



City of Madison Fire Department

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Project Address: 817-821 Williamson St.

Contact Name & Phone #: Kevin Burow 608-836-3690

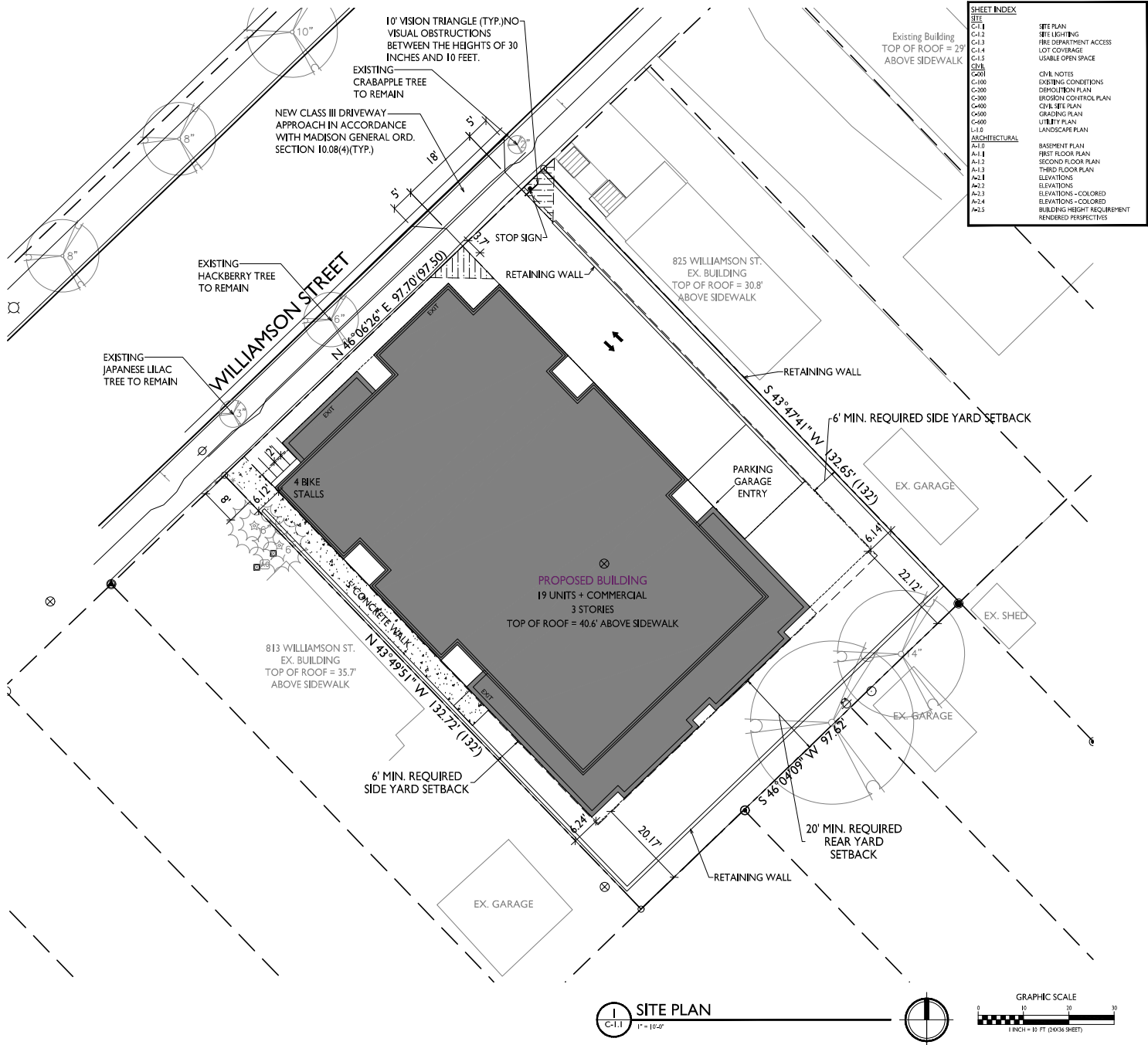
FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? It is covering one entire side but is shy of the 25% b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) will be buried e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A

Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.



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SITE DEVELOPMENT DATA	
ZONING	TSS (TRADITIONAL SHOPPING STREET DISTRICT) HS-TL (THIRD LAKE RIDGE HISTORIC DISTRICT)
DENSITIES	12,870 S.F./29 ACRES 19 UNITS 67 S.F./UNIT 66 UNITS/ACRE
USABLE OPEN SPACE	PROVIDED: 3,020 S.F. (10.3%) REQUIRED: 3,020 S.F. (10.3%)
BUILDING HEIGHT	PROVIDED: 3 STORIES @ 40.3' ALLOWED WITH CONDITIONAL USE (DR0805)(C): 3 STORIES
COMMERCIAL AREA	775 S.F.
GROSS FLOOR AREA	26,776 S.F. (INCL. BASEMENT)
FLOOR AREA RATIO	2.08
DWELLING UNIT MIX:	
EFFICIENCY	7
ONE BEDROOM	0
TWO BEDROOM	8
TOTAL	15 DWELLING UNITS

VEHICLE PARKING STALLS	
UNDERGROUND GARAGE	17 STALLS
PARKING RATIO	.89 STALLS/UNIT

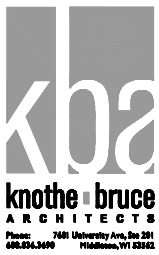
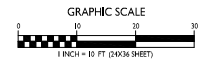
BIKE PARKING	
GARAGE CONCRETE (2X6 FLOOR MOUNT)	20
SURFACE GUEST	1
TOTAL	21 BIKE STALLS

ZONING REQUIREMENTS	
BIKE STALLS	22 BIKE STALLS

- GENERAL NOTES:**
- THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT AFFECTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DEGRADABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
 - ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
 - ALL DAMAGE TO THE PAVEMENT ON CITY STREETS AND ADJACENT TO THE DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
 - ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE AFFECTED NEIGHBORHOODS DISTRICT BE AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
 - AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, NO EXCAVATIONS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (262-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: <https://www.cityofmadison.com/business/pw/specs.cfm>
 - CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DAMAGE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREES. THIS MAY REQUIRE USING SMALLER EQUIPMENT AND CHANGING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 262-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
 - SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
 - ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERRECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
 - STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
 - APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTRY (262-4816).
 - THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NOTICES SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANT'S EXPENSE UPON NOTIFICATION BY THE CITY.

BIKE RACKS:	
	INTERIOR & EXTERIOR FLOOR MOUNTED: "INVERTED U" TYPE, MADRAX UX OR SARIS BIKE DOCK

SITE PLAN
C-1.1
1" = 10'-0"



ISSUED
Issued for Land Use Submittal - May 6, 2020
Issued for Landmarks - August 04, 2020
Issued for Land Use Submittal - August 17, 2020
Issued for Land Use Submittal - November 16, 2020

PROJECT TITLE
John Fontain
Development

817-821 Williamson St
Madison, Wisconsin
SHEET TITLE
Site Plan

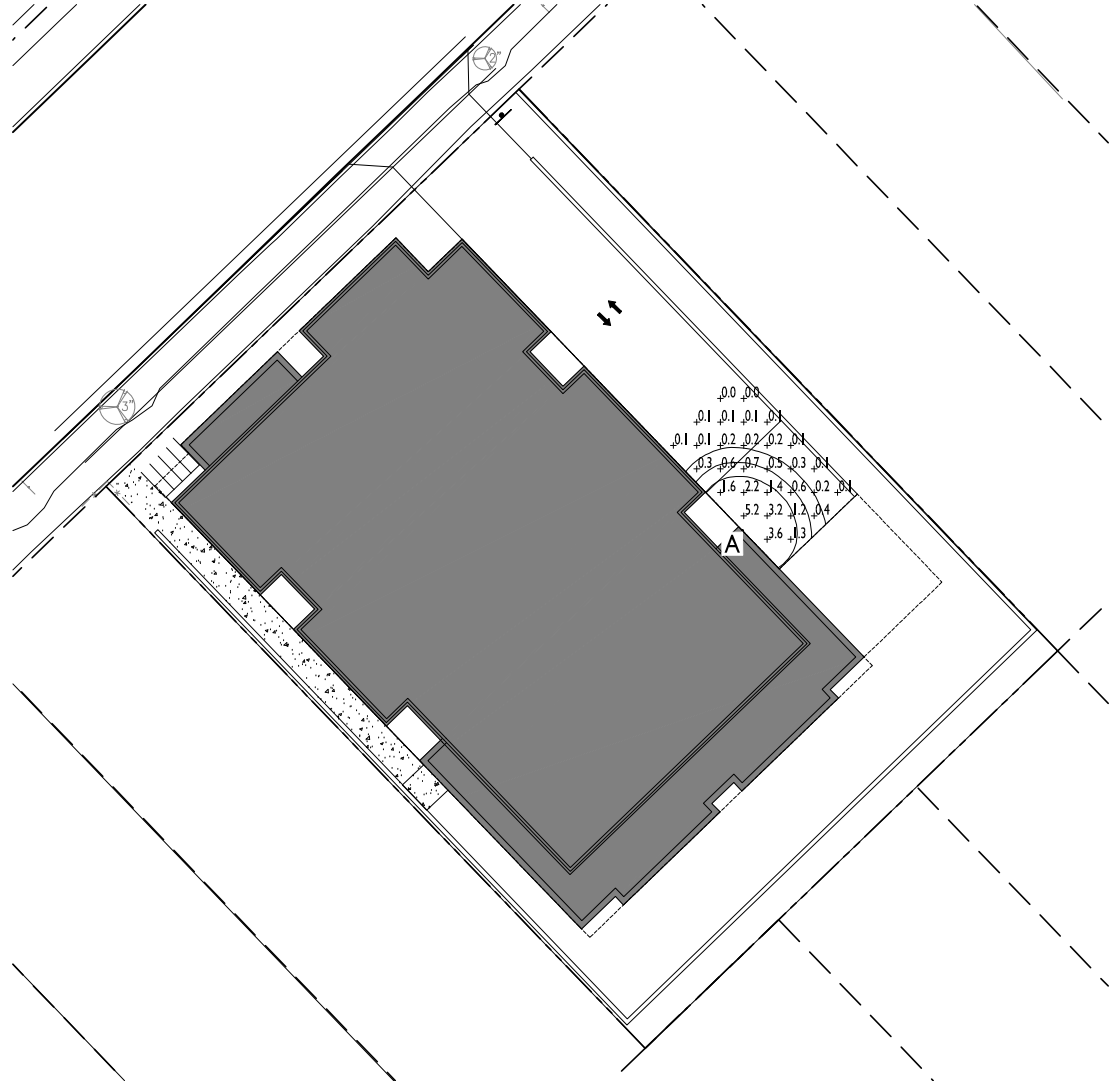
SHEET NUMBER
C-1.1
PROJECT NO. 2003
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STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
Parking Garage Entrance Lighting	+	0.8 fc	5.2 fc	0.0 fc	N/A	N/A

LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE	MOUNTING
□	A	1	LITHONIA LIGHTING	LJL LED 30K MVOLT	LJL LED WALLPACK (STANDARD)	LJL_LED_30K_MVOLT.lis	8'-0" ABOVE GRADE ON BUILDING

EXAMPLE LIGHT FIXTURE DISTRIBUTION

ISOLUX CONTOUR = 0.25 FC
 ISOLUX CONTOUR = 0.5 FC
 ISOLUX CONTOUR = 1.0 FC
 LIGHT FIXTURE



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 Issued for Land Use Submittal - November 16, 2020

PROJECT TITLE
**John Fontain
 Development**

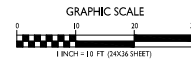
817-821 Williamson St
 Madison, Wisconsin
 SHEET TITLE
Site Lighting Plan

SHEET NUMBER

C-1.2

PROJECT NO. **2003**
 © Knothe & Bruce Architects, LLC

1 SITE LIGHTING PLAN
 C-1.2 1" = 10'-0"



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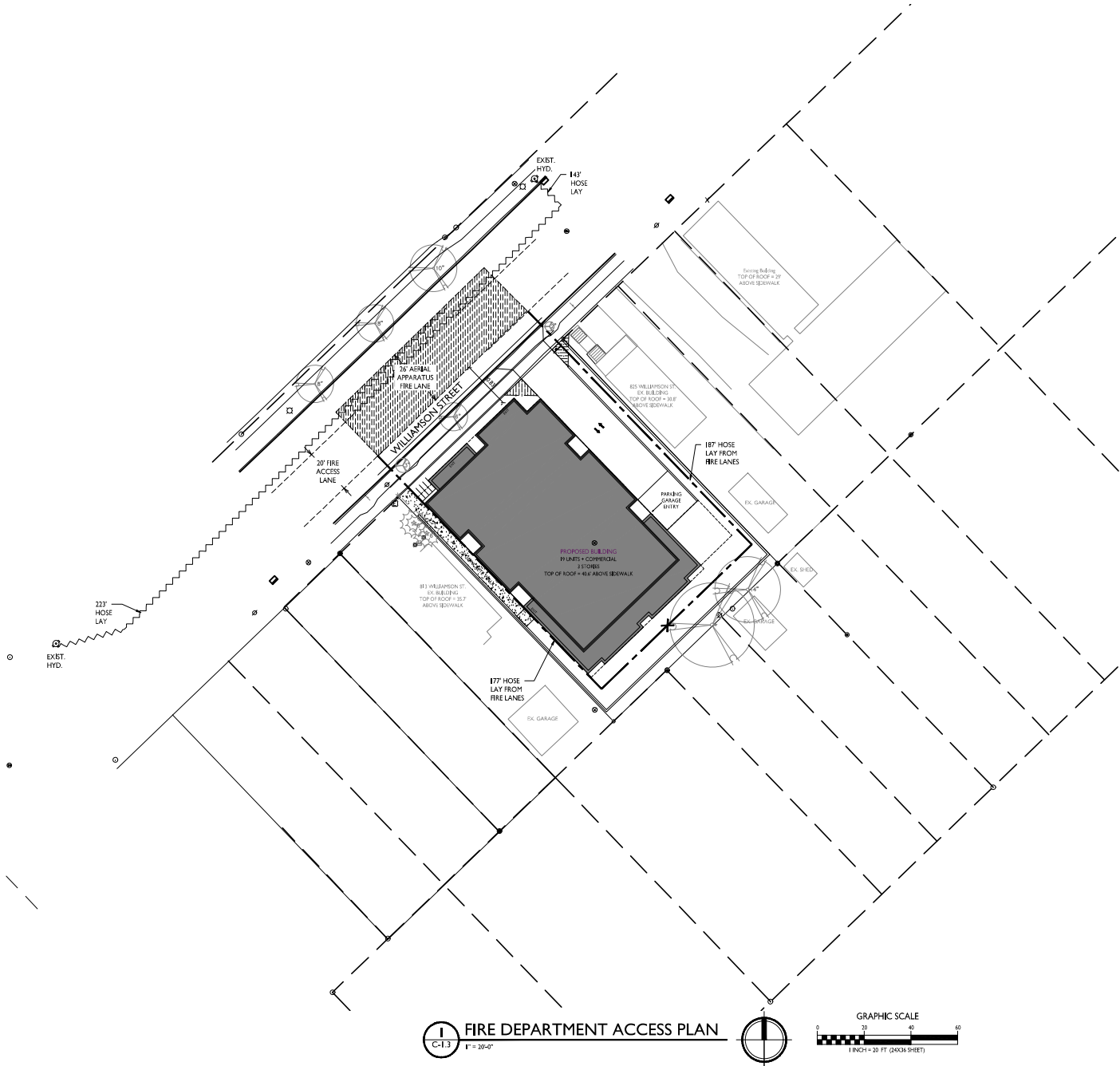
PROJECT TITLE
 John Fontain
 Development

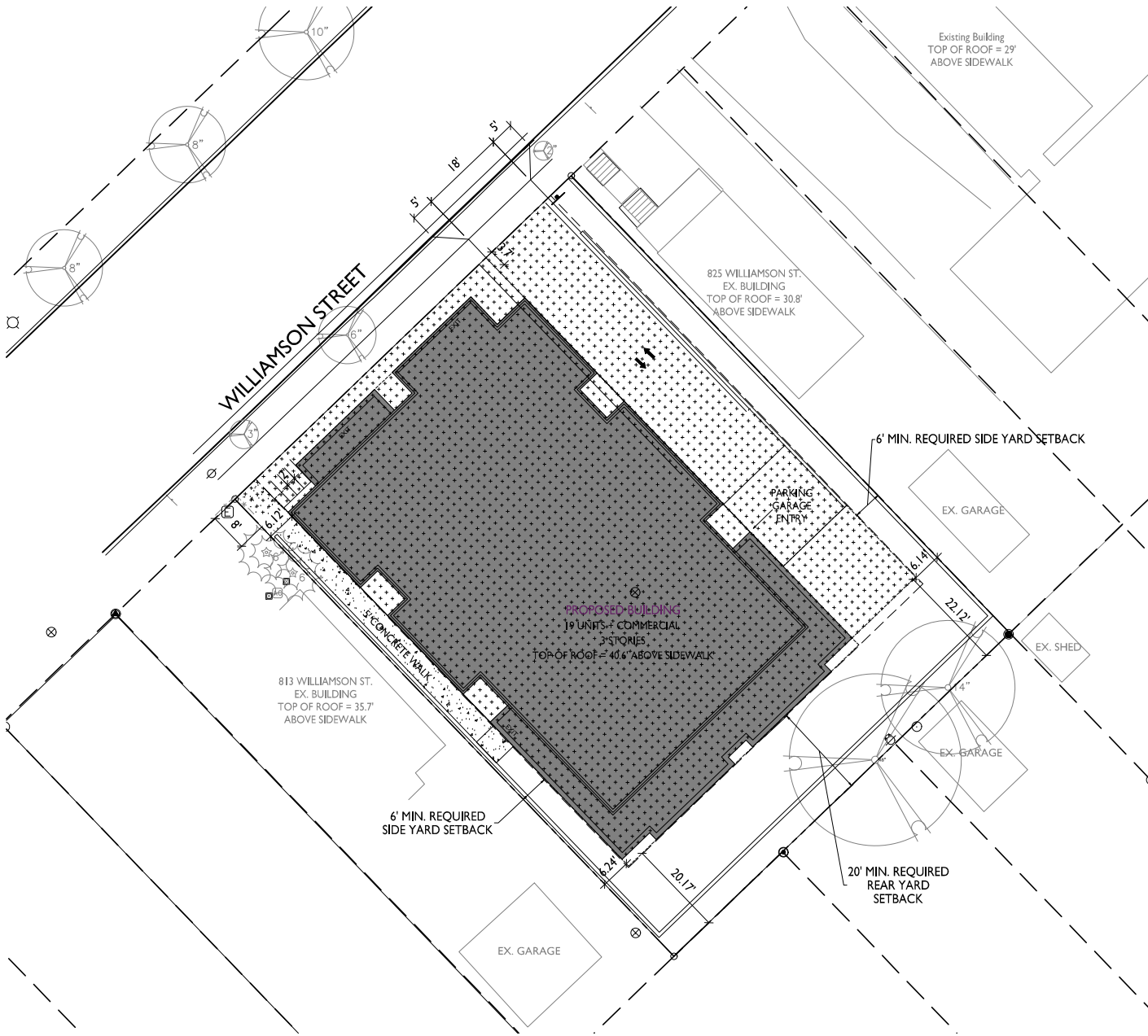
817-821 Williamson St
 Madison, Wisconsin
SHEET TITLE
 Fire Department
 Access Plan

SHEET NUMBER

C-I.3

PROJECT NO. 2003
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LOT COVERAGE	
ZONING: TSS - TRADITIONAL SHOPPING STREET DISTRICT	
TOTAL LOT AREA	12,870 S.F.
MAX. ALLOWED	10,940 S.F. (85%)
PROPOSED LOT COVERAGE	9,513 S.F. (74%)



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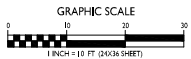
PROJECT TITLE
**John Fontain
 Development**

