

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____

Project # _____

02868

DATE SUBMITTED: <u>May 31, 2006</u>	Action Requested
UDC MEETING DATE: <u>June 7, 2006</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 1513 Lake Point Drive

ALDERMANIC DISTRICT: Tim Bruer #14

OWNER/DEVELOPER (Partners and/or Principals)

ARCHITECT/DESIGNER/OR AGENT:

Scott Norton/ Norton Building Co.

Knothe & Bruce Architects, LLC

5121 Hilltop Road

7601 University Avenue, Suite 201

Madison, WI 53711

Middleton, Wisconsin 53562

CONTACT PERSON: J. Randy Bruce/Knothe & Bruce Architects, LLC

Address: 7601 University Avenue, Suite 201

Middleton, Wisconsin 53562

Phone: 608-836-3690

Fax: 608-836-6934

E-mail address: rbruce@knothebruce.com



TYPE OF PROJECT:

(See Section A For:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District* (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel, or Motel Building Exceeding 50,000 Sq.Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee Required)
- Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

KBA Project #0529



Site Locator Map

1513 Lake Point Drive
Madison, WI

March 8, 2006
Revised: May 31, 2006

Mr. Brad Murphy
City of Madison
Planning & Development
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, WI 53701-24985

Re: Letter of Intent
A Planned Commercial & Residential Development
1513 Lake Point Drive
Conditional Use Application

Dear Mr. Murphy:

The following is submitted together with plans and application for staff, plan commission and council consideration of approval of the proposed development.

Project:	1513 Lake Point A mixed-use development 1513 Lake Point Drive	Civil Engineer:	Roxanne Johnson Calkins Engineering, LLC P.O. Box 379 McFarland, WI 53558 608-838-0444 608-833-0746 rjohnson@calkinsengineering.com
Developer:	Scott Norton Norton Building Company 5121 Hilltop Road Madison, WI 53711 608-274-9020 nortonbuilding@charter.net	Landscape Architect:	Richard Strohmenger The Bruce Company 2830 W. Beltline Hwy Middleton, WI 53562 608-836-7041 cad@bruceco.com
Architect:	Knothe & Bruce Architects, LLC 7601 University Avenue, Ste 201 Middleton, WI 53562 608-836-3690 608-836-6934 rbruce@knothebruce.com		

7601 University Ave, Ste 201
Middleton, Wisconsin 53562
p (608)836-3690
f (608)836-6934
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Overview:

This site was previously developed with multifamily housing that was razed as part of the Broadway-Simpson redevelopment. The neighborhood plan calls for the site to be medium-high density multi-family housing. This proposal is for a mixed-use development with 50 housing units and 20,000 square feet of commercial use. The site is currently zoned C-2 and allows for the proposed uses in a combined Planned Residential District (PRD) and Planned Commercial District (PCD) conditional-use.

The project will be a phased development. Specific plans are presented for Buildings 1, 2 and 3 at this time. Plans for Building 4 will be submitted at a later date. A Certified Survey Map will be submitted concurrently with this application, which will properly subdivide this property. The CSM allows for separate ownership and/or financing of the phased development.

Since the site will not be rezoned, the Inclusionary Zoning ordinance does not apply. The housing will be developed for condominium-ownership.

Project Description:

The project is a planned mixed-use development with four separate buildings arranged on a site of approximately 3.2 acres. The buildings and uses are generally arranged to orient the commercial uses towards West Broadway Avenue and the residential use towards Lake Point Drive. The intent is to enhance the residential streetscape of Lake Point while taking advantage of the commercial opportunities that Broadway Avenue offers.

Vehicular access is obtained at two locations on Lake Point and at one on Broadway. The Broadway Avenue access is an existing access drive with a median break to allow left turns into and off of the site. The easterly Lake Point Drive access is also existing and will be shared with the existing restaurant on the corner of Lake Point and Bridge (an easement for cross access will be provided). The parking areas are distributed around the site to provide adequate convenient parking for the commercial users. Parking for the residential use is located in the underground parking garages and provide 1.3 stalls/unit of covered and secure parking. Additional parking for residents and guests will be available on Lake Point Drive as well as in the surface parking areas. Two off-street loading spaces are provided off the main parking area.

Buildings 1 and 2 are three story buildings with commercial-residential mixed occupancy on the first floor and residential use on the upper two levels. The buildings are “U”-shaped and form a private central courtyard for the residents. Building 3 is a 2 story building planned for a restaurant use. A future building #4 is planned on the west end of the site for a banking facility with drive-thru lanes. All of the buildings will be cohesively designed for a well-planned and attractive community.

Site Development Statistics:

Lot Area:	139,262 S. F./3.2 acres
Commercial Floor Area:	19,800 S. F.
Residential Floor Area:	119,200 S. F.
Total Floor Area:	139,000 S. F.

Floor Area Ratio (F.A./Lot Area): $139,000/139,262 = 1.0$

Dwelling Unit Mix

One Bedroom	12
Two Bedroom	26
<u>Two Bedroom Town House</u>	<u>12</u>
Total	50

Required Lot Area

1,000 x 12 one-bedrooms =	12,000 S. F.
<u>1,300 x 38 two-bedrooms =</u>	<u>49,400 S. F.</u>
Total 50 =	61,400 S. F.

Usable Open Space:

12 one-bedrooms x 160 S. F. =	1,920 S. F.
<u>38 two-bedrooms x 320 S. F. =</u>	<u>12,160 S. F.</u>
Total Required Open Space	14,080 S. F.

Provided Open Space: 15,600 S. F.

