

TIGERS CHILDREN'S HOME - REMODEL

1902 S. STOUGHTON RD. | MADISON, WI 53716

Tigers Children's Home

Remodel
1902 S Stoughton Rd
Madison, WI

TITLE SHEET AND GENERAL NOTES

Drawn by	Checked by
JAJ	JMS

Revisions		
No.	Date	Description
	08.23.2024	Plan Commission

T1.0

2024-08-23 PLAN COMMISSION

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PLUMBING, MECHANICAL AND ELECTRICAL PLANS TO BE A DEFERRED REVIEW AND SUBMITTAL BY DESIGN-BUILD CONTRACTOR.

PROJECT NOTES

ELECTRICAL NOTES:
1) ALL WORK TO BE BY DESIGN-BUILD ELECTRICAL CONTRACTOR.

HVAC NOTES:
1) ALL WORK TO BE BY DESIGN-BUILD HVAC CONTRACTOR.

PLUMBING NOTES:
1) ALL WORK TO BE BY DESIGN-BUILD PLUMBING CONTRACTOR.

BUILDING CODE SUMMARY

BASED ON THE:

WISCONSIN UNIFORM DWELLING CODE

ALL OTHER CODES AND ORDINANCES AS REFERENCED BY THE ABOVE CODES.

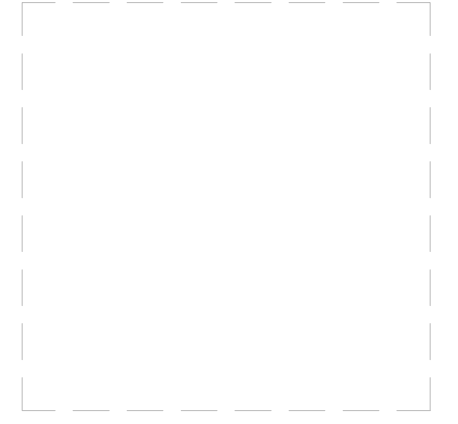
AREA OF ALTERATION:

TOTAL AREA OF ALTERATION: ### S.F.

PROJECT CONTACT INFO

OWNER:
OWNER NAME
OWNER ADDRESS
CITY, WI #####
P: #####

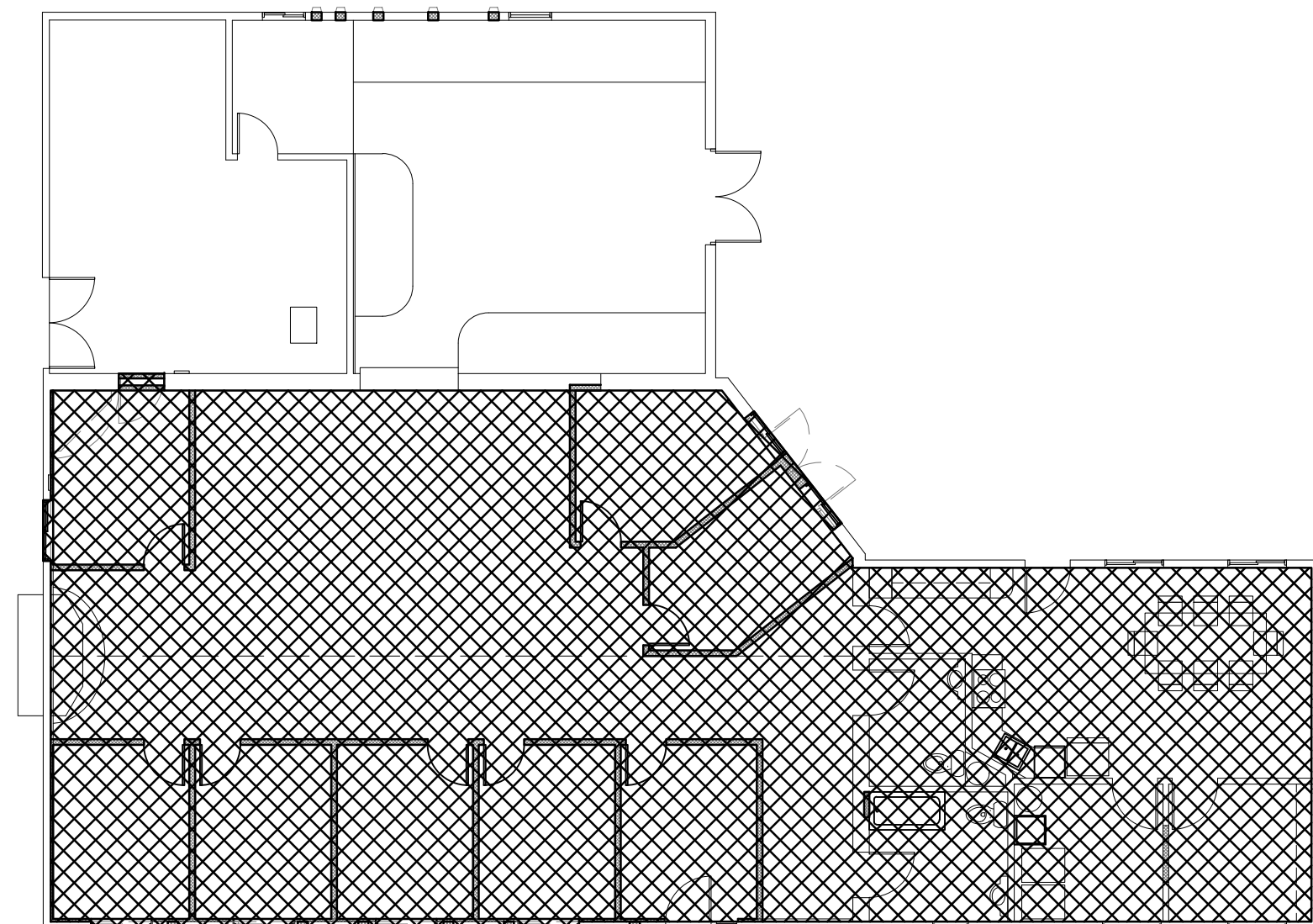
ARCHITECT:
THRIVE ARCHITECTS
259 SOUTH STREET, SUITE A
WAUKESHA, WI 53186
P: 833-380-6180
PROJECT MANAGER: JEFF STOWE



