

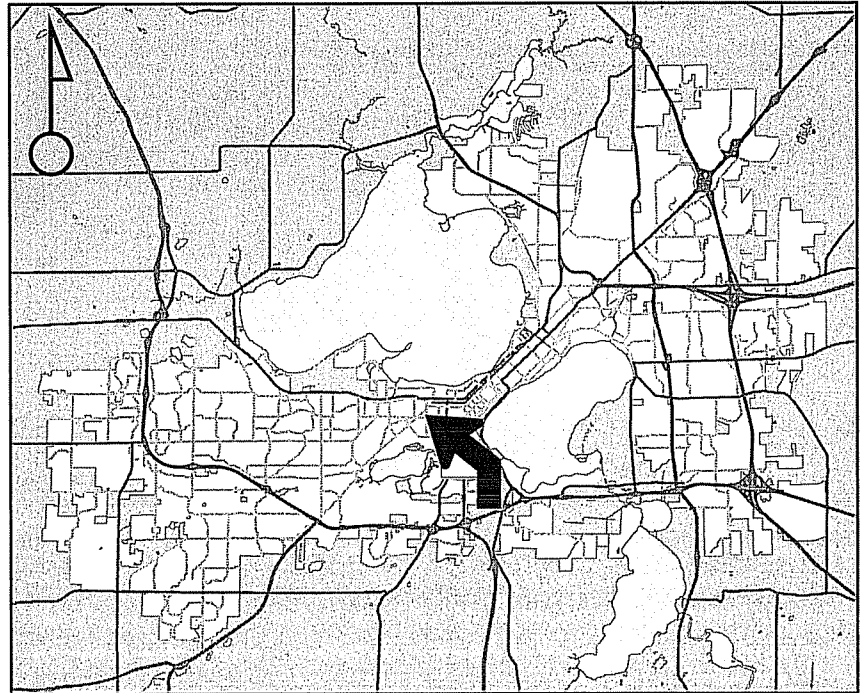


Location  
 611 Langdon Street  
 Applicant  
 Greg Steinberger – UW Hillel Foundation/  
 Erik Jansson – Engberg Anderson  
 Design Partnership

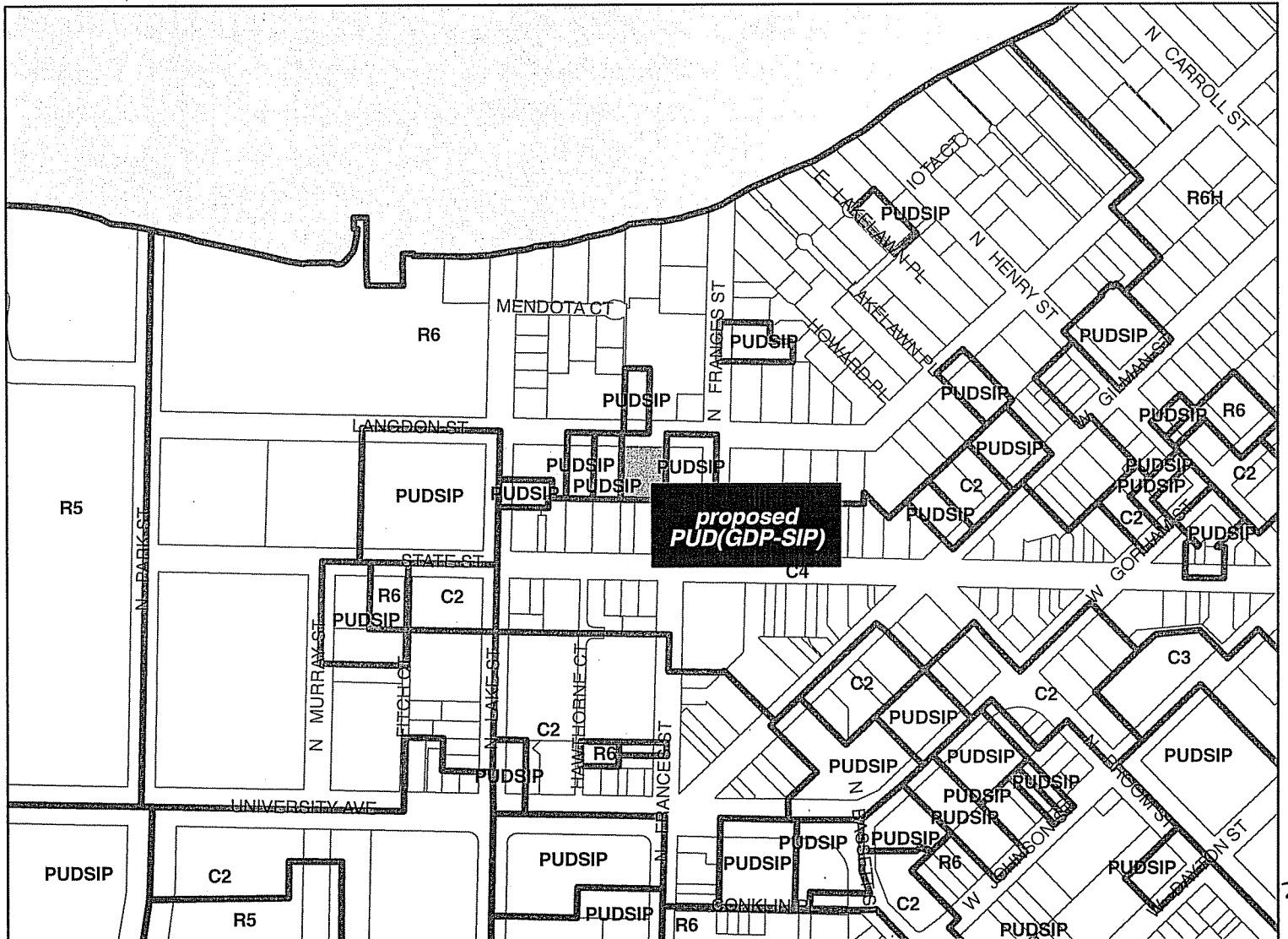
From: R6                      To: PUD(GDP-SIP)  
 Existing Use  
 UW Hillel Building

Proposed Use  
 Demolish UW Hillel Building &  
 Construct New Hillel Center

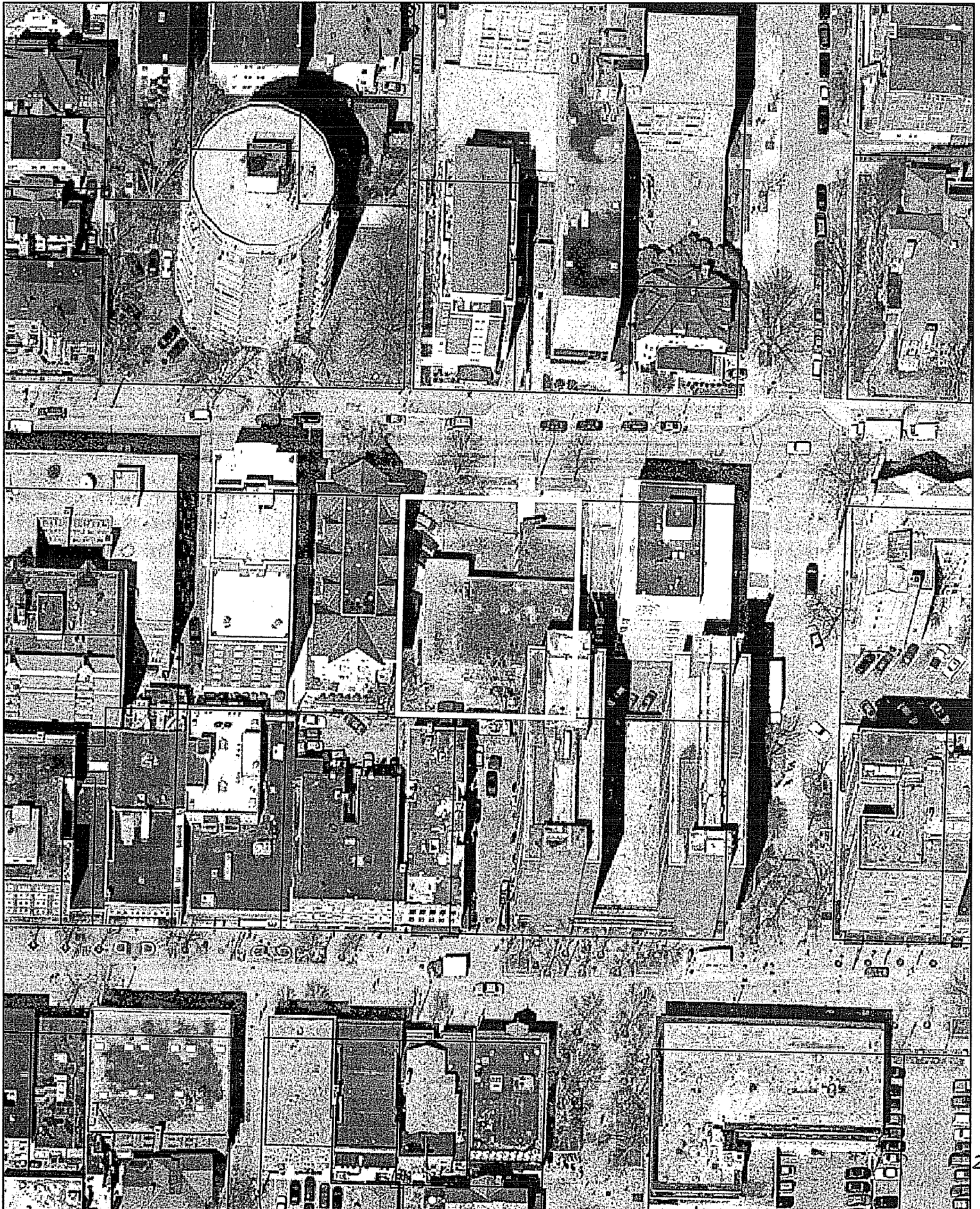
Public Hearing Date  
 Plan Commission  
 15 October 2007  
 Common Council  
 06 November 2007



For Questions Contact: Tim Parks at: 261-9632 or [tparks@cityofmadison.com](mailto:tparks@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'



# LAND USE APPLICATION

## Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100  
 PO Box 2985; Madison, Wisconsin 53701-2985  
 Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at [www.cityofmadison.com/planning/plan.html](http://www.cityofmadison.com/planning/plan.html)
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

FOR OFFICE USE ONLY:	
Amt. Paid	<u>\$1,750</u> Receipt No. <u>84466</u>
Date Received	<u>8/15/07</u>
Received By	<u>JLK</u>
Parcel No.	<u>0709-143-0202-4</u>
Aldermanic District	<u>8 - Eli Judge</u>
GQ	<u>Nat'l Register of Hist. Places</u>
Zoning District	<u>R6</u>
For Complete Submittal	
Application	<input checked="" type="checkbox"/> Letter of Intent <input checked="" type="checkbox"/>
IDUP	<input type="checkbox"/> Legal Descript. <input checked="" type="checkbox"/>
Plan Sets	<input checked="" type="checkbox"/> Zoning Text <input checked="" type="checkbox"/>
Alder Notification	<input type="checkbox"/> Waiver <u>8/14/07</u>
Ngrhd. Assn Not.	<input checked="" type="checkbox"/> Waiver <input type="checkbox"/>
Date Sign Issued	<u>3 8/15/07</u>

**1. Project Address:** 611 Langdon Street **Project Area in Acres:** 0.33  
**Project Title (if any):** University of Wisconsin - Hillel

**2. This is an application for:** (check at least one)

<input checked="" type="checkbox"/> <b>Zoning Map Amendment</b> (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input type="checkbox"/> Rezoning from _____ to _____	<input checked="" type="checkbox"/> Rezoning from <u>R-6</u> to <u>PUD/PCD-SIP</u>	
<input type="checkbox"/> Rezoning from _____ to <u>PUD/PCD-GDP</u>	<input type="checkbox"/> Rezoning from <u>PUD/PCD-GDP</u> to <u>PUD/PCD-SIP</u>	
<input type="checkbox"/> <b>Conditional Use</b>	<input checked="" type="checkbox"/> <b>Demolition Permit</b>	<input type="checkbox"/> <b>Other Requests</b> (Specify): _____

**3. Applicant, Agent & Property Owner Information:**

Applicant's Name: Hillel Foundation University of Wisconsin, Inc Company: Contact for Hillel: Greg Steinberger (Exec. Dir.)  
 Street Address: 611 Langdon Street City/State: Madison Zip: 53703  
 Telephone: (608) 256-8361 Fax: (608) 256-2451 Email: gsteinberger@uwhillel.org

Project Contact Person: Erik Jansson Company: Engberg Anderson Design Partnership  
 Street Address: 1 North Pinckney Street City/State: Madison Zip: 53703  
 Telephone: (608) 250-0100 Fax: (608) 250-0200 Email: erikj@eadp.com

Property Owner (if not applicant): \_\_\_\_\_  
 Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_

**4. Project Information:**

Provide a general description of the project and all proposed uses of the site: A multi-use student center facility that will house religious assembly areas, reception, offices, a library, religious based food service, student study areas, locker rooms, an exercise room, several multi-purpose rooms and outdoor accommodations for recreation and gathering

Development Schedule: Commencement 11/12/2007 Completion 1/15/2009

**5. Required Submittals:**

- Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
  - **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
  - **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
  - **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor.
- Filing Fee:** \$ 1,750 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

**IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:**

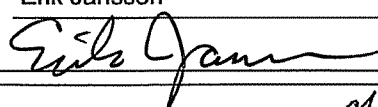
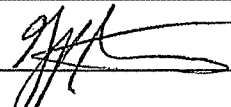
- For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.
- A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.
- A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

**FOR ALL APPLICATIONS:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to [pcapplications@cityofmadison.com](mailto:pcapplications@cityofmadison.com). The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

**6. Applicant Declarations:**

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
  - *The site is located within the limits of* Downtown Planning Area H, City Comprehensive *Plan, which recommends:*
  - Mixed-use buildings with active first floor uses (retail, service, dining, entertainment); 2-8 stories *for this property.*
- Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:
  - *List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:*
  - Alderperson: Eli Judge (Waiver, attached); Neighborhood Association: Jeff Erlanger, State-Langdon (attached)
  - If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.*
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.
  - Planner Kevin Firchow Date 08/08/07 | Zoning Staff Matt Tucker Date 08/08/07

**The signer attests that this form has been completed accurately and all required materials have been submitted:**

Printed Name Erik Jansson Date 08/14/2007  
 Signature  Relation to Property Owner Architect  
 Authorizing Signature of Property Owner  Date 8/14/07

## Letter of Intent

August 14, 2007

**To:** Plan Commission City of Madison  
**From:** Erik Jansson Engberg Anderson Design Partnership  
**Re:** Letter of Intent for PUD-SIP  
University of Wisconsin Hillel  
The Barbara Hochberg Center for Jewish Student Life  
Engberg Anderson Project No. 071690.00

### PROJECT NAME & ADDRESS

University of Wisconsin Hillel  
The Barbara Hochberg Center for Jewish Student Life  
611 Langdon Street  
Madison, WI 53703

### PROJECT NARRATIVE

The University of Wisconsin Hillel resides in a 12,100 square foot building constructed in 1956. Located at 611 Langdon Street, the building is one block from the eastern edge of the UW campus. With approximately 5,000 Jewish students on campus it is one of the largest and most active Hillel programs in the world. Hillel provides a home and support to its many independent student organizations and represents every expression of Jewish life and religious, cultural, political, traditional and alternative. Hillel works to create a community on this large state campus and enables students to have a voice in their community one that will help them maintain their ties to Judaism.

UW Hillel is proposing to remove the existing building and construct a new, approximately 40,000 square foot facility on the site. The new building will contain four above grade levels with a below grade parking level. The multi-use facility will be designed to house religious assembly areas, reception, offices, a library, religious based food service, student study areas, locker rooms, an exercise room, and several multi-purpose rooms.