Required Parking

1.25 Stalls x 12 one-bedrooms =	15
1.5 Stalls x 38 two-bedrooms =	57
1:300 S. F. x 15,000 S. F. commercial =	50
<u>1 stall x 30% x 150 persons restaurant =</u>	<u>45</u>
Total Required Stalls	167

Vehicle Parking Provided:

Surface	114 (incl. 5 accessible)
<u>Underground</u>	<u>62 (incl. 4 accessible)</u>
Total	176

Bike Parking Provided:

Surface	31
<u>Underground</u>	<u>22</u>
Total	53

Loading Zones Provided: 2 (10' x 35')

Letter of Intent – Conditional Use
1513 Lake Point Drive
March 8, 2006
Revised: May 31, 2006

Project Schedule and Management:

Construction of this development will be phased. Construction of Building 2 and 3 is expected to start in summer of 2006 with completion the following spring. The remaining buildings will proceed as economic conditions dictate and are expected to be completed by spring 2009.

It is planned that each lot within this development could be individually owned although a management agreement will require unified property management for the entire site. Private professional management will handle all services such as trash removal and grounds and building maintenance. A cross-access, parking and maintenance agreement will provide for joint vehicular and pedestrian circulation between the lots.

Thank you for your time in reviewing this proposal.

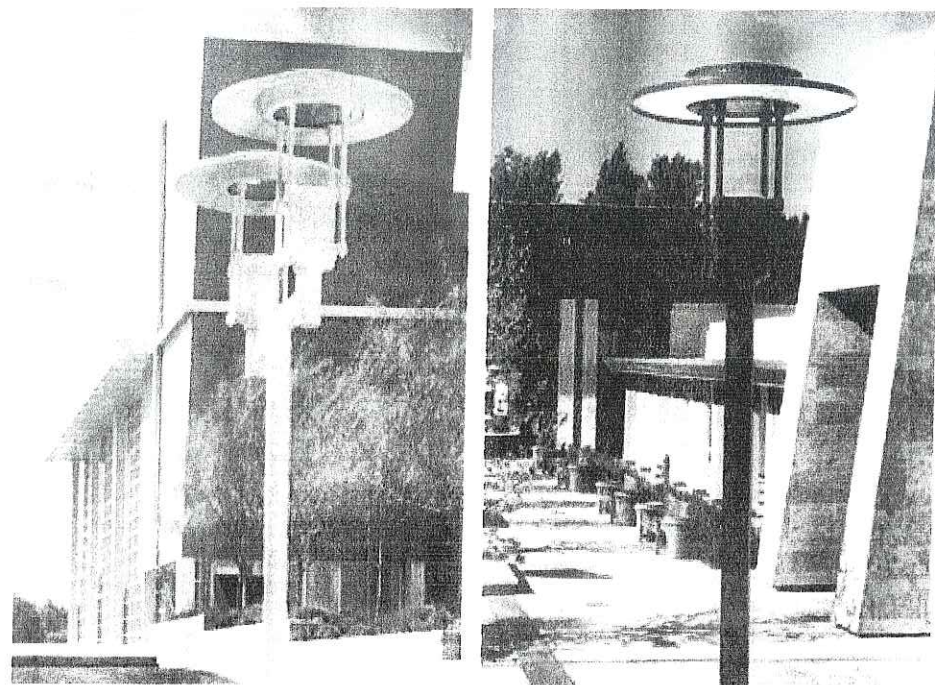
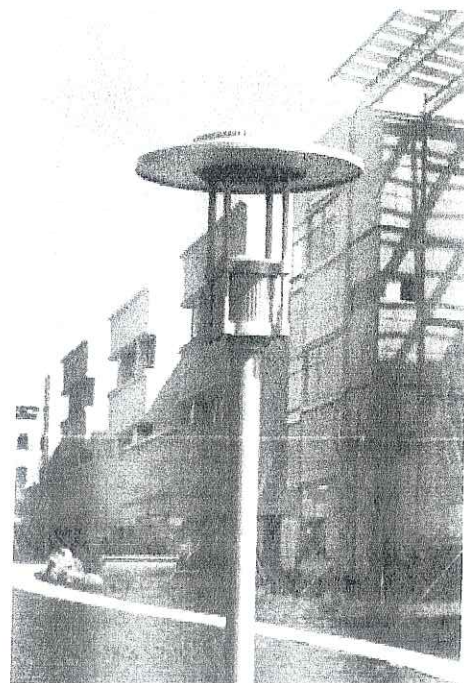
Very truly yours,