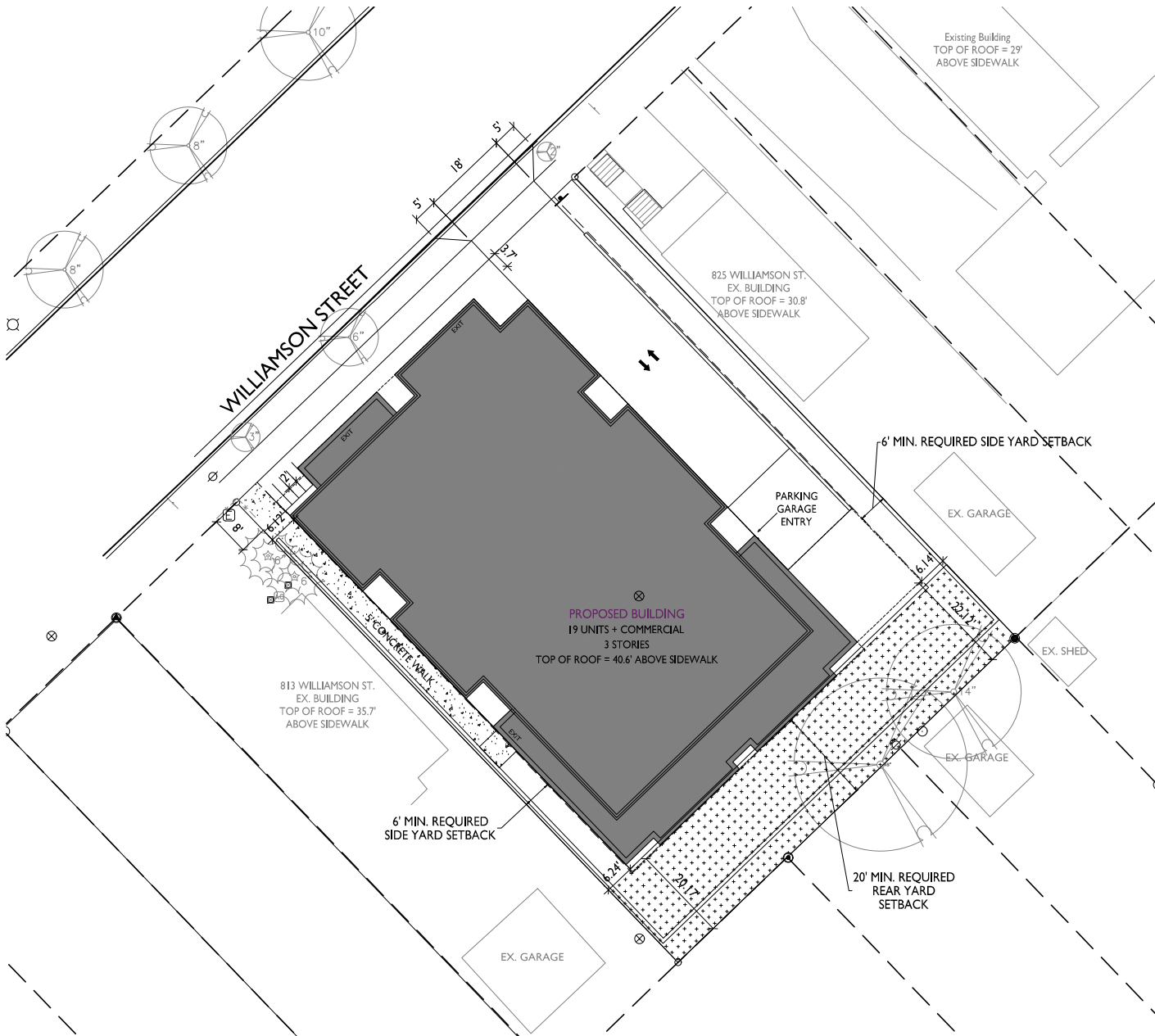
817-821 Williamson St
 Madison, Wisconsin
 SHEET TITLE
Lot Coverage

SHEET NUMBER

C-1.4
 PROJECT NO. **2003**
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LOT COVERAGE
 1" = 10'-0"





USABLE OPEN SPACE	
ZONING: TSS - TRADITIONAL SHOPPING STREET DISTRICT	
OPEN SPACE REQUIREMENT	40 S.F. / UNIT
DWELLING UNITS	24
	960 S.F. REQUIRED
OPEN SPACE PROVIDED	
BALCONIES (18) =	984 S.F.
SURFACE	2,036 S.F.
TOTAL	3,020 S.F. PROVIDED



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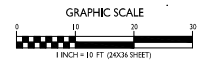
PROJECT TITLE
 John Fontain
 Development

817-821 Williamson St
 Madison, Wisconsin
 SHEET TITLE
 Usable Open
 Space

SHEET NUMBER

C-1.5
 PROJECT NO. 2003
 © Knothe & Bruce Architects, LLC

1 USABLE OPEN SPACE
 C-1.5 1" = 10'-0"



NOT FOR CONSTRUCTION

GENERAL NOTES:

- 1. ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
3. CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
4. ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPAIRED IN KIND PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
5. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION PLAN OF THE CITY.
6. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4818) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 07.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION http://www.cityofmadison.com/business/pw/documents/stdspecs/2018part1.pdf. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.

DEMOLITION NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES OF ALL STRUCTURES, PARTS, WALLS, FILLS, FOUNDATIONS, PARKING DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY FOR ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE DEVELOPER IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
5. ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUDED IF UNDERBUILDINGS.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION TO UTILITY SERVICE.
7. CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, COVERED WALKWAYS, ETC. CONTRACTOR SHALL SUBMIT THEIR STREET OCCUPANCY PLAN TO TRAFFIC ENGINEERING FOR APPROVAL.
8. PRIOR TO DEMOLITION OCCURRING, ALL APPLICABLE EROSION CONTROL DEVICES ARE TO BE INSTALLED.
9. THE CONTRACTOR MAY LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS. BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR IN KIND.
10. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
11. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.

SITE PLAN NOTES:

- 1. PAVEMENT DESIGN SHALL BE PER THE RECOMMENDATION OF THE SOILS CONSULTANT.
2. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
3. TRAFFIC CONTROL SIGNAGE SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, COUNTY, CITY, AND LOCAL CODE, WHICHEVER HAS JURISDICTION.
4. CITY SIDEWALK AND CURB DAMAGED IN THE COURSE OF CONSTRUCTION TO BE REPLACED PER GRADING PLAN AND PER CITY OF MADISON STANDARD SPECIFICATIONS.
5. NEW APRONS SHALL BE CONSTRUCTED AND PLACED IN CONFORMANCE WITH THE CITY OF MADISON STANDARD DETAIL 3.02 FOR COMMERCIAL OPENINGS.

GRADING PLAN NOTES:

- 1. ALL GRADES ARE FINISH ELEVATION UNLESS NOTED OTHERWISE.

EROSION CONTROL NOTES/SPECIFICATIONS

- 1. EROSION CONTROL DEVICES AND/OR STRUCTURES SHALL BE INSTALLED PRIOR TO CLEARING AND GRUBBING OPERATIONS. THESE SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS RE-ESTABLISHED.
2. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE THE RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
3. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN IS PRODUCED. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS. INSPECTION SCHEDULE AND RECORD KEEPING SHALL COMPLY WITH NR 216.46(9), WIS. ADM. CODE AND CITY OF MADISON REPORTING REQUIREMENTS.
4. CONSTRUCTION ENTRANCES - PROVIDE A STONE TRACKING PAD AT EACH POINT OF ACCESS. INSTALL ACCORDING TO WDNR STANDARD 1057. REFER TO WDNR'S STORMWATER WEB PAGE OF TECHNICAL STANDARDS AT HTTP://DNR.WI.GOV/TO/IC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML. THE TRACKING PAD MUST BE MAINTAINED IN A CONDITION THAT PREVENTS THE TRACKING OF MATERIAL ONTO THE PUBLIC STREET.
5. TEMPORARY STABILIZATION USING ANIONIC POLYMER - AFTER NOVEMBER 1, 2020, ANIONIC POLYACRYLAMIDE WILL BE APPLIED TO ALL DISTURBED AREAS WHERE THE MUNICIPALITY'S ENGINEER OR WDNR REPRESENTATIVES DEEM STABILIZATION AND/OR EROSION TO BE PROBLEMATIC. APPLICATION OF POLYACRYLAMIDE WILL BE ACCORDING TO WDNR CONSERVATION PRACTICE STANDARD 1050. EROSION CONTROL AND APPLICATION OF ANIONIC POLYACRYLAMIDE - REFER TO WDNR'S STORMWATER WEB PAGE OF TECHNICAL STANDARDS AT: HTTP://DNR.WI.GOV/TO/IC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML.
6. SOIL STOCKPILES - A ROW OF SILT FENCE PLACED DOWN-SLOPE AND AT LEAST 10 FEET AWAY FROM THE STOCKPILE SHALL PROTECT ALL STOCKPILES. SOIL STOCKPILES THAT ARE INACTIVE FOR MORE THAN 14 CONSECUTIVE DAYS SHALL BE STABILIZED WITH SEED & MULCH. EROSION MAT, POLYMER, OR COVERED WITH TARP OR SIMILAR MATERIAL. NO STOCKPILE SHALL BE PLACED WITHIN 20 FEET OF A DRAINAGE WAY.
7. DEWATERING - WATER PUMPED FROM THE SITE SHALL BE TREATED BY USING A TEMPORARY SEDIMENTATION BASIN, PORTABLE DEWATERING BASIN, GEOTEXTILE BAG, OR AN EQUIVALENT DEVICE. SHOW ON THE PLAN THE ANTICIPATED LOCATIONS OF DEWATERING ACTIVITY, AND PROVIDE AN ENGINEERING DETAIL OF THE DEWATERING SYSTEM. DEVICES SHALL COMPLY WITH WDNR TECHNICAL STANDARD 1061 FOUND AT: HTTP://DNR.WI.GOV/TO/IC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML. THIS WATER SHALL BE DISCHARGED IN A MANNER THAT DOES NOT NOTICE EROSION OF THE SITE OR ADJACENT PROPERTY.
PUMP SIZE (MAX GPM) TYPE I BAG SIZE (SQ-FT)
90 25
100 50
150 75
8. STORM SEWER INLETS - PROVIDE WDOT TYPE D "CATCHALL" INLET PROTECTION OR EQUIVALENT. REFER TO WDOT PRODUCT ACCEPTABILITY LIST AT: HTTP://WWW.DOT.WISCONSIN.GOV/BUSINESS/ENGR/SERVICES/PAL_HTML. INLET PROTECTION SHALL BE INSTALLED PRIOR TO THE STORM SEWER SYSTEM RECEIVING SITE RUNOFF. OTHER THAN FOR PERFORMING MAINTENANCE, THESE DEVICES SHALL NOT BE REMOVED UNTIL SITE STABILIZATION IS COMPLETE.
9. BUILDING AND WASTE MATERIALS SHALL BE PREVENTED FROM RUNNING OFF THE SITE AND ENTERING WATERS OF THE STATE IN CONFORMANCE WITH NR 151.13(6M).
10. NO SOLID MATERIAL SHALL BE DISCHARGED OR DEPOSITED INTO WATERS OF THE STATE IN VIOLATION OF CH. 30 CR 31 OF THE WISCONSIN STATE STATUTES OR 30 USC 344 PERMITS.
11. EROSION CONTROL DEVICES SHALL ADHERE TO THE TECHNICAL STANDARDS FOUND AT: HTTP://DNR.WI.GOV/RUNOFF/STORMWATER/TECHSTDS.HTM AND COMPLY WITH ALL CITY OF MADISON ORDINANCES.
12. ALL DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE SWEEPED OR SCRAPED CLEAN BY THE END OF EACH WORKDAY.
13. ALL BUILDING AND WASTE MATERIAL SHALL BE HANDLED PROPERLY TO PREVENT RUNOFF OF THESE MATERIALS OFF OF THE SITE.
14. ALL DISTURBED AREAS, EXCEPT PAVED AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED, AND MULCH. SEED MIXTURES SHALL BE SELECTED APPROPRIATE TO THE ANTICIPATED FUNCTION. A QUALIFIED LANDSCAPING CONTRACTOR, LANDSCAPE ARCHITECT, OR NURSERY CAN BE CONSULTED FOR RECOMMENDATIONS. SEEDING RATES SHALL BE BASED ON POUNDS OR OUNCES OF PURE LIVE SEED PER ACRE AND SHALL BE PROVIDED BY THE SEED SUPPLIER. FERTILIZER CAN BE APPLIED TO HELP PROMOTE GROWTH BUT A SOIL TEST IS RECOMMENDED TO DETERMINE THE TYPE AND AMOUNT OF FERTILIZER TO BE APPLIED. ALL SEEDING AND RESTORATION SHALL BE IN CONFORMANCE TO WDNR TECHNICAL STANDARD 1059 FOUND AT HTTP://DNR.WI.GOV/TO/IC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML. SEEDING AND SOODING MAY ONLY BE USED FROM MAY 1ST TO SEPTEMBER 15TH OF ANY YEAR. TEMPORARY SEED SHALL BE USED AFTER SEPTEMBER 15. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
15. FOR THE FIRST SIX (6) WEEKS AFTER THE INITIAL STABILIZATION OF A DISTURBED AREA, WATERING SHALL BE PERFORMED WHENEVER MORE THAN SEVEN (7) DAYS OF DRY WEATHER ELAPSE.