The new facility will have outdoor features including at grade and elevated terraces. The at grade terrace in front of the building on Langdon Street will provide functional space for gathering and outdoor seating for a first floor/street side Kosher cafe. Elevated terraces on the upper floors will include gathering space facing Langdon Street and a recreation court at the fourth (highest) floor. Other exterior features include a loading area for deliveries, trash and recycling collection, bicycle and moped parking, ADA compliant access ramp, and vehicle access

1 North Pinckney Street

Madison, Wisconsin 53703

www.eadp.com

Ph 608 250 0100 Fx 608 250 0200

This is a 6-page Narrative

to the below grade parking level. Temporary structures for religious worship (Sukkah) will be assembled at the main outdoor patio facing Langdon as well as the fourth floor recreation terrace.

A general summary of exterior materials include site cast concrete, both formed and sandblasted, granite blocks, fiber cement panels with exposed fasteners, hook-strap stainless steel panels, Jerusalem stone on a granite base, ipe T&G siding, clear low-e glazing with both capped and butt-glazed window systems and a clear anodized, aluminum finish.

The planning and design of this new facility continues with the intended goal of achieving the Silver Certification as established in the LEED program of the United States Green Building Council (USGBC). Several of the sustainable design principals intended to be implemented include: day-lighting, solar shading, grey water system, waterless urinals, dual-flush toilets, heat recovery wheel from kitchen exhaust, green roofing alternatives (both high reflectance and extensive), photo voltaics and a solar hot water preheat system.

#### **CONSTRUCTION SCHEDULE**

---

11/12/2007	Demolition of existing building
12/17/2007	Excavation for main construction
1/2/2008	Footings and foundations start
12/15/2008	Substantial Completion
1/15/2009	Occupancy

#### **DESCRIPTION OF EXISTING CONDITIONS**

---

The University of Wisconsin Hillel resides in a 12,100 square foot building constructed in 1956. Located at 611 Langdon Street, the building is one block from the eastern edge of the UW campus. The existing building is two stories above grade with a below grade basement for mechanical and some office and sanctuary spaces. Parking is currently adjacent to the alley on the west of the property and in the back (south) area behind the building. The existing materials are brick, stone, aluminum frame windows and a glass in an aluminum storefront system with some metal infill panels. The front terrace space adjacent to the public right-of-way on Langdon is occupied by some patio space and lawn used for outdoor gatherings.

#### **CONTACTS & PEOPLE INVOLVED IN THE PROJECT**

---

**Owner:**

Hillel Foundation University of Wisconsin, Inc.  
Greg Steinberger, Executive Director (contact for Hillel)

**Owner's Representative:**

Huffman Facility Development  
Michael Huffman

**Architect:**

Engberg Anderson Design Partnership  
Paul Cuta, Partner  
Erik Jansson, Project Architect (Contact)

**Construction Manager / Contractor:**

J.H. Findorff & Sons, Inc.  
Sam Lawrence  
Steve Klaven

**Civil & Survey:**

Burse Surveying & Engineering  
Michelle Burse  
Peter Fortlage

**Landscape:**

Ken Saiki Design, Inc.  
Ken Saiki  
Rebecca Flood

**Structural:**

Pierce Engineers, Inc.  
Dick Pierce  
Derek Horejsh

**Foodservice:**

Stewart Design Associates  
Rock Deering

**Mechanical, Electrical, Plumbing & Fire Protection:**

Affiliated Engineers, Inc.  
Lynn Standorf  
Guy Wilson

**PROPOSED USES & SQUARE FOOTAGES**

---

**Square Footage (Acreage) of the Site:**

14,358 Square Feet (0.33 Acres)

**Total Gross Square Feet of the Building:**  
40,765 GSF

**Square Footage by Use:**

Use	Net Square Feet
Meeting Rooms for Assembly (Religious & Non-Religious)	4,325
Dining Areas: Main dining room & café space (also used for multi-purpose assembly space)	3,510
Commercial Kitchen & Serverry	1,730
Lobby (also used for assembly)	1,280
Staff & student office space	3,100
Student Lounges	2,155
Fitness Room (including locker rooms)	1,900
Outdoor assembly space (front at-grade terrace and 4th floor terrace)	2,275
Outdoor recreation space (4th floor; also used for assembly)	2,170
Shell Space for future expansion	950
Parking	4,200
Service space & building core (mechanical, loading, recycling/refuse, restrooms, storage, ramp for parking, corridor space, vertical circulation, building structure and core, etc.)	13,170 (gsf)

**Gross Square Footage of Retail, Office, Clinic, and Bank:**

None. Administrative Offices for Hillel per above SF

**Number of employees for warehousing, production, processing uses, contractor shops, nursery school, bakery, motor vehicle repair:**

None. Kitchen component as described above.

**CAPACITY PER STATE BUILDING CODE FOR PLACES OF ASSEMBLY**

1,717 Occupants

**NUMBER OF PARKING AND LOADING SPACES**

10 parking spaces in interior lower level which includes 1 Van Accessible Space. Access to the parking level is through the existing alley in a shared easement that is on the west side of the project. An overhead garage door is accessed from the alley to an interior ramp that leads to the underground parking.



A single 10 foot by 35 foot by 14 foot high loading space is provided adjacent to the alley/easement.

**HOURS OF OPERATION**

---

Hillel office staff would include approximately 12 occupants. Other occupant load overall varies based on events and programming. See attached "Anticipated Building Occupancy" for more information. General building hours as follows:

Weekdays: 9 am to 11 pm

Saturday: 9 am to 1 pm

Sunday: 12 pm to 7 pm

**NUMBER OF DWELLING UNITS**

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This project contains no dwelling units and will not generate school children.

**TRASH REMOVAL AND STORAGE, SNOW REMOVAL**

---

The owner will contract with outside vendors for trash, recycling and snow removal. The trash and recycling storage is inside the building adjacent to the service and loading area.

**EXISTING BUILDING DEMOLITION**

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See attached photos of the existing building. A demolition reuse and recycling plan meeting City of Madison requirements will be submitted at a future date.

**PUBLIC STREET TERRACE IMPROVEMENTS**

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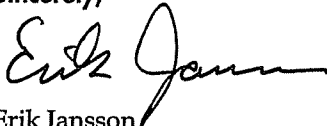
This project is proposing several improvements to the street terrace on Langdon Street. These are shown on drawing C101 and include the addition of trees with tree grates, a paved public terrace, and bollards for overall security for Hillel and prevention of cars parking in the public terrace.

Street terrace improvements require separate approval by the Board of Public Works and Common Council. The owner will coordinate terrace and public sidewalk modifications with the City of Madison.

August 14, 2007

Please find the attached supporting information. If there are any questions or issues with this submittal, please contact me.

Sincerely,



Erik Jansson  
Project Architect

PC/EJ

**Copied** Greg Steinberger, UW Hillel  
Michael Huffman, Huffman Facility Development  
Sam Lawrence, Findorff

**Attachments**

State-Langdon Neighborhood Association Support Letter (1 page, 5/3/07)  
8th District Alder Eli Judge 30 day notice Wavier (1 page, 8/14/07)  
Existing Photos of Building as required for Demolition Permit (3 pages, dated 8/14/07)  
Zoning/PUD Text (2 pages, dated 8/14/07)  
UW Hillel Anticipated Building Occupancy (1 page, dated 6/23/07)

Not attached to this letter of intent, but provided in submittal:

Application  
Filing Fee: Check for \$1,750  
Drawing Sets - 30x42 Full size, 11x17 & 8.5x11 (dated August 14, 2007)  
Legal Description of Property (Survey in Drawing Set)

## PUD TEXT

DRAFT: August 14, 2007

**Project:**

University of Wisconsin Hillel  
The Barbara Hochberg Center for Jewish Student Life  
611 Langdon Street  
Madison, WI 53703

**Legal Description:**

The lands subject to this planned unit development shall include those described in [Exhibit A], attached hereto.

**A Statement of Purpose:**

This zoning district is established to allow for the construction of a new student center facility. Hillel, the Jewish student center at University of Wisconsin, serves over 5,000 Jewish students and faculty. Hillel provides a home and support to its many independent student organizations and represents every expression of Jewish life and religious, cultural, political, traditional and alternative. Hillel works to create a community on this large state campus and enables students to have a voice in their community one that will help them maintain their ties to Judaism. The multi-use facility will be designed to house education and religious assembly areas, reception, offices, a library, religious based food service, student study areas, locker rooms, an exercise room, and several multi-purpose rooms.

**B Permitted Uses:**

1. Those that are stated as permitted uses in the R-6 zoning district
2. Student center
3. Educational spaces for classrooms and study
4. Religious worship
5. Administrative offices
6. Physical fitness and recreation including locker rooms
7. Indoor and outdoor assembly for religious, educational, recreational and public service use
8. Indoor and outdoor assembly for special religious and non-religious events including political functions, guest speakers, musical groups, film festivals, catered and non-catered rental events such as weddings and receptions.
9. Commercial food service and dining
10. Café - owner or outside caterer/vendor operated
11. Uses accessory to permitted uses as listed above.
  - a. Temporary outdoor structures for religious, educational, recreational and special event programming including rooftop terraces

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**PUD TEXT**

University of Wisconsin Hillel  
The Barbara Hochberg Center for Jewish Student Life

**DRAFT:** August 14, 2007

Page 2

- b. Outdoor eating areas
- c. Serving of alcohol
- d. Lodging facilities for visitors and guests
- e. Parking Facilities

**C Lot Area:**

As stated in *[Exhibit A]*, attached hereto.

**D Floor Area Ratio:**

- 1. Maximum floor area ratio permitted is 5.0.
- 2. Maximum building height shall be as shown on approved plans.

**E Yard Requirements:**

Yard areas will be provided as shown on approved plans.

**F Landscaping:**

Site Landscaping will be provided as shown on the approved plans.

**G Accessory Off-Street Parking & Loading:**

Accessory off-street parking and loading will be provided as shown on the approved plans.

**H Site Lighting:**

Site Lighting will be provided as shown on the approved plans.

**I Signage:**

Signage will be provided as shown on the approved plans.

**J Family Definition:**

The family definition of this PUD-SIP shall coincide with the definition given in Chapter 28.03(2) of the Madison General Ordinances for the R-6 zoning district.

**K Alterations & Revisions:**

No alteration or revision of this planned unit development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and area compatible with the concept approved by the City Plan Commission.

6/23/07

UW Hillel  
Anticipated Building Occupancy

**Regular Use (September through May)**

- Office Staff: 12 people, 9am to 5pm
- Café: 10 people (average), 11am to 8pm
- Sanctuary:
  - 150 people in three rooms, Friday 6:30pm to 7:30pm
  - 30 people, Saturday 9am to 1pm
- Dining Room(s):
  - 100-150 people, Friday 7:30 to 10:00 (with post meal discussion)
  - 10-20 people, weekdays 5pm to 7pm
- Fitness Center:
  - 6-10 people, weekdays 11am to 5pm
  - 10-15 people, weekdays 5pm to 11pm
  - 10-15 people, Saturday 9am to 1pm
  - 10-15 people, Sunday 12pm to 7 pm

In general the regular hours of operations will be:

- 9am to 11pm, weekdays
- 9am to 1pm, Saturday
- 12pm to 7pm, Sunday

**Events**

- Meetings: 5-50 people in 1-4 meetings weekly, 4pm to 8pm
- Program Events: 100-300 people in 5-10 events per semester, evenings
- Major Events:
  - Rosh Hashanah and Yom Kippur: up to 500 people at a time
  - Sukkot: 50 people for 1 day service (meal outside)
  - Simchat: 100 people, evening
  - Tu'bshvat: 100 people, service and meal
  - Passover: 300 people per day, two days and 200 meals per day (lunch and dinner), seven days

**Rental**

- UW Extension: 15-50 per room in 2-4 rooms, 4pm to 6pm three days per week
- Wedding/Barmitz.: 100-300 people 4-5 times per year

**Summer Months (June through August)**

In general ½ of the staff will be working daily, the fitness center will have reduced hours and café traffic will likely be reduced.

# Memorandum

August 14, 2007

**To:** Plan Commission City of Madison

**From:** Erik Jansson Engberg Anderson Design Partnership

**Re:** Demolition Permit Requirements  
The Barbara Hochberg Center for Jewish Student Life  
University of Wisconsin Hillel  
Engberg Anderson Project No. 071690

## REUSE & RECYCLING PLAN

A Reuse and recycling plan per the City of Madison requirements will be submitted prior to the request for a demolition permit. The Building is registered with the US Green Building Council and is pursuing LEED Silver Certification. Part of these requirements will involve a thorough reuse and recycling plan for the demolition as well as construction phases of the project.

## EXISTING UW HILLEL PHOTOS



Figure 1. View From Langdon Looking Southeast



Figure 2. View From Langdon Looking Southwest

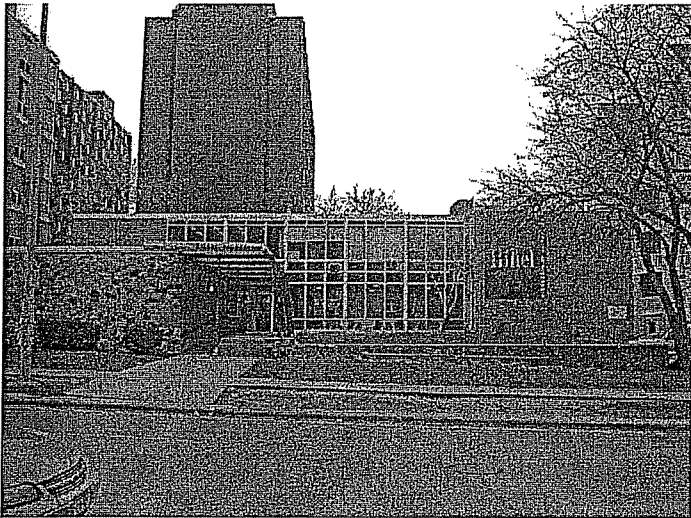


Figure 3. View From Langdon Looking South

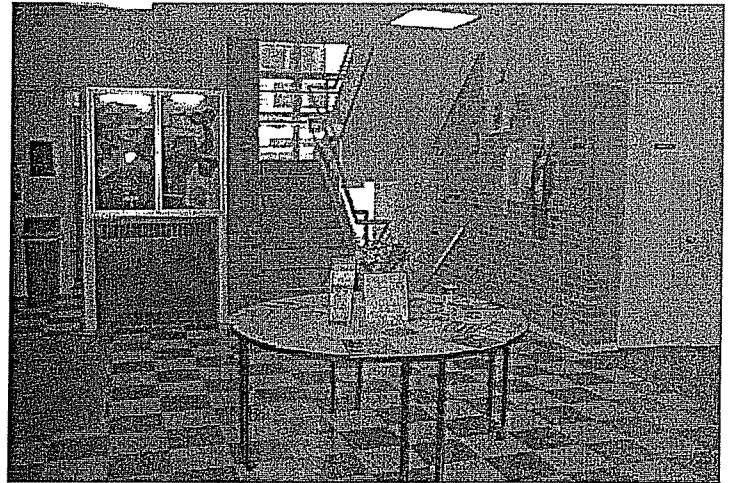


Figure 6. Existing Entrance Lobby



Figure 4. View From Alley Looking Towards The North Elevation



Figure 7. Existing Multi-Use Lounge & Sanctuary

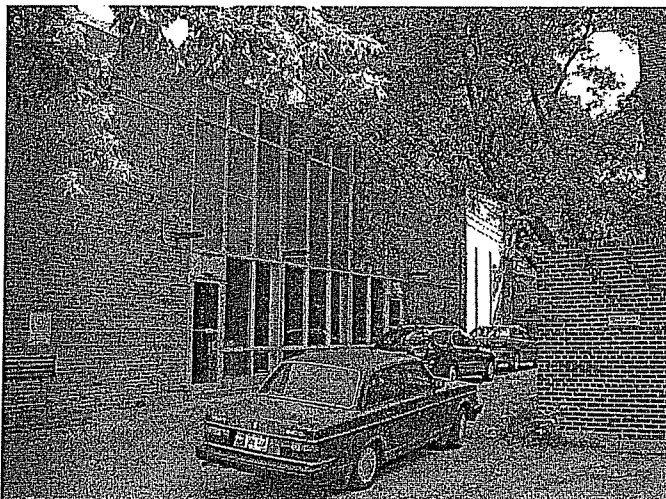


Figure 5. South Elevation Looking Northeast and Existing Parking Area



Figure 8. Existing Orthodox Sanctuary Space

# UNIVERSITY OF WISCONSIN - HILLEL

## Madison, Wisconsin



Engineering & Architecture  
UNIVERSITY OF WISCONSIN  
MADISON, WISCONSIN

UNIVERSITY OF WISCONSIN  
HILLEL

Office:  
University of Wisconsin - Madison  
111 Lincoln Drive  
Madison, WI 53706  
Project No. 07159

Drawn by: \_\_\_\_\_ Date: \_\_\_\_\_  
Checked by: \_\_\_\_\_  
Title Sheet

**Civil**  
**Bure Surveying & Engineering**  
1400 E Washington Ave.  
Suite 158  
Madison, WI 53703  
Ph: 608-251-2933  
F: 608-251-2838  
(\*) Beverly prepared by Ken Sall Design, Inc.

