

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____

Project # _____

DATE SUBMITTED: <u>December 13, 2006</u>	Action Requested
UDC MEETING DATE: <u>December 20, 2006</u>	<input checked="" type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 2607 Monroe Street

ALDERMANIC DISTRICT: Ken Golden #10

OWNER/DEVELOPER (Partners and/or Principals)

ARCHITECT/DESIGNER/OR AGENT:

James Corcoran

Knothe & Bruce Architects, LLC

2702 Monroe Street

7601 University Avenue, Suite 201

Madison, WI 53711

Middleton, Wisconsin 53562

CONTACT PERSON: J. Randy Bruce/Knothe & Bruce Architects, LLC

Address: 7601 University Avenue, Suite 201

Middleton, Wisconsin 53562

Phone: 608-836-3690

Fax: 608-836-6934

E-mail address: rbruce@knothebruce.com

TYPE OF PROJECT:

(See Section A For:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District* (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel, or Motel Building Exceeding 50,000 Sq.Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

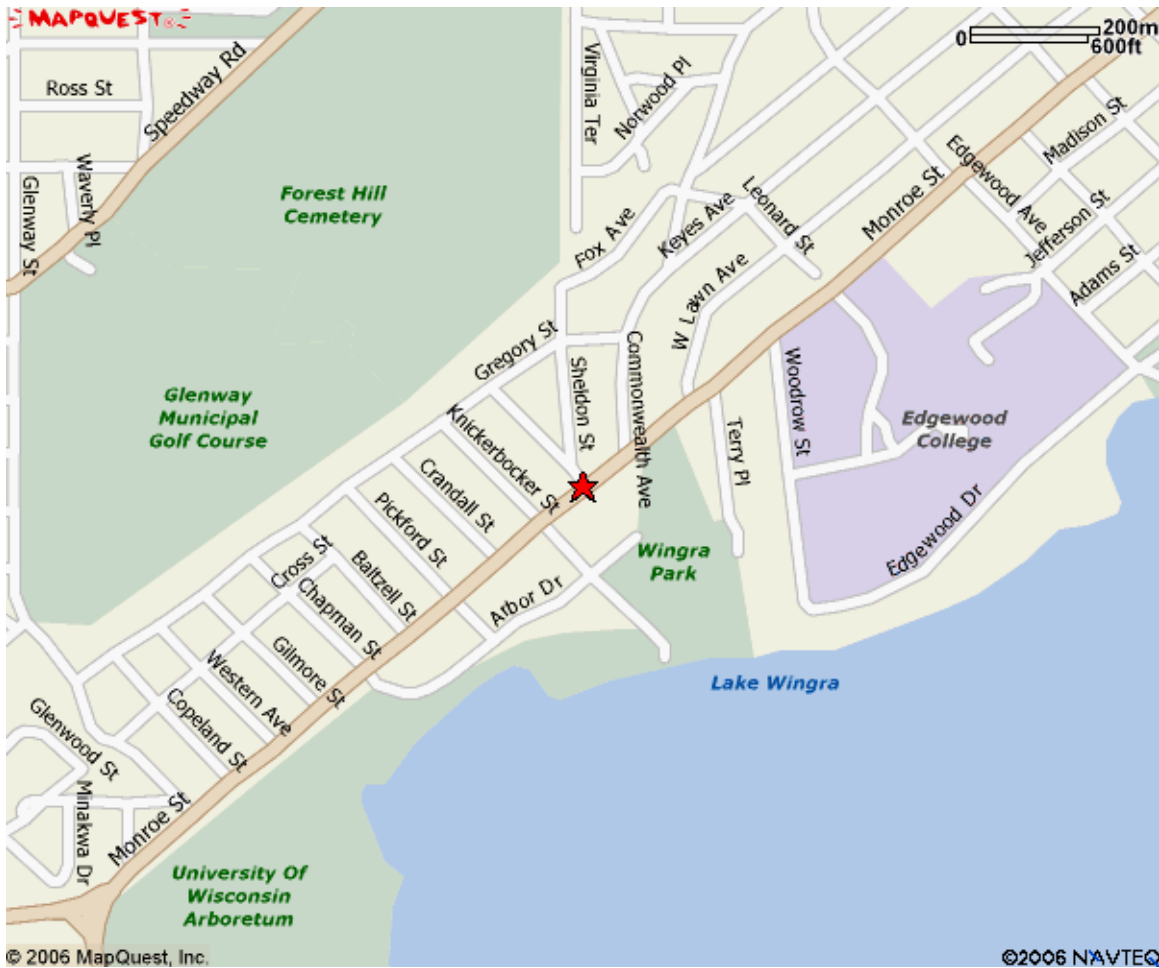
(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee Required)
- Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

