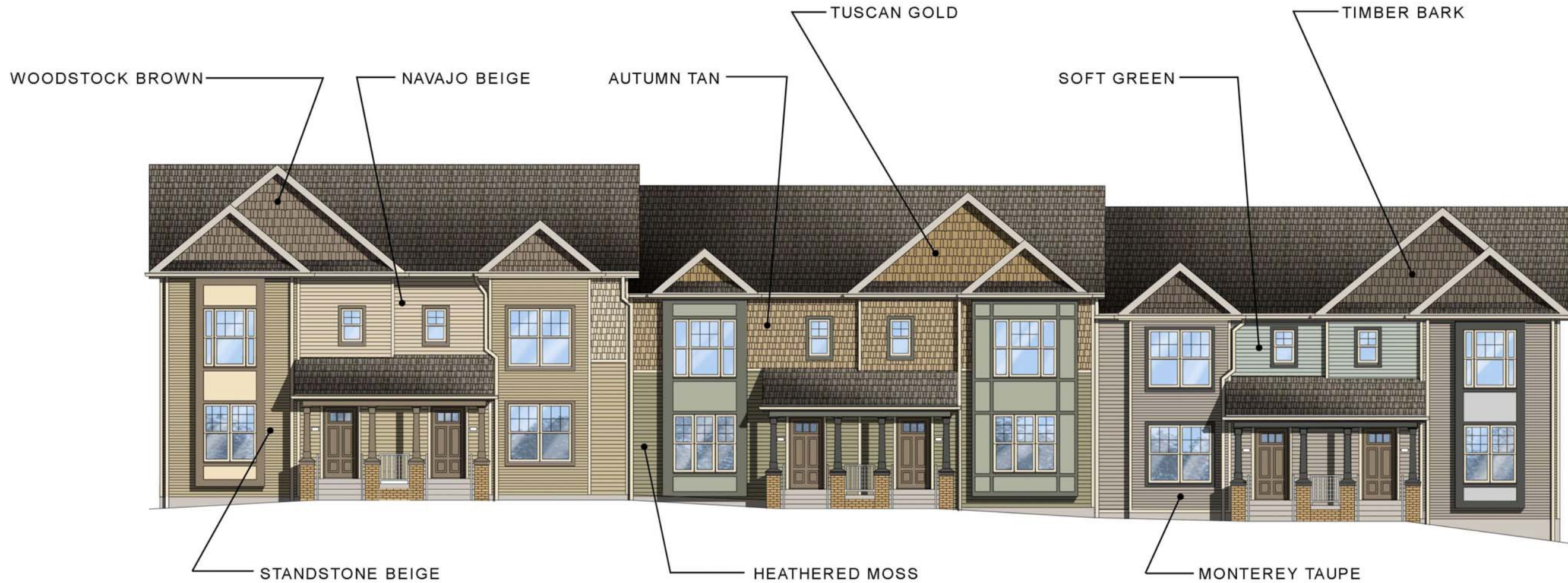
CARDINAL GLEN - LOT 149 - BUILDING 3



CARDINAL GLEN - LOT 149 - BUILDING 3



CARDINAL GLEN - LOT 149 - BUILDING 3



CARDINAL GLEN - LOT 149 - BUILDING 4

ELEVATIONS

EADP Project No. 071703.00

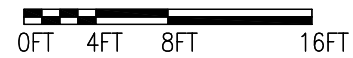
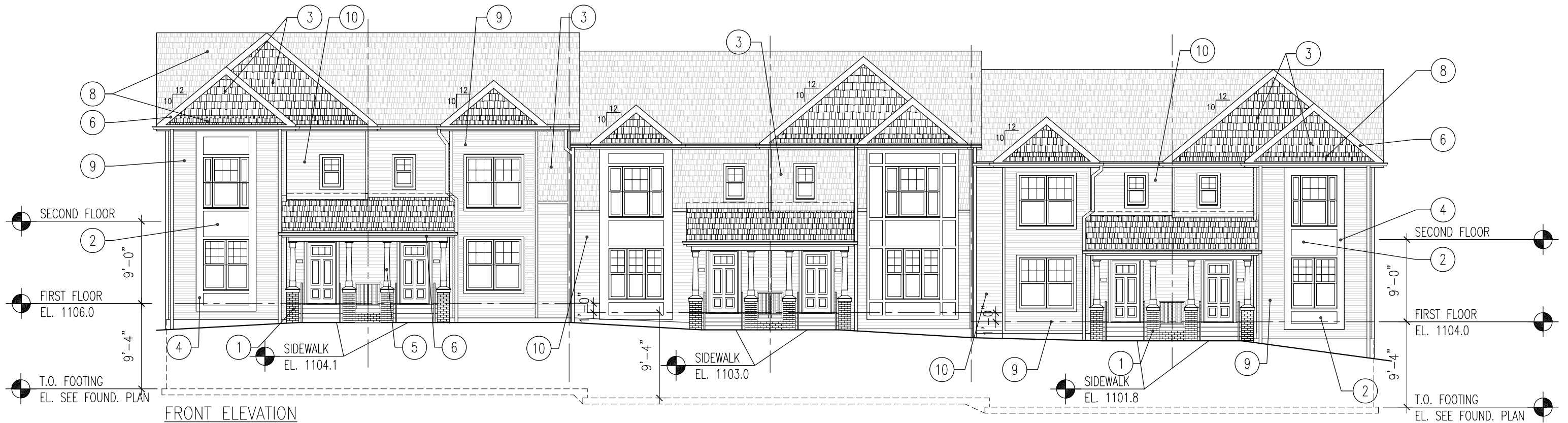


Scale: 3/32" = 1'-0"