**Consultants**

**Landscape**  
**Ken Sall Design, Inc.**  
303 S. Patterson,  
Suite One  
Madison, WI 53703  
Ph: 608-251-3390  
F: 608-251-2330

**Architectural**  
**Engberg Anderson**  
1 North Fritchey Street  
Madison, Wisconsin 53703  
Ph: 608-251-0100  
F: 608-251-0100

**Foodservice**  
**Stewart Design Associates**  
234 Fish Holiday Road  
Madison, WI 53713  
Ph: 608-271-8334  
F: 608-271-7818

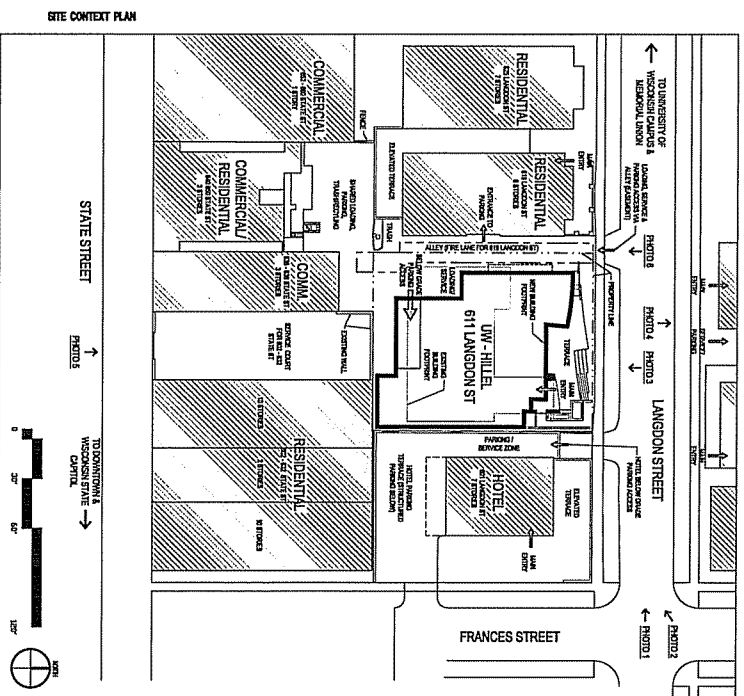
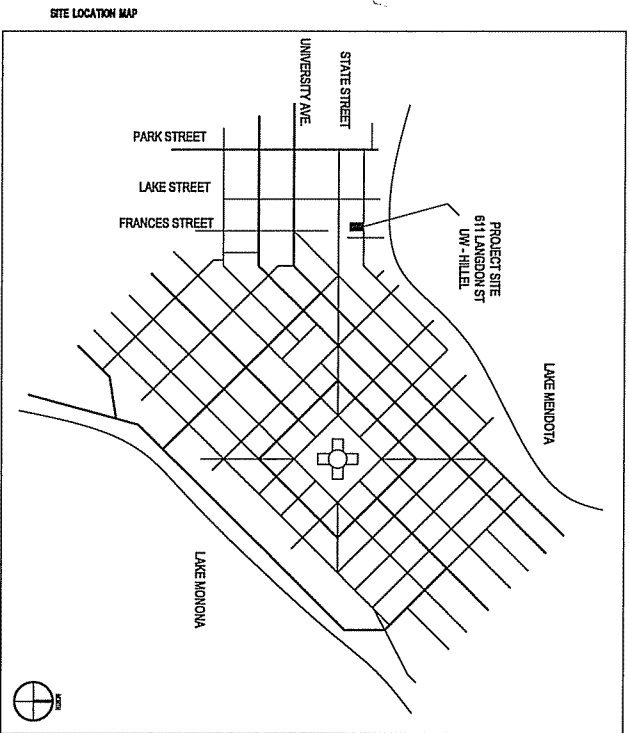
**Structural**  
**Pierce Engineers, Inc.**  
10 West Watkin Street,  
Suite 205  
Madison, WI 53703  
Ph: 608-238-7204  
F: 608-238-7268

**Plumbing**  
**Affiliated Engineers, Inc.**  
5802 Research Park Blvd.  
Madison, WI 53719  
Ph: 608-238-2816  
F: 608-238-2814

**Mechanical**  
**Affiliated Engineers, Inc.**  
5802 Research Park Blvd.  
Madison, WI 53719  
Ph: 608-238-2816  
F: 608-238-2814

**Electrical**  
**Affiliated Engineers, Inc.**  
5802 Research Park Blvd.  
Madison, WI 53719  
Ph: 608-238-2816  
F: 608-238-2814

**Communications**  
**Affiliated Engineers, Inc.**  
5802 Research Park Blvd.  
Madison, WI 53719  
Ph: 608-238-2816  
F: 608-238-2814



**GENERAL PROJECT NOTES**  
SCALE INDICATOR (LENGTH OF THE SITE)  
SCALE INDICATOR (WIDTH OF THE SITE)  
SCALE INDICATOR (AREA OF THE BUILDING)  
SCALE INDICATOR (AREA OF THE PARKING)  
SCALE INDICATOR (AREA OF THE DRIVEWAY)

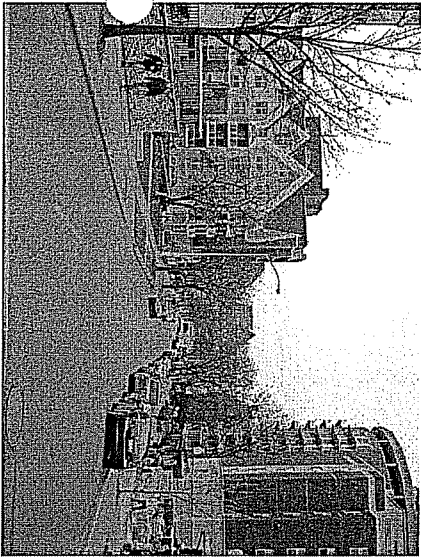
**BUILDING SUMMARY**

BUILDING TYPE	SUBJECT CENTER
RESIDENTIAL	4-1
COMMERCIAL	TYPE 3-4
RESIDENTIAL	YES
WOMEN ALUMNUS RES.	18,200
WOMEN ALUMNUS STAGES	48
TOTAL OCCUPANCY (SQ FT)	1,117

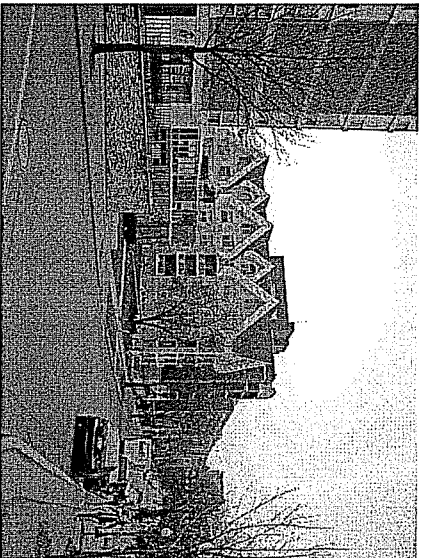
CITY REVIEW SET 8-14-2007  
- NOT FOR CONSTRUCTION

T100

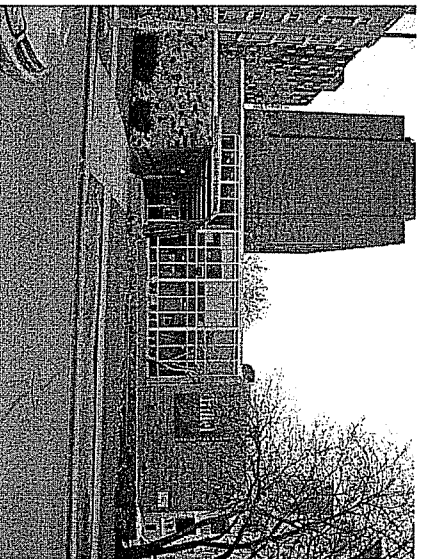




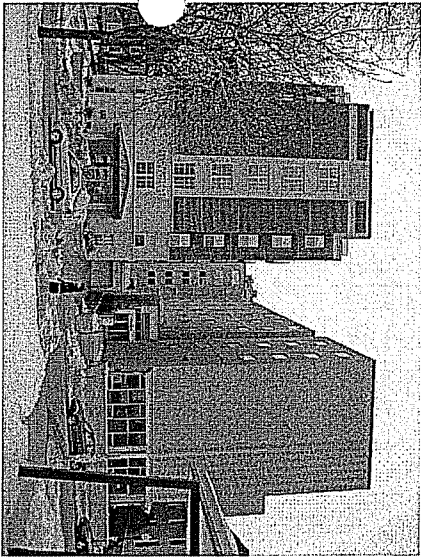
**PHOTO 1** View looking west down Langdon Street



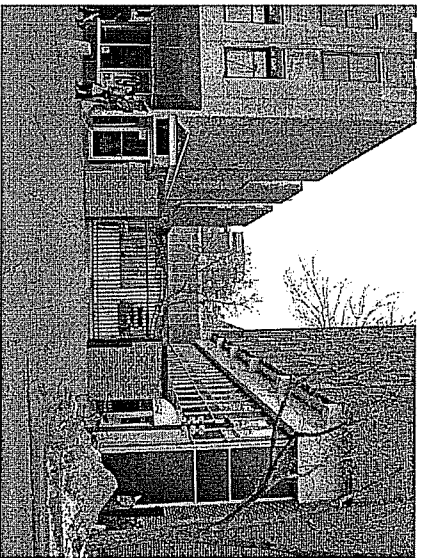
**PHOTO 2** View looking southwest to Hotel, Hillel & Residential Buildings



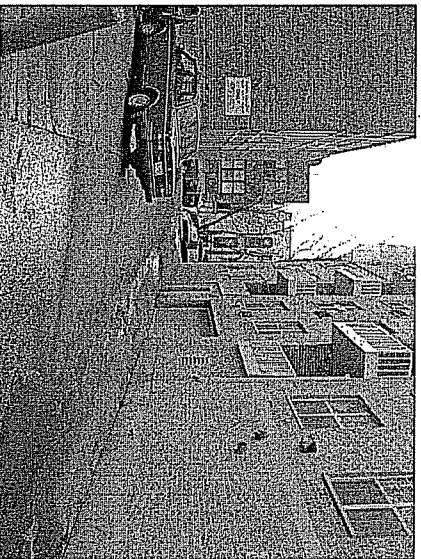
**PHOTO 3** View looking south across Langdon Street (Existing Hillel building)



**PHOTO 4** View looking north across Langdon Street from Hillel



**PHOTO 5** View looking north from Sala Street - service court for University Towers (on right)  
Existing Hillel building is beyond



**PHOTO 6** View looking south down alley - Hillel on left, residential building on right

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SITE PHOTOS



Engberg Anderson Design Partnership, Inc.  
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University of Wisconsin - Hillel  
611 Langdon Street  
Madison, WI 53703  
Project No. 071690

T101





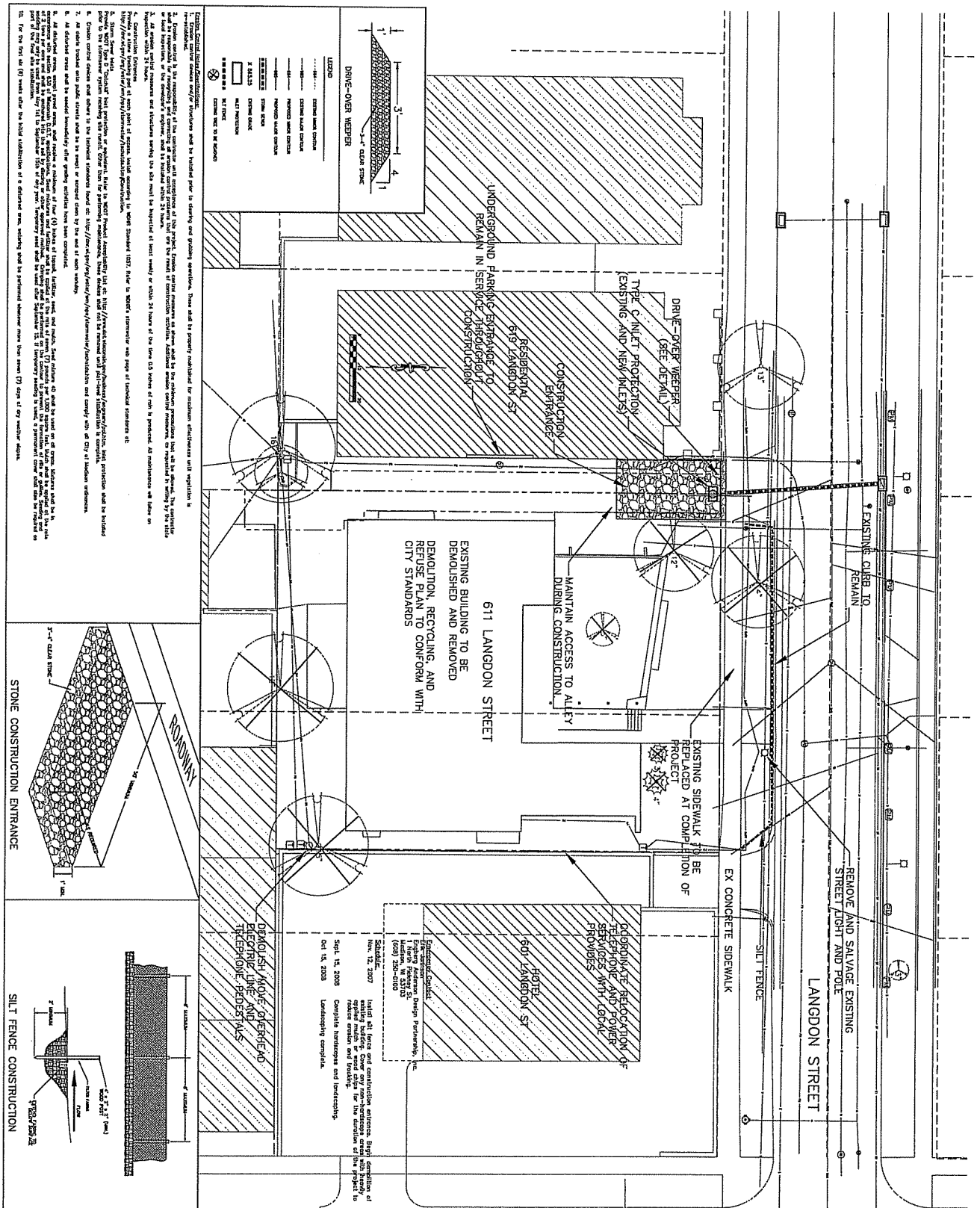
Zigby & Associates Inc.  
 ARCHITECTS & ENGINEERS  
 1000 Wisconsin Street  
 Madison, WI 53703  
 Telephone: 608.263.8800  
 Fax: 608.263.8801  
 www.zigby.com