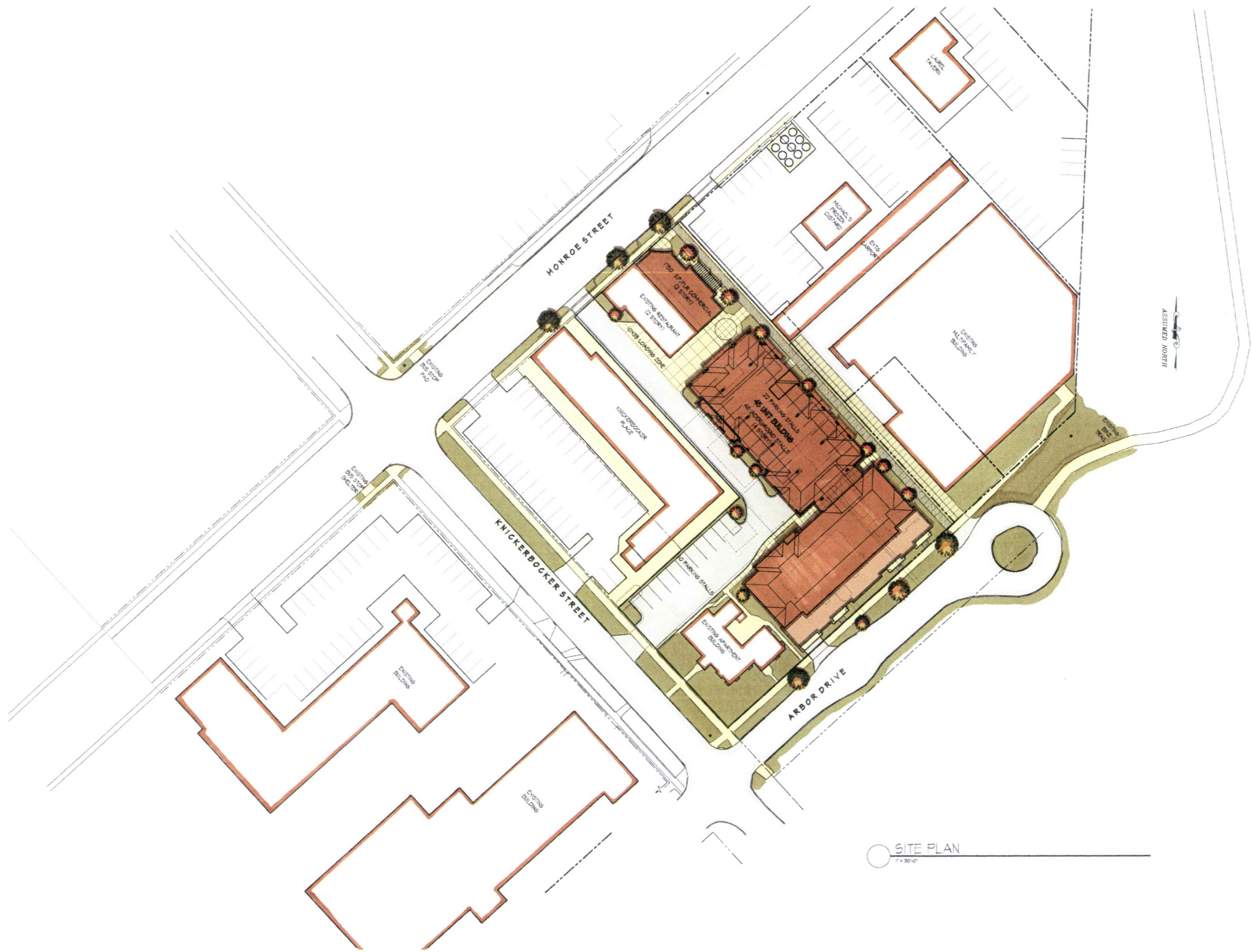


Site Locator Map

2607 Monroe Street

Consultant:

Notes



Revisions
NOVEMBER 8, 2006 - NEIGHBORHOOD MEETING

Project Title
2607 Monroe Street

Drawing Title
Site Plan

Project No. **0522** Drawing No. **C-1.1**

SITE PLAN
1" = 30'-0"

This document contains confidential or proprietary information of Knothe & Bruce Architects. Further dissemination of this information is to be prohibited. Reproduction, use, or disclosure of this information in whole or in part, except as specifically authorized by Knothe & Bruce Architects, Knothe & Bruce Architects is a Limited Liability Company of Wisconsin.