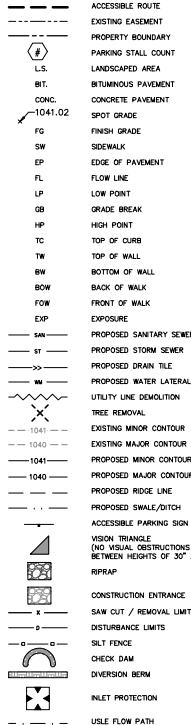
EMERGENCY CONTACT

BRANDON COOK
JOHN FONTAIN REALTY
P O BOX 884
MADISON, WI 53701
608-807-8882

SCHEDULE

Table with 2 columns: DATE and DESCRIPTION. Includes entries for MAY 1, 2021 (SILT FENCE AND CONSTRUCTION ENTRANCE INSTALLED), MAY 2, 2021 (EXISTING BUILDING DEMOLITION START), MAY 30, 2021 (BUILDING EXCAVATION COMPLETE), AUGUST 30, 2021 (INSTALL MULCH ON DISTURBED AREAS OUTSIDE OF BUILDING FOOTPRINT), SEPTEMBER 20, 2021 (BUILDING COMPLETE), SEPTEMBER 28, 2021 (PLACE ASPHALT).

LEGEND



SHEET LIST TABLE with columns SHEET NUMBER and SHEET TITLE. Includes rows for C001 CIVIL DETAILS, C100 EXISTING CONDITIONS, C300 EROSION CONTROL, C400 CIVIL SITE PLAN, C500 GRADING PLAN, C600 UTILITY PLAN.

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Bureau Engineering Inc. logo and contact information: 280 International Lane, Suite 010, Madison, WI 53704, Phone: 608-251-0933, Fax: 608-250-0930, e-mail: mburaw@bureaueng.com, www.bureaueng.com

Professional Engineer seal for John Fontain Realty, P.O. Box 899, Madison, WI 53701. License No. 11122020.

REVISIONS TABLE with columns NO., DATE, DESCRIPTION, and APPROVED BY.

ISSUE DATES table with columns DATE and DESCRIPTION.

CIVIL DETAILS section with DRAWING NUMBER C001.

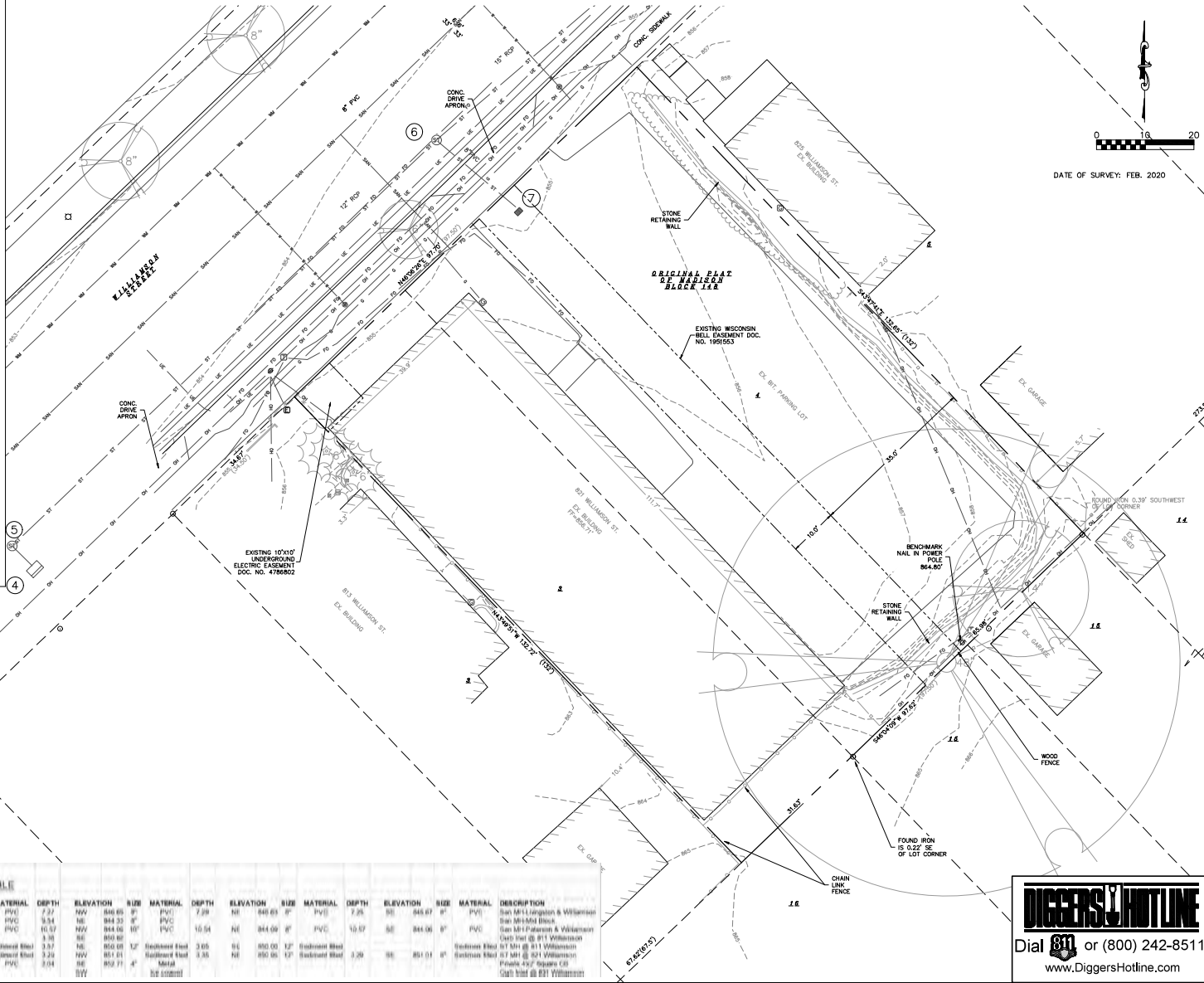
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Printed: Nov 13, 2020 - 9:18am Plotted By: Barry

NOT FOR CONSTRUCTION

- LEGEND**
- MAG NAIL SET
 - 3/4" SOLID IRON ROD FOUND
 - 1" IRON PIPE FOUND UNLESS NOTED
 - × FOUND CHISELED "X" IN CONCRETE
 - FOUND NAIL
 - 3/4" x 18" SOLID IRON RE-ROD SET, WT. 1.50 lb./ft.
 - × 851.2 SPOT ELEVATION
 - OVERHEAD UTILITY WIRE
 - BURIED GAS LINE
 - WATER MAIN
 - SANITARY SEWER
 - STORM SEWER
 - BURIED TELEPHONE
 - BURIED ELECTRIC
 - BURIED CABLE ACCESS TELEVISION LINE
 - BURIED FIBER OPTIC
 - WATER VALVE
 - GAS VALVE
 - GAS METER
 - AIR CONDITIONER
 - TV PEDESTAL
 - ELECTRIC PEDESTAL
 - UTILITY POLE
 - LIGHT POLE
 - GROUND LIGHT
 - TELEPHONE PEDESTAL
 - FIRE HYDRANT
 - SIGN
 - GUY WIRE
 - MAILBOX
 - BOLLARD
 - STORM SEWER INLET
 - ELECTRIC MANHOLE
 - TELEPHONE MANHOLE
 - STORM SEWER MANHOLE
 - ROUND CATCH BASIN
 - SANITARY SEWER MANHOLE
 - DECIDUOUS TREE (DBH IN INCHES)
 - CONIFEROUS TREE (DBH IN INCHES)
 - () INDICATES RECORDED AS
- DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.