**Burse**  
 ENGINEERS  
 1000 Wisconsin Street  
 Madison, WI 53703  
 Telephone: 608.263.8800  
 Fax: 608.263.8801  
 www.burse.com

UNIVERSITY OF WISCONSIN  
 HILLS

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Site Demolition & Erosion Control Plan  
**C100**





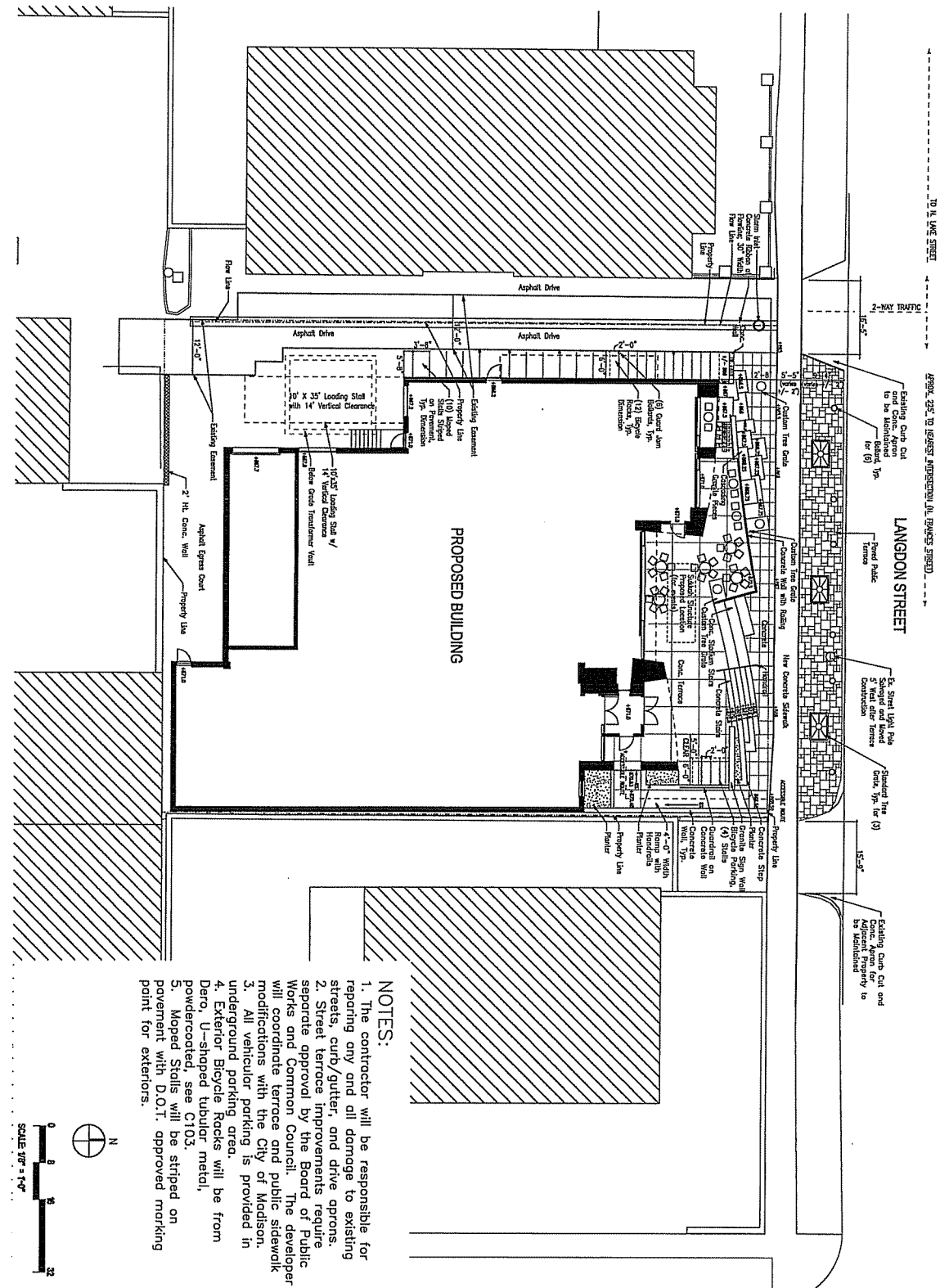
Engineering Architecture Interiors  
UNIVERSITY OF WISCONSIN  
MADISON



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MADISON  
FILED

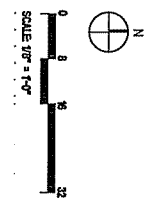
UNION TERRACE  
Owner: University of Wisconsin - 1504  
1504 University Avenue  
Madison, WI 53706  
Project No. 07102  
Date: 08/14/07  
Scale: 1/8" = 1'-0"

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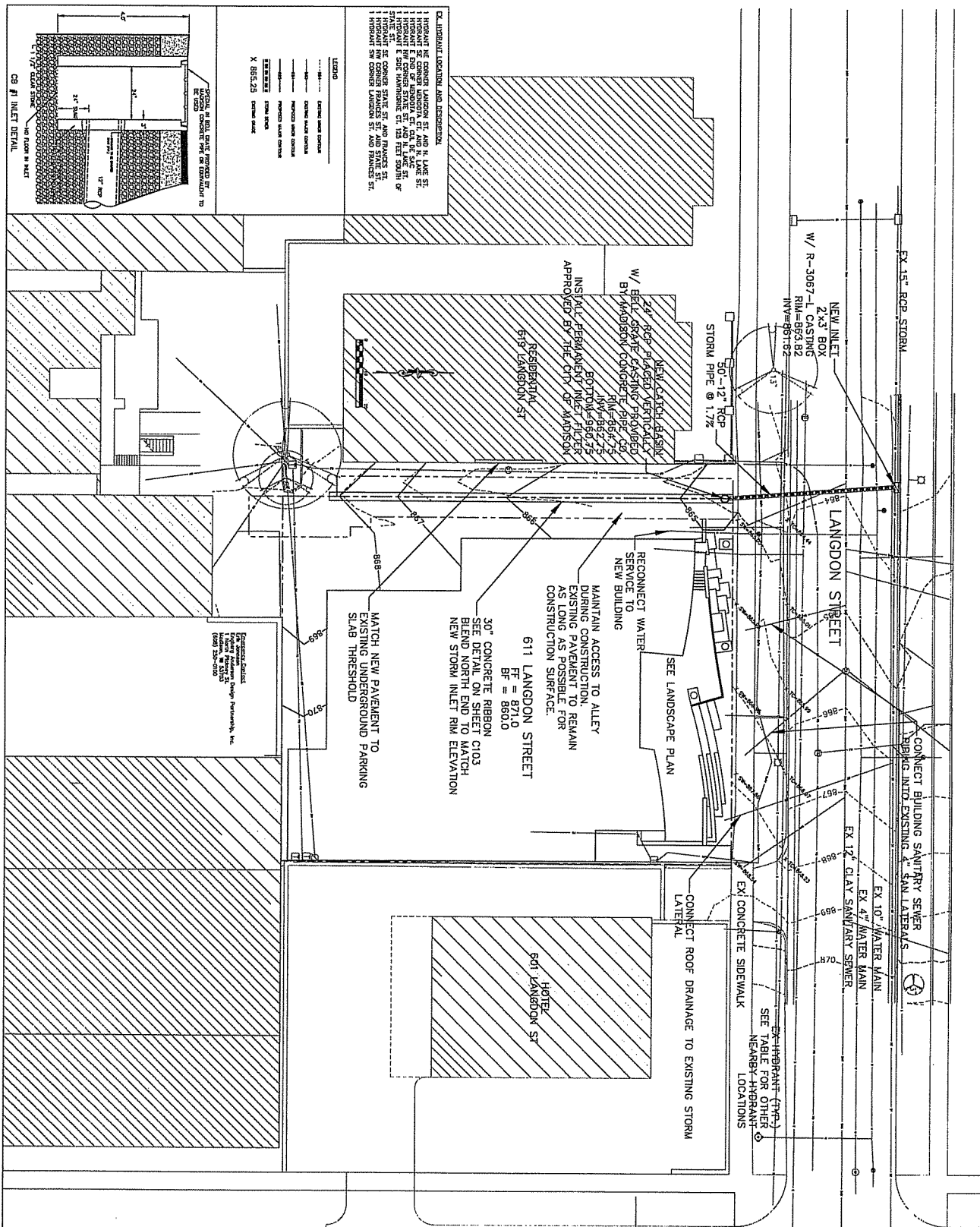
**NOTES:**

1. The contractor will be responsible for repairing any and all damage to existing streets, curb/gutter, and drive aprons.
2. Street terrace improvements require separate approval by the Board of Public Works and Common Council. The developer will coordinate terrace and public sidewalk modifications with the City of Madison.
3. All vehicular parking is provided in underground parking area.
4. Exterior Bicycle Racks will be from Dero, U-shaped tubular metal.
5. Moped Stalls will be striped on pavement with D.O.T. approved marking paint for exteriors.



Site Layout Plan  
C101

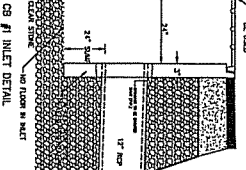
C101



- CL: UNDEGROUND LOCATION AND DIMENSIONS.
- 1 HYDRANT NE CORNER LANGDON ST. AND N. LANE ST.
  - 1 HYDRANT SW CORNER LANGDON ST. AND N. LANE ST.
  - 1 HYDRANT NW CORNER LANGDON ST. AND N. LANE ST.
  - 1 HYDRANT SE CORNER LANGDON ST. AND N. LANE ST.
  - 1 HYDRANT NE CORNER STATE ST. AND FINANCE ST.
  - 1 HYDRANT SW CORNER STATE ST. AND FINANCE ST.
  - 1 HYDRANT NW CORNER STATE ST. AND FINANCE ST.
  - 1 HYDRANT SE CORNER STATE ST. AND FINANCE ST.

**LEGEND**

- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING STORM DRAINAGE
- EXISTING UNDERGROUND UTILITY
- EXISTING SIDEWALK
- EXISTING PAVEMENT
- EXISTING DRIVE
- EXISTING STREET
- EXISTING SIDEWALK
- EXISTING DRIVE
- EXISTING STREET



- EX 15" RCP STORM
- EX 12" CLAY SANITARY SEWER
- EX 10" WATER MAIN
- EX 4" WATER MAIN
- EX 4" SANITARY SEWER
- EX HYDRANT (TYPE) SEE TABLE FOR OTHER NEARBY HYDRANT LOCATIONS
- CONNECT BUILDING SANITARY SEWER PIPING INTO EXISTING 4" SANI LATERALS
- CONNECT ROOF DRAINAGE TO EXISTING STORM LATERAL
- EX CONCRETE SIDEWALK
- RECONNECT WATER SERVICE TO NEW BUILDING
- MAINTAIN ACCESS TO ALLEY DURING CONSTRUCTION, EXISTING PAVEMENT TO REMAIN AS LONG AS POSSIBLE FOR CONSTRUCTION SURFACE.
- 30" CONCRETE RIBBON SEE DETAIL ON SHEET C103 BLEND NORTH END TO MATCH NEW STORM INLET RIM ELEVATION
- 611 LANGDON STREET  
FF = 871.0  
BF = 860.0
- MATCH NEW PAVEMENT TO EXISTING UNDERGROUND PARKING SLAB THRESHOLD
- NEW CAST-IN-PLACE CONCRETE W/ BELL-GASKET CASTING PROVIDED BY MADISON CONCRETE PIPE CO. BOTTOM: 960.75 IN: 882.75
- INSTALL PERMANENT INLET FLECK APPROVED BY THE CITY OF MADISON
- RESIDENTIAL 613 LANGDON ST
- NEW CAST-ON-BASIS W/ RCP PLACED VERTICAL W/ BELL-GASKET CASTING PROVIDED BY MADISON CONCRETE PIPE CO. RIM: 865.75 IN: 882.75

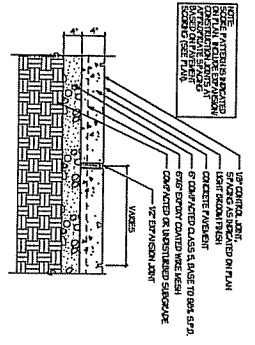
Engineering and Construction Services  
 UNIVERSITY OF WISCONSIN  
 MADISON

WISCONSIN REGISTERED PROFESSIONAL ENGINEER  
 Bruce W. ...  
 611 Langdon Street  
 Madison, WI 53706

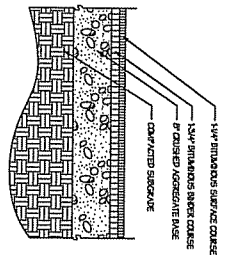
**CITY REVIEW SET 8-14-2007**  
**- NOT FOR CONSTRUCTION**

**C102**

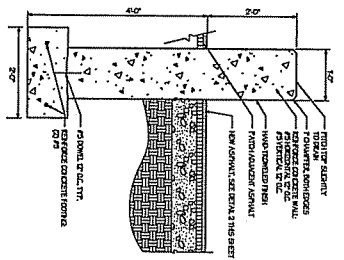
Grading & Utility Plan



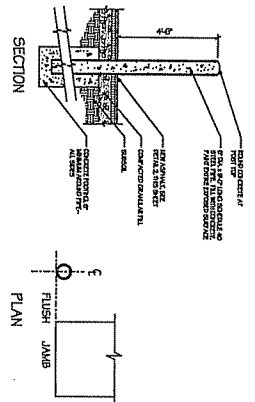
1 CONCRETE WALK AND JOINTS  
DETAIL  
NOT TO SCALE



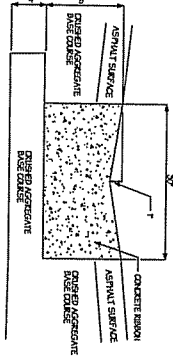
2 ASPHALT PAVEMENT  
DETAIL  
NOT TO SCALE



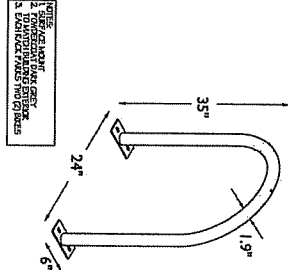
3 CONCRETE WALL  
DETAIL  
NOT TO SCALE



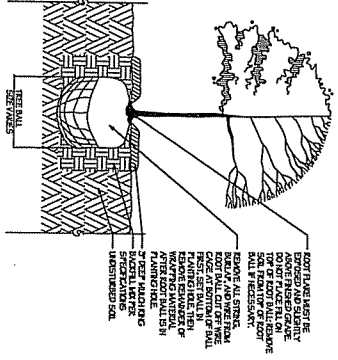
4 JAMB GUARD ROLLARD  
DETAIL  
NOT TO SCALE



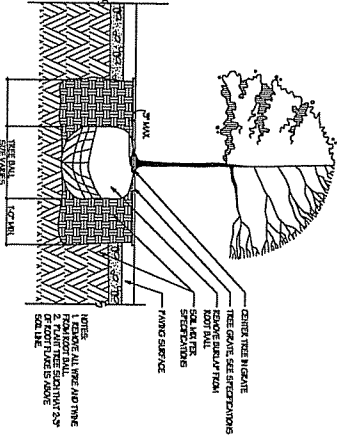
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DETAIL  
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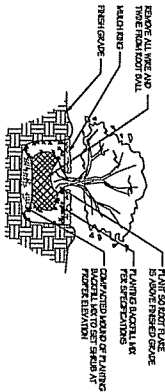
5 BICYCLE RACKS  
DETAIL  
NOT TO SCALE