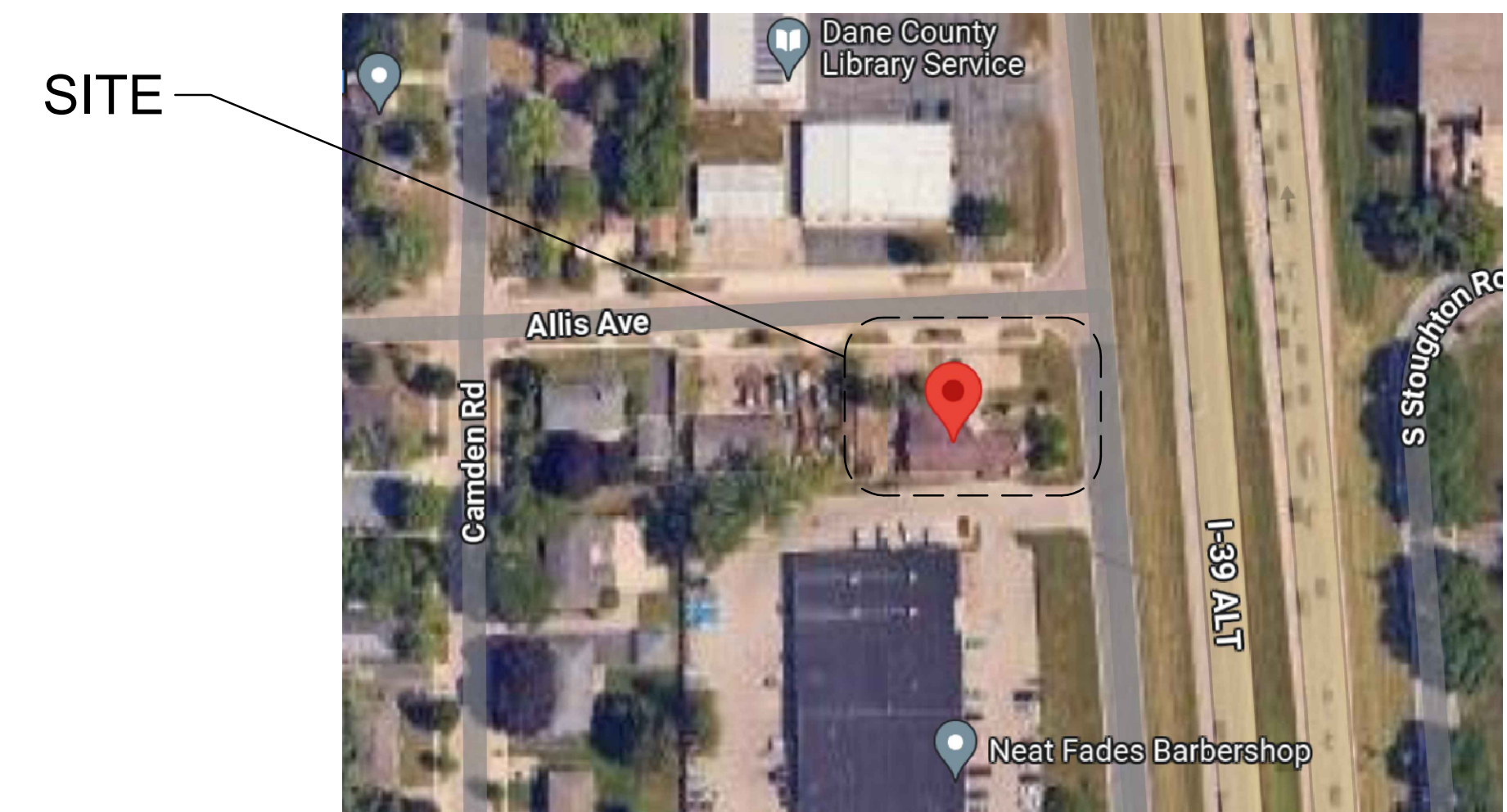
CONTRACTOR:
CONTRACTOR NAME
CONTRACTOR ADDRESS
CITY, WI #####
P: #####

ATTN: JEREMY BARTLETT,
ARCHITECT OF RECORD

- ### GENERAL NOTES
- CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL GOVERNING CODES, ORDINANCES & STANDARDS. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, & SUPERVISING ALL SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THIS PROJECT.
 - ARCHITECT/DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY COST, SCHEDULE OR CONSTRUCTION ISSUES ARISING DUE GC/OWNERS FAILURE TO DISTRIBUTE ALL DOCS, SUBCONTRACTORS & SUPPLIERS SHOULD ENDEAVOR TO REVIEW A COMPLETE SET OF DOCS BEFORE BIDDING, FABRICATING & INSTALL.
 - GC, SUBCONTRACTORS, MATERIAL SUPPLIERS, OWNER, ETC. MUST NOTIFY ARCHITECT OF ANY ERRORS, OMISSIONS, OR DEFECTS IN THE CONSTRUCTION DOCUMENTS PRIOR TO BIDDING, FABRICATING OR INSTALLING WORK.
 - SITE DIMENSIONS ARE TO BE FIELD VERIFIED AND ADJUSTED ACCORDINGLY. THE ARCHITECT/DESIGNER SHALL BE NOTIFIED OF ANY VARIANCES BEFORE CONTRACTOR BEGINS OR PROCEEDS WORK.
 - MECH, ELEC, PLUMB & FIRE PROTECTION ARE TO BE DESIGN BUILT, COMPLYING WITH ALL GOVERNING CODES, ORDINANCES & STANDARDS, WHICH WILL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR; THE ARCHITECT ASSUMES NO LIABILITY.
 - ALL MECH, ELEC, PLUMB & FIRE PROTECTION SYSTEMS/EQUIP. SHALL BE MAINTAINED ACCORDING TO MANUFACTURER'S STANDARDS. BLDG. OWNER SHALL ASSUME FULL RESPONSIBILITY FOR MAINTANANCE/OPERATION UPON OCCUPANCY.
 - THE INSTALLATION AND EXECUTION OF ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS AND SPECIFICATIONS. ALL MEANS & METHODS OF CONSTRUCTION TO BE THE SOLE RESPONSIBILITY OF THE GC.
 - PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN OCCUPANCIES AND LOCATIONS AS REQUIRED BY THE INTERNATIONAL FIRE CODE. INSTALLATION LOCATIONS SHALL HAVE A MAXIMUM TRAVEL DISTANCE OF 75' TO ANY EXTINGUISHER. EXTINGUISHERS SHALL BE LOCATED IN CONSPICUOUS LOCATIONS WERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE, TYPICALLY ALONG PATHS OF TRAVEL. EXTINGUISHERS SHALL NOT BE OBSTRUCTED FROM VIEW, IF VISUAL OBSTRUCTION CAN NOT BE AVOIDED ANOTHER MEANS SHALL BE PROVIDED TO INDICATE THE EXTINGUISHER LOCATIONS. EXTINGUISHERS NOT EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 5'-0" ABOVE THE FLOOR, EXTINGUISHERS EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 3'-6" ABOVE THE FLOOR. THE CLEARANCE BETWEEN THE FLOOR AND BOTTOM OF HAND HELD UNITS SHALL NOT BE LESS THAN 4". VERIFY EXTINGUISHER LOCATIONS W/ LOCAL FIRE DEPT. & OWNER PRIOR TO INSTALLATION.
 - ALL CONCRETE FLAT WORK MUST BE WET CURED PER ACI REQUIREMENTS AND/OR CURED USING A CURING COMPOUND. REFER TO STRUCTURAL NOTES FOR CURING COMPOUND SPECS. CONTRACTOR IS RESPONSIBLE FOR APPLYING CURING COMPOUNDS PER THE MANUFACTURER'S REQUIREMENTS.



AREA OF WORK
FIRST FLOOR KEY PLAN 2
SCALE: N.T.S.



SITE
VICINITY MAP 1
SCALE: N.T.S.

