

# URBAN DESIGN COMMISSION APPLICATION

# UDC

City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## FOR OFFICE USE ONLY:

Paid \_\_\_\_\_ Receipt # \_\_\_\_\_  
Date received \_\_\_\_\_  
Received by \_\_\_\_\_  
Aldermanic District \_\_\_\_\_  
Zoning District \_\_\_\_\_  
Urban Design District \_\_\_\_\_  
Submittal reviewed by \_\_\_\_\_  
Legistar # \_\_\_\_\_



Complete all sections of this application, including the desired meeting date and the action requested.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.*

### 1. Project Information

Address: 7213 Mineral Point Rd

Title: Sleep Number

### 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested 07/14/21

- New development       Alteration to an existing or previously-approved development  
 Informational       Initial approval       Final approval

### 3. Project Type

- Project in an Urban Design District  
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)  
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)  
 Planned Development (PD)  
     General Development Plan (GDP)  
     Specific Implementation Plan (SIP)  
 Planned Multi-Use Site or Residential Building Complex

#### Signage

- Comprehensive Design Review (CDR)  
 Signage Variance (i.e. modification of signage height, area, and setback)  
 Signage Exception

#### Other

- Please specify \_\_\_\_\_

### 4. Applicant, Agent, and Property Owner Information

**Applicant name** Heather Vetter  
**Street address** 831 N Central Ave  
**Telephone** 630-422-1708

**Company** KDN Signs  
**City/State/Zip** Wood Dale IL 60191  
**Email** heather@kdnsigns.com

**Project contact person** Brendan Bailey/Heather Vetter  
**Street address** 831 N Central Ave  
**Telephone** 630-422-1708

**Company** KDN Signs  
**City/State/Zip** Wood Dale IL 60191  
**Email** heather@kdnsigns.com

**Property owner (if not applicant)** Andrew Goodman  
**Street address** 3000 Dundee Rd Suite 408  
**Telephone** 847-680-8600 ext 302

**City/State/Zip** Northbrook IL 60062  
**Email** asg@gmxre.com



5. Required Submittal Materials

- Application Form
- Letter of Intent
  - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
  - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development Plans (Refer to checklist on Page 4 for plan details)
- Filing fee
- Electronic Submittal\*
- Notification to the District Alder
  - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

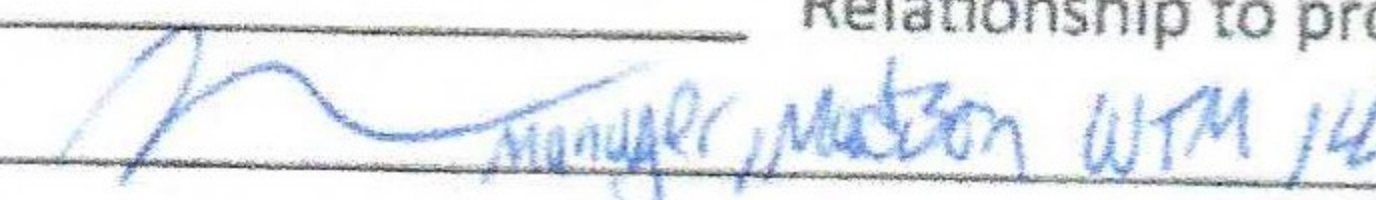
Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to [udcapplications@cityofmadison.com](mailto:udcapplications@cityofmadison.com). The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on 05/25/21.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Heather Vetter Relationship to property Sign Installation Company  
 Authorizing signature of property owner  Date 5/26/2021

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex





**Kdn**  
**SIGNS**

[Kdnsigns.com](http://Kdnsigns.com)

To whom it may concern,

KDN Signs has been contracted to install the signage on a newly constructed building at 7213 Mineral Point Rd. We are installing signs on the North and South elevation and the customer has requested a sign to be place on West elevation. The North and South elevation have a proposed square footage of 79.0 and the West elevation has a proposed square footage of 58.91. There has been a variance called on the West elevation because it does not face a street or a parking lot. The customer has chosen to place a sign on West elevation to increase visibility towards their tenant space.