J. Randy Bruce, AIA
Managing Member

JRB/kas

KIM LIGHTING

BOUNCE



The Ultimate in Architecturally Relevant Outdoor Lighting

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Bounce®

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ISO 9001:2000



SITE / AREA
PARKING STRUCTURE
ROADWAY
ARCHITECTURAL FLOOD
ACCENT
LANDSCAPE

MAILING ADDRESS:
P.O. BOX 60080
CITY OF INDUSTRY, CA
91716-0080

BUSINESS ADDRESS:
16555 EAST GALE AVENUE
CITY OF INDUSTRY, CA 91745
U.S.A.
PHONE 626 / 968-5666
FAX 626 / 369-2695

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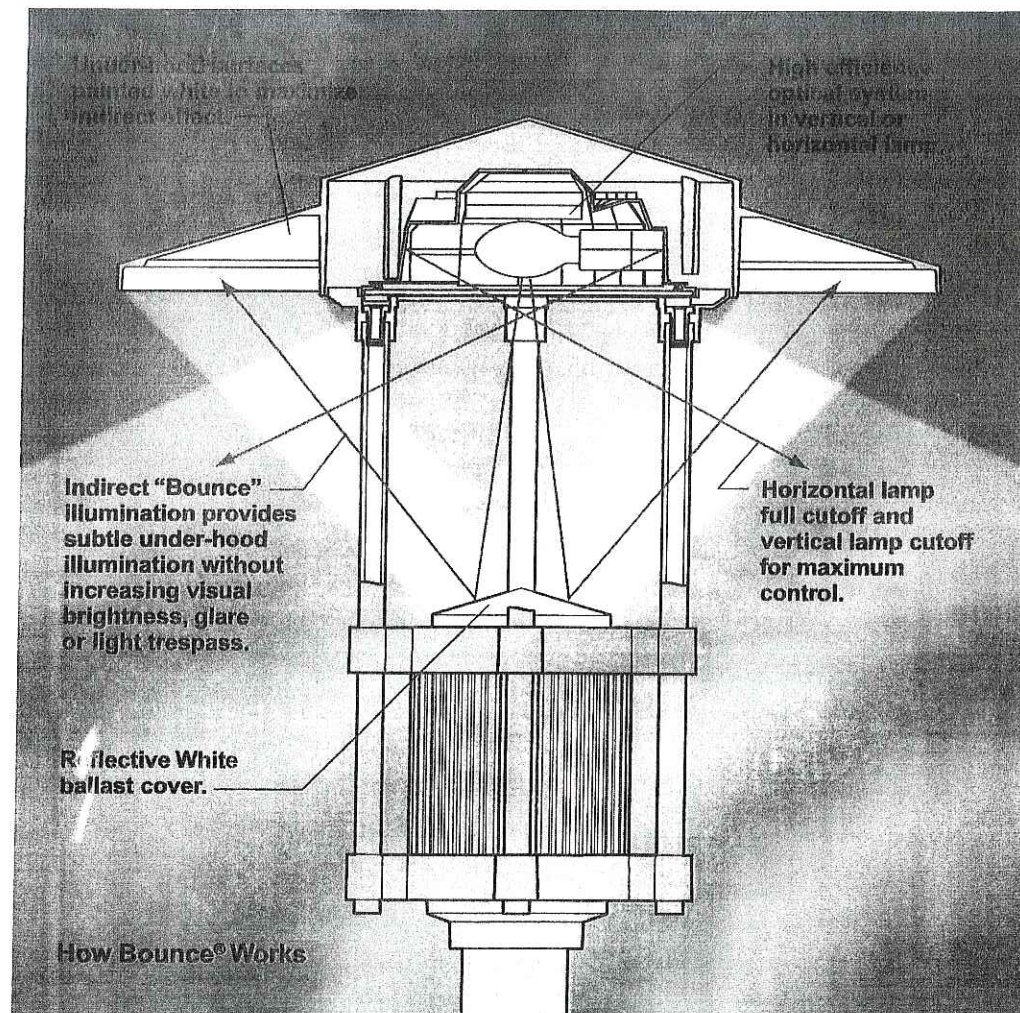
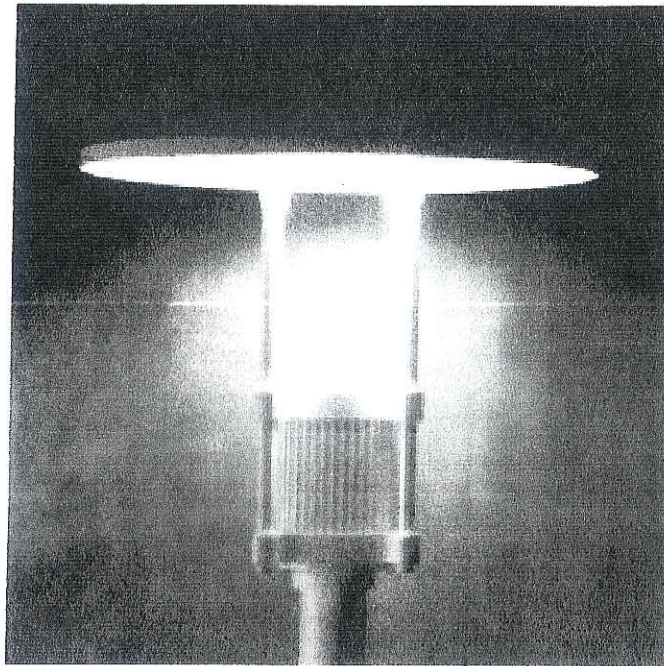


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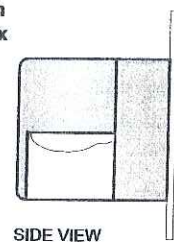
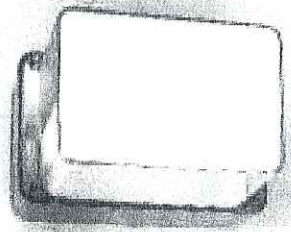
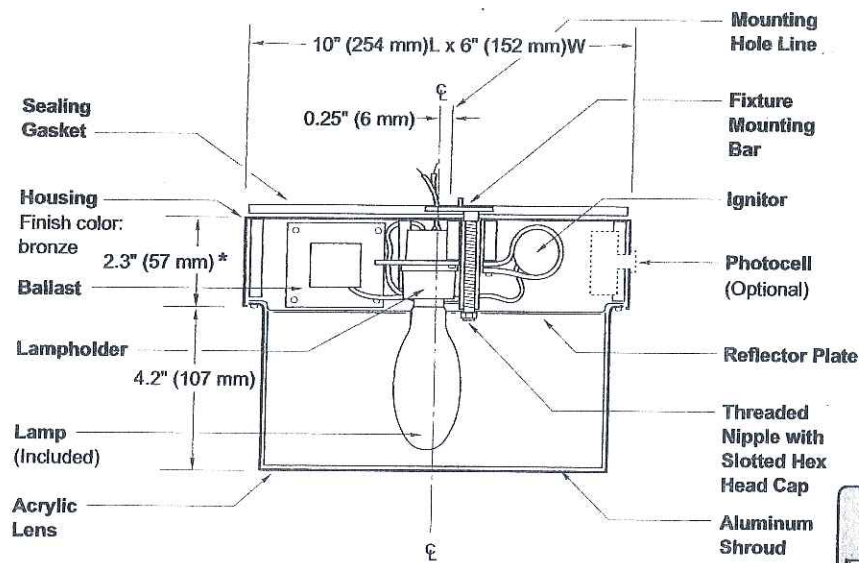
Bounce®