TYPICAL ABBREVIATIONS

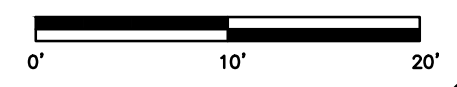
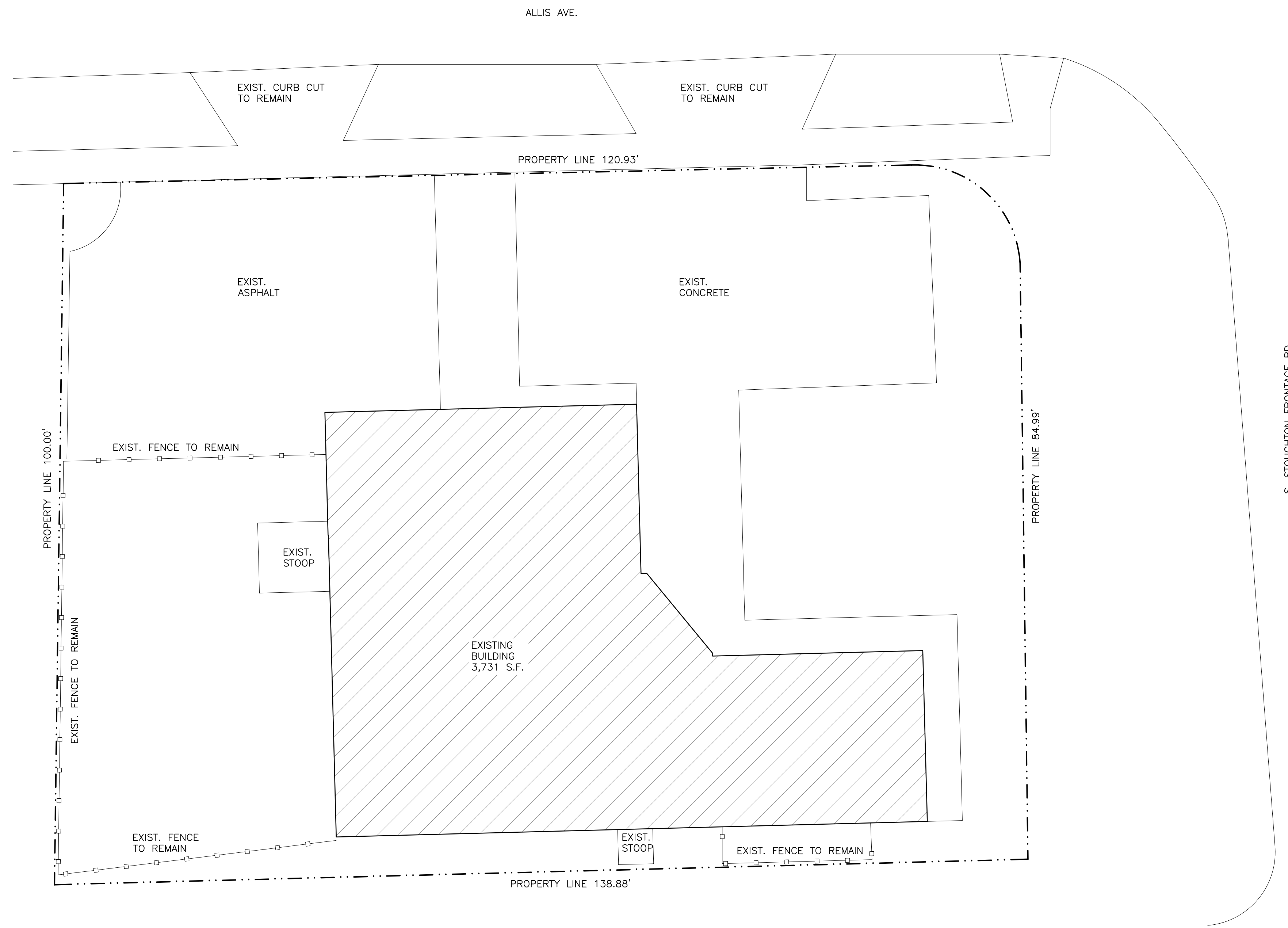
ABV: Above	B/O: By Others	DW: Dishwasher	FTG: Footing	LB: Pound	NO, #: Number	REFR: Ref	TEMP: Tempered
ACOUS: Acoustical	BC: Bottom Of	DNV: Division	FND: Foundation	LAM: Laminate(d)	O: Non-Operable Window	REG: Register	TK: Tight Knot
ADDL: Additional	BR: Bedroom	DR: Door	FRM: Fram(d), (mg)	LAV: Lavatory	FBS: Furnished by Others	RE: Reinforced	T&G: Tongue and Groove
ADH: Adhesive	CAB: Cabinet	DH: Double Hung	FUR: Furred	LH: Left Hand	L: Length	REQ: Required	T/O: Top of
ADJ: Adjustable	CALC: Calculation	DS: Downspout	GA: Gage, Gauge	LOA: Length Overall	OC: On Center	RA: Return Air	TOC: Top of Concrete
AFF: Above Finish Floor	CD: Cabinet Door	DRWR: Drawer	GL: Gallon	LT: Light	OP: Opening	REV: Revision	TOW: Top of Wall
AGG: Aggregate	CG: Corner Guard	DT: Drain Tile	GL: Glass, Glazing	LL: Live Load	OR: Opaque	R: Riser	TB: Towel Bar
AHL: Authority Having Jurisdiction	CIP: Cast-in-place	D: Nail Size	GI: Galvanized Iron	LVL: Laminated Veneer Lumber	OSB: Orientated Strand Board	RD: Rod	T: Tread
A/C: Air Conditioning	(Concrete)	EW: Each Way	GLBK: Glass Block	LVR: Louver	RFS: Roofing	R&S: Rod and Shelf	TS: Tubular Steel
ALT: Alternate	CL: Centerline	E: East	GLB: Glue Laminated Beam	MFR: Manufacturer	RM: Room	RT: Rough Opening	TYP: Typical
ALUM: Aluminum	CO: Clean Out	EL: Elevation	GRD: Grade, Grading	MNO: Masonry Opening	PMT: Paint(ed)	UL: Underwriters Laboratory	UNF: Unfinished
ANC: Anchor, Anchorage	CONTR: Contract (or)	EL: Elevation	GWB: Gypsum Wall Board	MAS: Masonry	PRT: Partition Board	UNO: Unless Noted Otherwise	
AB: Anchor Bolt	COORD: Coordinate	ELEV: Elevation	HWD: Hardware	MCH: Mechanic(a)	PVM: Pavement	UNP: Unpartitioned	
ANOD: Anodized	CIP: Cast-in-place	EQ: Equipment	HTC: Heating, Ventilation-Air Conditioning	MIC: Medicine Cabinet	PERF: Perforate(d)	UNR: Unreinforced	
APX: Approximate	CLK: Caulking	EXH: Exhaust	HVC: Heating	MED: Medium	PLAS: Plaster	VB: Vapor Barrier	
ARCH: Architect	CAS: Casement	EXST: Existing	HTC: Heating, Ventilation-Air Conditioning	MDF: Medium Density Fiberboard	PLM: Plastic Laminat	VER: Veneer	
(architectural)	CB: Catch Basin	EXT: Exterior	HT: Height	MDB: Medium Density Board	PLY: Plywood	VERT: Vertical	
ASPH: Asphalt	CE: Ceiling	FCC: Face of Concrete	HC: Hollow Core	MDB: Medium Density Overlay	PCC: Precast Concrete	VC: Vertical Grain	
AUTO: Automatic	CR: Circle	FDF: Face of Finish	HTC: Heating, Ventilation-Air Conditioning	MNB: Member	PDF: Pounds Per Cubic Foot	VW: Vinyl Sheet	
AVE: Avenue	CLR: Clear	FDM: Face of Masonry	IB: Inside Diameter	CONC: Concrete	PLF: Pounds Per Linear Foot	W: Wall	
AVR: Average	COL: Column	FOS: Face of Studs	INC: Inch	CMU: Concrete Masonry Unit	PSF: Pounds Per Square Foot	WC: Water Closet	
AWN: Awning	CONC: Concrete	FCB: Fiber Cement Board	INCL: Include	FIN: Finish	PM: Minimum	WH: Water Heater	
BSMT: Basement	CONSTR: CONSTRUCTION	FCE: Face of Wall	INS: Inside Diameter	MTL: Metal	MR: Mirror	WP: Water Proofing	
BM: Beam	CONT: Continuous	FIB: Fiberboard	INT: Interior	MW: Millwork	MSC: Miscellaneous	WR: Weather Resistant	
BVL: Beveled	CJT: Control Joint	FFL: Finished Floor Elevation	INV: Invert	MIR: Minimum	MOD: Module	WRB: Weather Resistive Barrier	
BITUM: Bituminous	CORR: Corrugated	FA: Fire Alarm	JNT: Joint	MJC: Miscellaneous	MLD: Moulding	WW: Welded Wire Fabric	
BLK: Block	CUFF: Cubic Foot	FE: Fire Extinguisher	JST: Joint	MELB: Micro Laminat Beam	MLB: Micro Laminat Beam	WWM: Welded Wire Mesh	
BLKG: Block	CURT: Cubic Yard	FPL: Fireplace	FLD: Floor	NS: Nominal	MTL: Metal	W: West	
BLW: Below	DPM: Dampproofing	FLS: Flashing	N: North	NC: Not in Contract	MNB: Membrane	W/W: Without	
BLVD: Boulevard	DTL: Detail	FLR: Fluorescent	NTS: Not To Scale	NSC: Not to Scale	MNO: Masonry Opening	W/W: With	
BTW: Between	DIA: Diameter	FT: Foot, Feet			MNB: Member	WO: Wood	
BD: Board	DIM: Dimension				MDF: Medium Density Overlay	W/O: Without	
BDI: Bottom					MR: Member	W/W: With	
BLDG: Building					MIR: Mirror	W/W: With	
BUR: Built Up Roofing					MJC: Miscellaneous	W/W: With	