Thank You

v

Heather Vetter

Administrative Manager

KDN Signs

☐ (630)422-1708

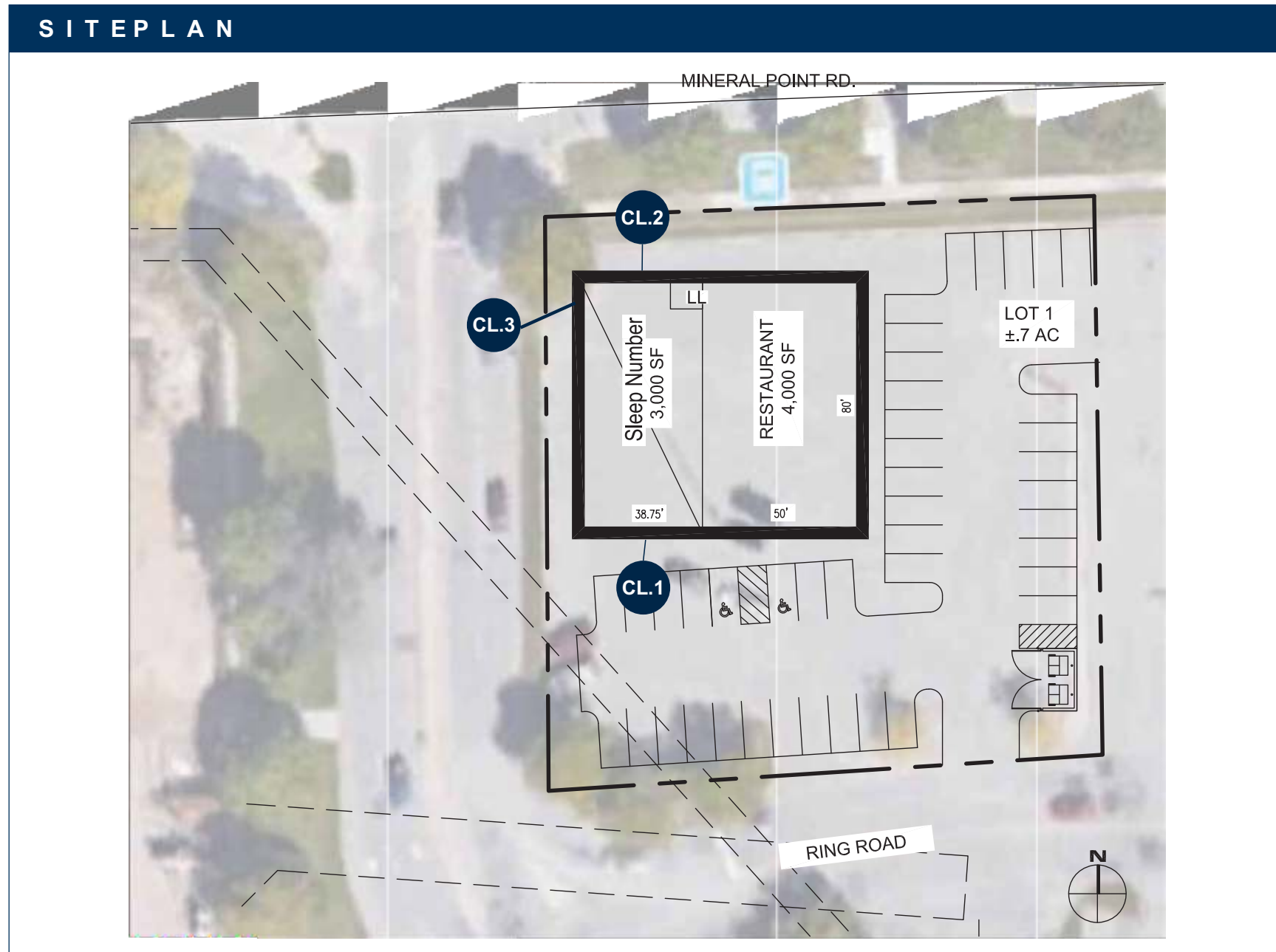
☒ @kdnsigns.com

sleep  number

EXTERIOR SIGN PACKAGE

MADISON, WI  
04.30.2021





N.T.S.