March 21, 2007



CARDINAL GLEN - LOT 149 - BUILDING 4



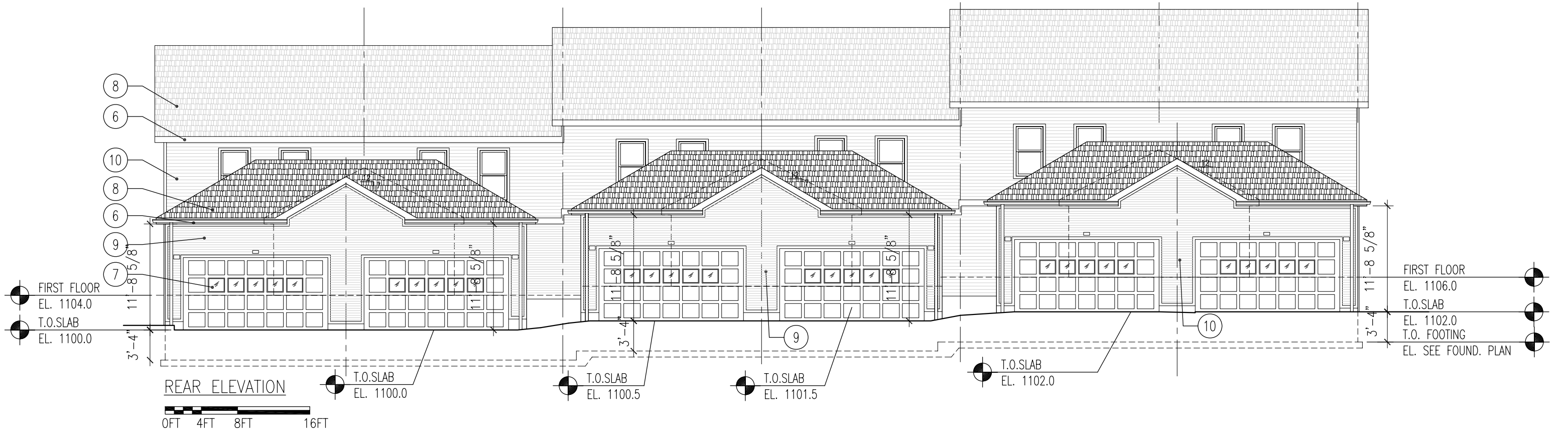
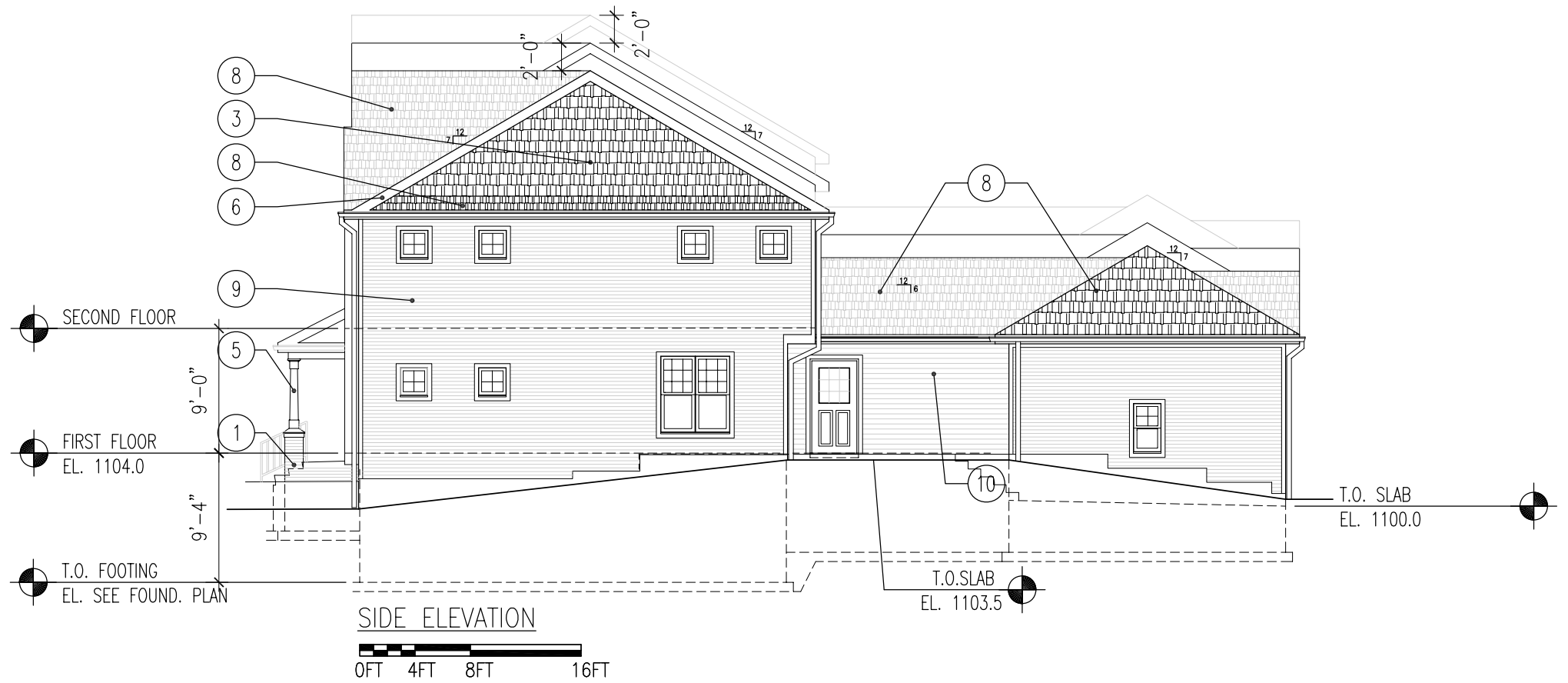
EXTERIOR ELEVATION MATERIAL SCHEDULE	
1	BRICK
2	HARDIPANEL SMOOTH CEMENT BOARD PANEL
3	HARDIE SHINGLE STAGGERED EDGE PANEL
4	COMPOSITE BOARD TRIM, ROUGH SIDE EXPOSED
5	WOOD COLUMN PAINTED
6	WOOD FASCIA PAINTED
7	INSULATED GARAGE DOOR
8	ROOF SHINGLES
9	CEMENT BD SIDING WITH 3" EXPOSURE ROUGH SIDE OUT
10	CEMENT BD SIDING WITH 4 1/2" EXPOSURE ROUGH SIDE OUT