ALL OF LOT 4 AND PART OF LOT 3, BLOCK 148, ORIGINAL PLAT OF MADISON, AS RECORDED IN VOLUME A OF PLATS, ON PAGE 3, DANE COUNTY REGISTRY, LOCATED IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



Burse
Surveying and Engineering, Inc.
2801 International Lane, Suite 101
Madison, WI 53704
Phone: (608) 251-0303
Fax: (608) 251-0300
e-mail: mburse@bise.net
www.burseengineering.com

APPROVAL	DATE
PROJECT MGR.	
DESIGNER	
CHECKED BY	
INCHARGE ENGINEER	
PROJECT	
DATE	

Williamson Street
8172521 Williamson Street
Madison, WI 53703
John Fountain Realty
P.O. Box 699
Madison, WI 53701

PROJECT #	BSE0240
PLOT DATE	11/12/2020
REVISION DATES:	
ISSUE DATES:	11/12/2020

EXISTING CONDITIONS

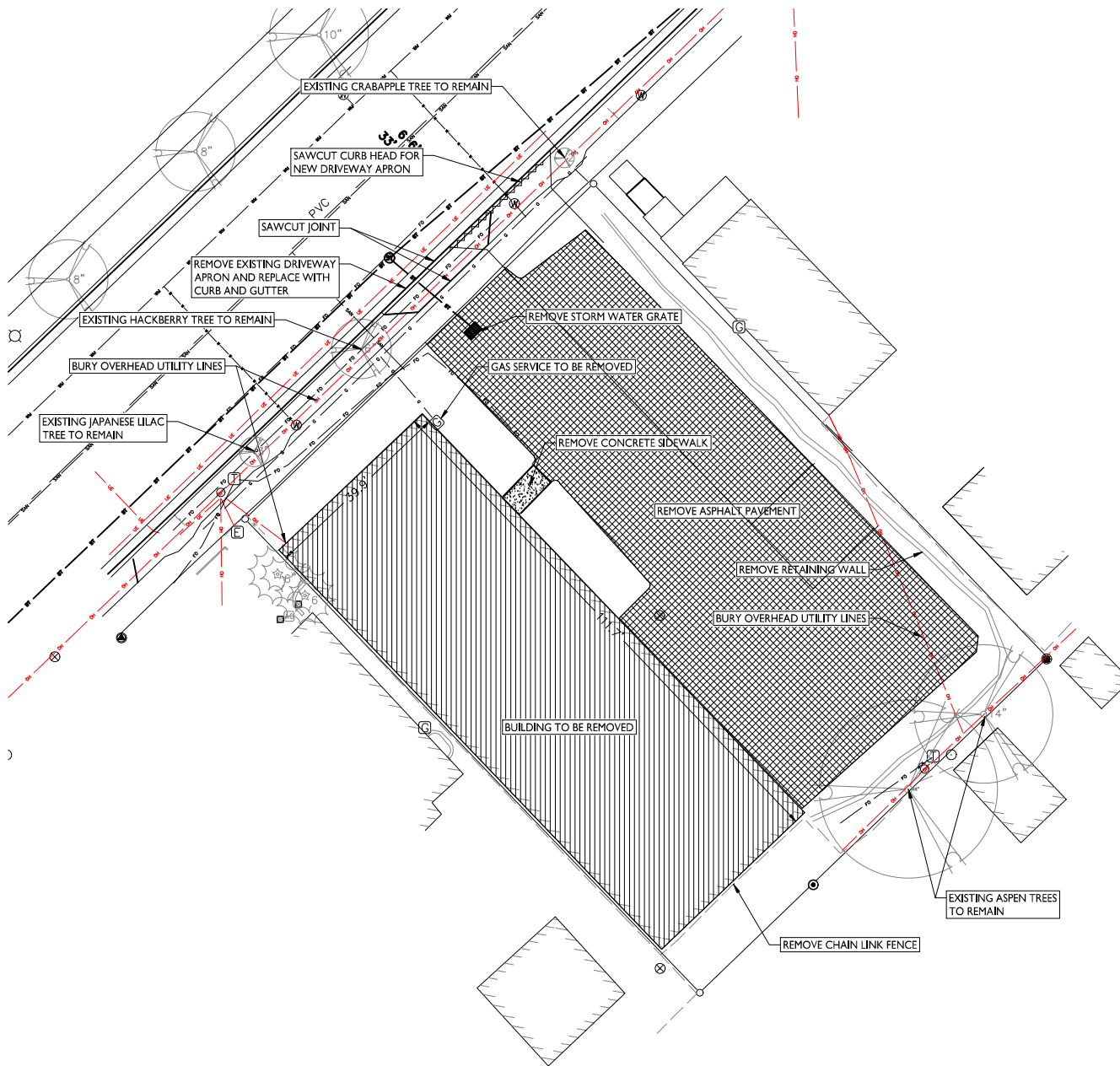
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DRAWING NUMBER
C100

Williamson
SEWER STRUCTURE ELEVATION TABLE

NUMBER	RIM TO	DEPTH	ELEVATION	SIZE	MATERIAL	DEPTH	ELEVATION	SIZE	MATERIAL	DEPTH	ELEVATION	SIZE	MATERIAL	DEPTH	ELEVATION	SIZE	MATERIAL	DESCRIPTION
1	803.02	7.21	SW	848.81	8"	PVC	7.21	NW	848.88	8"	PVC	7.28	NE	848.63	8"	PVC		San M-I (L) Leggett & Williamson San M-I-MI Block
2	803.87	8.53	SW	844.34	8"	PVC	8.54	NE	844.33	8"	PVC	7.28	SE	848.87	8"	PVC		San M-I (L) Leggett & Williamson San M-I-MI Block
3	804.83	10.05	SW	844.78	8"	PVC	10.07	NW	844.88	8"	PVC	10.04	NE	844.08	8"	PVC		San M-I (L) Leggett & Williamson San M-I-MI Block
4	804.18	4.03	NW	809.15			3.98	NE	809.80									San M-I (L) Leggett & Williamson San M-I-MI Block
5	803.68	3.08	SW	800.60			3.07	NE	800.08	12"	Reinforced Block	3.05	SE	800.00	12"	Reinforced Block		San M-I (L) Leggett & Williamson San M-I-MI Block
6	804.38	3.20	SW	801.18	12"	Reinforced Block	3.20	NW	801.01	12"	Reinforced Block	3.35	NE	800.00	12"	Reinforced Block		San M-I (L) Leggett & Williamson San M-I-MI Block
7	804.78	3.30	NW	801.47	8"	PVC	3.04	NE	802.71	4"	Manhole							San M-I (L) Leggett & Williamson San M-I-MI Block
8	803.80	2.00	SW	801.80				SW										San M-I (L) Leggett & Williamson San M-I-MI Block

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DEMOLITION PLAN LEGEND

	CURB & GUTTER REMOVAL
	ASPHALT REMOVAL
	CONCRETE REMOVAL
	BUILDING REMOVAL
	SAWCUT
	UTILITY STRUCTURE REMOVAL
	UTILITY LINE REMOVAL
	TREE REMOVAL

ISSUED
 Based for Land Use Submittal - May 6, 2020
 Based for Land Use Submittal - November 16, 2020

PROJECT TITLE
**John Fontain
 Development**

817-821 Williamson St
 Madison, Wisconsin
 SHEET TITLE
Demolition Plan



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER THEY ARE SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

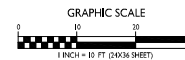
SHEET NUMBER

C- 200

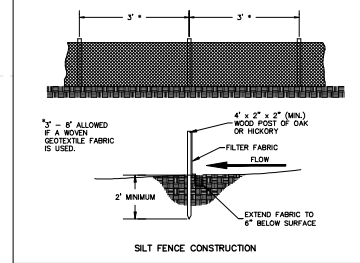
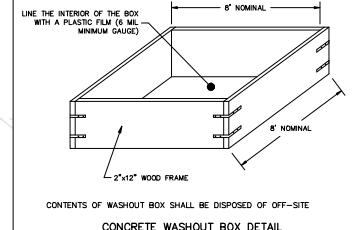
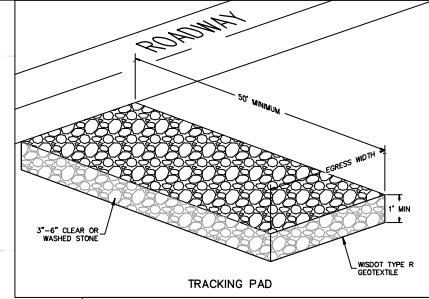
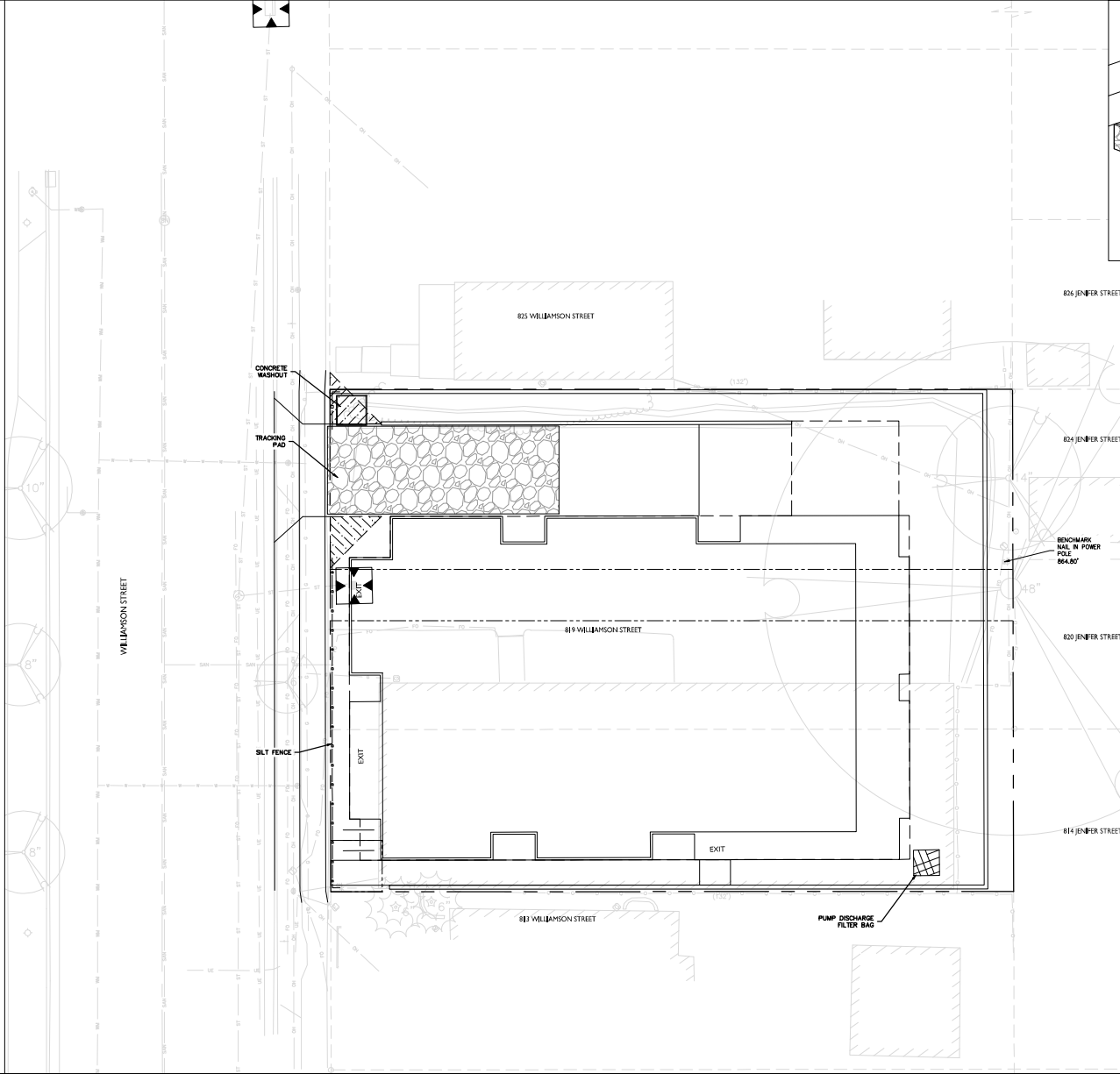
PROJECT NO. **2003**