SITE PLAN

Drawn by	Checked by
JAJ	JMS

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SP1.0

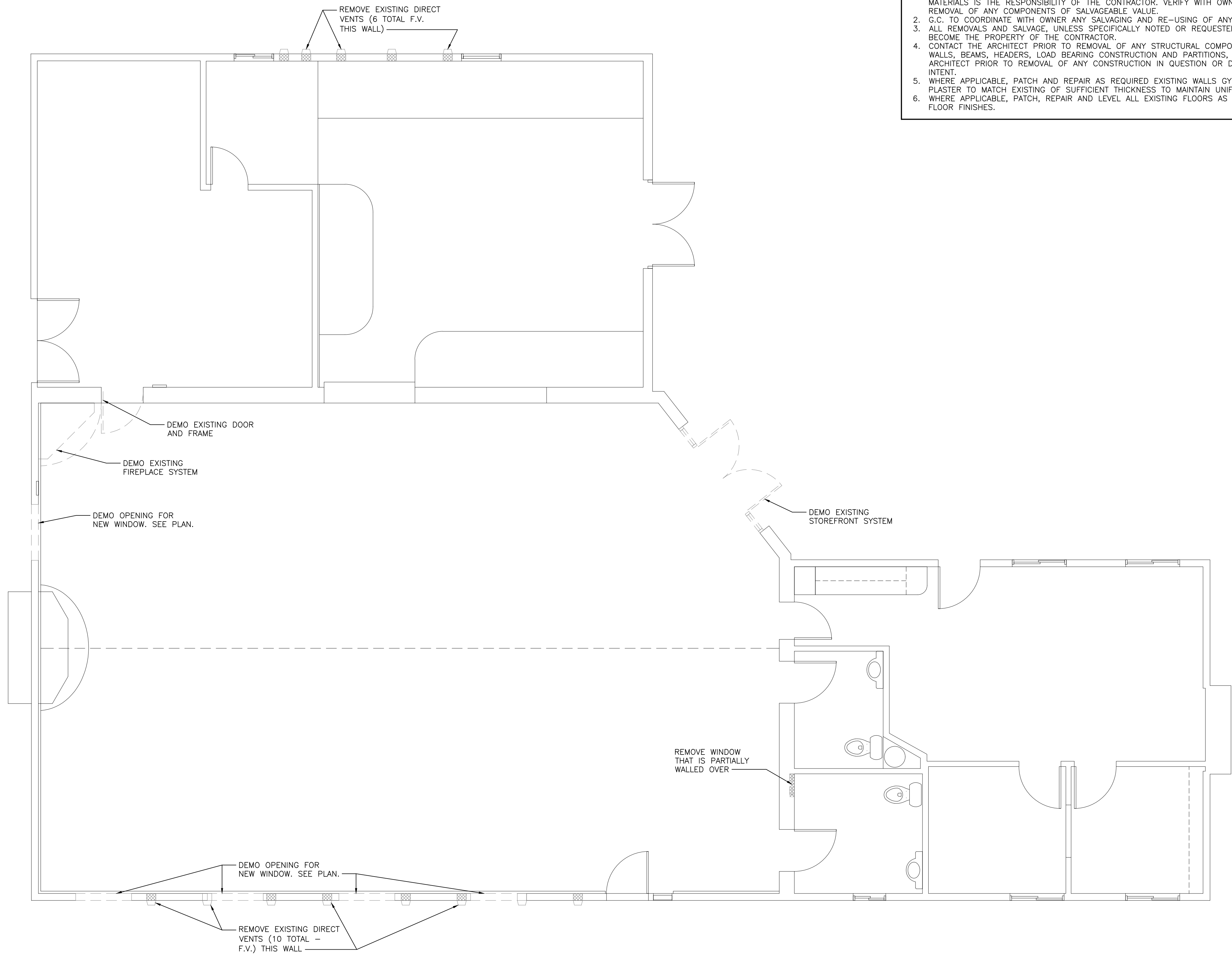


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GENERAL DEMOLITION NOTES

1. REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS. INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS SHALL BE INCLUDED AND VERIFIED WITH ARCHITECT IF NOT SPECIFIED ON DRAWINGS. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSITION OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER, THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
2. G.C. TO COORDINATE WITH OWNER ANY SALVAGING AND RE-USING OF ANY REMOVALS.
3. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
4. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, LOAD BEARING CONSTRUCTION AND PARTITIONS, ETC. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT.
5. WHERE APPLICABLE, PATCH AND REPAIR AS REQUIRED EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS.
6. WHERE APPLICABLE, PATCH, REPAIR AND LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES.