CARDINAL GLEN - LOT 149 - BUILDING 4

ELEVATIONS

EADP Project No. 071703.00

EXTERIOR ELEVATION MATERIAL SCHEDULE	
1	BRICK
2	HARDIPANEL SMOOTH CEMENT BOARD PANEL
3	HARDIE SHINGLE STAGGERED EDGE PANEL
4	COMPOSITE BOARD TRIM, ROUGH SIDE EXPOSED
5	WOOD COLUMN PAINTED
6	WOOD FASCIA PAINTED
7	INSULATED GARAGE DOOR
8	ROOF SHINGLES
9	CEMENT BD SIDING WITH 3" EXPOSURE ROUGH SIDE OUT
10	CEMENT BD SIDING WITH 4 1/2" EXPOSURE ROUGH SIDE OUT



CARDINAL GLEN - LOT 149 - BUILDING 4

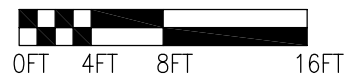
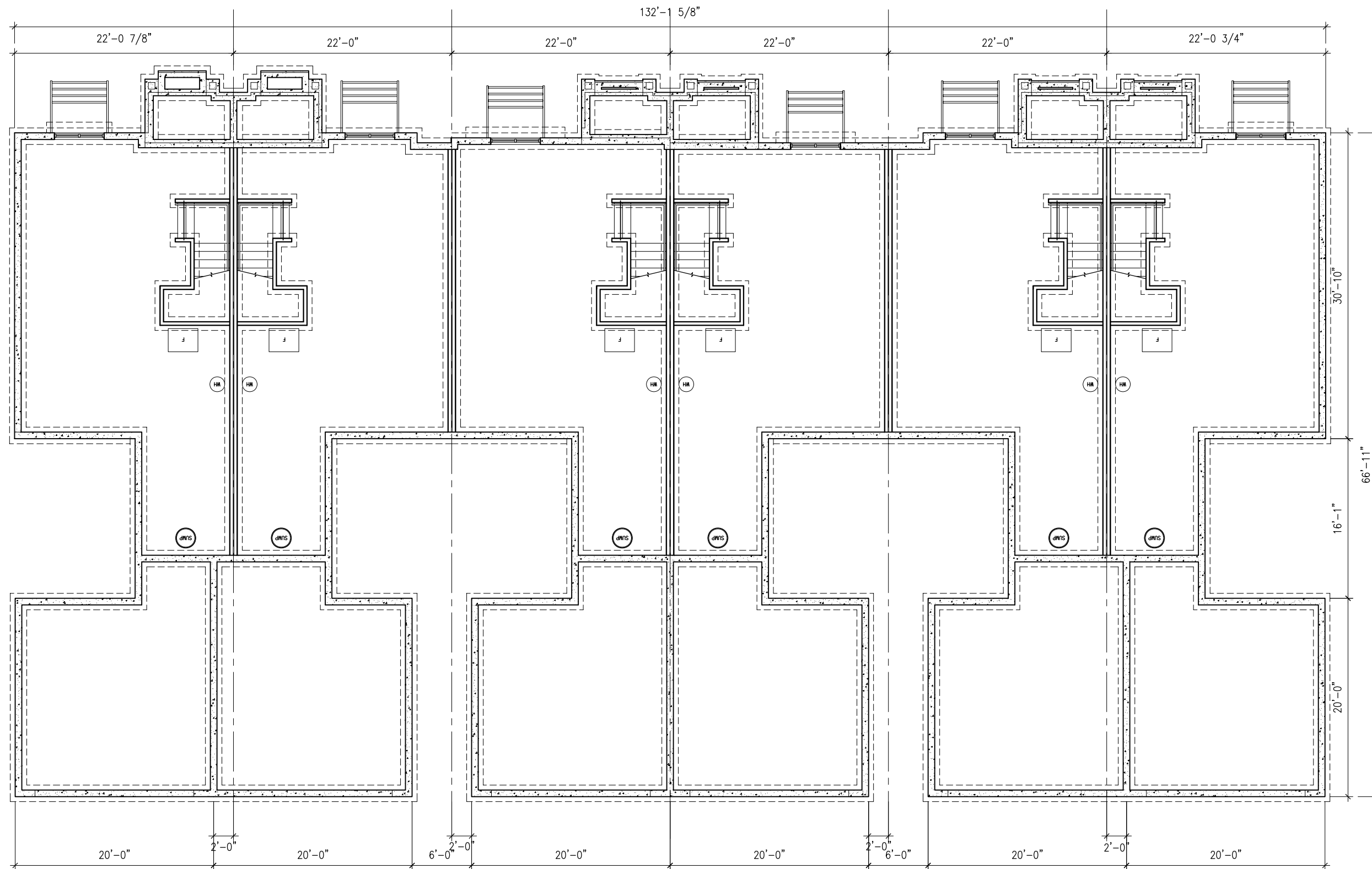
ELEVATIONS

EADP Project No. 071703.00



Scale: 3/32" = 1'-0"