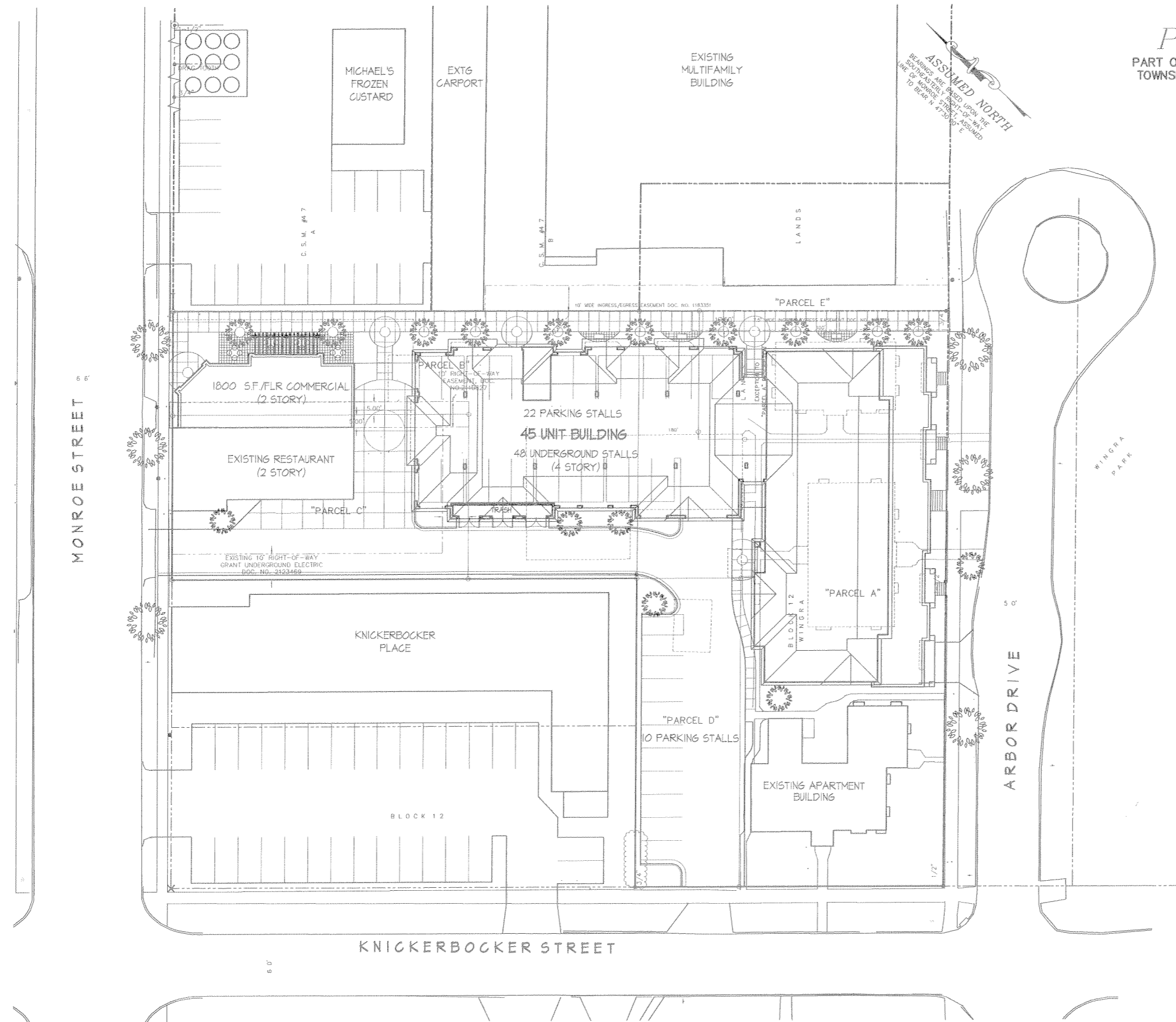


Consultant

Notes

PI
PART OF
TOWNSHIP

ASSUMED NORTH
BEARINGS ARE BASED UPON THE
SOUTH-CASERIL POINT-OF-WAY
LINE OF MONROE STREET, ASSUMED
TO BE AN N 47°30'00" E