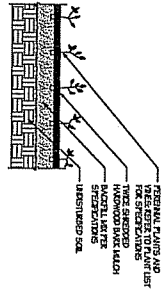
7 TREE PLANTING  
DETAIL  
NOT TO SCALE



8 TREE PLANTING IN GRATE  
DETAIL  
NOT TO SCALE



9 SHRUB PLANTING  
DETAIL  
NOT TO SCALE



10 PERENNIAL PLANTING  
DETAIL  
NOT TO SCALE



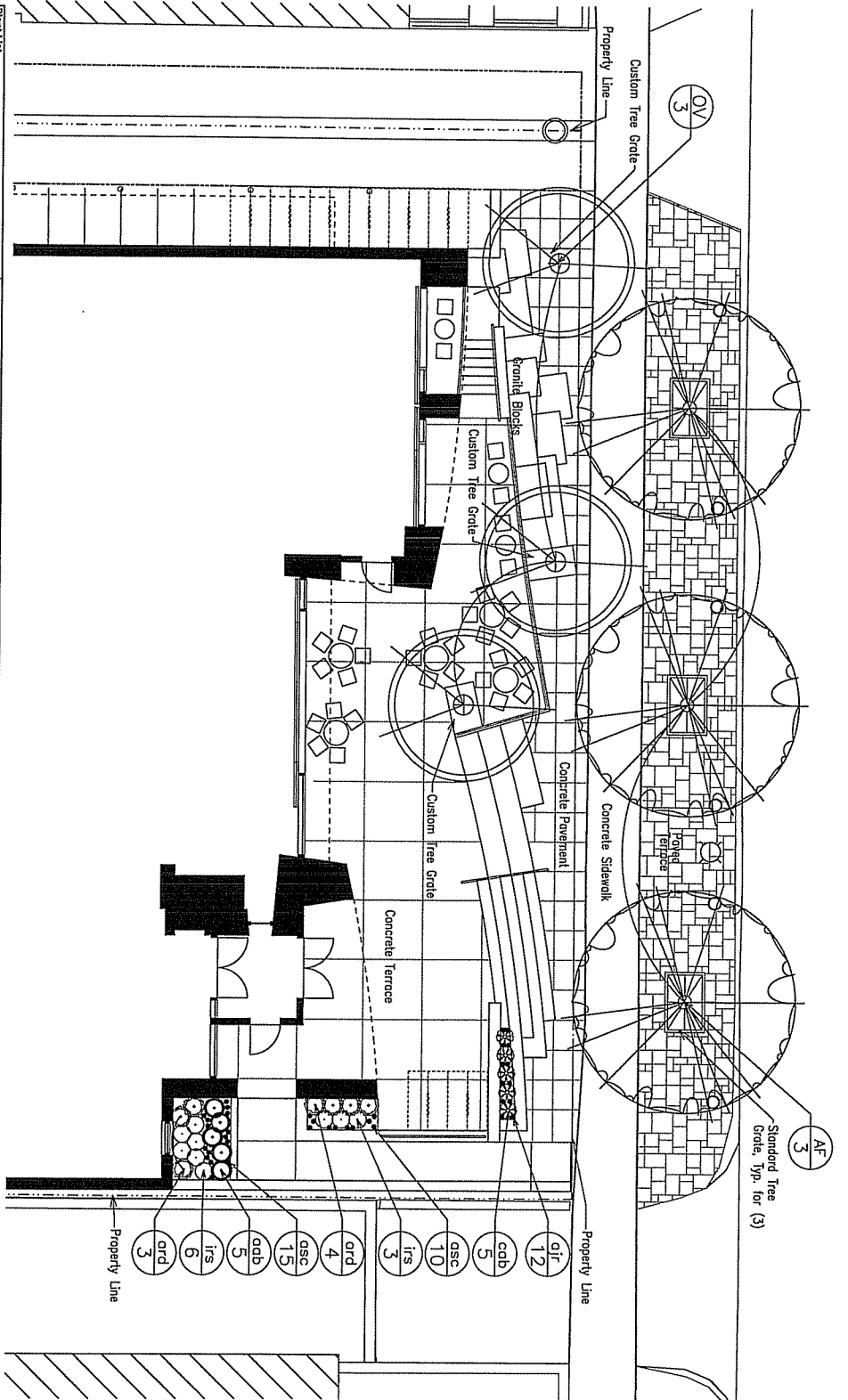
Engineering Architectural Design Architecture, Inc.  
UNIVERSITY OF WISCONSIN  
HILLIER  
1111 University Avenue  
Madison, WI 53706  
Phone: 608/785-0100  
Fax: 608/785-0101  
www.hillier.com

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Drawn by: BT  
Checked by: JZ  
File: 207-411-101-100.dwg  
Site Details

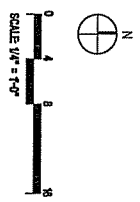
C103

# LANGDON STREET



Key Botanical Name	Common Name	Quantity	Size	Spec	Comments
Declivose Trees					
AF <i>Acacia fraseri</i> / <i>Amelanchier</i>	American Freeman Maple	3	2.5' Cal	B&B	Pending approval of City Forestry Department
OV <i>Osyris virginiana</i>	Eastern Lob Hornbeam	3	2" Cal	B&B	Single straight leader, match specimens
<del><i>Panicum</i></del> <i>Panicum</i>	<del>Grass</del> <i>Grass</i>	<del>3</del>	<del>2" Cal</del>	<del>B&amp;B</del>	<del>Single straight leader, match specimens</del>
<del><i>ajlf</i></del> <i>ajlf</i>	<del><i>Amelanchier</i></del> <i>Amelanchier</i>	<del>3</del>	<del>2.5' Cal</del>	<del>B&amp;B</del>	<del>Pending approval of City Forestry Department</del>
<del><i>cab</i></del> <i>cab</i>	<del><i>Castanea</i></del> <i>Castanea</i>	<del>5</del>	<del>1.5'</del>	<del>B&amp;B</del>	<del>Match specimens, 24" H, min.</del>
<del><i>dsc</i></del> <i>dsc</i>	<del><i>Dioscorea</i></del> <i>Dioscorea</i>	<del>10</del>	<del>10"</del>	<del>B&amp;B</del>	<del>Match specimens, 24" H, min.</del>
<del><i>firs</i></del> <i>firs</i>	<del><i>Fir</i></del> <i>Fir</i>	<del>3</del>	<del>3"</del>	<del>B&amp;B</del>	<del>Match specimens, 24" H, min.</del>
<del><i>grd</i></del> <i>grd</i>	<del><i>Grass</i></del> <i>Grass</i>	<del>4</del>	<del>4"</del>	<del>B&amp;B</del>	<del>Match specimens, 24" H, min.</del>
<del><i>ajlf</i></del> <i>ajlf</i>	<del><i>Amelanchier</i></del> <i>Amelanchier</i>	<del>3</del>	<del>2.5' Cal</del>	<del>B&amp;B</del>	<del>Pending approval of City Forestry Department</del>
<del><i>cab</i></del> <i>cab</i>	<del><i>Castanea</i></del> <i>Castanea</i>	<del>5</del>	<del>1.5'</del>	<del>B&amp;B</del>	<del>Match specimens, 24" H, min.</del>
<del><i>dsc</i></del> <i>dsc</i>	<del><i>Dioscorea</i></del> <i>Dioscorea</i>	<del>10</del>	<del>10"</del>	<del>B&amp;B</del>	<del>Match specimens, 24" H, min.</del>
<del><i>firs</i></del> <i>firs</i>	<del><i>Fir</i></del> <i>Fir</i>	<del>3</del>	<del>3"</del>	<del>B&amp;B</del>	<del>Match specimens, 24" H, min.</del>
<del><i>grd</i></del> <i>grd</i>	<del><i>Grass</i></del> <i>Grass</i>	<del>4</del>	<del>4"</del>	<del>B&amp;B</del>	<del>Match specimens, 24" H, min.</del>

- NOTES:**
1. Planters shall be mulched with twice-shredded hardwood bark mulch.
  2. Street trees and grates in terrace are being reviewed by and coordinated with Dean Kahl (268-4891) at the City of Madison Forestry Department.
  3. Landscape Worksheet is not required for this project.



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 HALEY  
 MADISON, WISCONSIN  
 PROJECT NO. 071829  
 DATE

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Created by: [Name]  
 Checked by: [Name]  
 Date: 2007-04-14 10:40:40 AM

Landscape Plan

**L100**





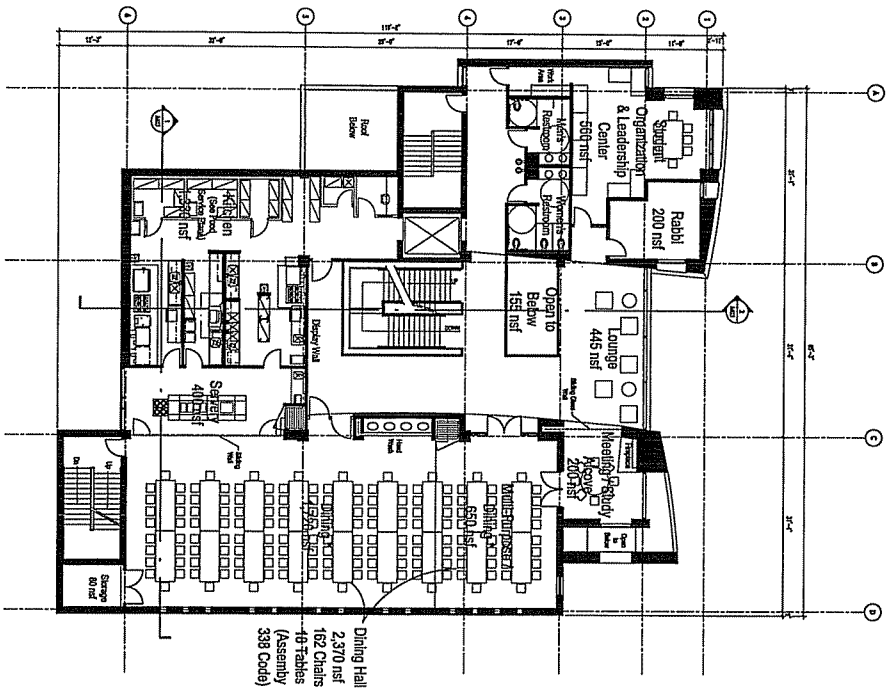


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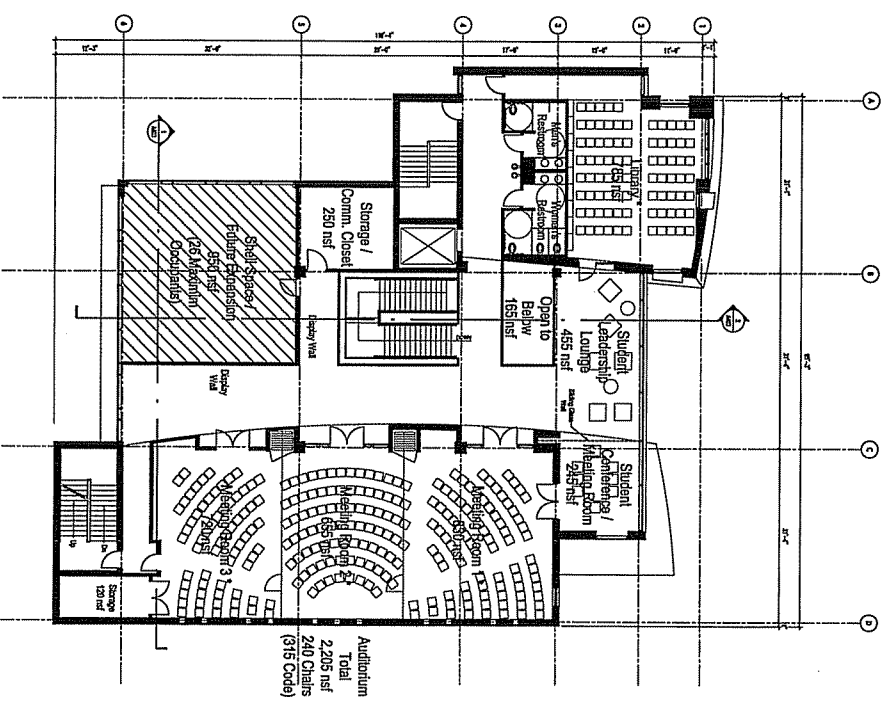
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 FILE

Project No. 07183  
 Date: 05/2007  
 No. Revisions: 1  
 Date:

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\* Indicates room used as worship space



\* Indicates room used as worship space



Author:	
Checked by:	
Date:	1/29/2007

Second and Third Floor Plans

A102



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FILED

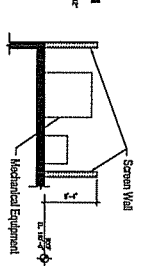
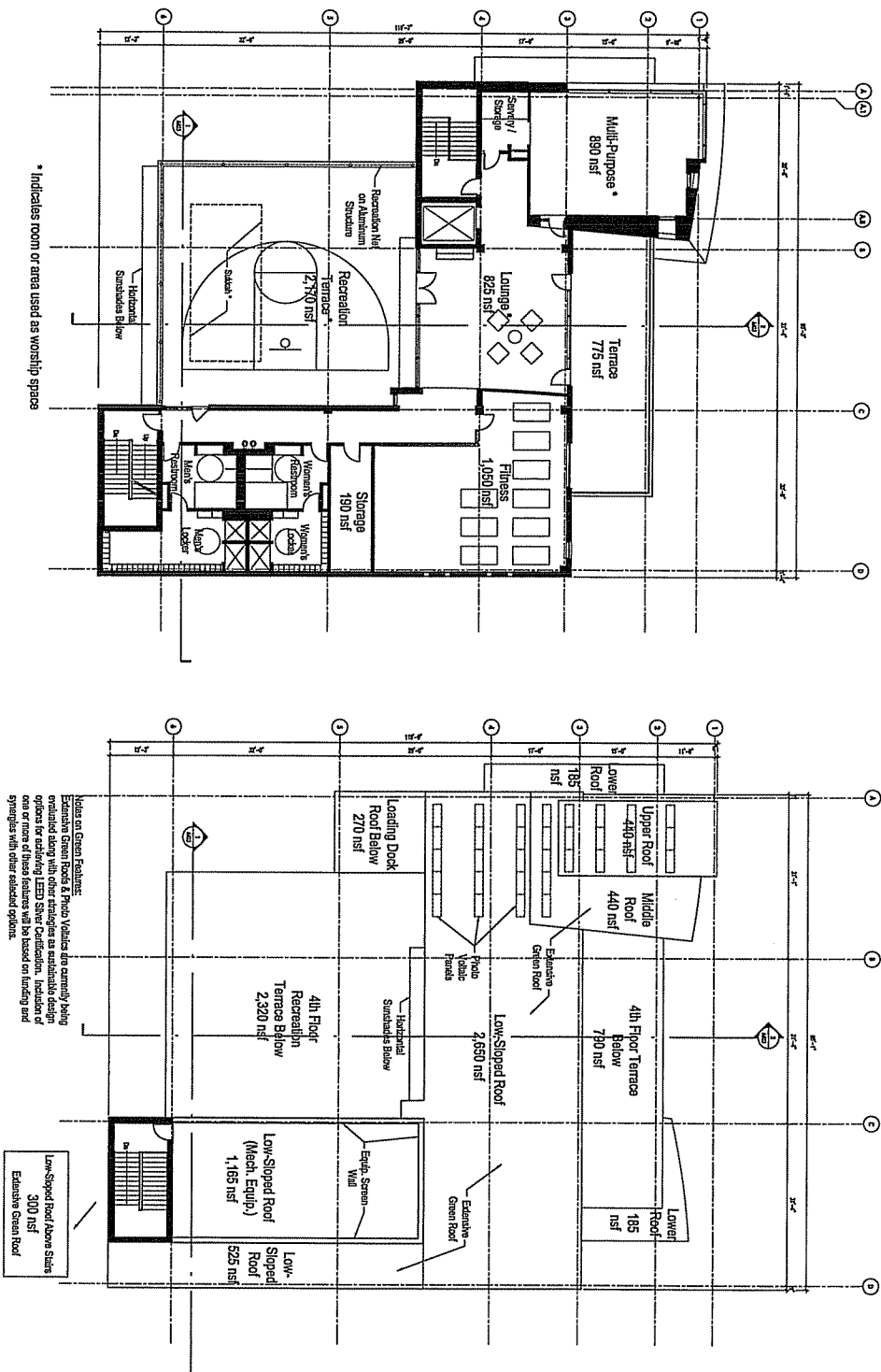
UNIVERSITY OF WISCONSIN  
111 University Street  
Madison, WI 53706  
Project No. 07185  
Date: 08/14/2007