March 21, 2007

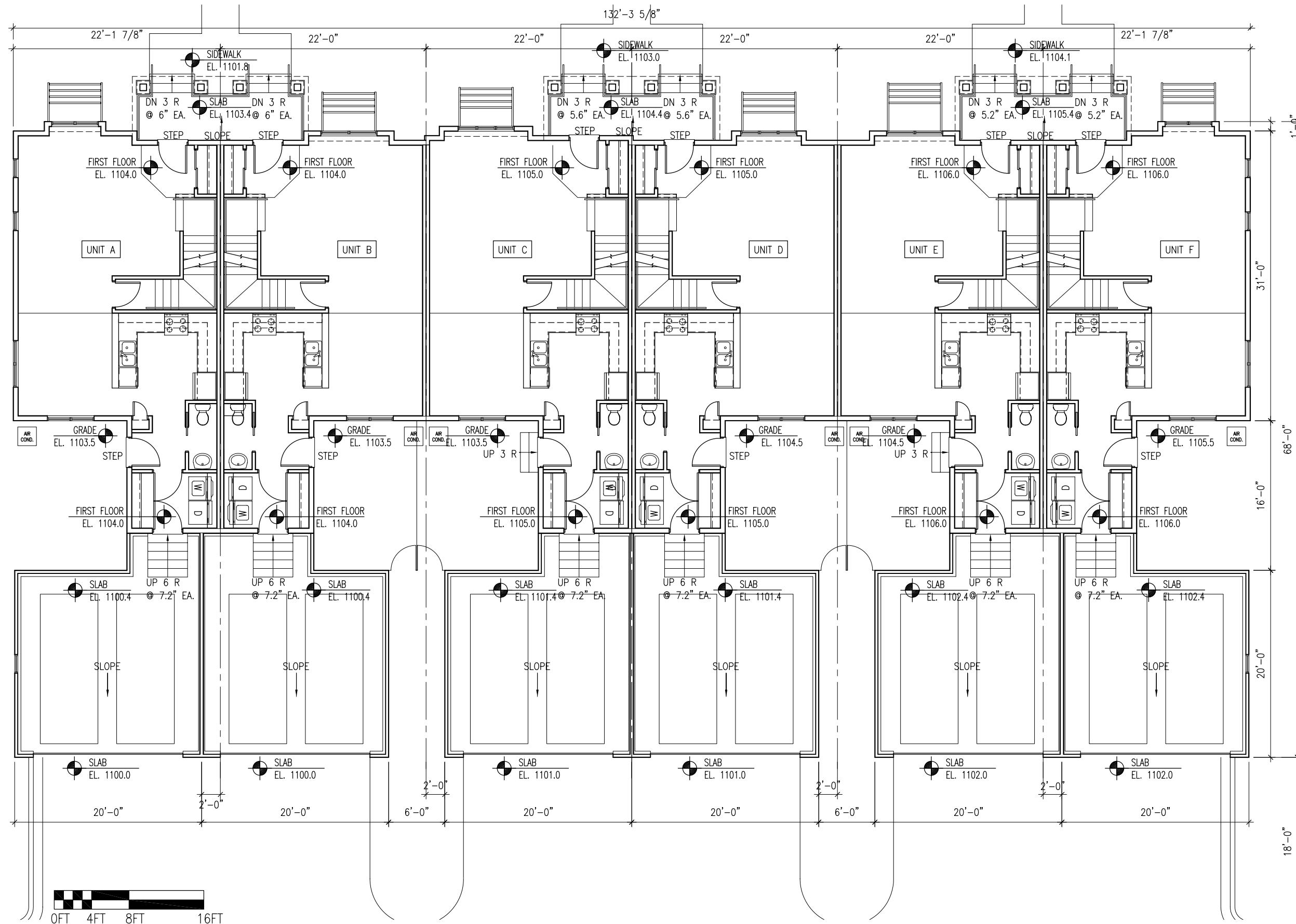


CARDINAL GLEN - LOT 149 - BUILDING 4

LOWER LEVEL FLOOR PLAN
 EADP Project No. 071703.00



Scale: 3/32" = 1'-0"
 March 21, 2007

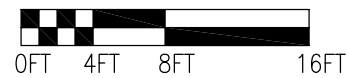
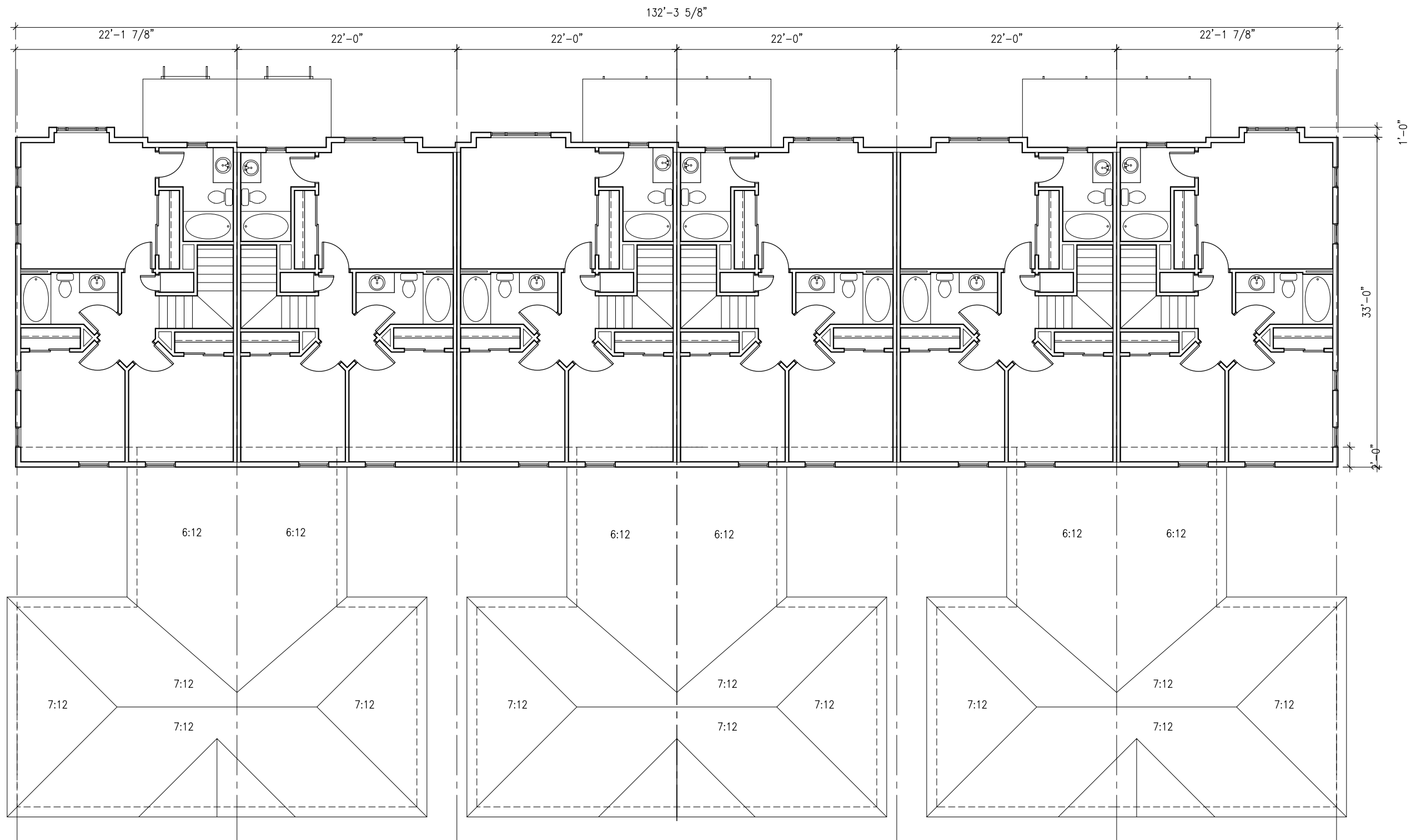