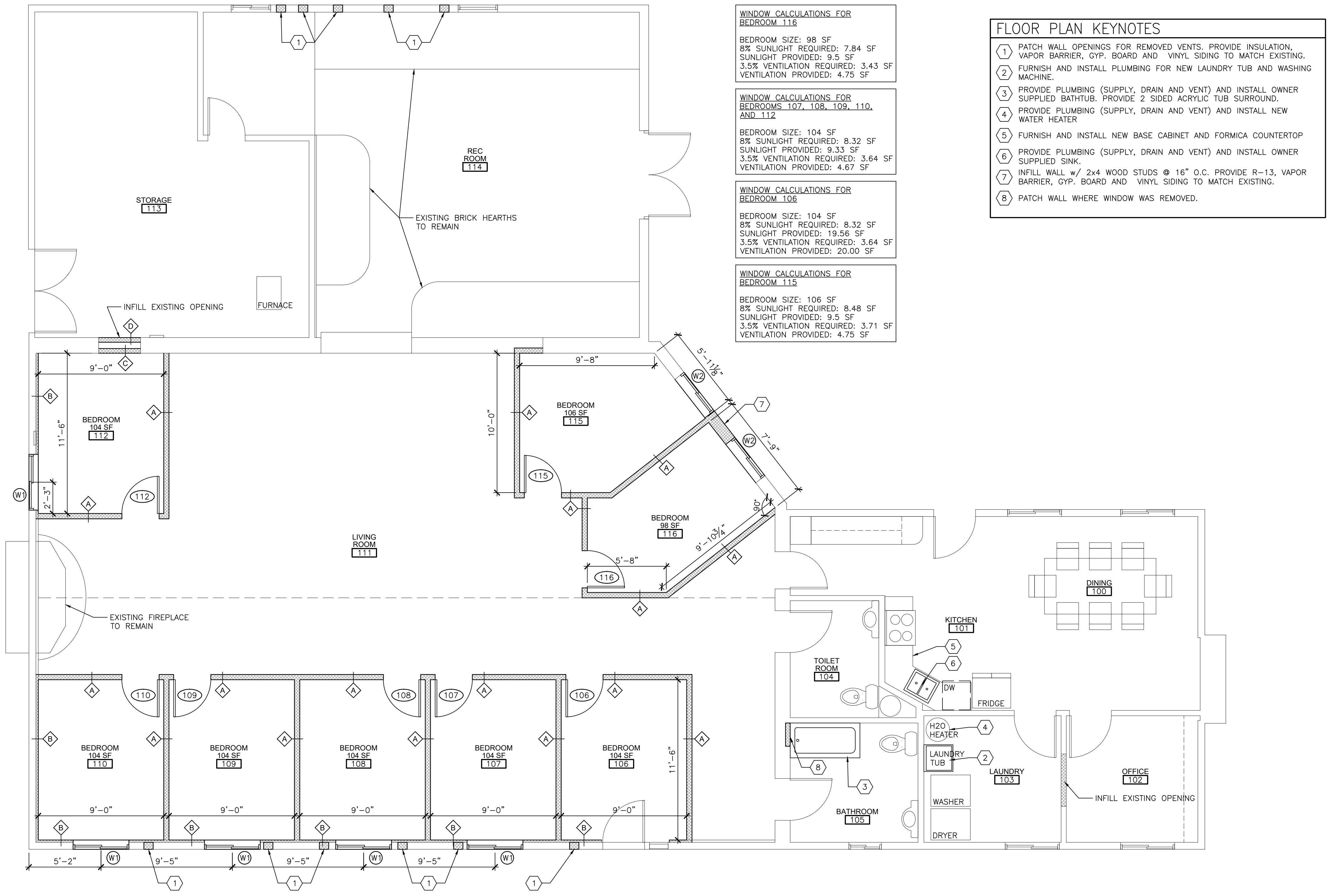


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GENERAL NOTES

- SEE SHEET A6.0 FOR WALL TYPES. ALL WALLS ARE TYPE A UNLESS OTHERWISE NOTED.
- G.C. TO COORDINATE WITH OWNER ALL ELECTRICAL OUTLET NEEDS/LOCATIONS.
- G.C. TO COORDINATE WITH OWNER ALL FINISHES.
- PROVIDE MOISTURE RESISTANT DRYWALL AT ALL WET AREAS, INCLUDING BUT NOT LIMITED TO TOILET ROOMS, KITCHENS, AND JANITOR CLOSETS.



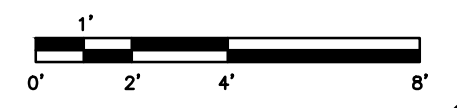
WINDOW CALCULATIONS FOR BEDROOM 112
 BEDROOM SIZE: 98 SF
 8% SUNLIGHT REQUIRED: 7.84 SF
 SUNLIGHT PROVIDED: 9.5 SF
 3.5% VENTILATION REQUIRED: 3.43 SF
 VENTILATION PROVIDED: 4.75 SF

WINDOW CALCULATIONS FOR BEDROOMS 107, 108, 109, 110, AND 112
 BEDROOM SIZE: 104 SF
 8% SUNLIGHT REQUIRED: 8.32 SF
 SUNLIGHT PROVIDED: 9.33 SF
 3.5% VENTILATION REQUIRED: 3.64 SF
 VENTILATION PROVIDED: 4.67 SF

WINDOW CALCULATIONS FOR BEDROOM 106
 BEDROOM SIZE: 104 SF
 8% SUNLIGHT REQUIRED: 8.32 SF
 SUNLIGHT PROVIDED: 19.56 SF
 3.5% VENTILATION REQUIRED: 3.64 SF
 VENTILATION PROVIDED: 20.00 SF

WINDOW CALCULATIONS FOR BEDROOM 115
 BEDROOM SIZE: 106 SF
 8% SUNLIGHT REQUIRED: 8.48 SF
 SUNLIGHT PROVIDED: 9.5 SF
 3.5% VENTILATION REQUIRED: 3.71 SF
 VENTILATION PROVIDED: 4.75 SF

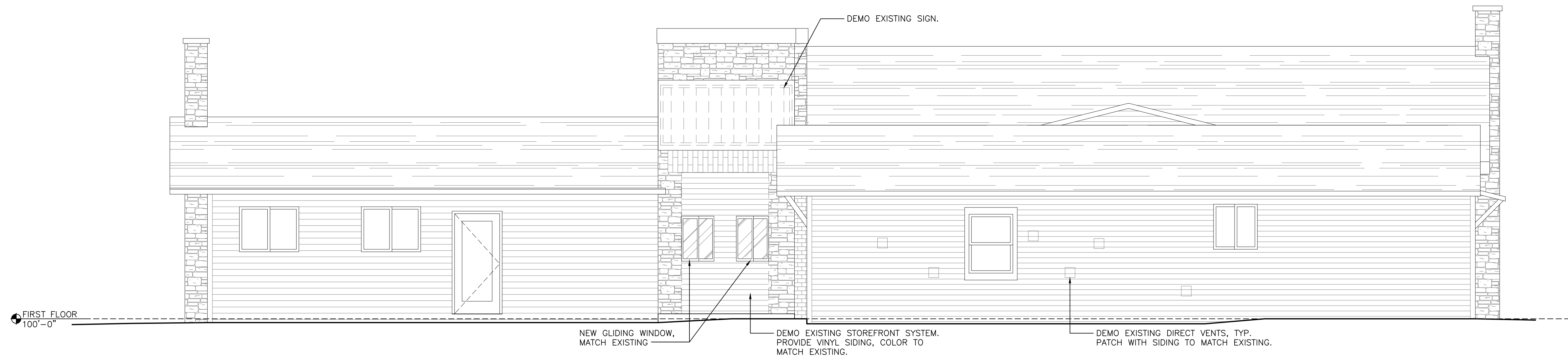
- FLOOR PLAN KEYNOTES**
- PATCH WALL OPENINGS FOR REMOVED VENTS. PROVIDE INSULATION, VAPOR BARRIER, GYP. BOARD AND VINYL SIDING TO MATCH EXISTING.
 - FURNISH AND INSTALL PLUMBING FOR NEW LAUNDRY TUB AND WASHING MACHINE.
 - PROVIDE PLUMBING (SUPPLY, DRAIN AND VENT) AND INSTALL OWNER SUPPLIED BATHTUB. PROVIDE 2 SIDED ACRYLIC TUB SURROUND.
 - PROVIDE PLUMBING (SUPPLY, DRAIN AND VENT) AND INSTALL NEW WATER HEATER
 - FURNISH AND INSTALL NEW BASE CABINET AND FORMICA COUNTERTOP
 - PROVIDE PLUMBING (SUPPLY, DRAIN AND VENT) AND INSTALL OWNER SUPPLIED SINK.
 - INFILL WALL w/ 2x4 WOOD STUDS @ 16" O.C. PROVIDE R-13, VAPOR BARRIER, GYP. BOARD AND VINYL SIDING TO MATCH EXISTING.
 - PATCH WALL WHERE WINDOW WAS REMOVED.