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Scale: 1/8" = 1'-0"  
Date: 08/14/2007

Fourth Floor and  
Roof Plans

A103





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UNIVERSITY OF WISCONSIN  
FILE

Project: 1000  
1011 University Avenue  
Madison, WI 53706  
Phone: 608/785-0710  
Fax: 608/785-0710  
No. 1000  
Date:

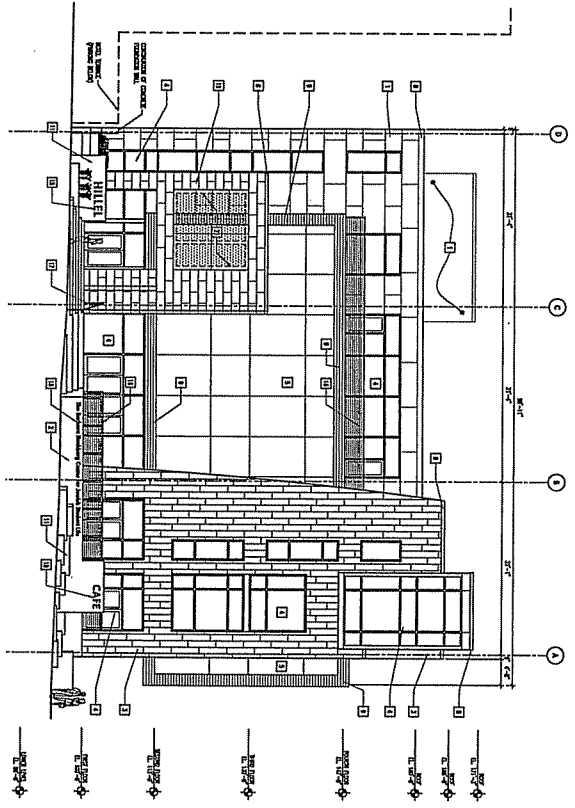
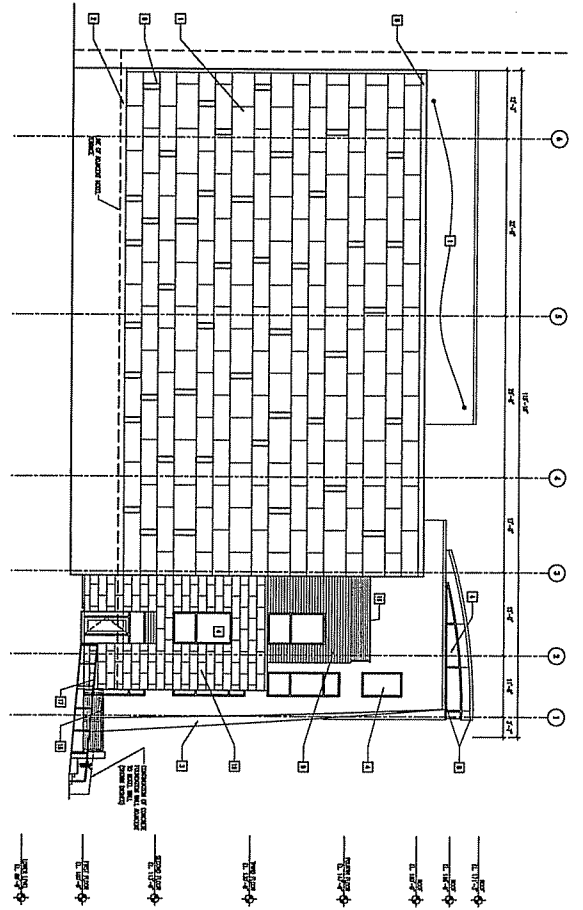
CITY REVIEW SET 8-14-2007  
- NOT FOR CONSTRUCTION

- KEYNOTES**
- 1) CONCRETE FOUNDATION
  - 2) CONCRETE WALL
  - 3) CONCRETE SLAB
  - 4) CONCRETE CURB
  - 5) CONCRETE CURB
  - 6) CONCRETE CURB
  - 7) CONCRETE CURB
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  - 100) CONCRETE CURB

Quantity: \_\_\_\_\_  
Created by: \_\_\_\_\_  
Date: 8/10/07

Exterior Elevations  
- East and North

A401





Engineering Administration  
UNIVERSITY OF WISCONSIN  
MADISON, WISCONSIN

UNIVERSITY OF WISCONSIN  
FILE #

UNIVERSITY OF WISCONSIN  
101 UNIVERSITY DRIVE  
MADISON, WISCONSIN 53706  
PHONE: 608/262-3700

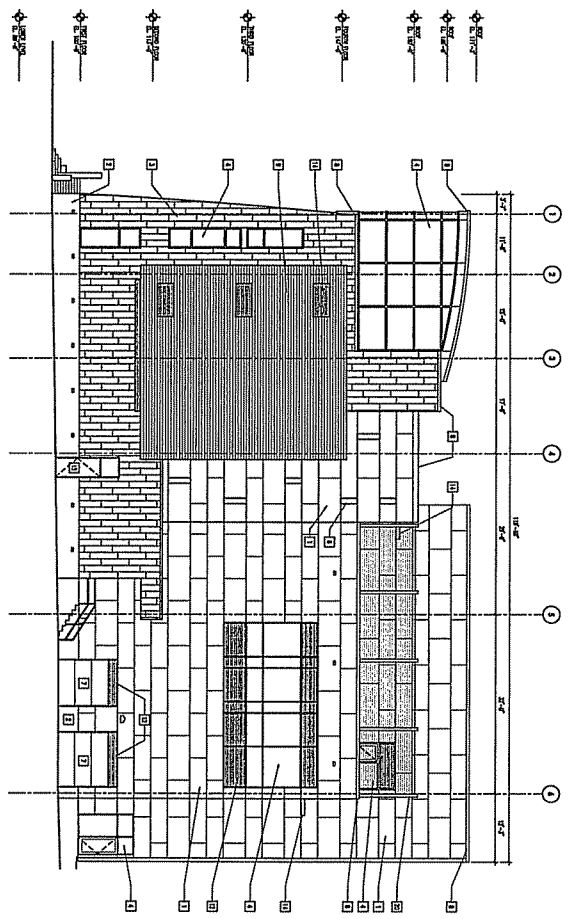
CITY REVIEW SET 8-14-2007  
- NOT FOR CONSTRUCTION

- LEGEND**
- 1. CLAY TILE ROOF
  - 2. 2" X 4" STUDS ON 16" OC
  - 3. 1/2" GYPSUM BOARD ON 2" X 4'S
  - 4. 1/2" GYPSUM BOARD ON 2" X 4'S
  - 5. 1/2" GYPSUM BOARD ON 2" X 4'S
  - 6. 1/2" GYPSUM BOARD ON 2" X 4'S
  - 7. 1/2" GYPSUM BOARD ON 2" X 4'S
  - 8. 1/2" GYPSUM BOARD ON 2" X 4'S
  - 9. 1/2" GYPSUM BOARD ON 2" X 4'S
  - 10. 1/2" GYPSUM BOARD ON 2" X 4'S
  - 11. 1/2" GYPSUM BOARD ON 2" X 4'S
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  - 13. 1/2" GYPSUM BOARD ON 2" X 4'S
  - 14. 1/2" GYPSUM BOARD ON 2" X 4'S
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  - 21. 1/2" GYPSUM BOARD ON 2" X 4'S
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  - 100. 1/2" GYPSUM BOARD ON 2" X 4'S

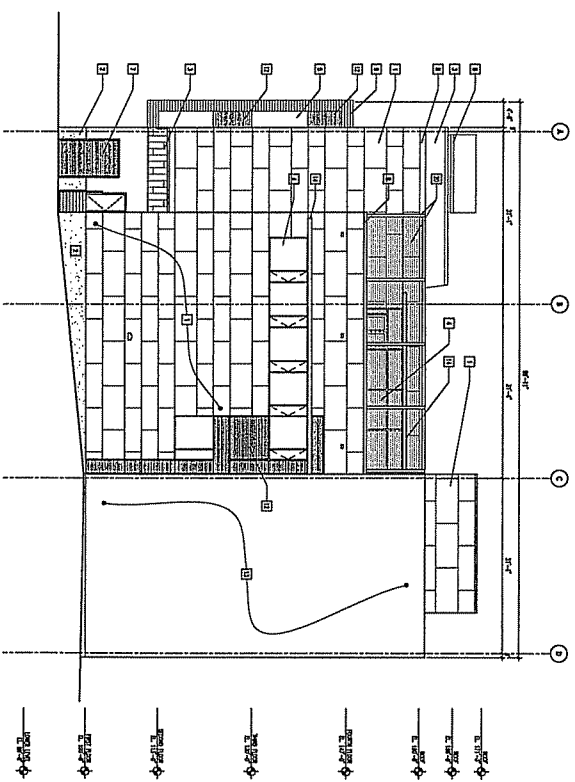
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Checked by -  
Date - 1/20/07

Exterior Elevations  
- West and South

A402



West Elevation



South Elevation

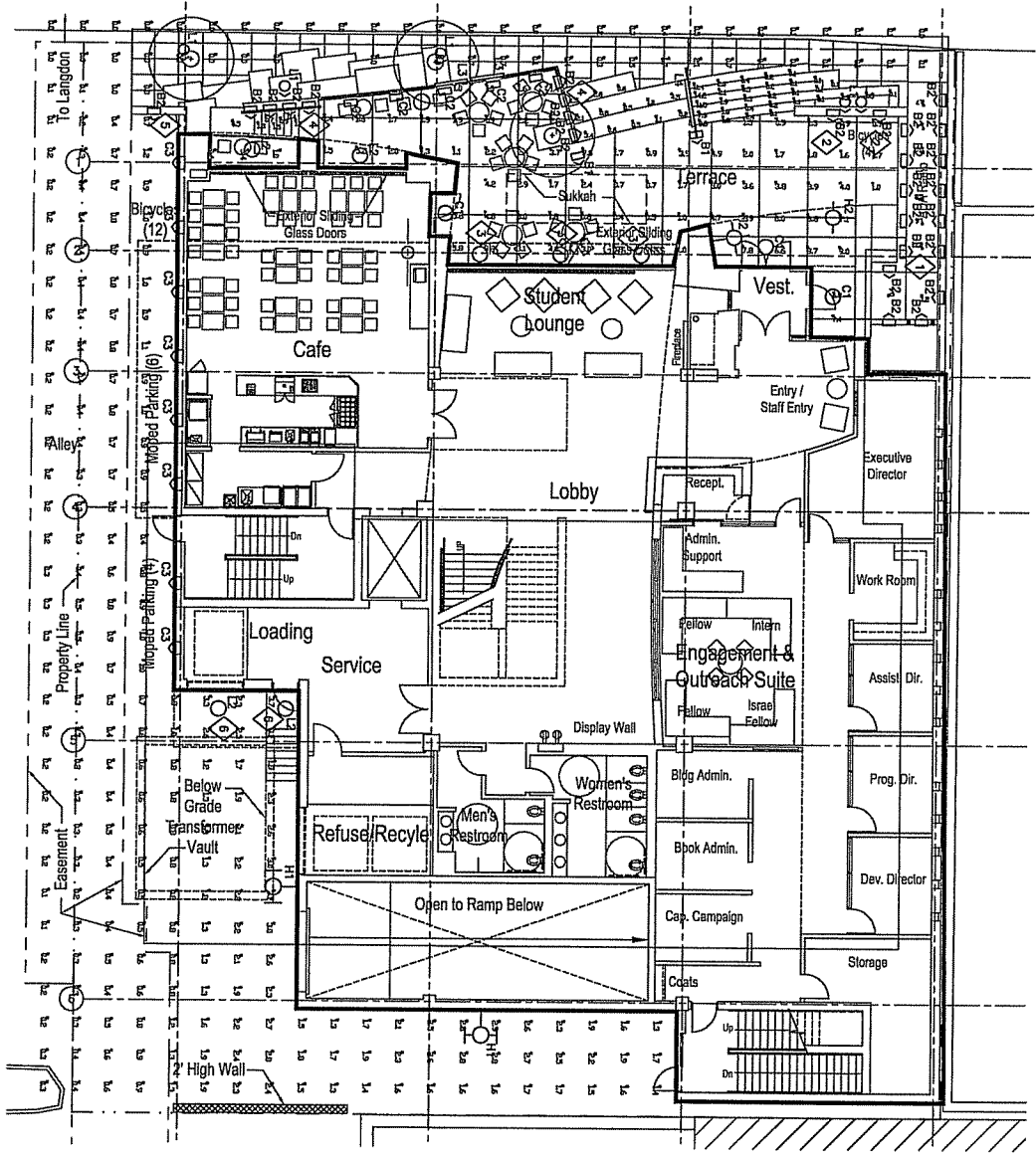


Engineering Architecture Design Inc.

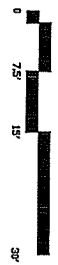
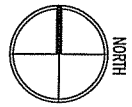
**AEI** Affiliated  
 Engineers  
 111 Lakeside Drive  
 Madison, WI 53706  
 608/263-5700  
 www.aei-engineers.com

**UNIVERSITY OF WISCONSIN**  
 MADISON

**CITY REVIEW SET 8-14-2007**  
**- NOT FOR CONSTRUCTION**



**1**  
**E101**  
 Electrical Site Lighting Plan  
 SCALE: 1"=15'



**E101**


Electrical Site  
 Lighting Plan

Project: 03  
 Owner: UO  
 Date: 8/14/07

- SHEET REMARKS:**
- 1 MOUNT TYPE B2 FIXTURES LOCATED ON RAMP INCLINE AT 0.7' ABOVE FINISHED FLOOR (AFF).
  - 2 MOUNT TYPE B2 FIXTURES LOCATED ON TERRACE AT 1' AFF.
  - 3 MOUNT TYPE L2 FIXTURES LOCATED ON TERRACE AT 12' AFF.
  - 4 MOUNT TYPE B2 FIXTURES LOCATED ON STEPS AT 1' AFF.
  - 5 MOUNT TYPE B2 FIXTURES LOCATED IN ALLEY AT 2' AFF.
  - 6 MOUNT TYPE L2 FIXTURES LOCATED ON DOCK LANDING AT 11' AFF.