CARDINAL GLEN - LOT 149 - BUILDING 4

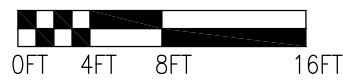
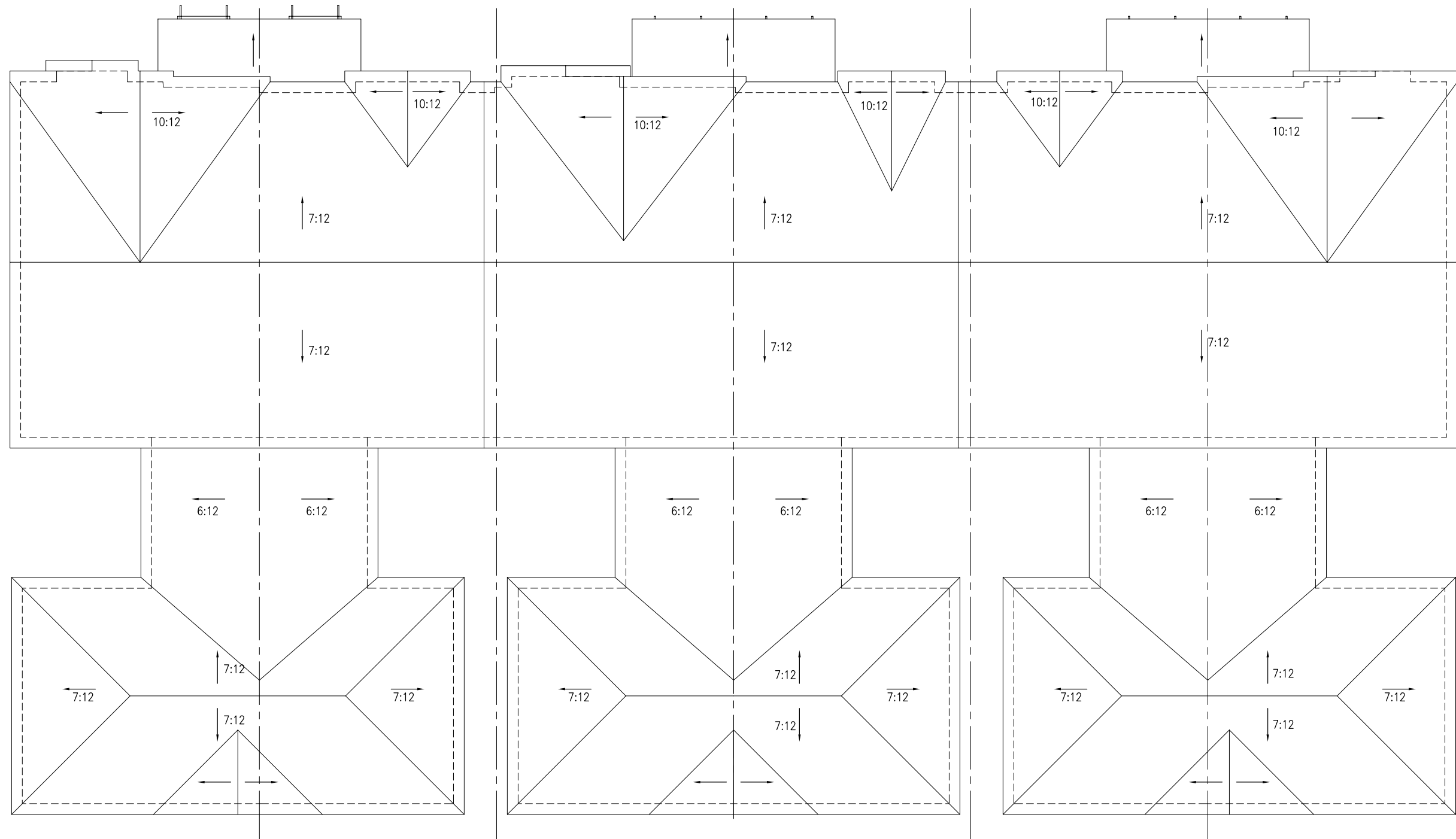
FIRST FLOOR PLAN
EADP Project No. 071703.00



Scale: 3/32" = 1'-0"
March 21, 2007



CARDINAL GLEN - LOT 149 - BUILDING 4



CARDINAL GLEN - LOT 149 - BUILDING 4

LANDSCAPE WORKSHEET
 Parking Lots, Storage Areas and Loading Areas
 (Section 28.04 Madison General Ordinance)

Project Location/Address:	302 Cross Oak Drive
Name of Project:	Cardinal Glenn - Lot 149 Townhomes
Owner/Contact:	Chris Landerud - Vandewalle + Associates
Address:	120 E. Lakeside St, Madison WI 53715

FOR PARKING LOTS WITH GREATER THAN 20 STALLS, LANDSCAPE PLANS MUST BE STAMPED BY A REGISTERED LANDSCAPE ARCHITECT

I. Number of Trees Required

The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of this worksheet, determine the number of trees required. (Example: One tree is required for 10 parking stalls).

Landscape requirements for storage areas are determined by dividing the total square footage of the storage area by (300) square feet. This converts area to stalls.
 [Example: 10,000 square feet is equivalent to (33) stalls or (3) trees and (160) points].

Number of Parking Stalls _____ 7

Total Square Footage of the Storage Area _____
 Divided by Three Hundred (300) Square Feet —

Number of Canopy Shade Trees Required (2" - 2 1/2" Caliper)
 (See Schedule on reverse side) _____ 1

TOTAL

II. Number of Landscape Points Required

The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the reverse side of this worksheet, determine the number of points required. (Example: 49.5 points are required for 10 stalls). A point fraction of (.5) or less may be disregarded, while a fraction in excess of (.5) must be counted as one point. Thus: 49.5 points would be rounded down to 49.0 points required.