## CL.1 & CL.2 - Standard Permits Approved.

### WORKSCOPE

- CL.1** 3'-8" FACE-LIT CHANNEL LETTERS & CABINET (Qty 1)  
SQUARE FOOTAGE: 79
- CL.2** 3'-8" FACE-LIT CHANNEL LETTERS & CABINET (Qty 1)  
SQUARE FOOTAGE: 79
- CL.3** 3'-2" FACE-LIT CHANNEL LETTERS & CABINET (Qty 1)  
SQUARE FOOTAGE: 58.91

**CL.3 Submitted for UDC Review.**



### CODE ALLOWANCE

**-Quantity:** Limited by signable areas and maximum net area, not by quantity within those areas

**-Square Footage of signable area:** One designated area of the facade of the building up to the roof line that is free of doors, windows, or other major architectural detail, that extends no higher than the juncture of the wall and the roof. The size of the signable area is determined by calculating the number of square feet that are enclosed by an imaginary rectangle or square drawn around the area selected. There shall be one signable area, whether on the wall or the roof, for each facade facing a street.

**-Square Footage of sign:** The maximum net area of all wall or roof signs within a single signable area shall be no more than forty percent (40%) of the signable area or two (2) square feet of signage for each lineal foot of building frontage. **In no case shall a wall, roof, or above roof sign exceed 80 square feet in net area.**

**-Variance:** Due to site being located at West Towne Mall, variance may require comprehensive design review to create a comprehensive sign plan or for lot to be included under West Towne's CSP