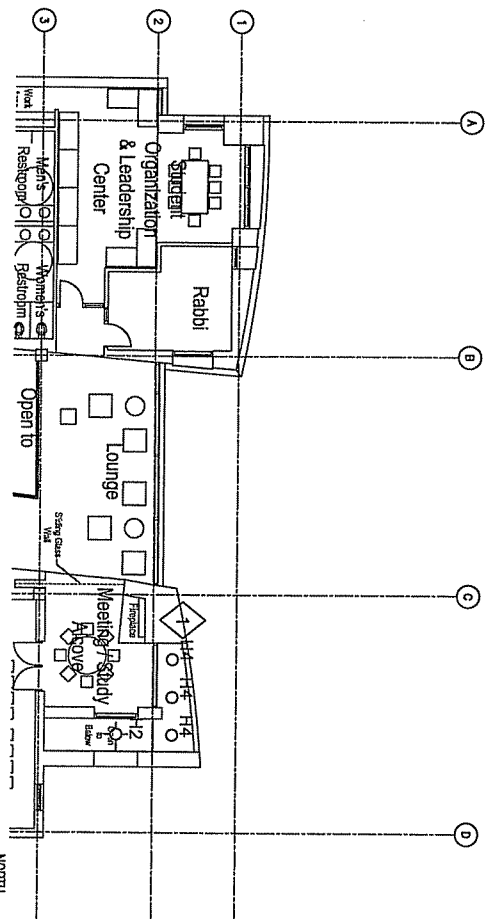
**SHEET KEYNOTES:**

1 SURFACE MOUNT TYPE RH FIXTURES TO STRUCTURE. DIRECTIONAL AIMING SHALL BE COORDINATED WITH OWNER.



Engineering & Architecture Department  
UNIVERSITY OF WISCONSIN  
ANNEX 4 - MADISON  
**AEI Affiliated Engineers**  
ARCHITECTS, ENGINEERS, INTERIORS, ENVIRONMENTAL SCIENTISTS  
UNIVERSITY OF WISCONSIN  
1110 UNIVERSITY AVENUE  
MADISON, WI 53706  
TEL: 608/263-0700  
WWW.AEI-ENGINEERS.COM

PROJECT: UNIVERSITY OF WISCONSIN  
ANNEX 4 - MADISON  
1110 UNIVERSITY AVENUE  
MADISON, WI 53706  
DATE: 07/20/07  
DRAWN BY: [Name]  
CHECKED BY: [Name]



1 Second Floor Entry Lighting Plan  
SCALE: 1/16" = 1'-0"

**LUMINAIRE SCHEDULE**

Type	Manufacturer	Catalog Number	Lumens	IES Class	Lamp No. & Type	Htg.	Mounting
B1	Borg	855041	3300	Type IV	(1) 35W T4 0.93	In Ground	Non-Cutoff
B2	Borg	2383	264	Type IV	(1) 18W S8 1.92	As noted	Cutoff
C1	Recreation Lighting	RIL-4-114	3200	Type I	(1) 42W CF-T108-4P	12'	Full Cutoff
C2	Borg	89477	1800	Type IV	(1) 28W CF-T108-4P	In Ground	Non-Cutoff
C3	Lumination	SJ700-FC18	1200	Type IV	(1) 18W R4 4P	4'	Non-Cutoff
H1	Kon Lighting	W114-2-2001-HS	8000	Type B	70W MH EB17	16'	Full Cutoff
H2	Gordon Lighting	301-SL-150MH	1000	Type IV	140MH	7'	Non-Cutoff
H3	Borg	747241	8000	Type IV	(1) 28W T8 012 MH	10'	Full Cutoff
H4	Kon Lighting	LV30/SP/720H277	4200		70W MH EB17	As noted	Full Cutoff
L1	Lada Fixtures	810777831	850		48T8	In Ground	
L2	Lada Fixtures	810777831	110		(2) 18W T8 1.87	As noted	
L3	Borg	8392	63		(3) 5W T8T4	In Ground	
L4	B2 Lighting	08-FC-3M10-FC1-05-22	17	Type V	(20) 5W MH 1.87	In Ground	Cutoff

**100 Area Summary**

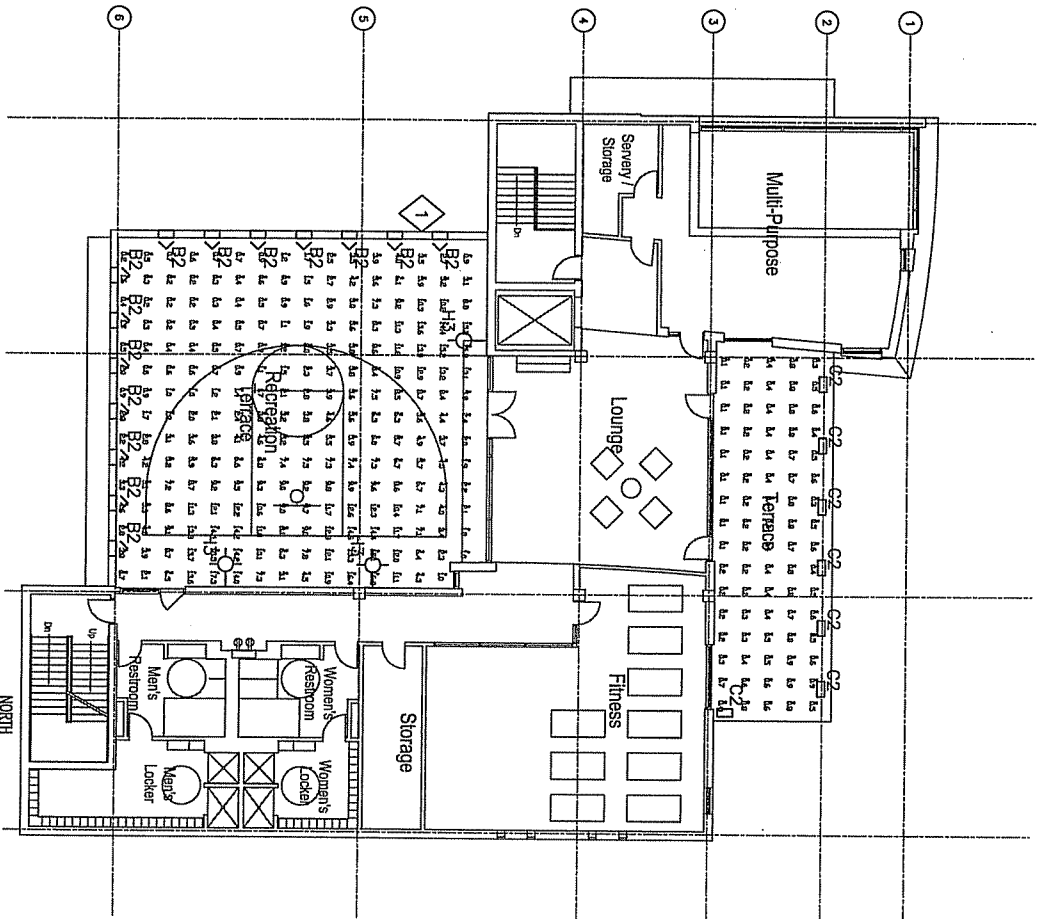
Label	Area	Per Area	LRP
Front Entrance	1501	16.5	1.1
Statue Area	1502	16.5	1.1
Statue Area	1503	16.5	1.1
Statue Area	1504	16.5	1.1
Statue Area	1505	16.5	1.1
Statue Area	1506	16.5	1.1
Statue Area	1507	16.5	1.1
Statue Area	1508	16.5	1.1
Statue Area	1509	16.5	1.1
Statue Area	1510	16.5	1.1
Statue Area	1511	16.5	1.1
Statue Area	1512	16.5	1.1
Statue Area	1513	16.5	1.1
Statue Area	1514	16.5	1.1
Statue Area	1515	16.5	1.1
Statue Area	1516	16.5	1.1
Statue Area	1517	16.5	1.1
Statue Area	1518	16.5	1.1
Statue Area	1519	16.5	1.1
Statue Area	1520	16.5	1.1
Statue Area	1521	16.5	1.1
Statue Area	1522	16.5	1.1
Statue Area	1523	16.5	1.1
Statue Area	1524	16.5	1.1
Statue Area	1525	16.5	1.1
Statue Area	1526	16.5	1.1
Statue Area	1527	16.5	1.1
Statue Area	1528	16.5	1.1
Statue Area	1529	16.5	1.1
Statue Area	1530	16.5	1.1
Statue Area	1531	16.5	1.1
Statue Area	1532	16.5	1.1
Statue Area	1533	16.5	1.1
Statue Area	1534	16.5	1.1
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Statue Area	1537	16.5	1.1
Statue Area	1538	16.5	1.1
Statue Area	1539	16.5	1.1
Statue Area	1540	16.5	1.1
Statue Area	1541	16.5	1.1
Statue Area	1542	16.5	1.1
Statue Area	1543	16.5	1.1
Statue Area	1544	16.5	1.1
Statue Area	1545	16.5	1.1
Statue Area	1546	16.5	1.1
Statue Area	1547	16.5	1.1
Statue Area	1548	16.5	1.1
Statue Area	1549	16.5	1.1
Statue Area	1550	16.5	1.1



Second Floor  
Entry Lighting Plan  
& Luminaire Schedule  
**EL202**

CITY REVIEW SET 8-14-2007  
- NOT FOR CONSTRUCTION

**1**  
**EL203**  
**Fourth Floor Electrical Lighting Plan**  
 SCALE: 1/16"=1'-0"



**SHEET NOTES:**  
**1** MOUNT TYPE B2 FIXTURES LOCATED IN RECREATION TERRACE AT 1' ABOVE FINISHED FLOOR (AFF).

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 UNIVERSITY OF WISCONSIN  
**AEI** Engineers  
 111 Linden Street  
 Madison, WI 53706  
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 Fax: 608/263-0700

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**- NOT FOR CONSTRUCTION**

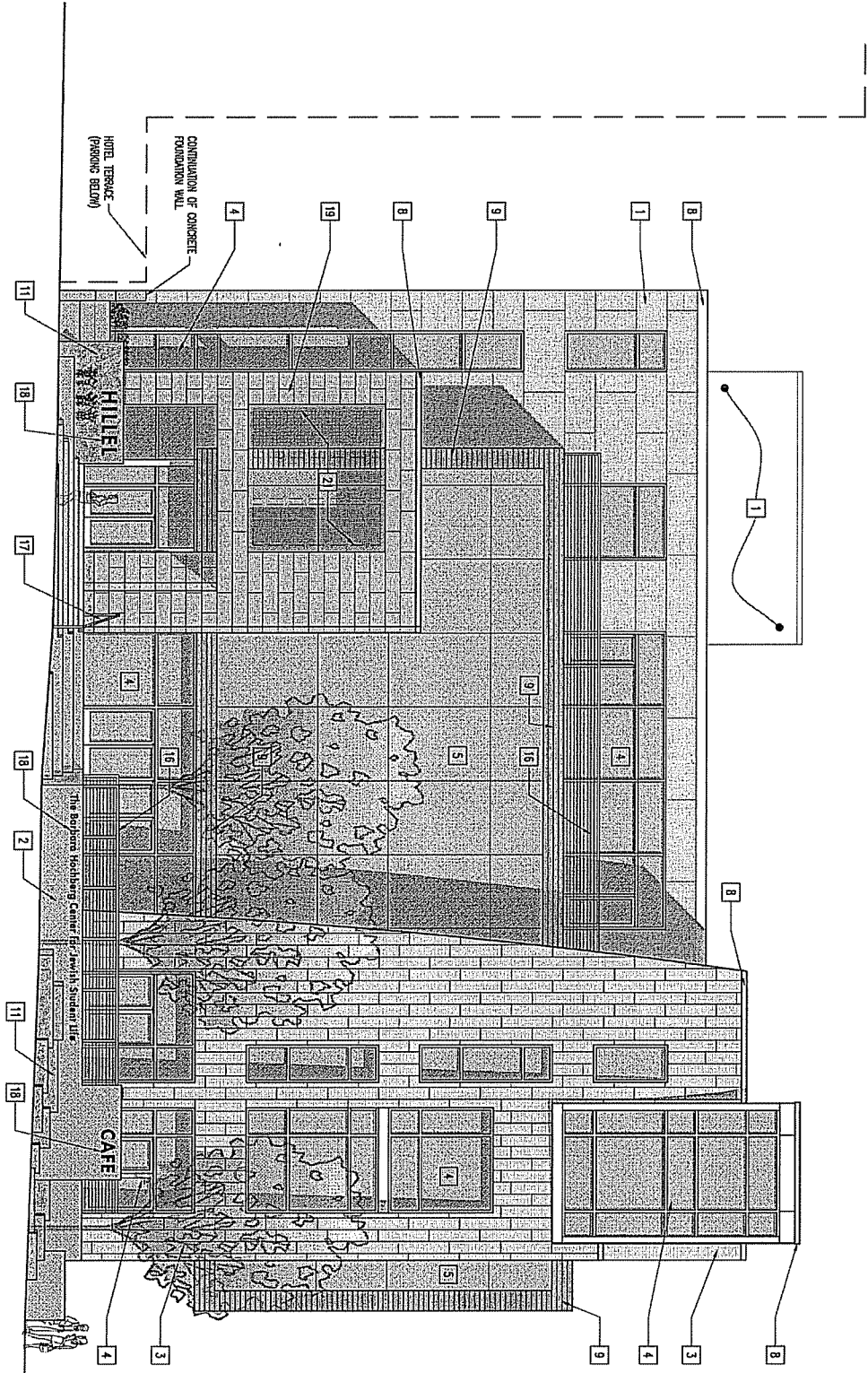


**Fourth Floor Electrical Lighting Plan**  
**EL203**

- KEYED NOTES**
- 1 COBERT DRAIN PANEL
  - 2 SEE DET SIMULATED CONCRETE
  - 3 HOOK AND SHIP BOLTED STAINLESS STEEL PANELS
  - 4 CLEAR INSULATED LOW-E GLAZING IN ANODIZED ALUMINUM FRAME
  - 5 CLEAR INSULATED LOW-E GLAZING IN BRIT CALLED OPERATE WALL
  - 6 GLASS BLOCK (1-1/4" RATED AT GIRT ELEVATION)
  - 7 INSULATED OPERATE DOOR - AIRS SHOWER DOOR

- 8 PREFINISHED METAL FRAMA
- 9 TRIM & BRIDGE PIE (CUSTOMARY FINISHED)
- 10 PREFINISHED METAL LOUVERS
- 11 BRAMTE
- 12 PREFINISHED METAL LOUVERS
- 13 6" EXPANDED STUCCO DASH
- 14 CURVED INTEGRAL SIA SHAPE

- 15 INSULATED METAL DOOR (PAINTED)
- 16 STAINLESS STEEL QUANTAL W/ CORE SYSTEM
- 17 STAINLESS STEEL HANDRAIL
- 18 CUT REDUCE LETTERS ON SIGN-OFFS
- 19 JEPSONIA STONE
- 20 RECEPTION KET ON ALUMINUM STRUCTURE
- 21 BRASS LIGHTINGS



- ROOF EL. 171'-3"
- ROOF EL. 168'-0"
- ROOF EL. 167'-0"
- FOURTH FLOOR EL. 147'-0"
- THIRD FLOOR EL. 133'-0"
- SECOND FLOOR EL. 113'-0"
- FIRST FLOOR EL. 100'-0"