The number of points required for loading areas is (75) points for each loading berth.
 (See Schedule on reverse side) _____ —

Number of Points Required (See Schedule on reverse side) _____ 35

TOTAL

35

Tabulation of Points and Credits

Indicate below the quantity and points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

ELEMENT	POINT VALUE	QUANTITY	POINTS ACHIEVED	CREDITS	
				QUANTITY	POINTS
Canopy Tree: 2" - 2 1/2"	35	2	70		
Deciduous Shrub	2	8	16		
Evergreen Shrub	3	10	30		
Decorative Wall or Fence (per 10 L.F.)	5	—			
Earth Berm (per 10 L.F.)					
Avg. Height 30"	5	—			
Avg. Height 15"	2	—			
Evergreen Trees 3' height minimum	15	—			
Canopy Tree or Small Tree 1 1/2" - 2" Caliper (i.e., Crab, Hawthorn)	15	—			
Sub Totals			116	+	0

TOTAL = 116

Total No. of Points Provided
 (Equal to or greater than points required)

*Trees required in Part I above, are not to be included in the point count.

Approved by: _____ Date: _____

DESCRIPTION

ASCENT enhances the rectilinear form with a housing that blends effortlessly to traditional or ambitious architectural environments. ASCENT brings two housing sizes and a fluid form to match the culture in which it resides.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

A ... Housing

Two-piece heavy-wall, die-cast aluminum housing maintains a nominal .125 wall thickness and utilizes continuous silicone gasketing between castings for a forbidding seal.

B ... Door

Heavy-wall, die-cast aluminum door maintains a nominal .125 thickness. Continuous silicone gasketing provides IP66 compliant optical cavity. Toolless entry to housing is provided via two (2) flush mounted quick release latches. Concealed hinging allows door to be removed from housing without tools.

C ... Lens

Impact resistant 1/8" thick tempered clear or optional frosted flat glass for concealment of lamp image.

D ... Optical Systems

Choice of five (5) high efficiency segmented optical systems constructed of premium 95% reflective anodized aluminum sheet. Optical segments are rigidly mounted inside a thick gauge aluminum housing for superior protection. All segment faces are clean of rivet heads, tabs, or other means of attachment which may cause streaking in the light distribution.

All reflector modules feature toolless removal, quick disconnect wiring plugs, and are toolless field rotatable in 90° increments. Small housing (AES) optics feature medium-base lampholders for HID lamp sources.

E ... Electrical Tray

Ballast and related electrical components are mounted to a reinforced one-piece die-cast aluminum power tray. Quick disconnects allow tray to be completely removed from housing providing ample hand and tool room for attachment of luminaire during installation.

F ... Finish

Housing and arm finished in a 5 stage premium TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum, and graphite metallic. RAL and custom color matches available. Consult your INVUE Lighting Systems Representative for more information.



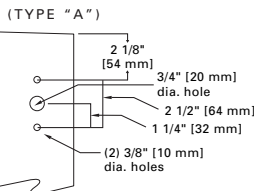
**AES
ASCENT
SITE SMALL**

42-175W
Metal Halide
High Pressure Sodium
Compact Fluorescent

**ARCHITECTURAL
AREA LUMINAIRE**

**DARK SKY
COMPLIANT** FCO Full Cutoff

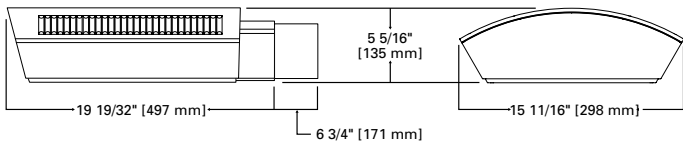
DRILLING PATTERNS



Wattage Table

	AES
Metal Halide	70, 100, 175W
High Pressure Sodium	70, 100, 150W
Compact Fluorescent	42, 57W

DIMENSIONS



Certifications

IP66 Rated	U.L. 1598	3G Vibration Tested	FCO Full Cutoff
CSA Listed	40°C Ambient	ISO 9001	

Shipping DATA (approx.)
Net Weight (lbs.): 35
Volume (cu. ft): 3.00

CARDINAL GLENN NEIGHBORHOOD

Madison, Wisconsin

Inclusionary Zoning Plan

LOT 149 TOWNHOMES

20 Market-Rate Units

- ~ Owner-Occupied
- ~ 2 & 3 Bedrooms
- ~ 2 Car Garage
- ~ Projected Sales: \$189,000 - \$209,000

4 Inclusionary Units

- ② 3 Units at 80% AMI - \$158,841
- ② 1 Unit at 70% AMI - \$139,038
- ~ Owner-Occupied
- ~ 2 Bedrooms
- ~ 2 Car Garage

24 Total Units*

South Point Road

Silicon Prairie Parkway

Cross Oak Drive

Building 1

2

2

Building 2

2

2

Building 4

Building 3

Visitor Parking

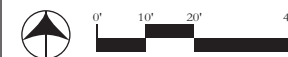
Existing Alley

Existing Single Family Homes

Overall Neighborhood Inclusionary Zoning Plan



* The Cardinal Glenn General Development Plan set the maximum unit count for lot 149 at 36 units; resulting in 6 IZ units. The proposed plans show development of 24 townhome units; resulting in 4 IZ units. The net result to the Cardinal Glenn Neighborhood is a reduction of 12 units: 10 market rate units and 2 inclusionary units.



Planning, Creating, Rebuilding
Madison & Milwaukee, Wisconsin
Vandewalle & Associates, Inc.
21 March 2007

PUD:GDP Zoning Text

Final Plat Lot Numbers:

The following districts detail the yard requirements and lot characteristics for the Planned Unit Development: General Development Plan (PUD:GDP) sections of the neighborhood

District I	Twin Homes
District II	Townhomes
District III	Multifamily Residential

TERMS AND DEFINITIONS:

Definition of Family

The definition of family shall coincide with the definition in in Section 28.03(2) Madison General Ordinances as it applies to the R4 District.

Permitted Encroachments

Front porches, balconies, stoops, open porches and covered walkways may encroach a maximum of 6' into the front yard setback.

Rear yard decks and patios may encroach a maximum of 10' into rear yard setbacks (alley access lots excluded).