The Bounce® luminaire design combines the look of contemporary European lanterns with the cutoff control and optical performance provided in every Kim area lighting product. Rather than waste light by discharging it in lateral planes, the Bounce luminaire utilizes either Vertical or Horizontal lamp optical systems with cutoff lighting control. A subtle indirect component is captured from light bouncing off the reflective white ballast cover, to illuminate the underside of the fixture's hood. Bounce addresses the growing concern for control of glare and light trespass, with a unique visual presence both day and night.



RECTANGULAR HID WALL MOUNT
DEEP SHIELDED

E8-H
SERIES



Notes

NOTE:
* For all MH, and 100W HPS with 208V or 240V, this dimension is 3.0" (76 mm)

SPEC #	MOUNTING POSITION	WATTAGE	CATALOG #
METAL HALIDE			
<input checked="" type="checkbox"/>	SPEC # Wall Downlight	50W MH	E8405-(a)(b)
<input type="checkbox"/>	SPEC # Wall Downlight	70W MH	E8407-(a)(b)
HIGH PRESSURE SODIUM			
<input type="checkbox"/>	SPEC # Any	35W HPS	E8503-(a)(b)
<input type="checkbox"/>	SPEC # Any	50W HPS	E8505-(a)(b)
<input type="checkbox"/>	SPEC # Wall Downlight	70W HPS	E8507-(a)(b)
<input type="checkbox"/>	SPEC # Wall Downlight	100W HPS	E8510-(a)(b)

Specify (a) Voltage & (b) Options.

(a) VOLTAGE SUFFIX KEY	
D	120/277V (Standard: 50 – 70W MH)
T	120/277/347V (Canada Only) (70W MH; 70 – 100W HPS)
1	120V (Standard: 35 – 100W HPS)
2	277V (35 – 100W HPS)
3	208V (35 – 100W HPS)
4	240V (35 – 100W HPS)
6	347V (Canada Only) (70 – 100W HPS)

For voltage availability outside the US and Canada, see Bulletin TD-9 or contact your Ruud Lighting authorized International Distributor.

(b) OPTIONS (factory-installed)	
BS	Bronze Color Shroud
GS	Gold Color Shroud (n/a on 100W HPS)
H	High Power Factor Ballast
J	Tamperproof Lens Fasteners
-(a)P	Photocell
V	Polycarbonate Lens

Specify (a) Single Voltage — See Voltage Suffix Key

GENERAL DESCRIPTION

Aluminum die-cast ballast housing features a thermal air isolation chamber separating the ballast core and coil from the other electrical components. Supplied with a neoprene sealing gasket for complete weatherproofing at the mounting surface. A silicone rubber seal is furnished between housing and lens to ensure a water- and insect-tight seal. Steel fixture mounting bar and threaded nipple provided for direct mounting to recessed junction box. Clear acrylic lens is fastened to housing with phillips-head captive stainless-steel screws. Combination of internal polished aluminum shroud (inside painted white and outside painted silver on 100W HPS) and diffuse reflector plate provides front brightness shielding without sacrificing wide light distribution.

ELECTRICAL

Fixture includes clear, medium-base lamp and porcelain enclosed, 4kv-rated screw-shell-type lampholder with spring-loaded center contact. Lamp ignitor included where required. All ballast assemblies are normal power factor and use the following circuit types:

- Reactor (120V only)
35 – 100W HPS
- Reactor/Transformer (208, 240, 277V)
35 – 100W HPS
- HX — High Reactance
50 – 70W MH; 70 – 100W HPS (347V)

LABELS

ANSI lamp wattage label supplied, visible during relamping. UL Listed in the US and Canada for wet locations and enclosure classified IP54 per IEC 529 and IEC 598.

FINISH

Exclusive DeltaGuard® finish features an E-coat epoxy primer with medium bronze acrylic powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. The finish is covered by our seven-year limited warranty.

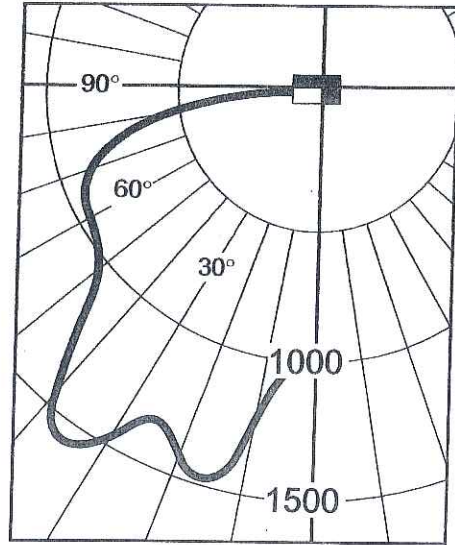
ACCESSORIES

- ESB-7 Surface Mounting Box
- PAS-7 Pole Mounting Bracket
- TPS-1 Tamperproof Screwdriver