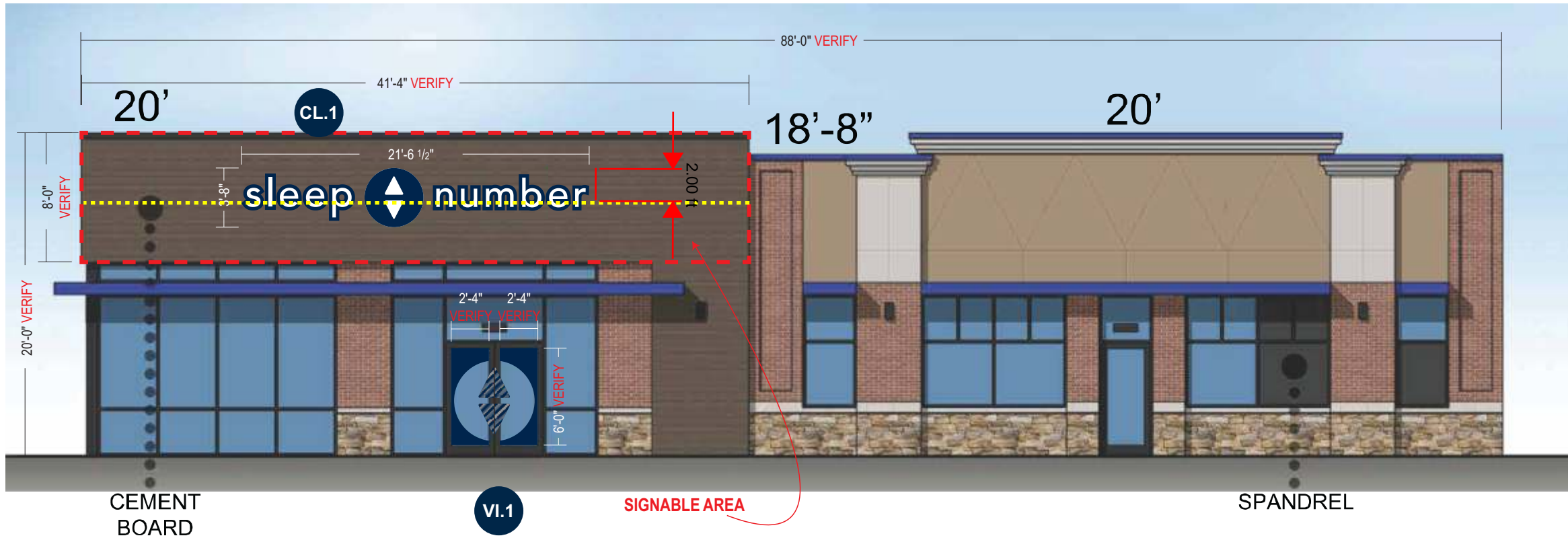
 <b>JONES SIGN</b> Your Vision. Accomplished. WWW.JONESSIGN.COM	JOB #: <b>247021-R3</b> DATE: 12.18.2019 DESIGNER: T Solum SALES REP: R Walker PROJ MGR: T Olson	<table border="1"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>00.00.00</td> <td>TG</td> <td>ADD CL.3 / ELEVATION</td> </tr> <tr> <td>2</td> <td>03.16.21</td> <td>AR</td> <td>REVISE SIZE OF CL.3 TO FIT ALLOWABLE SQ. FT.</td> </tr> <tr> <td>3</td> <td>04.30.21</td> <td>JS</td> <td>UPDATE ELEVATIONS / REMOV CL.3 / ADD NIGHT VIEW</td> </tr> <tr> <td>4</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> <tr> <td>5</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> <tr> <td>6</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> <tr> <td>7</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> <tr> <td>8</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> <tr> <td>9</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> <tr> <td>10</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> </tbody> </table>	REV.	DATE	BY	DESCRIPTION	1	00.00.00	TG	ADD CL.3 / ELEVATION	2	03.16.21	AR	REVISE SIZE OF CL.3 TO FIT ALLOWABLE SQ. FT.	3	04.30.21	JS	UPDATE ELEVATIONS / REMOV CL.3 / ADD NIGHT VIEW	4	00.00.00	XX	XXXX	5	00.00.00	XX	XXXX	6	00.00.00	XX	XXXX	7	00.00.00	XX	XXXX	8	00.00.00	XX	XXXX	9	00.00.00	XX	XXXX	10	00.00.00	XX	XXXX	CLIENT APPROVAL _____ DATE _____ LANDLORD APPROVAL _____ DATE _____ QC _____		Sleep Number Intersection of Mineral Point & Westfield Rd. Madison, WI 53717	SHEET NUMBER <h1>1.0</h1>
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# CL.1/CL.2 FACE-LIT CHANNEL LETTERS & CABINET / FLUSH MOUNT (Qty 2) PERMITS APPROVED - NOT PART OF VARIANCE

CL.1 ALLOWABLE SQUARE FOOTAGE: 113.21  
CL.1 PROPOSED SQUARE FOOTAGE: 79.0

CL.2 ALLOWABLE SQUARE FOOTAGE: 113.12  
CL.2 PROPOSED SQUARE FOOTAGE: 79.0



FRONT VIEW SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

Roof line behind parapet noted with dotted yellow line.

Signs to extend 2' above roofline on exterior side of parapet.



FRONT VIEW NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

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JOB #: 247021-R3  
DATE: 12.18.2019  
DESIGNER: T Solum  
SALES REP: R Walker  
PROJ MGR: T Olson

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7	00.00.00	XX	XXXX
8	00.00.00	XX	XXXX
9	00.00.00	XX	XXXX
10	00.00.00	XX	XXXX

CLIENT APPROVAL	DATE
LANDLORD APPROVAL	DATE
QC	



Sleep Number  
Intersection of Mineral Point  
& Westfield Rd.  
Madison, WI 53717  
DESIGN PHASE: CONCEPTUAL