Front Yard Setbacks greater than 20' must utilize a 6-8' porch encroachment.

Corner lot porches, and bay windows may not encroach the vision triangle.

Roof eaves and overhangs may project into any required setback up to 24 inches. Roof eaves and overhangs may not extend over a property line.

Garden walls or fences shall be regulated by a separate fencing guideline packet and will require approval by the Architectural Control Committee. Walls and fences located within the vision triangle shall not exceed 30" in height.

Fences located in side yards of less than 20 feet between adjoining buildings (bridging building separations) are required to be perpendicular to the property line, and must include a 46" wide gate for fire accessibility. Such fences may span the property line where use easements are in place.

Plantings or fences installed may not block site drainage or impede fire access to the building sides or rear yard.

Trash enclosure fencing shall be no more than 8' in height and will require approval by the Architectural Control Committee.



Bulk Mass

Residential massing will offer a variety of pedestrian focused street environments and will vary within the neighborhood. Street facing garages shall not exceed 50% of the total structure width for single family homes and duplexes. Houses on corner lots with garage configurations such that the primary entrance to the house faces one street while the garage faces the intersecting street (separate facade) are exempt from this clause.

Building placement will be carefully regulated so as to encourage a pedestrian environment and reinforce the street edge through a combination of reduced setbacks and parking placement. Building placements shall also be carefully regulated to maintain a pedestrian streetscape and screened parking areas.

**Accessory Building Regulations**

Accessory uses within the townhomes, and multifamily districts will be determined on a case-by-case basis as part of the Specific Implementation Plan submittals.

Building Heights

Duplex units within this neighborhood shall not exceed 35' in height.

Townhome and multi-family building heights within the neighborhood shall be set as a component of Specific Implementation Plans.

**Off-Street Parking**

Two off-street parking stalls per unit will be required for each duplex home within the neighborhood.

Parking requirements for the townhomes and multifamily buildings will be set as a component of Specific Implementation Plans.

**Floor Area Ratio**

Floor Area Ratios for districts will be set as a component of Specific Implementation Plans.

Impervious Surface Ratio

Impervious Surface Ratios for all districts will be set as a component of Specific Implementation Plans.

Usable Outdoor Open Space Requirement

Usable Outdoor Open Space Requirement for the townhome and multifamily districts will be set as a component of Specific Implementation Plans.



Vision Triangles

The vision triangle is defined by: the intersection of the curbs at the corner, and a point 30 feet back along each curb from the corner.

Fire Access

Appropriate fire department access for multifamily buildings shall be supplied within this development and may include fire access drives, reduced setbacks, restricted on-street/off-street parking areas, and fire suppression systems. Detailed access plans will be supplied as part of the Specific Implementation Plan review and approval.

Model Center

A temporary model center may be located within the neighborhood that will include temporary sales office. This use will be allowed by right within the single family districts, for the time period when sales are on-going. Upon completion of sales within the neighborhood these uses will revert back to single family homes.

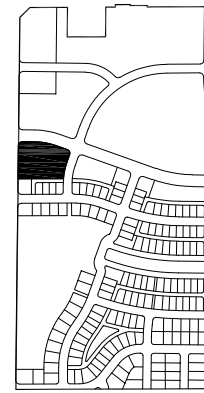


DISTRICT III: MULTI-FAMILY RESIDENTIAL

Final Plat Lot Numbers: 149

Description

The Multi-Family Residential district completes the housing options within the neighborhood and includes a full range of styles, densities, and configurations of attached housing options. Housing densities within this district will range from detached single family condominiums to town center multifamily buildings and will offer a wide range of housing options for residents of the neighborhood; as well as condominium and rental units.



District III Locations

Permitted Uses

Multi-Family Residential
 Detached, Attached, & Underground Parking

Lot Requirements

Minimum Lot Area	varies (will be set in SIP)
Minimum Lot Width	varies (will be set in SIP)
Minimum Corner Lot Width	varies (will be set in SIP)
Minimum Front Yard Setback	0 feet
Minimum Side Yard Setback	0 feet
Sum of Side Yard Setbacks	0 feet minimum
Minimum Building Separation	0 feet between adjoining lots
Minimum Paved Surface Setback	0 feet
Maximum Building Height	45 feet
Maximum Impervious Surface Ratio	varies (will be set in SIP)
Maximum Floor Area Ratio	varies (will be set in SIP)
Off-Street Parking and Loading	varies (will be set in SIP)



Cardinal Glenn

Unit Chart

	Final Plat Lot Numbers	Final Plat Residential Units	Final Plat Net Acreage	Final Plat Average Net Density DU/Acre*
R: Single Family		154	18.1	8.5
R2Z Single Family:Alley Accessed		38	3.4	11.2
45' x 80'	19, 44, 99- 118, 145-148, 150-157	34	3.0	11.2
37' x 95'	31, 37, 73, 76	4	0.4	11.2
R2Y Single Family:Alley Accessed		63	6.9	9.1
45' x 95'	20-30, 32-36, 38-43, 57- 72, 74, 75, 77- 98, 144	63	6.9	9.1
R2T Single Family:Front Accessed		53	7.8	6.8
59' x 85'	1-18, 45-56, 134- 143	40	5.6	7.2
69' x 100'	121- 133	13	2.2	5.8
PUD:GDP		60	3.9	15.3
District I Twin Homes	119, 158	4	0.5	8.2
District II Townhomes	120, 159	20	1.8	10.9
District III Multi-Family	149	36	1.6	22.6
Temporary Agriculture	OL 15	-	27.2	-
C: Conservancy			11.2	
Park	OL 12	-	5.2	-
Open Space Areas		-	6.0	-
Greenway Corridor	OL 7		1.2	
Greens	OL 1, 3, 5, 6, 8		0.5	
Storm Water Management	OL 11		4.3	
Right of Way		-	14.6	-
Street Rights of Way	-	-	12.1	-
Alley Rights of Way	OL 2, 4, 9, 10, 13, 14	-	2.5	-
Totals		214	74.9	

Cardinal Glenn

Unit Chart

Total Site Dwelling Units Per Acre	2.9
Net Dwelling Units Per Acre	3.5
Net Residential Dwelling Units Per Acre (residential acreage only)	9.7