FLOOR PLAN
 SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17)

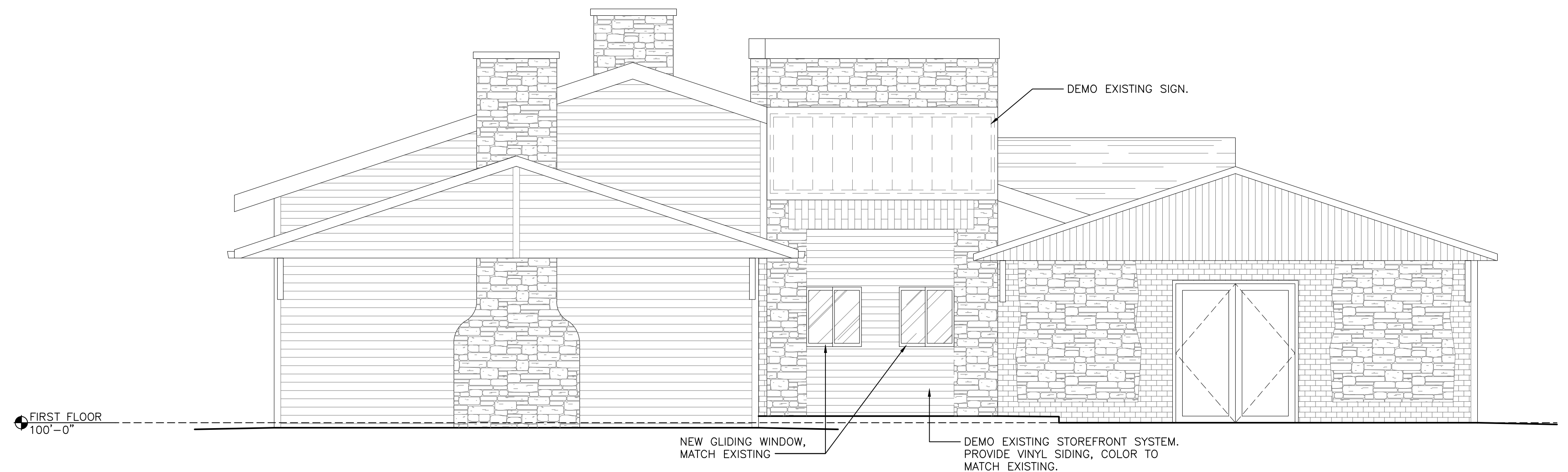
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EXTERIOR ELEVATIONS



NORTH EXTERIOR ELEVATION
SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17)

2



EAST EXTERIOR ELEVATION
SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17)

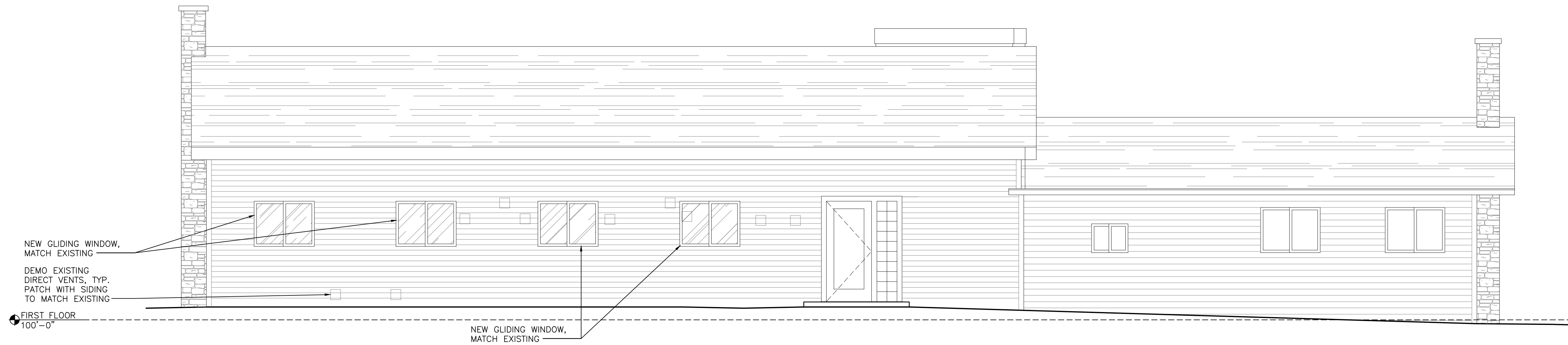
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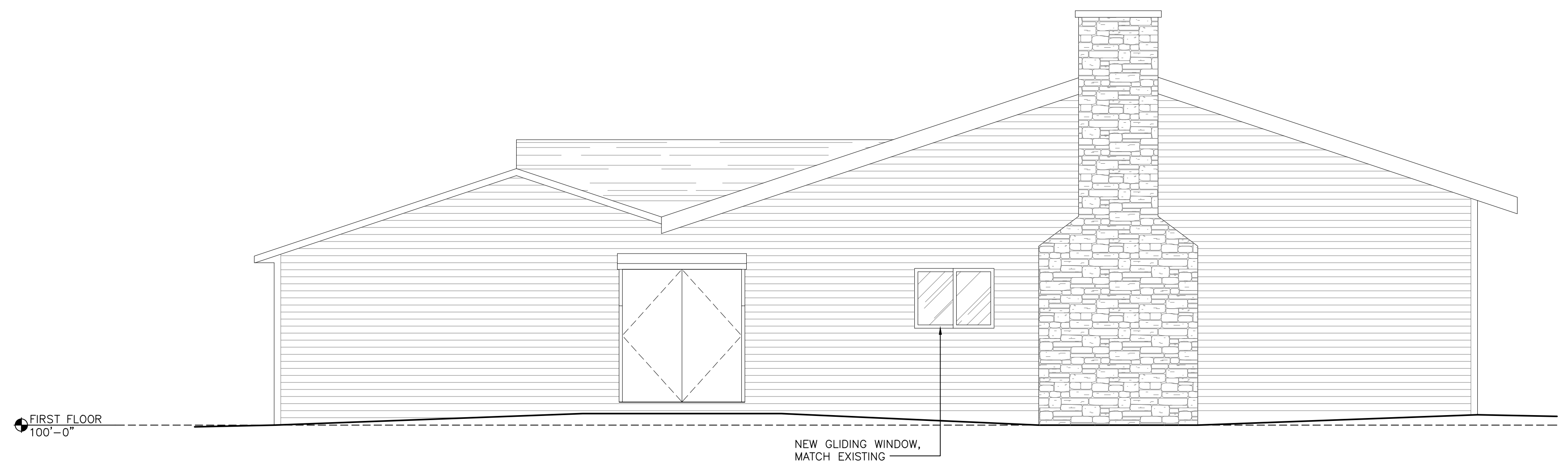
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Sheet No.
A2.0