Revisions
REVISED - October 30, 2006
Informational UDC Submittal - December 13, 2006
Inter D/I/Z submittal - December 14, 2006

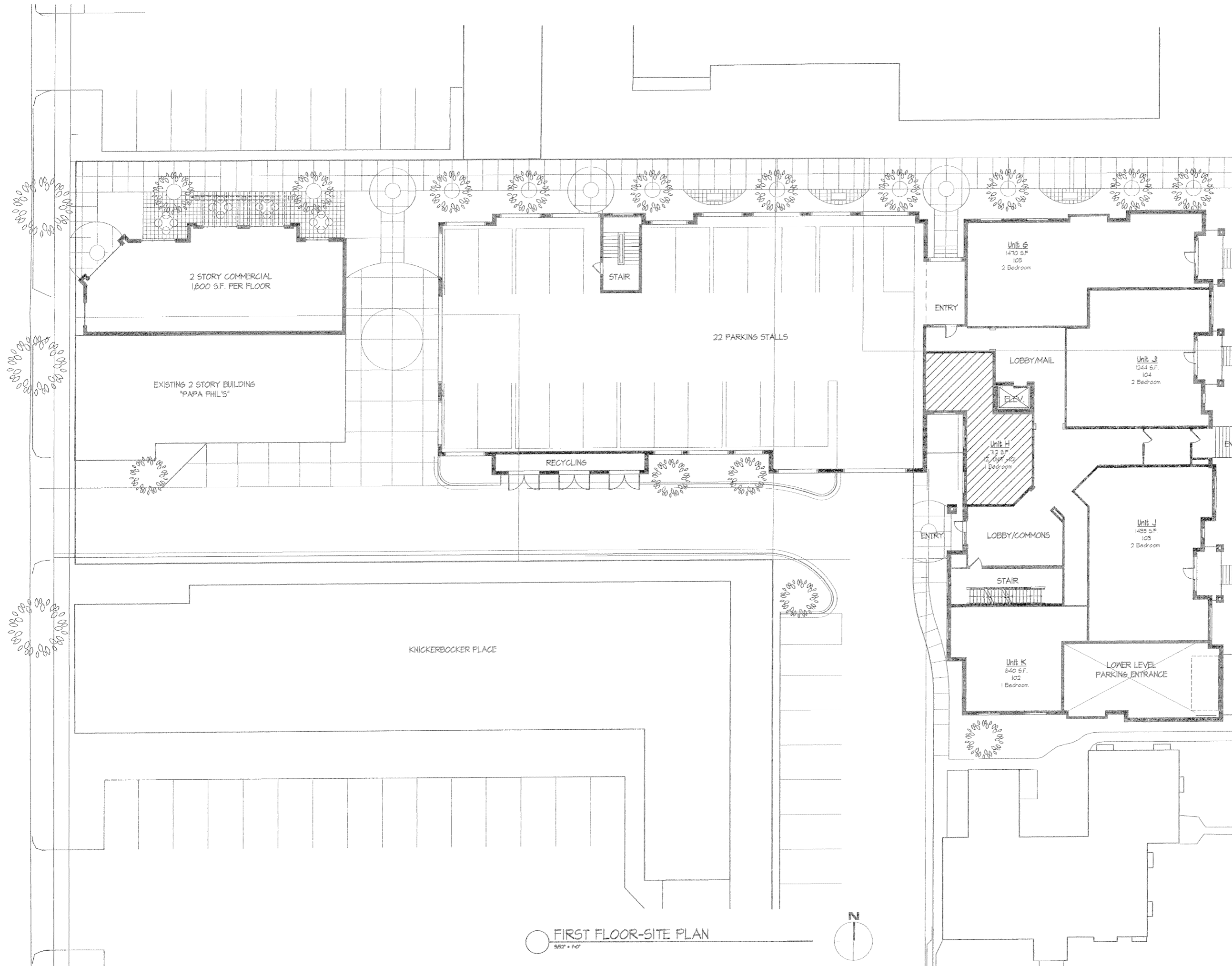
Project Title
2601 Monroe Street

SITE PLAN
1" = 20'-0"

Drawing Title
Site Plan

Project No. 0522 Drawing No. C-1.1

This document contains confidential or proprietary information of Knothe & Bruce Architects. Neither the document nor the information herein is to be reproduced, distributed, used, or disclosed, either in whole or in part, unless so specifically authorized by Knothe & Bruce Architects. Knothe & Bruce Architects is a Limited Liability Company of Wisconsin.