Isofootcandle plots show initial footcandles at grade. (Footcandles ÷ 0.0929 = Lux)

ANGLE	MEAN CP	ANGLE	MEAN CP
0.0	853	60.0	491
5.0	1166	62.5	950
10.0	1264	65.0	1197
15.0	1605	67.5	903
20.0	1506	70.0	851
25.0	1610	72.5	831
30.0	1416	75.0	783
32.5	1758	77.5	766
35.0	1719	80.0	800
40.0	1540	82.5	806
45.0	1218	85.0	382
50.0	1293	87.5	205
52.5	906	90.0	8
55.0	500		
57.5	563		

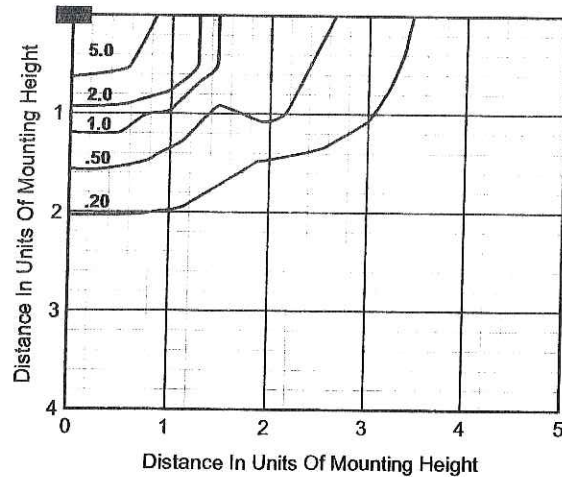
Maximum Candlepower: 1758
 Plane of Maximum CP: 105.0°
 Vertical Angle of Maximum Candlepower: 32.5°
 Lumen Rating: 6400



Front View

Lighting Sciences Inc.
 Certified Test Report No. LSI 7361
 Candlepower distribution curve of 70W HPS
 Rectangular Deep Shielded Fixture.

EFFICIENCY = 57.6%



Isofootcandle plot of 70W HPS Rectangular Deep Shielded fixture at 10' (3 m) mounting height. (Plan view)

MOUNTING HEIGHT CONVERSION TABLE

Footcandle readings for mounting heights other than 10' (3 m) may be obtained by multiplying fc values by the following:

HEIGHT	MULTIPLIER
7.0' (2.1 m)	2.04
8.0' (2.4 m)	1.56
9.0' (2.7 m)	1.23
12.0' (3.7 m)	0.69
15.0' (4.6 m)	0.44
20.0' (6.1 m)	0.25

LAMP WATTAGE CONVERSION TABLE

Footcandle readings for wattages and lamp types other than 70W HPS may be obtained by multiplying fc values by the following:

LAMP/WATTAGE	MULTIPLIER
50W MH	0.48
70W MH	0.79
100W MH	1.27
35W HPS	0.35
50W HPS	0.63
100W HPS	1.49

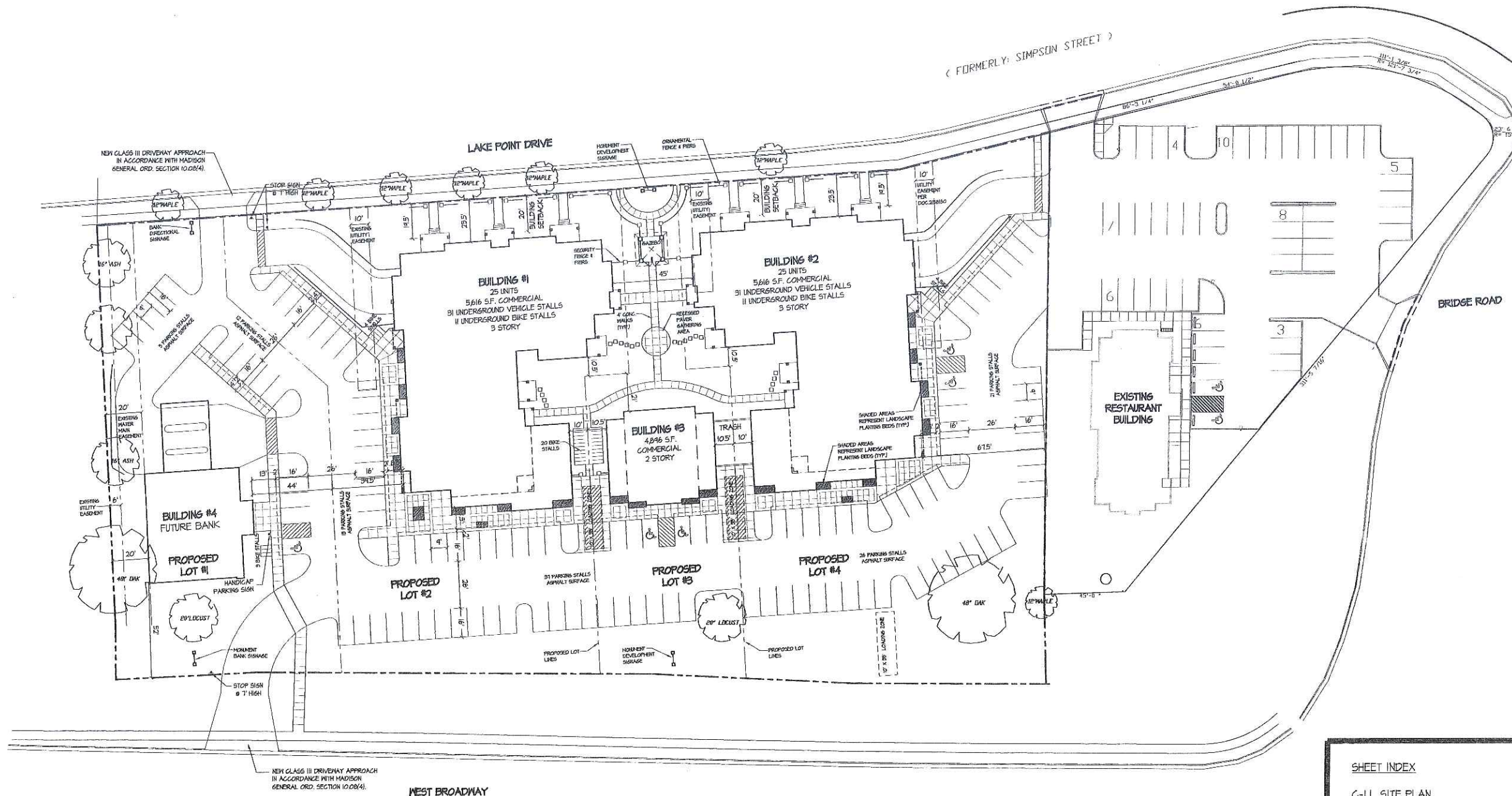
Consultant

Notes

1. MAXIMUM SLOPE AT ALL HANDICAP ACCESSIBLE WALKS 1:20. MAXIMUM SLOPE AT HANDICAP RAMPS 1:12. RAMPS OVERCROSSING MORE THAN 6" CHANGE IN ELEVATION TO HAVE HANDRAILS ON BOTH SIDES.
2. ALL DRIVEWAYS, CURB ADJACENT TO DRIVEWAYS, AND SIDEWALK CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION BY A CONTRACTOR CURRENTLY LICENSED BY THE CITY.
3. ALL NEW DRIVES TO BE CONSTRUCTED WITH CLASS III APPROACHES IN ACCORDANCE WITH MADISON GENERAL ORDINANCE SECTION 10.02(4).
4. ALL TRASH TO BE COLLECTED IN UNDERGROUND PARKING GARAGES. RECYCLING AREAS TO BE PROVIDED IN TRASH ROOM.
5. SEE SITE GRADING AND UTILITY PLANS FOR ADDITIONAL INFORMATION.
6. COMM 62.0500(N)-REQUIRED FIRE LANES SHALL BE PROVIDED PRIOR TO THE PLACEMENT OF COMBUSTIBLE MATERIALS AT THE BUILDING SITE, OR THE CONSTRUCTION OF ANY PORTION OF A BUILDING ABOVE THE FOOTINGS AND FOUNDATION.
7. ALL WORK IN THE RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
8. BIKE STALLS TO BE IN ACCORDANCE TO MADISON GENERAL ORDINANCE 20.11, FOR THE TYPES OF RACKS ESPECIALLY SEE SUBSECTIONS (3)(e) AND (3)(n)2d.

Revisions

- MARCH 8, 2006 - PLAN COMMISSION SUBMITTAL
- MARCH 24, 2006 - INITIAL U.D.C. SUBMITTAL
- MARCH 31, 2006 - ISSUED FOR PERIGINS
- MAY 31, 2006 - FINAL U.D.C. SUBMITTAL



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Project Title

**River Oaks
Condominiums**
1513 Lake Point Drive

Drawing Title

Site Plan

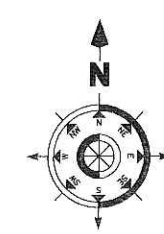
Project No.

0529

Drawing No.

C-1.1

SITE PLAN
SCALE: 1" = 30'