SOUTH EXTERIOR ELEVATION
 SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17) 2



WEST EXTERIOR ELEVATION
 SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17) 1

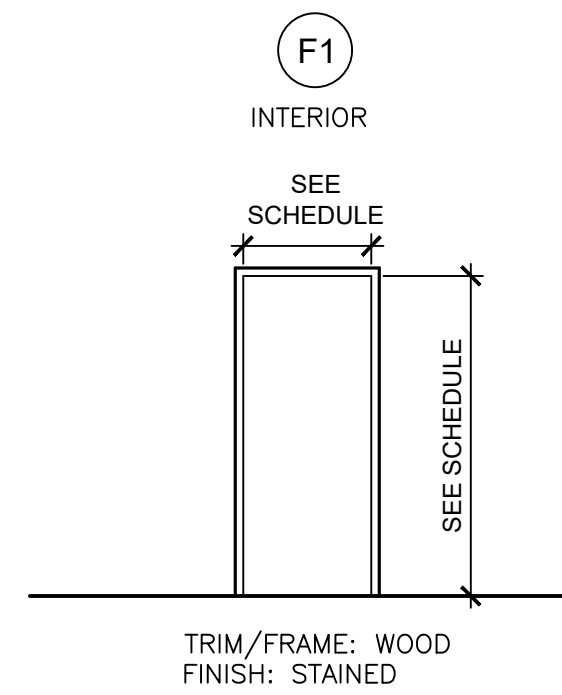
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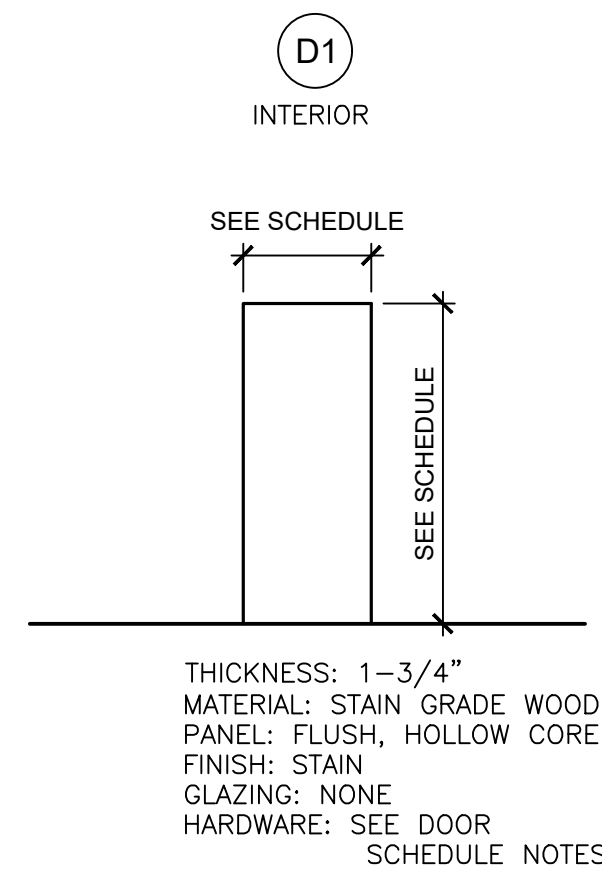
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FRAME TYPES



DOOR TYPES

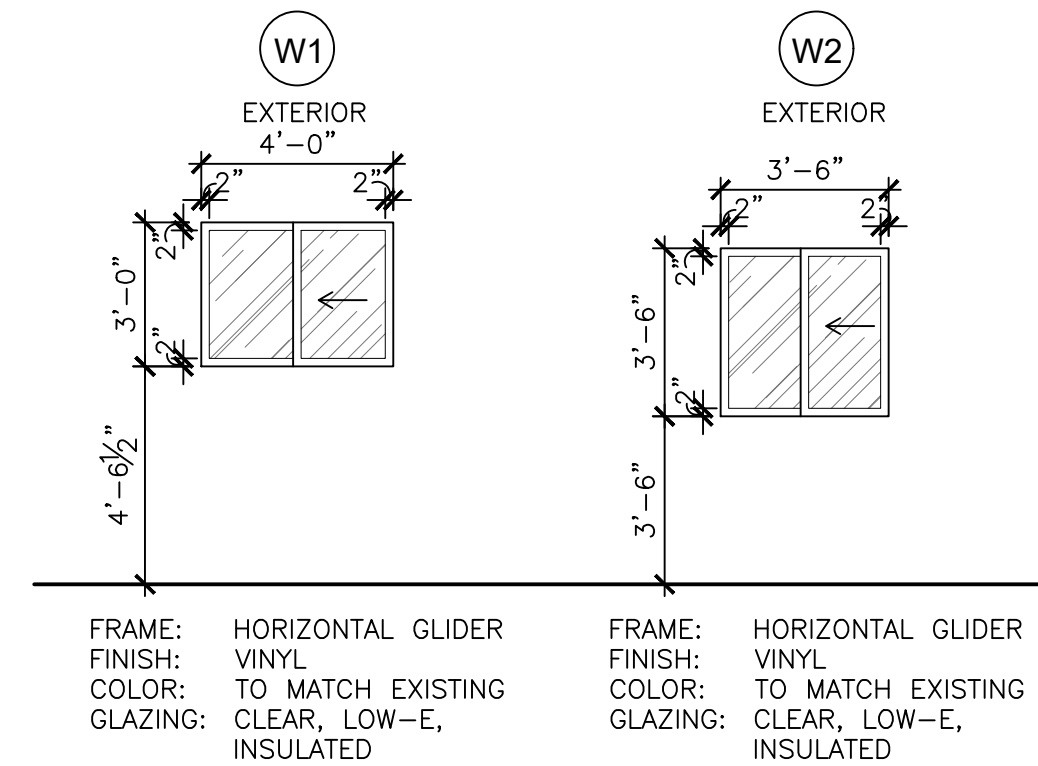


DOOR SCHEDULE

DOOR NUMBER	ROOM NAME	NO. OF PANELS	SIZE		DOOR TYPE	FRAME TYPE	FIRE RATING	REMARKS
			WIDTH	HEIGHT				
106	BEDROOM	1	2'-8"	6'-8"	D1	F1		
107	BEDROOM	1	2'-8"	6'-8"	D1	F1		
108	BEDROOM	1	2'-8"	6'-8"	D1	F1		
109	BEDROOM	1	2'-8"	6'-8"	D1	F1		
110	BEDROOM	1	2'-8"	6'-8"	D1	F1		
112	BEDROOM	1	2'-8"	6'-8"	D1	F1		
115	BEDROOM	1	2'-8"	6'-8"	D1	F1		
116	BEDROOM	1	2'-8"	6'-8"	D1	F1		

NOTES:

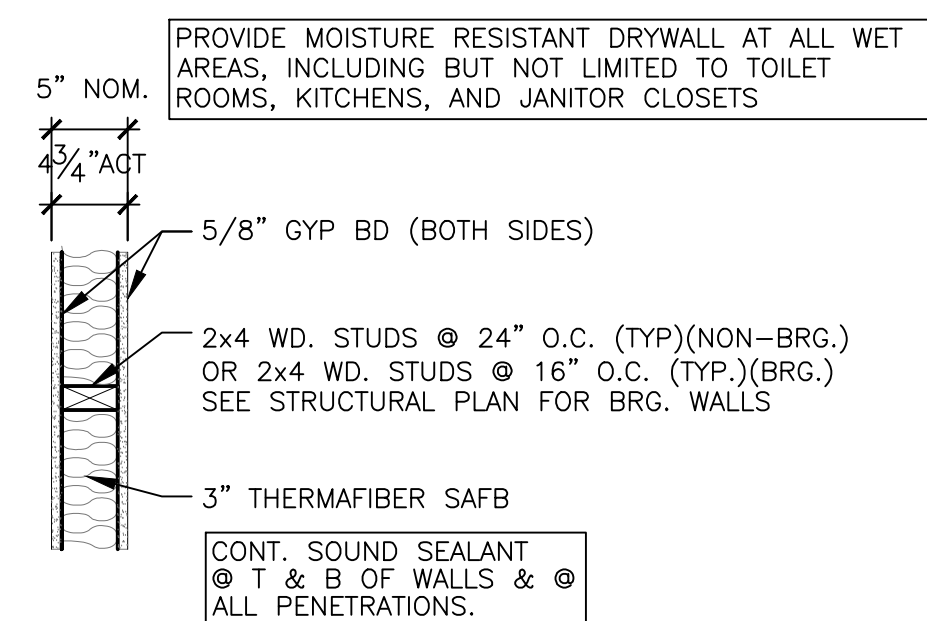
- DOOR HARDWARE IS NOT SPECIFIED; HARDWARE COORDINATION MEETING WITH OWNER, DOOR SUPPLIER AND G.C. IS REQUIRED.
- G.C. TO SUPPLY ALL DOOR HARDWARE REQUIRED BY CODE.
- DOOR HARDWARE SHALL COMPLY WITH ICC/ANSI A117.1 SEC 404.2.6 - HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE HARDWARE SHALL BE PLACED AT LEAST 34 INCHES, BUT NOT MORE THAN 48 INCHES ABOVE THE FLOOR SURFACE.



WALL, WINDOW, AND DOOR TYPES

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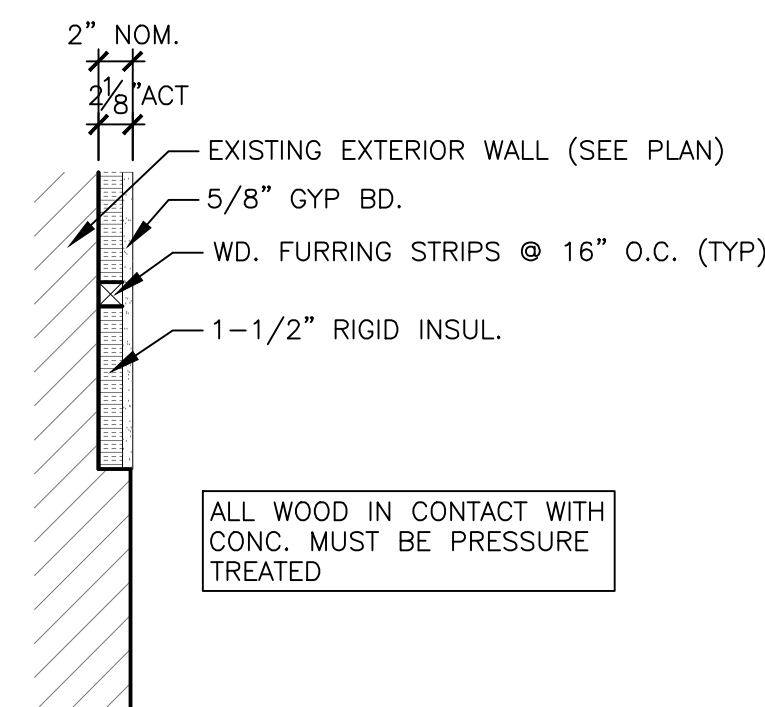
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EXTEND WALLS TO STRUCTURE ABOVE

WALL TYPE A

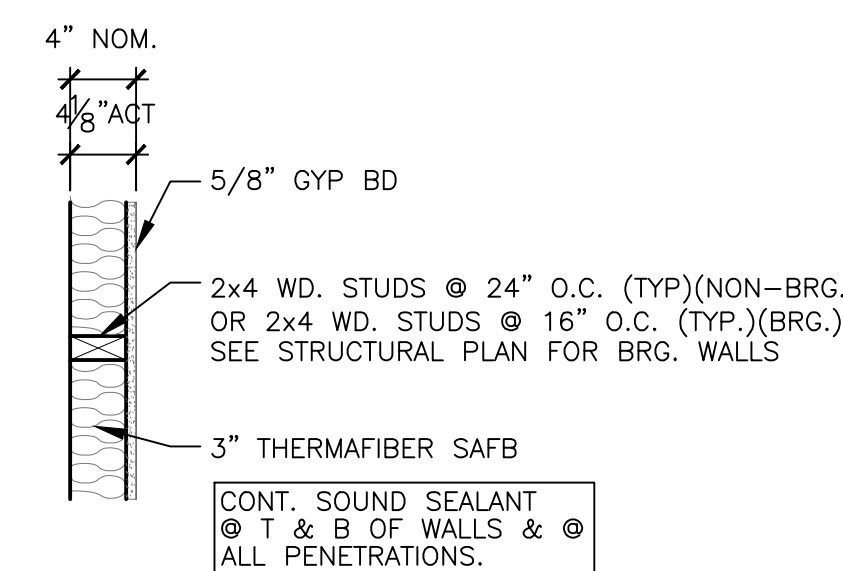
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EXTEND WALLS TO CEILING ABOVE

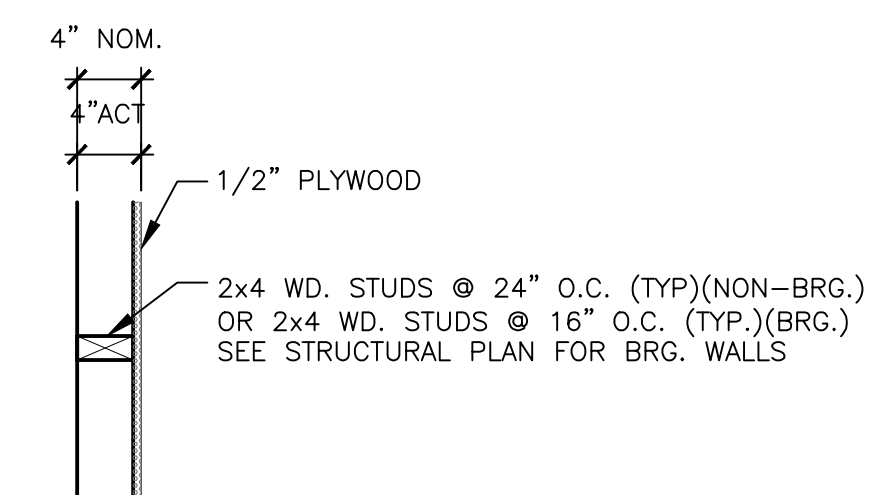
WALL TYPE B

SCALE: N.T.S.



WALL TYPE C

SCALE: N.T.S.



WALL TYPE D

SCALE: N.T.S.

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