FIRST FLOOR-SITE PLAN
3/32" = 1'-0"

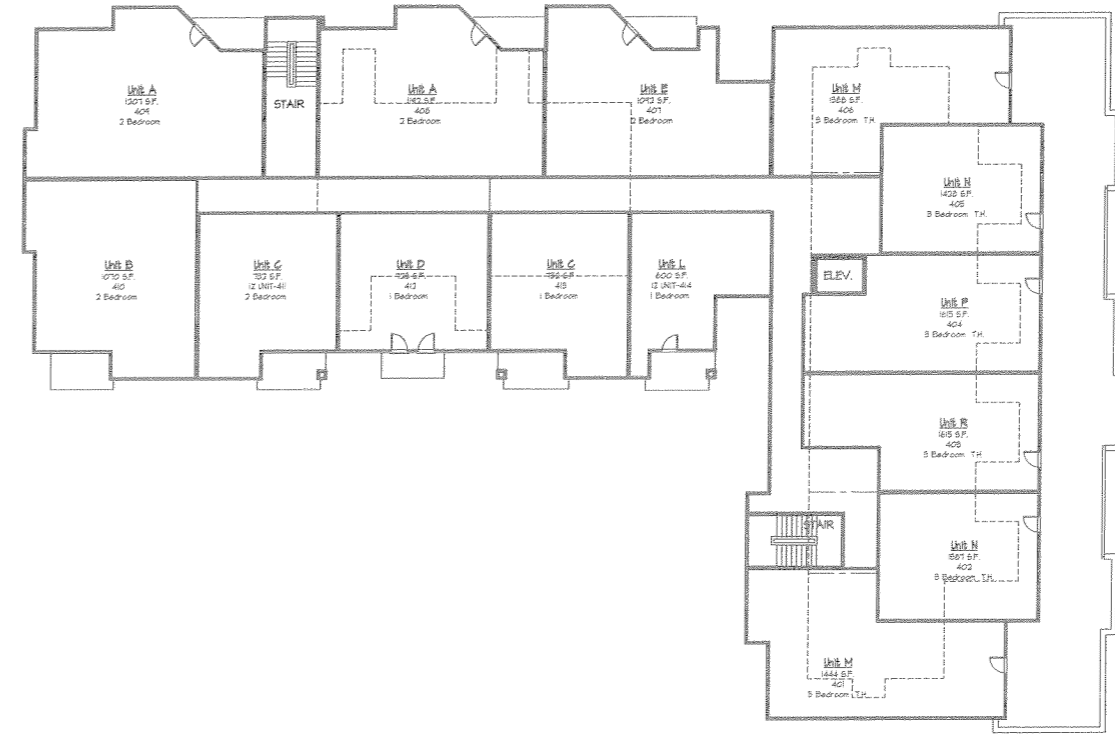


Consultant

Notes



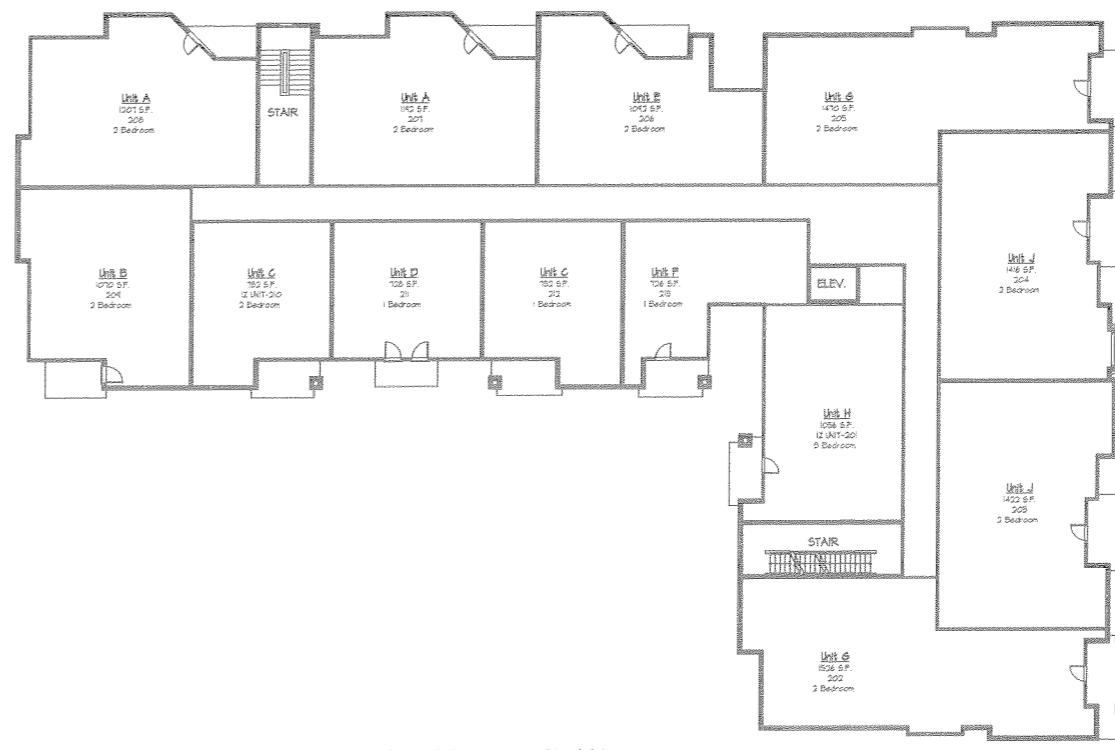
THIRD FLOOR PLAN
 1/8" = 1'-0"