Acreage Percentages

R: Single Family	24%
R2Z: Single Family	5%
R2Y: Single Family	9%
R2T Single Family	10%
PUD:GDP	5%
Twin Homes	1%
Townhomes	2%
Multi-Family	2%
Temporary Agriculture	36%
C: Conservancy	15%
Right of Way	19%
	100%

Unit Percentages

R: Single Family	72%
R2Z: Single Family	18%
R2Y: Single Family	29%
R2T Single Family	25%
PUD:GDP	28%
Twin Homes	2%
Townhomes	9%
Multi-Family	17%
	100%

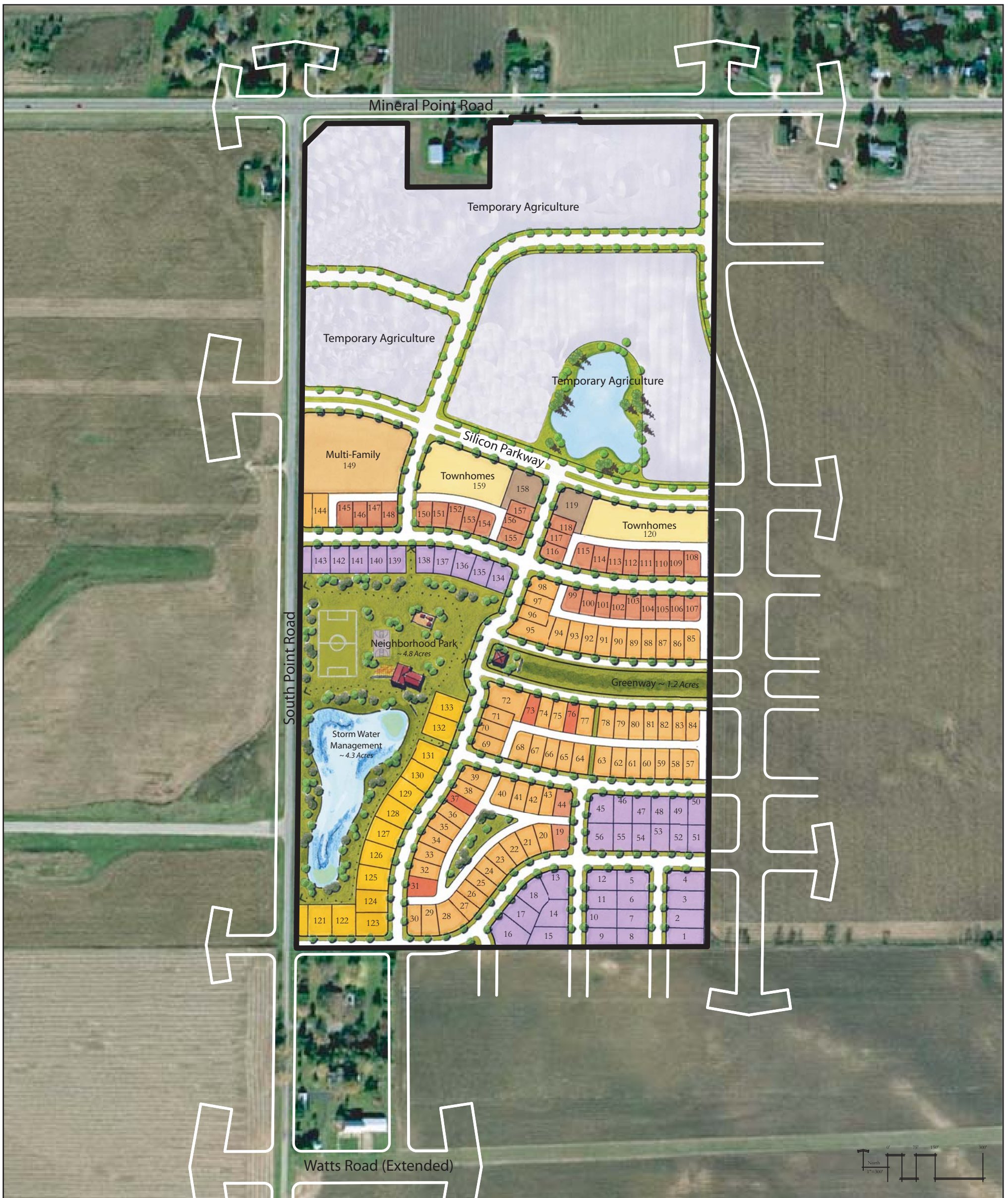
School Children Projections	Elementary	Middle	High School	
Single-Family Residential (.40/.12/.23)	62	18	35	
Twin Home Residential (.19/.05/.11)	1	0	0	
Multi-Family Residential (.11/.03/.06)	6	2	3	
	Totals	69	20	39

Park Acreage Requirements












Single Family & Duplex (1,100 sq. ft./unit)	4.0
Multi-Family (700 sq. ft./unit)	0.9
	4.9

* Average Net Density is a district wide average, some portions of each district may be above or below this net average.

*Unit allocations within districts may be slightly adjusted between lots within the district, provided that major increases in unit counts are not created



GDP Master Plan

	Single Family (Alley Accessed)	101 Units
	4 Units	
	R2Y (45' x 95')	63 Units
	Single Family (Street Accessed)	53 Units
	R2T (59' x 85')	40 Units
	R2T (69' x 100')	13 Units
	PUD-GDP	60 Units
	Employment	23.1 Acres
	Multi-Family Residential	36 Units
	Twin Homes	4 Units
	Townhome Residential	20 Units
	Conservancy	
	Parks and Open Space	10.6 Acres
	- Neighborhood Park	4.8 Acres
	- Storm Water/Greenway/Greens	5.9 Acres
	Total Units	214 Units

15% of 214 Total Units = 33 Units

- 23 Single Family Units
- 10 Multi-Family Units

Park Requirements - 5.0 Acres

- Single Family - 3.9 Acres
- Multi-Family - 1.1 Acres

Cardinal Glenn

Madison, Wisconsin



 Vandewalle & Associates
© 2005

Created: 18 February 2004
Recording Set: 1 June 2005
Revised: 7.13.05, 8.18.05



Zoning Plan

Cardinal Glenn

Madison, Wisconsin