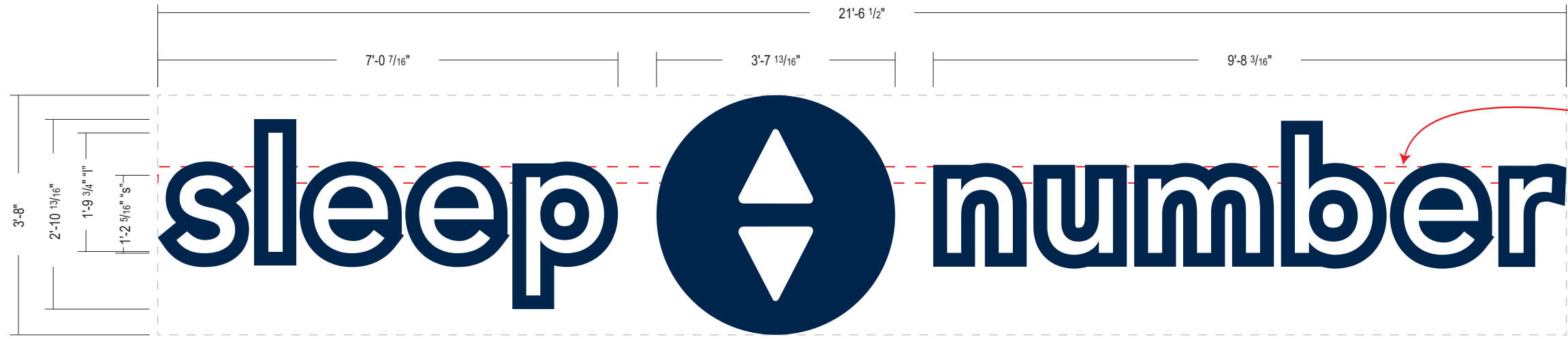
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**2.0**

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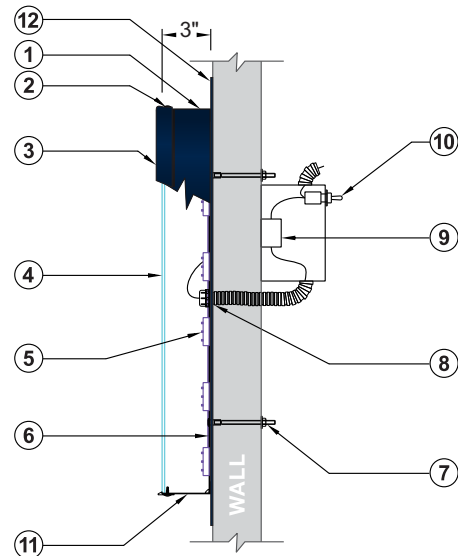


**CL.1/CL.2 FACE-LIT CHANNEL LETTERS & CABINET / FLUSH MOUNT (Qty 2) PERMITS APPROVED - NOT PART OF VARIANCE**

SQUARE FOOTAGE: 79



**FRONT VIEW**  
SCALE: 1/2" = 1'-0"



**CROSS SECTION VIEW**  
N.T.S.

**SPECIFICATIONS**

1. .040" ALUMINUM COIL RETURNS (WHITE INSIDE) **P-1**
2. #8 - 1/2" PAN HEAD SCREWS
3. LETTERS: 1" JEWELIT TRIM CAP CHEMICALLY BONDED TO FACES **PF-1**  
CIRCULAR CABINET: 1" METAL RETAINER **P-1**
4. 3/16" ACRYLIC FACES **A-1**
5. WHITE LEDS
6. 3mm ACM BACKS
7. MOUNTING HARDWARE: (T.B.D. BY WALL CONSTRUCTION)
8. 7/8" ELECTRICAL HOLE / 3/4" COUPLER WITH FLEXIBLE CONDUIT TO POWER SUPPLY BOX
9. LED POWER SUPPLY INSIDE POWER SUPPLY BOX
10. TOGGLE SWITCH MOUNTED TO POWER SUPPLY BOX
11. 1/4" DIA. WEEP HOLES W/ LIGHT BAFFLE COVERING
12. .125" ALUMINUM CONTOUR BACKER **P-1**

**NOTES:**

- UL, MANUFACTURER & VOLTAGE/AMPERAGE TAGS ON TOP OF LETTER
- TYPICAL ELECTRICAL LEAD / WHIP LENGTH IS 10'-0"
- VOLTAGE: 120
- ALL FASTENERS TO BE NON-FERROUS AND ALL PENETRATIONS SHALL BE SEALED WATER TIGHT

**COLORS/FINISHES**

- P-1** MP14112 / TO MATCH PMS 289C BLUE, SATIN
- PF-1** PRE-FINISHED #2767 MIDNIGHT BLUE
- A-1** 7328 WHITE
- V-1** ORACAL TRANS. 8800-591 MIDNIGHT BLUE OR PMS 289C DIGITALLY PRINTED VINYL (T.B.D.)