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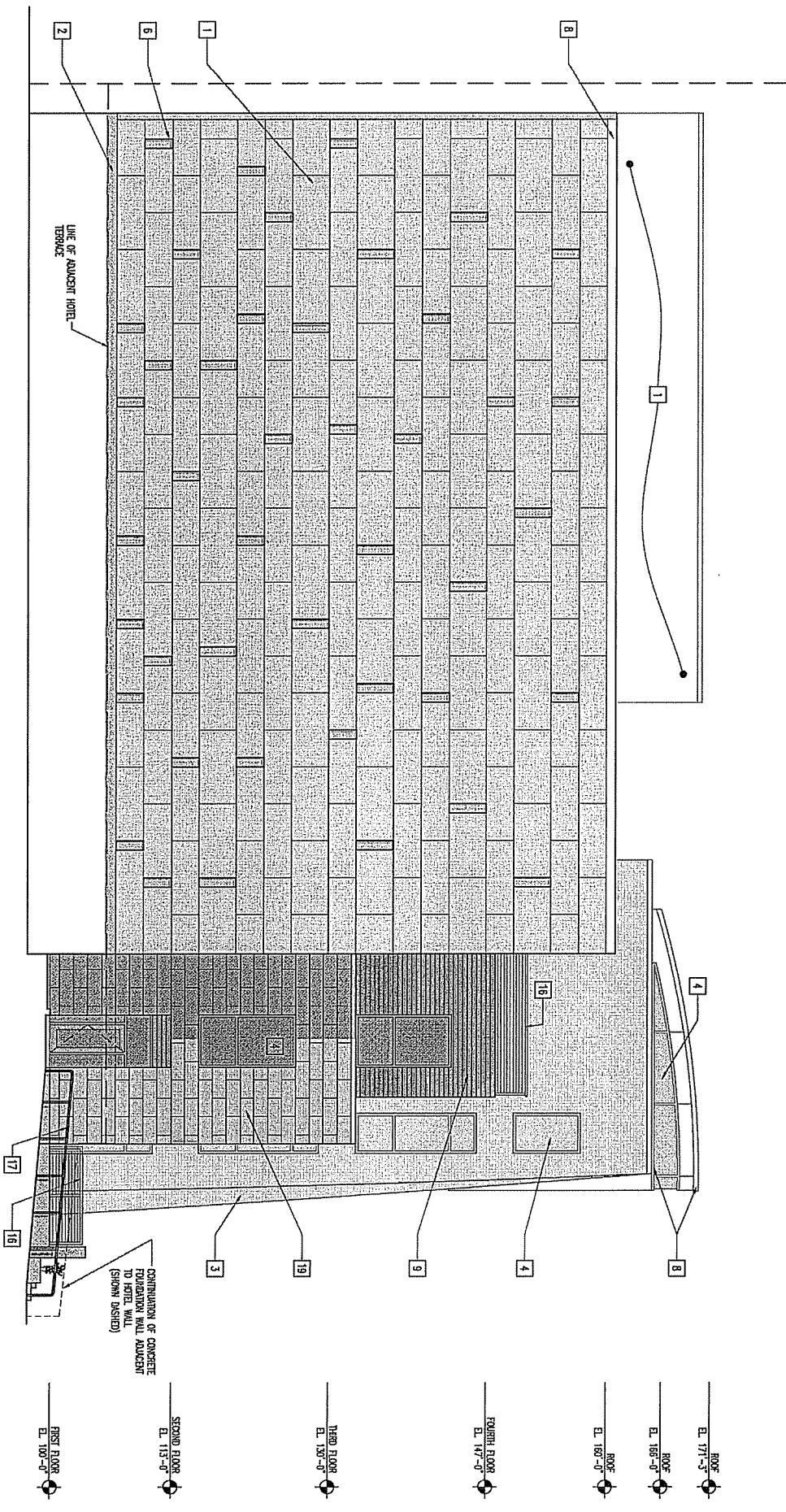
**University of Wisconsin - Hilliel**  
 611 Langdon Street  
 Madison, WI 53703  
 Project No. 071890

Engberg Anderson Design Partnership, Inc.  
 MILWAUKEE • MADISON

**A401a**

NORTH ELEVATION  
 3/32" = 1'-0"





- KEYED NOTES**
- 1 CONCRETE BOARD PANEL
  - 2 SITE CAST SANDWICHED CONCRETE
  - 3 WORK AND SHIMB BENTON STAINLESS STEEL SHEETS
  - 4 CLEAR INSULATED UP-4 GLAZING IN ADJACENT ALUMINUM FRAME
  - 5 CLEAR INSULATED UP-4 GLAZING IN SHIM GAZED WINDOW WALL
  - 6 CLASS BLOCK (1-1/2" RIBS AT 12" ON CENTER)
  - 7 INSULATED WINDOW DOOR - AIR SHIMMING CURTAIN
  - 8 PREFORMED METAL FRAMA
  - 9 THINSLIC & GROOVE PFC (SHEATHWAY HORIZONTAL)
  - 10 PREFORMED METAL LAMBERS
  - 11 GRANITE
  - 12 PREFORMED METAL LAMBERS
  - 13 8" EXPOSED SANDY OAK
  - 14 CHANGING HORIZONTAL SUN SHADE
  - 15 INSULATED METAL DOOR (SHOWN)
  - 16 STAINLESS STEEL CORNER W/ CODE SYSTEM
  - 17 STAINLESS STEEL WINDOW
  - 18 OUT VENTILATE LENTING ON SHIM-DRYS
  - 19 EXPOSED STONE
  - 20 REVISION NET ON ALUMINUM STRUCTURE
  - 21 SHIMB LAMBERS

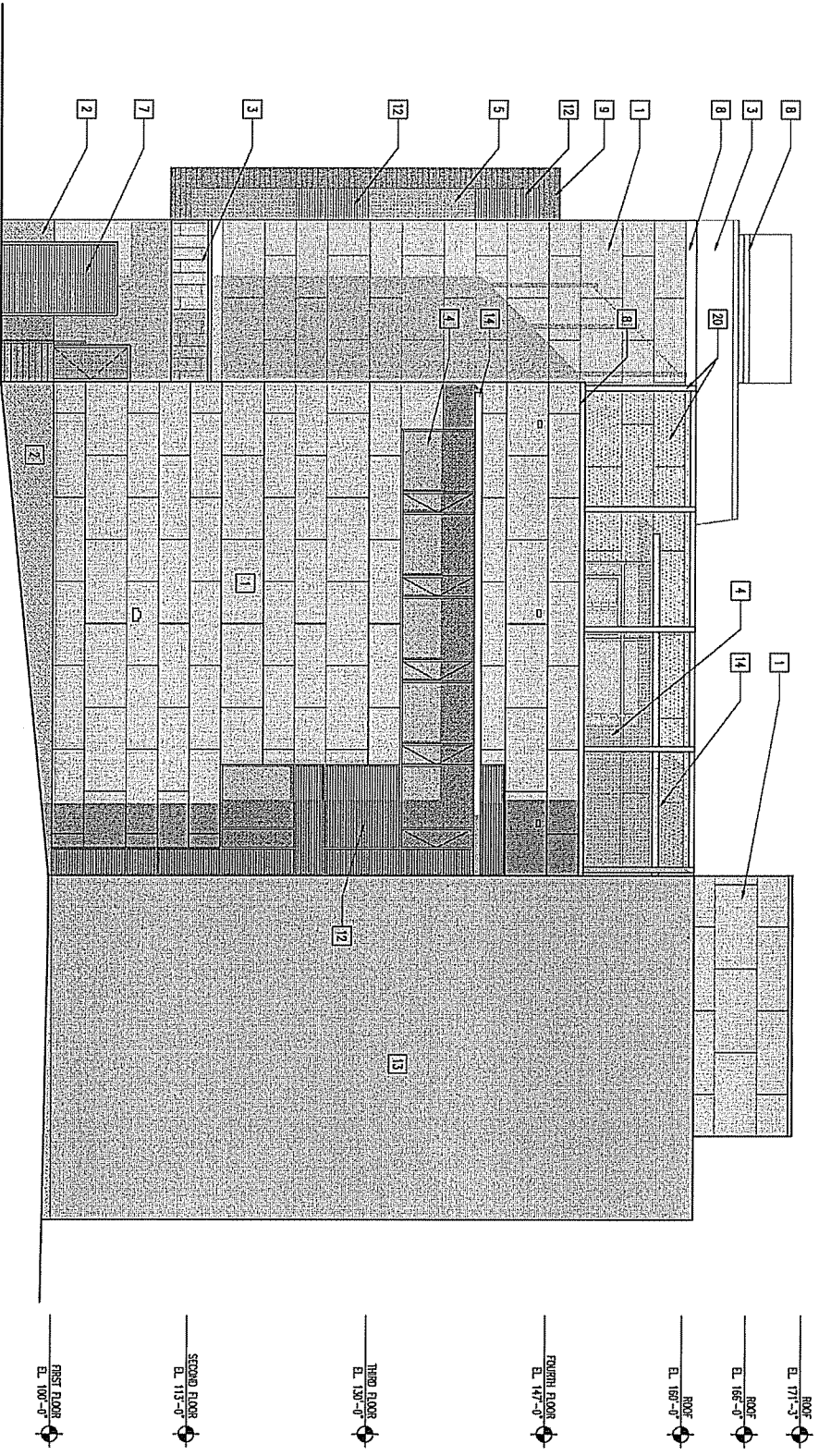
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6th Langdon Street  
Madison, WI 53703  
Project No. 071690

**EAST ELEVATION**  
3/32" = 1'-0"

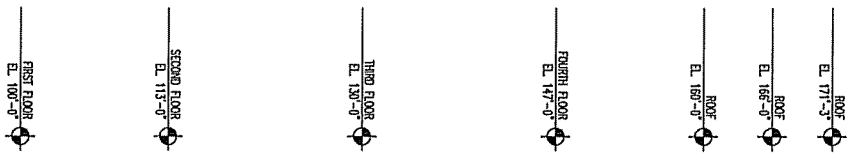
**A401b**



- KEYED NOTES**
- 1 COLOR GLASS PANEL
  - 2 SET CURT SANGUARD CONCRETE
  - 3 HOOK AND STIFF BRASSIED STAINLESS STEEL PANELS
  - 4 CLEAR INSULATED LOW-E GLASS IN ANODIZED ALUMINUM FRAME
  - 5 CLEAR INSULATED LOW-E GLASS IN BUNT GLAZED CERAMIC WALL
  - 6 GLASS BLOCK (1-1/4" RIBS AT EAST ELEVATION)
  - 7 INSULATED OPERABLE DOOR - INT. STAINLESS CLASH


- 8 PREFINISHED METAL FINISH
- 9 TRIM & BRONZE PE (SPERMALLOY HANDED)
- 10 PREFINISHED METAL LAMINAR
- 11 GRANITE
- 12 PREFINISHED METAL LAMINAR
- 13 8" EXTERIOR STAINED OAK
- 14 SAWHATCH HORIZONTAL SUN SHADE

- 15 INSULATED METAL DOOR (FINISH)
- 16 STAINLESS STEEL CHANNEL W/ COIL SYSTEM
- 17 STAINLESS STEEL ANVIL
- 18 CUT METAL LETTERING ON STAINLESS
- 19 GRANULAR STONE
- 20 REVISION NOT IN ALUMINUM STRUCTURE
- 21 SHIRT LOCATIONS



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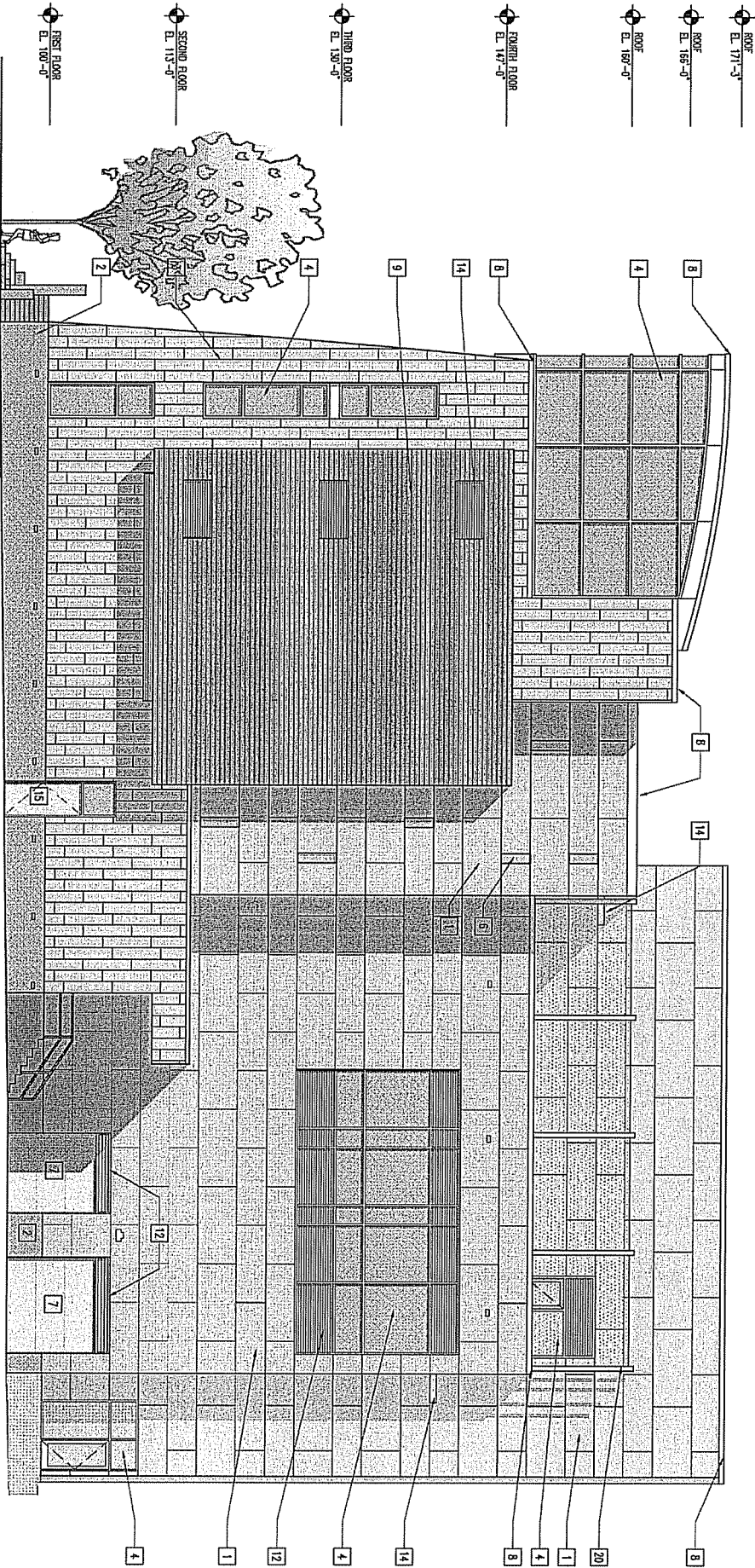
**SOUTH ELEVATION**  
3/32" = 1'-0"



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Project No 071690

A402a



- KEYED NOTES**
- 1 COLOR RAIND PANEL
  - 2 SITE CAST SANDGRADED CONCRETE
  - 3 HOOK AND STRIP BENDED STAINLESS STEEL PANELS
  - 4 CLEAR INSULATED LOW-E GLAZING IN ANODIZED ALUMINUM FRAME
  - 5 CLEAR INSULATED LOW-E GLAZING IN BRIT GLAZED ALUMINUM WALL
  - 6 GLASS BLOCK (1-1/4" RIBS) AT GIRT ELEVATION
  - 7 INSULATED OVERHEAD DOOR - SITE SANDWICH COLOR
  - 8 PREFINISHED METAL FINISH
  - 9 TRIM & GROOVE (IF OTHERWISE INDICATED)
  - 10 PREFINISHED METAL LAYERS
  - 11 GRAIN
  - 12 PREFINISHED METAL LAYERS
  - 13 6" POLYUREA SEALANT GUL
  - 14 GLAZING INSURGICAL SUN SHIELD
  - 15 INSULATED METAL DOOR (PAINTED)
  - 16 STAINLESS STEEL CORNER V/ CASE STUDY
  - 17 STAINLESS STEEL MATERIAL
  - 18 CUT METAL LETTERS ON SIGN-OFFS
  - 19 ANODIZED STONE
  - 20 RECONSTRUCTION OF ALUMINUM STRUCTURE
  - 21 BARNED LAYERS

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WEST ELEVATION  
3/32" = 1'-0"

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Project No 071590

**A402b**