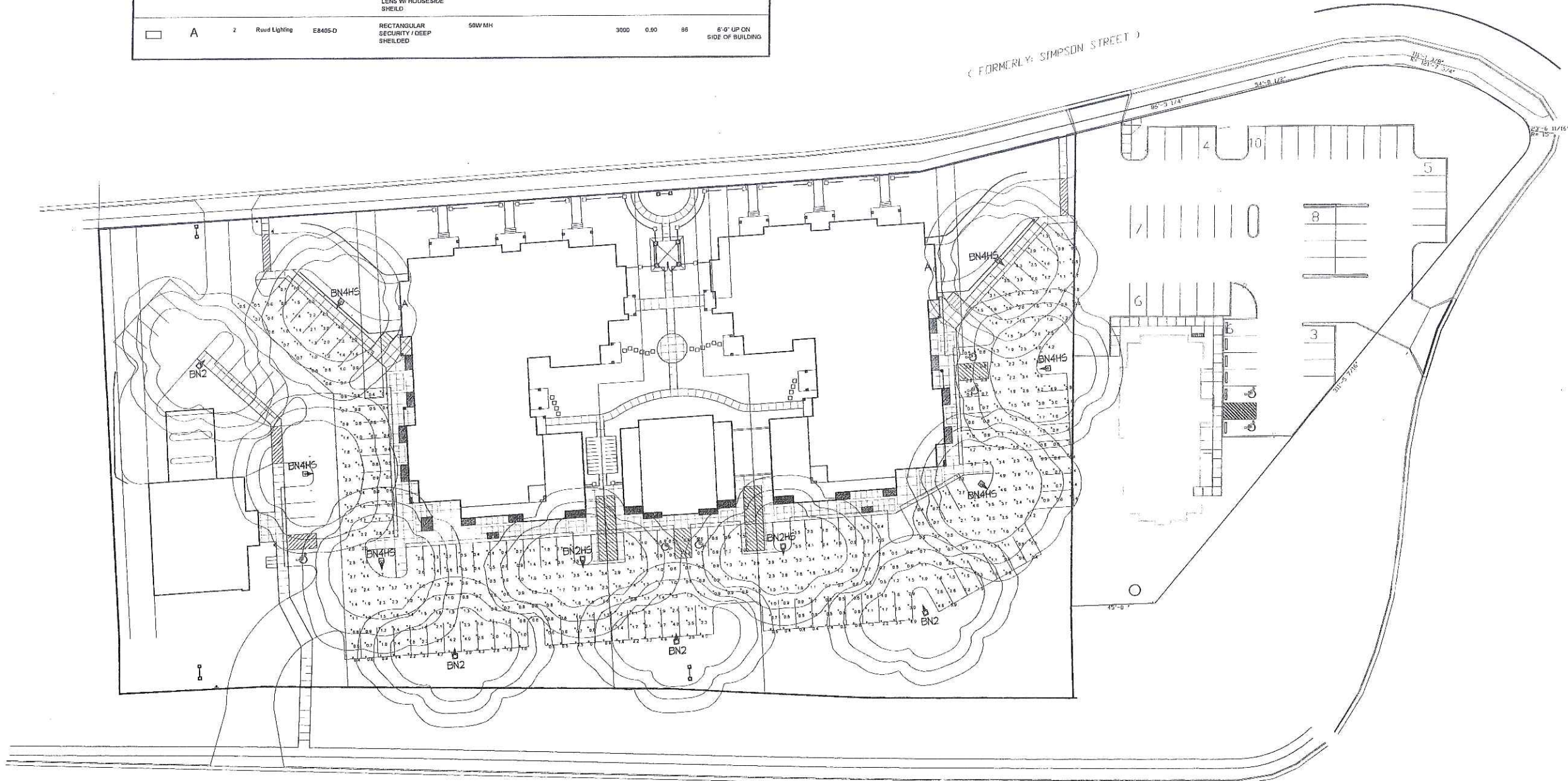


Consultant

Notes

LIGHTING SCHEDULE											
Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts	Mounting
	BN2	4	Kim Lighting	BNS1H2/175MHxx x/xx	BOUNCE PEDESTRIAN SCALE LUMINAIRE DIE CAST ALUM HOUSING LENS FRAME SEMI-SPECULAR MULTI-FACETED REFL. PANELS CLEAR FLAT GLASS LENS	175MH COATED ED17 HORIZONTAL POSITION TEST RATED AT 13300 INITIAL LUMENS	Bsh217m.es	13300	0.80	175	16'-0" POLE ON 2'-0" CONC. BASE
	BN2HS	2	Kim Lighting	BNS1H3/175MHxx x/xx	BOUNCE PEDESTRIAN SCALE LUMINAIRE DIE CAST ALUM HOUSING LENS FRAME SEMI-SPECULAR MULTI-FACETED REFL. PANELS CLEAR FLAT GLASS LENS W/ HOUSESIDE SHIELD	175MH COATED ED17 HORIZONTAL POSITION TEST RATED AT 13300 INITIAL LUMENS	Bsh217m.es	13300	0.80	175	16'-0" POLE ON 2'-0" CONC. BASE
	BN4HS	6	Kim Lighting	BNS1H4/175MHxx x/xx	BOUNCE PEDESTRIAN SCALE LUMINAIRE DIE CAST ALUM HOUSING LENS FRAME SEMI-SPECULAR MULTI-FACETED REFL. PANELS CLEAR FLAT GLASS LENS W/ HOUSESIDE SHIELD	175MH COATED ED17 HORIZONTAL POSITION TEST RATED AT 13300 INITIAL LUMENS	Bsh417m.es	13300	0.80	175	16'-0" POLE ON 2'-0" CONC. BASE
	A	2	Road Lighting	ER40S-D	RECTANGULAR SECURITY / DEEP SHIELDED	50W MH		3000	0.50	86	6'-0" UP ON SIDE OF BUILDING

LIGHTING STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lots	+	1.6 fc	4.9 fc	0.4 fc	12.3:1	3.0:1



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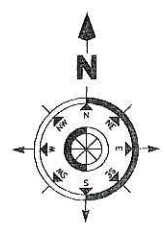
Project Title
River Oaks
Condominiums
1513 Lake Point Drive