**NIGHT VIEW**  
SCALE: NTS

<p><b>JONES SIGN</b> Your Vision. Accomplished. WWW.JONESSIGN.COM</p>	<p><b>JOB #: 247021-R3</b> DATE: 12.18.2019 DESIGNER: T Solum SALES REP: R Walker PROJ MGR: T Olson</p>	<table border="1"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>00.00.00</td> <td>TG</td> <td>ADD CL 3 / ELEVATION</td> </tr> <tr> <td>2</td> <td>03.16.21</td> <td>AR</td> <td>REVISE SIZE OF CL3 TO FIT ALLOWABLE SQ. FT.</td> </tr> <tr> <td>3</td> <td>04.30.21</td> <td>JS</td> <td>UPDATE ELEVATIONS / REMOV CL3 / ADD NIGHT VIEW</td> </tr> <tr> <td>4</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> <tr> <td>5</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> <tr> <td>6</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> <tr> <td>7</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> <tr> <td>8</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> <tr> <td>9</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> <tr> <td>10</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> </tbody> </table>	REV.	DATE	BY	DESCRIPTION	1	00.00.00	TG	ADD CL 3 / ELEVATION	2	03.16.21	AR	REVISE SIZE OF CL3 TO FIT ALLOWABLE SQ. FT.	3	04.30.21	JS	UPDATE ELEVATIONS / REMOV CL3 / ADD NIGHT VIEW	4	00.00.00	XX	XXXX	5	00.00.00	XX	XXXX	6	00.00.00	XX	XXXX	7	00.00.00	XX	XXXX	8	00.00.00	XX	XXXX	9	00.00.00	XX	XXXX	10	00.00.00	XX	XXXX	<table border="1"> <tr> <td>CLIENT APPROVAL</td> <td>DATE</td> </tr> <tr> <td>LANDLORD APPROVAL</td> <td>DATE</td> </tr> <tr> <td>QC</td> <td></td> </tr> </table>	CLIENT APPROVAL	DATE	LANDLORD APPROVAL	DATE	QC			<p>Sleep Number Intersection of Mineral Point &amp; Westfield Rd. Madison, WI 53717</p> <p>DESIGN PHASE: CONCEPTUAL</p>	<p>SHEET NUMBER</p> <p><b>3.0</b></p>
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# CL.3 FACE-LIT CHANNEL LETTERS & CABINET / FLUSH MOUNT (Qty 1) SUBMITTING FOR UDC REVIEW

CL.3 ALLOWABLE SQUARE FOOTAGE: 60.27  
 CL.3 PROPOSED SQUARE FOOTAGE: 58.91

Roof line be ind parapet noted with dotted e low line.

Signs to extend 2' above roofline on exterior side of parapet.



FRONT VIEW WEST ELEVATION  
 SCALE: 1/8" = 1'-0"

SIGNABLE AREA



Sleep Number  
 Intersection of Mineral Point  
 & Westfield Rd.  
 Madison, WI 53717

SHEET NUMBER  
**4.0**

DESIGN PHASE: CONCEPTUAL

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JOB #: 247021-R2  
 DATE: 12.18.2019  
 DESIGNER: T Solum  
 SALES REP: R Walker  
 PROJ MGR: T Olson