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DEMOLITION PLAN
 C-200 1" = 10'-0"



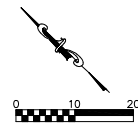
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e-mail: blair@burse.net
www.burseurveying.com

APPROVAL:	DATE:
SCALE:	DATE:
DESIGNED BY:	DATE:
CHECKED BY:	DATE:
PROJECT:	DATE:

Williamson Street
817/821 Williamson Street
Madison, WI 53703

John Fountain Realty
P.O. Box 899
Madison, WI 53701

PROJECT # BSE0240
PLOT DATE: 11/12/2020

REVISION DATES:

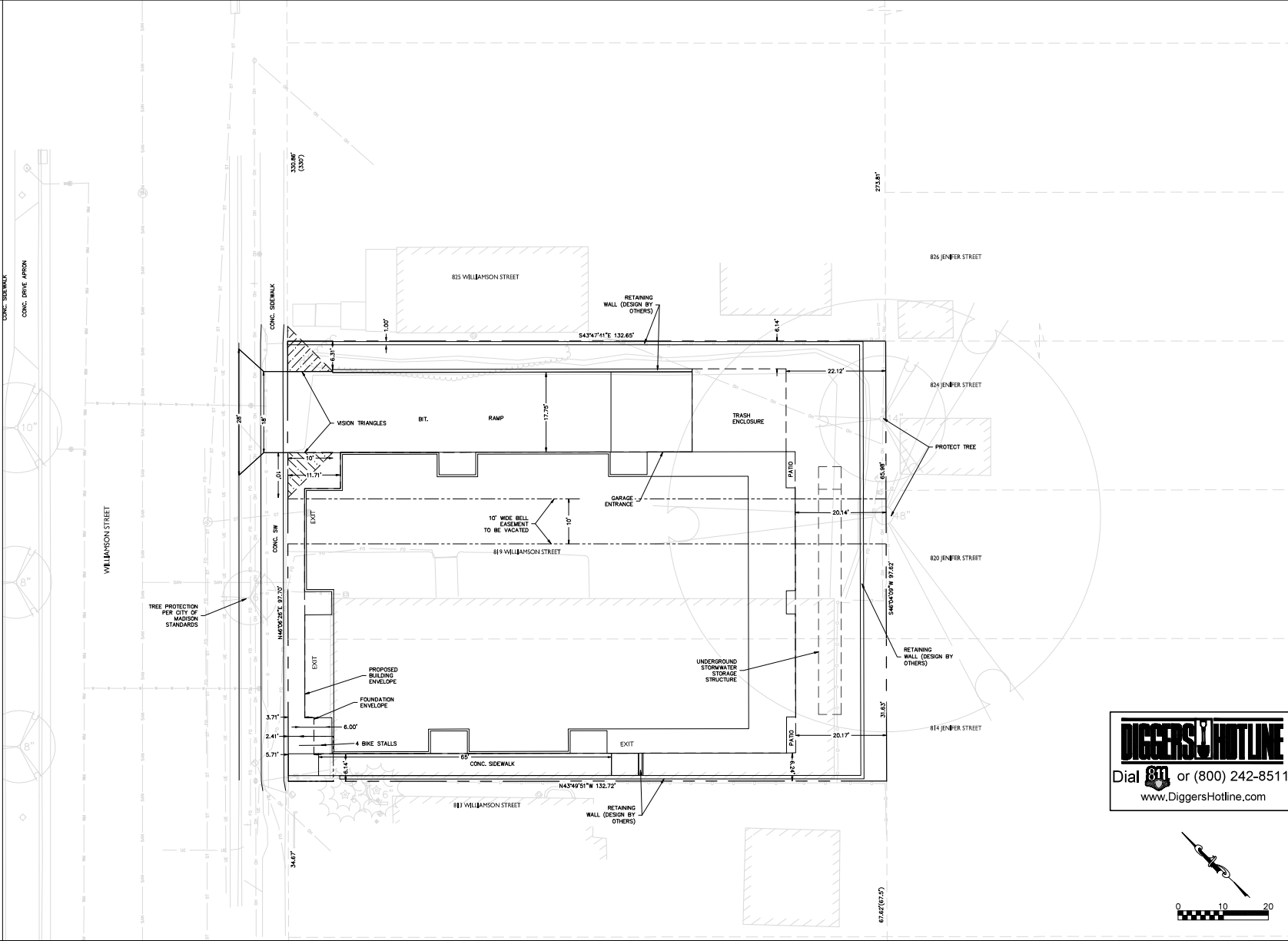
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M.E.	
PROJECT	
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PROJECT	
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Williamson Street
 817/821 Williamson Street
 Madison, WI 53703
John Fountain Realty
 P.O. Box 694
 Madison, WI 53701

PROJECT # BBE2240
 PLOT DATE: 11/12/2020

REVISION DATES:

ISSUE DATES:

CIVIL SITE PLAN

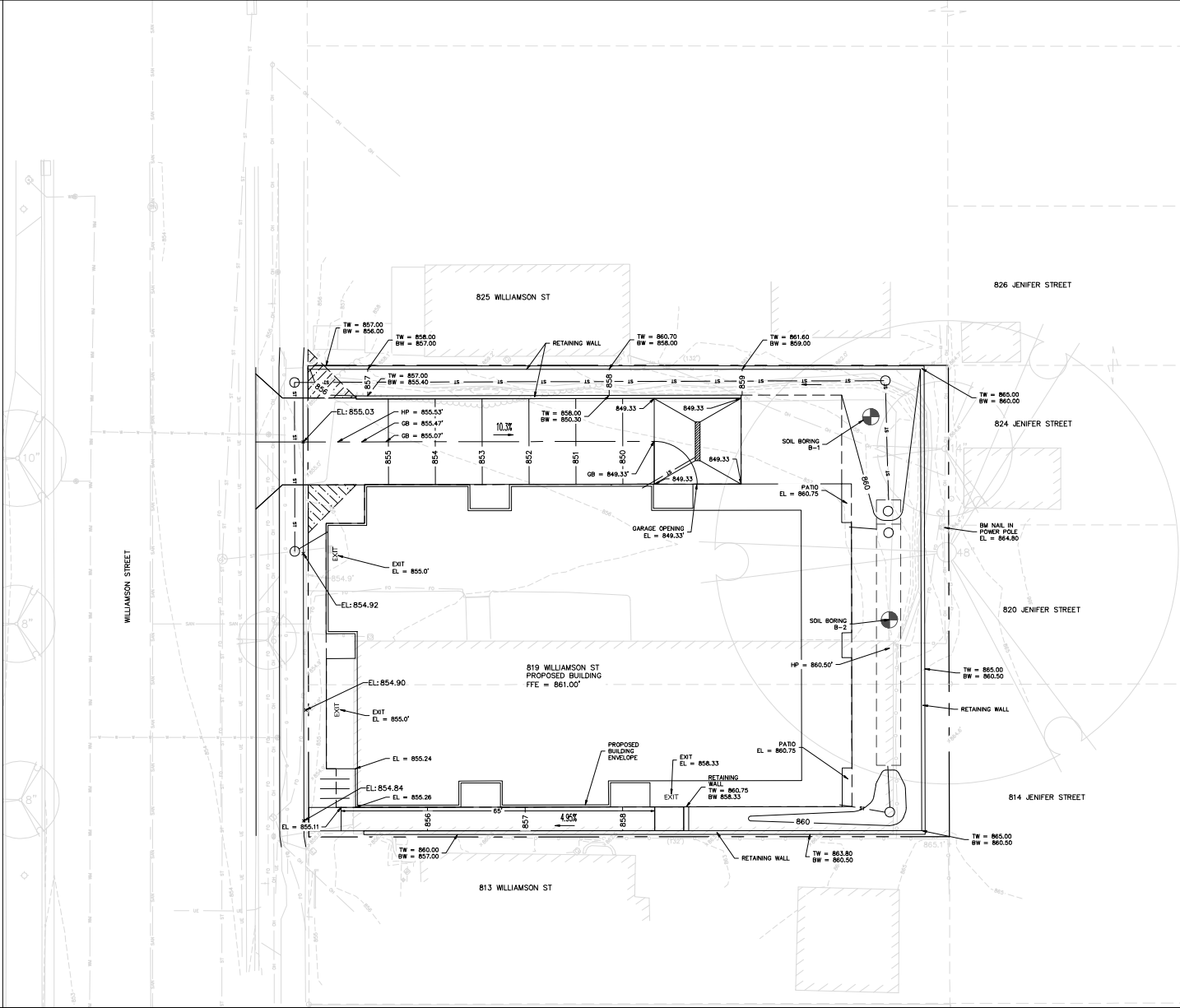
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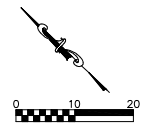
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PROJECT MGR	11/12/2020
DESIGNER	
CHECKER	
REGISTERED PROFESSIONAL	
DATE	

Williamson Street
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 Madison, WI 53703
John Fountain Realty
 P.O. Box 699
 Madison, WI 53701

PROJECT # B8E0240
 PLOT DATE: 11/12/2020

REVISION DATES:

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GRADING PLAN

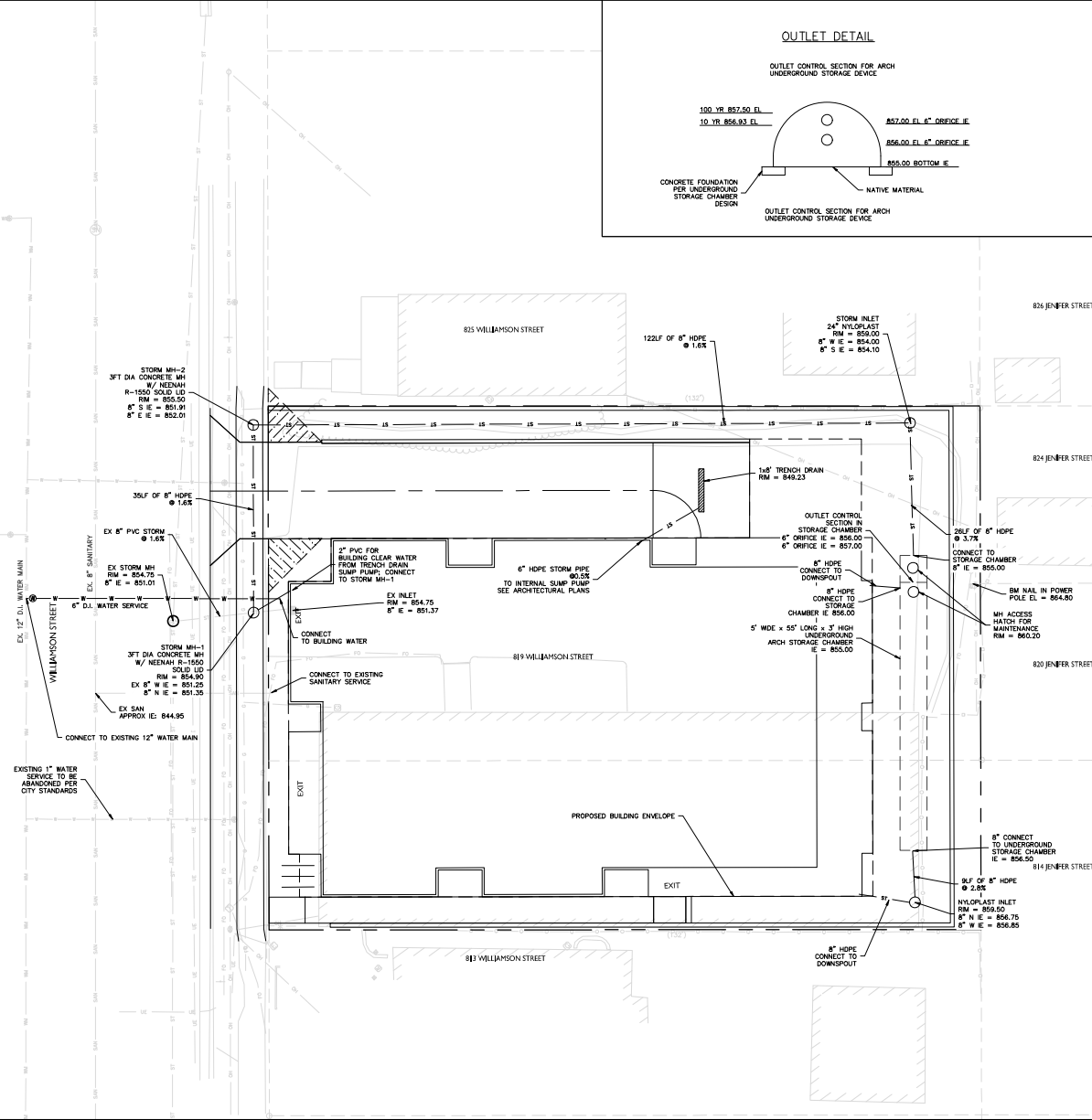
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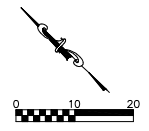
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 Madison, WI 53701

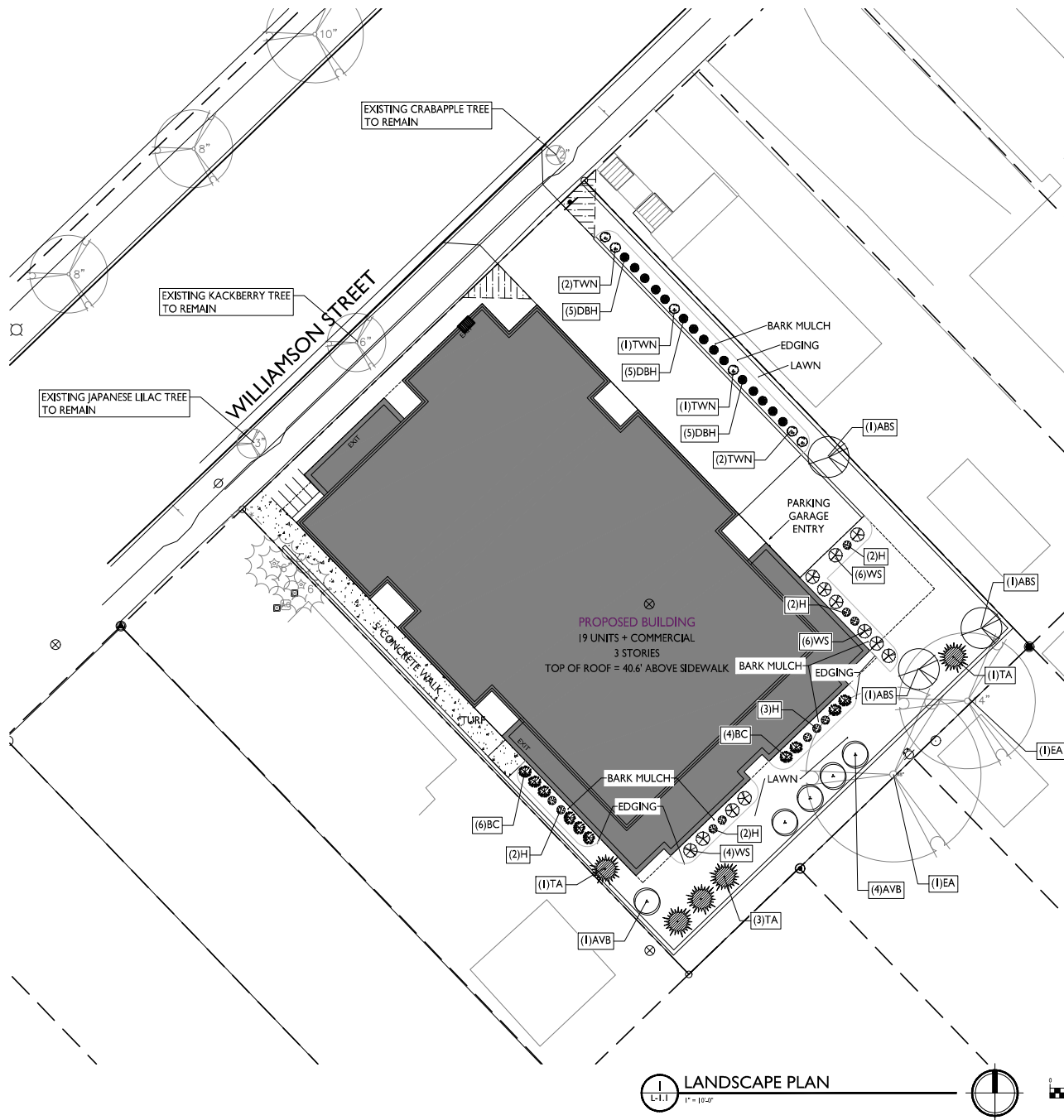
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 PLOT DATE: 11/12/2020
 REVISION DATES:
 ISSUE DATES:
 11/12/2020
 UTILITY PLAN
 DRAWING NUMBER
C600

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PLANT LIST

KEY	QUAN	SIZE	COMMON NAME	ROOT
EA 2	(2)	12"	Existing Aspen	EX
ABS 3	(3)	2"	Autumn Brilliance Serviceberry	BB
AVB 5	(48)	34"	Arrowwood Viburnum	BB
BC 10		24"	Black Chokeberry	Pot
DBH 15		18"	Dwarf Bush Honeysuckle	Pot
TWN 6		24"	Tiny Wine Nirebark	Pot
WS 12		24"	White Snowberry	Pot
TA 5	(5)	5'	Upright evergreen Shrubs Emerald Arborvitae	BB
H	(32)	32	Perennials 1 G Hosta	BB

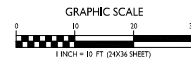
NOTES:

- 1) New lawn areas and existing lawn areas disturbed by construction shall receive a minimum of 4" of topsoil, seed (Madison Parks mix), starter fertilizer, and mulch (straw or straw mat).
- 2) New turf areas shall receive a minimum of 4" of topsoil, seed (no mow turf mix), starter fertilizer, and mulch (straw or straw mat).
- 3) Designated planting beds to be mulched with #2 shredded hardwood bark spread to a depth of 3".
- 4) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3".
- 5) Designated planting beds to be separated from lawn areas with 5" black vinyl edging.

LANDSCAPE WORKSHEET

Landscape Points Required	
Developed Area =	9,015 SF
Landscape Points: 9,015/300 x 5 =	150 points
Total Landscape Points Required = 150 points	
Landscape Points Supplied	
Existing canopy trees - 2 @ 35 =	70 points
Existing specimen canopy trees - 0 @ 200 =	0 points
Proposed canopy trees - 0 @ 35 =	0 points
Existing evergreen trees - 0 @ 35 =	0 points
Proposed evergreen trees - 0 @ 35 =	0 points
Existing ornamental trees - 0 @ 15 =	0 points
Proposed ornamental trees - 3 @ 15 =	45 points
Existing upright evergreen shrubs - 0 @ 10 =	0 points
Proposed upright evergreen shrubs - 5 @ 10 =	50 points
Existing deciduous shrubs - 0 @ 3 =	0 points
Proposed deciduous shrubs - 48 @ 3 =	144 points
Existing evergreen shrubs - 0 @ 4 =	0 points
Proposed evergreen shrubs - 0 @ 4 =	0 points
Existing perennials & grasses - 0 @ 2 =	0 points
Proposed perennials & grasses - 32 @ 2 =	64 points
Total landscape points supplied = 387 points	
Lot Frontage Landscape Required	
(Section 28.142(5) Development Frontage Landscaping)	
One (1) over-story deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) over-story deciduous tree.	
Williamson Street =	98 LF
(Not Applicable - Zero lot line - no planting areas along lot frontage.)	