FOURTH FLOOR-LOFT PLAN
 1/8" = 1'-0"



BASEMENT PLAN
 1/8" = 1'-0"



SECOND FLOOR PLAN
 1/8" = 1'-0"

Revisions
 Dec. 13, 2006 - Informational UDC Submittal

Project Title
 2607 Monroe Street

Drawing Title
 Floor Plans

Project No. 0522
 Drawing No. A-1.2

This document contains confidential or proprietary information of Knothe & Bruce Architects. Neither the document nor the information herein is to be reproduced, distributed, copied, or disclosed, whole or in part, except as specifically authorized by Knothe & Bruce Architects. Knothe & Bruce Architects is a Limited Liability Company of Wisconsin.



SOUTHEAST ELEVATION
1/8" = 1'-0"



NORTHEAST ELEVATION
1/8" = 1'-0"

Revisions
November, 2006
Dec. 13, 2006 - International UDC Submittal

Project Title
2607 Monroe St.

Madison, WI
Drawing Title
Building Elevations

Project No. Drawing No.
0522 A-2.1

This document contains confidential or proprietary information of Knothe & Bruce Architects. It is to be used only for the project and site for which it was prepared. It is not to be reproduced, distributed, used, or modified, either in whole or in part, except as specifically authorized by Knothe & Bruce Architects. Knothe & Bruce Architects is a Limited Liability Company of Wisconsin.

Consultant

Notes



NORTHWEST ELEVATION
1/8" = 1'-0"

Revisions
November, 2006
Dec. 13, 2006 - Informational UDC Submittal



SOUTHWEST ELEVATION
1/8" = 1'-0"

Project Title
2607 Monroe St.

Madison, WI
Drawing Title
Building Elevations

Project No. Drawing No.
0522 A-2.2

This document contains confidential or proprietary information of Knothe & Bruce Architects. No part of this document may be reproduced, distributed, used, or published, either in whole or in part, except as specifically authorized by Knothe & Bruce Architects. Knothe & Bruce Architects is a Limited Liability Company of Wisconsin.

Consultant

Notes



WEST ELEVATION
1/8" = 1'-0"

Revisions
November, 2006
Dec. 13, 2006 -International UDC Submittal



SOUTH ELEVATION
1/8" = 1'-0"

Project Title
2607 Monroe St.

Madison, WI
Drawing Title
Building Elevations

Project No. Drawing No.
0522 A-23

The drawings contain confidential or proprietary information of Knothe & Bruce Architects. Neither the drawings nor the information herein is to be reproduced, distributed, used, or disclosed, either in whole or in part, except as specifically authorized by Knothe & Bruce Architects. Knothe & Bruce Architects is a Limited Liability Company of Wisconsin.

Site Photos
2607 Monroe Street



Views from park looking towards Arbor Drive.



View from Knickerbocker St. to corner of Arbor Dr.



View from back of Knickerbocker Place looking
Towards existing multifamily bldg and park.



View of Knickerbocker Place along Monroe Street



View of Papa Phil's Restaurant and a residential bldg. along Monroe St.