REV.	DATE	BY	DESCRIPTION
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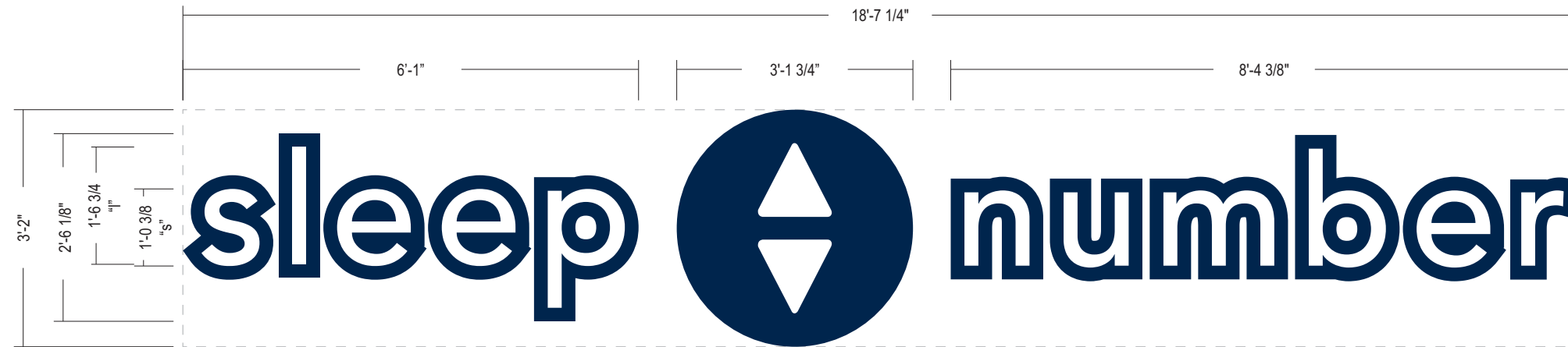
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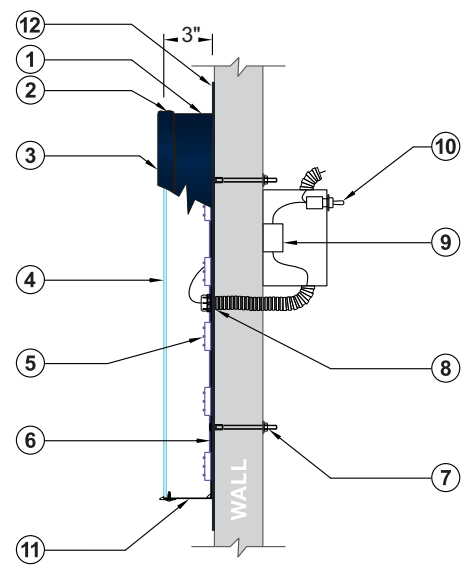


# CL.3 FACE-LIT CHANNEL LETTERS & CABINET / FLUSH MOUNT (Qty 1)

SQUARE FOOTAGE: 58.91



**FRONT VIEW**  
SCALE: 1/2" = 1'-0"



**CROSS SECTION VIEW**  
N.T.S.

**SPECIFICATIONS**

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CIRCULAR CABINET: 1" METAL RETAINER (T.B.D.) P-1
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SALES REP: R Walker  
PROJ MGR: T Olson

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2	03.16.21	AR	REVISE SIZE OF CL.3 TO FIT ALLOWABLE SQ. FT.
3	00.00.00	XX	XXXX
4	00.00.00	XX	XXXX
5	00.00.00	XX	XXXX
6	00.00.00	XX	XXXX
7	00.00.00	XX	XXXX
8	00.00.00	XX	XXXX
9	00.00.00	XX	XXXX
10	00.00.00	XX	XXXX

CLIENT APPROVAL	DATE
LANDLORD APPROVAL	DATE
QC	

sleep  number

Sleep Number  
Intersection of Mineral Point  
& Westfield Rd.  
Madison, WI 53717  
DESIGN PHASE: CONCEPTUAL

SHEET NUMBER  
**5.0**

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West TOWN-NE EXIT

**KOENIG CONCRETE**  
CORP.  
101 Industrial Ave  
Wausau, WI 53389  
9-674-4130

Innovative Construction















EXIT  
West TOWN

KONIG CONCRETE  
1401 Industrial Ave  
Jefferson, WI 53249  
220-674-4130