LANDSCAPE PLAN
L-1.1 1" = 10'-0"



ISSUED
Issued for Land Use Submittal - May 6, 2020
Issued for Land Use Submittal - November 16, 2020

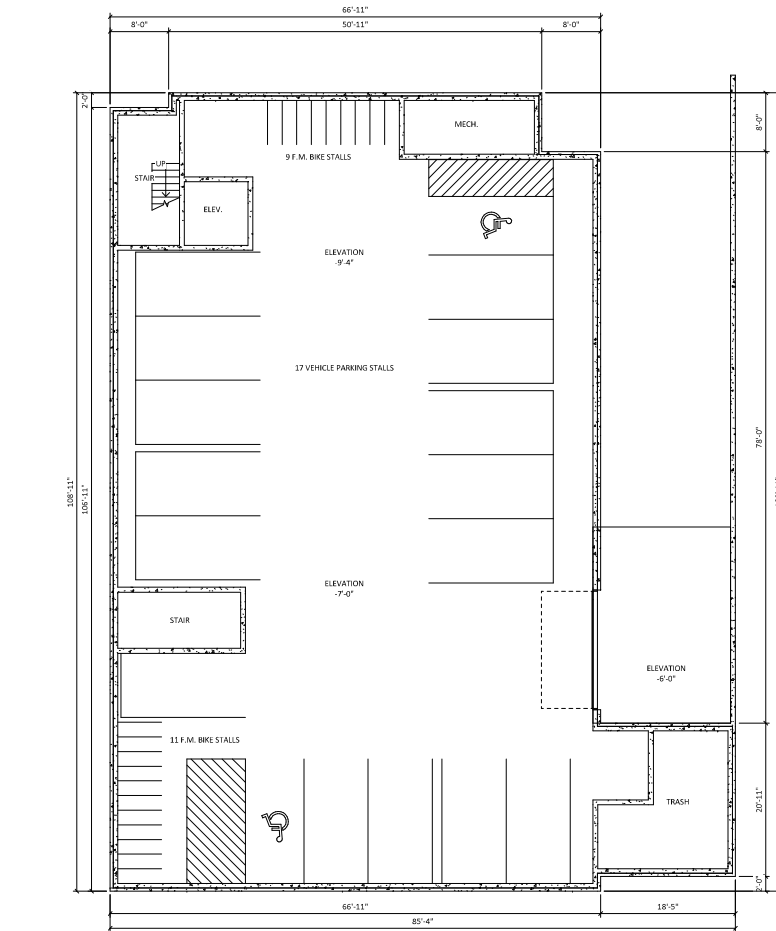
PROJECT TITLE
John Fountain Development

817-821 Williamson St
Madison, Wisconsin
SHEET TITLE
Landscape Plan

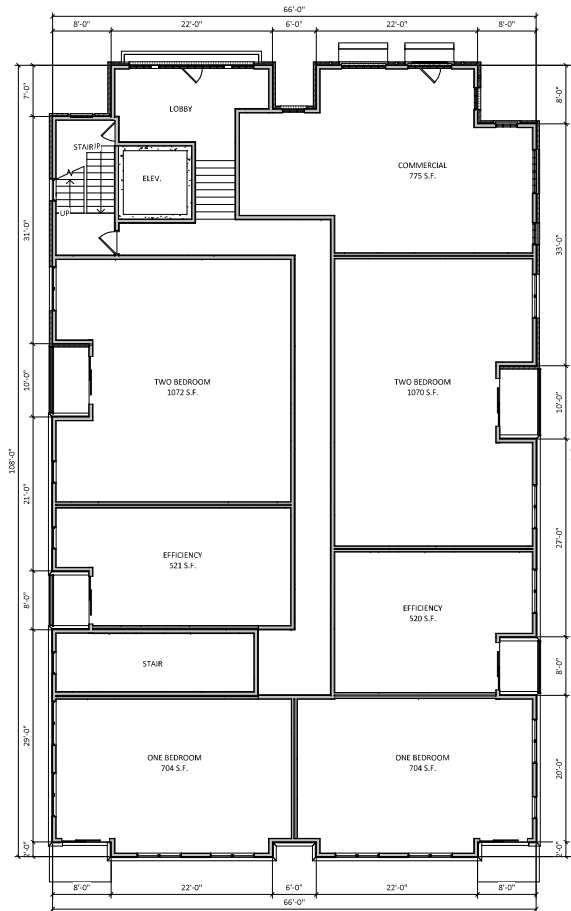
SHEET NUMBER

L-1.1

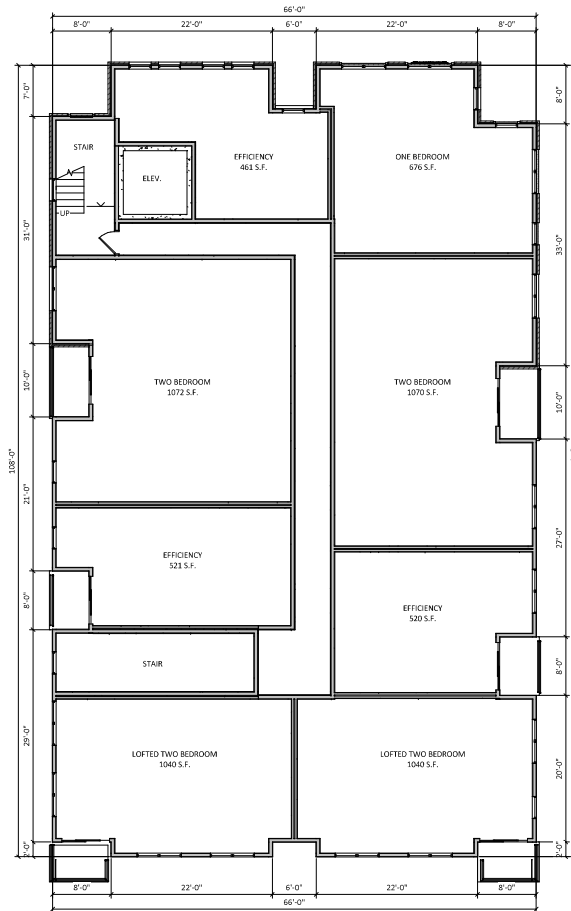
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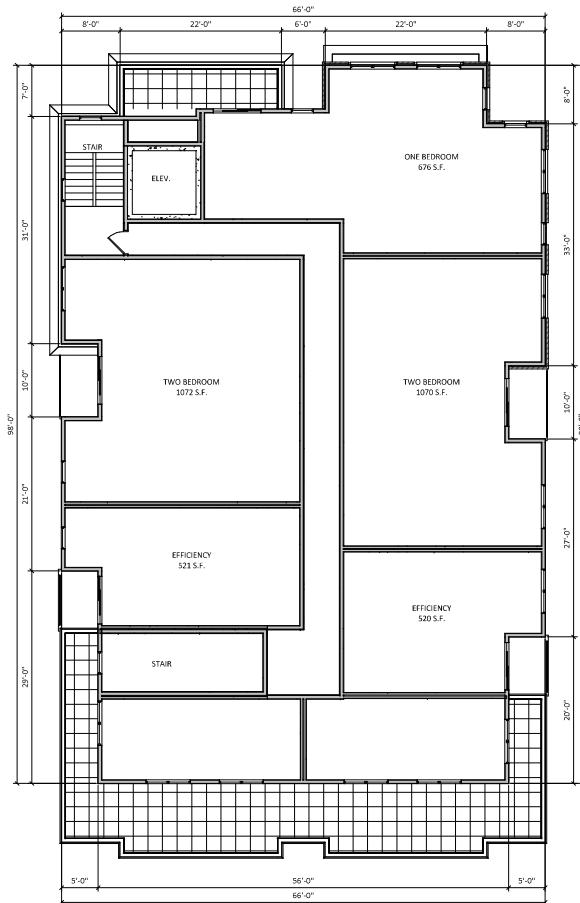
1 BASEMENT FLOOR PLAN
 A-1.0
 1/8" = 1'-0"



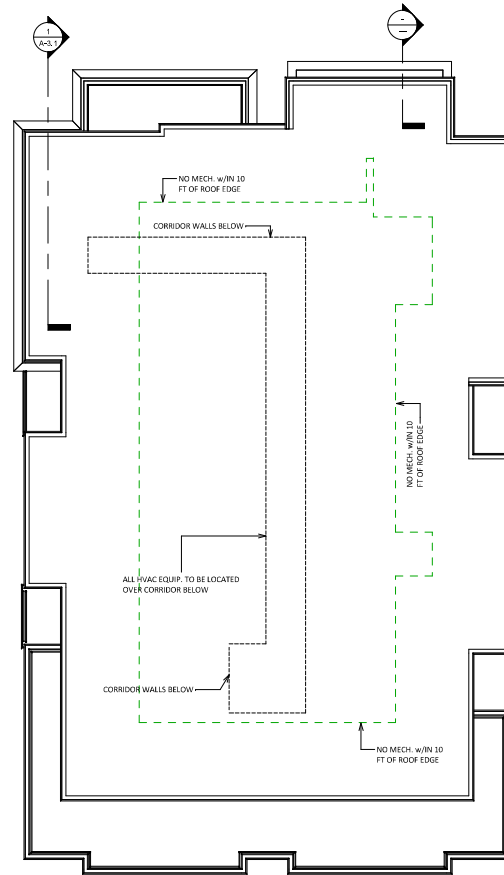
1
FIRST FLOOR PLAN
 A-1.1
 1/8" = 1'-0"



1 SECOND FLOOR PLAN
 A-1.2
 1/8" = 1'-0"



1
THIRD FLOOR PLAN
 A-1.3
 1/8" = 1'-0"



1 ROOF PLAN
 A-1.4
 1/8" = 1'-0"

ISSUED
 Issued for Landmarks - August 04, 2020
 Issued for Land Use - November 16, 2020

PROJECT TITLE
**John Fontain
 Development**

817-821 Williamson
 Street, Madison
 Wisconsin

SHEET TITLE
ROOF PLAN

SHEET NUMBER

A-1.4

PROJECT NUMBER **2003**
 © Knothe & Bruce Architects, LLC



1 NorthEast
 A-2.1 1/8" = 1'-0"



2 NorthWest
 A-2.1 1/8" = 1'-0"

PROJECT TITLE
**John Fontain
 Development**

817-821 Williamson
 Street, Madison
 Wisconsin

SHEET TITLE
**EXTERIOR
 ELEVATIONS**

SHEET NUMBER

A-2.1

PROJECT NUMBER **2003**
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PROJECT TITLE
John Fontain Development

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SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER

A-2.2
 PROJECT NUMBER 2003
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1 NorthEast COLORED
 1/8" = 1'-0"



2 NorthWest COLORED
 1/8" = 1'-0"

PROJECT TITLE
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 Wisconsin

SHEET TITLE
**EXTERIOR
 ELEVATIONS -
 COLORED**

SHEET NUMBER

A-2.3

PROJECT NUMBER **2003**
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1 SouthEast COLORED
 1/8" = 1'-0"



2 SouthWest COLORED
 1/8" = 1'-0"

PROJECT TITLE
**John Fontain
 Development**

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SHEET TITLE
**EXTERIOR
 ELEVATIONS -
 COLORED**

SHEET NUMBER

A-2.4

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SAINTS
MADISON

819

815

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