Drawing Title
Site Lighting Plan

Project No. **0529** Drawing No. **C-1.2**

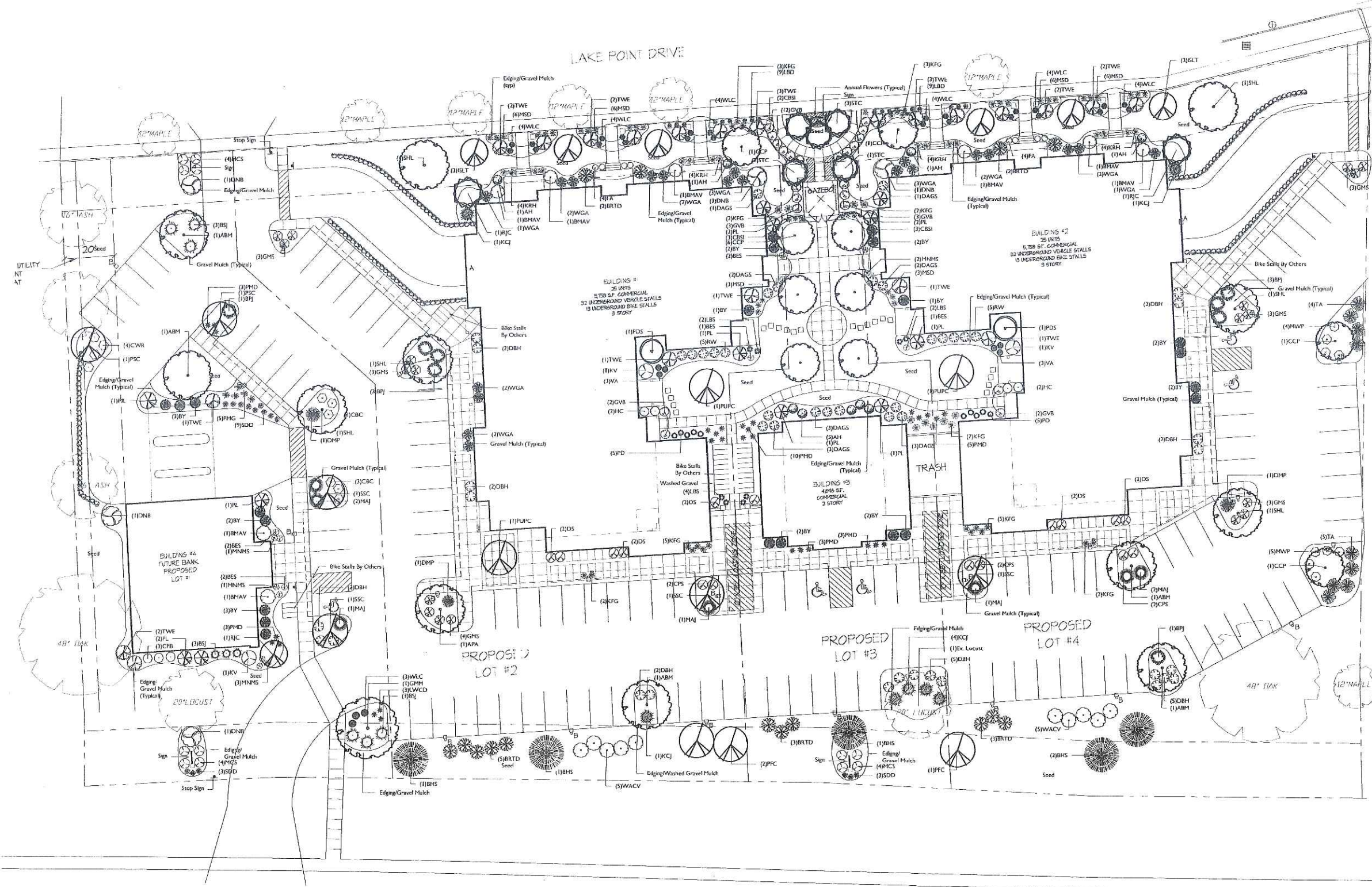
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SITE LIGHTING PLAN
SCALE: 1" = 30'



Plant Material List

Quantity	Code Name	Common Name	Planting Size
Broadleaf Deciduous			
5	ABM	Autumn Blaze Maple	2" B&B
1	APA	Autumn Purple White Ash	2" B&B
10	CCP	Chanticleer Callery Pear	1 3/4" B&B
1	GMM	Green Mountain Sugar Maple	2" B&B
2	PSC	Pink Spires Crabapple	1 1/2" B&B
3	PFC	Prairie Fire Crabapple	1 1/2" B&B
2	PDS	Princess Diana Serviceberry	4" B&B
3	PUPC	Purple Prince Crabapple	1 1/2" B&B
3	RJC	Red Jewel Crabapple	1 1/2" B&B
5	STC	Sargent Crabapple	2" B&B
6	SHL	Skyline Thins Honeylocust	2" B&B
4	SSC	Spring Snow Crabapple	1 1/2" B&B
Conifer Evergreen			
22	BY	Berryhill Yew	15" B&B
5	BHS	Black Hills Spruce	5" B&B
8	BJP	Blue Prince Juniper	#2 CONT.
9	BSJ	Blue Sargent Juniper	#2 CONT.
3	DHP	Dwarf Mugo Pine	15" POT
7	KCJ	Kalley Compact Juniper	#2 CONT.
7	MAJ	Mini Arcadia Juniper	#2 CONT.
9	TA	Techny/mission Arborvitae	5" B&B
20	WGA	Woodward Globe Arborvitae	#5 CONT.
Perennial			
8	BES	Black-eyed Susan	#1 CONT.
8	CBSI	Caesar's Brother Siberian Iris	#1 CONT.
8	FA	Fanal Asolbe	#1 CONT.
31	KFG	Karl Foerster's Feather Reed Grass	#1 CONT.
16	KRH	Krossa Regal Hosta	#1 CONT.
8	LBS	Little Bluescom	#1 CONT.
18	LBD	Little Business Daylily	#1 CONT.
3	LWCD	Little Wine Cup Daylily	#1 CONT.
7	MNMS	May Night Sage	#1 CONT.
30	MSD	Mini Stella Daylily	#1 CONT.
27	PHD	Pardon Me Daylily	#1 CONT.
10	PD	Prairie Dropseed	#1 CONT.
5	PMG	Purple Maiden Grass	#1 CONT.
15	SDD	Stella De Oro Daylily	#1 CONT.
6	VA	Visions Astilbe	#1 CONT.
27	WLC	Walker's Low Camint	#1 CONT.
Shrub			
9	AH	Annabelle Hydrangea	#2 CONT.
15	BRTD	Bailey Red Twagged Dogwood	3" B&B
8	BMAV	Blue Mufin Arnd Viburnum	#5 CONT.
4	CWR	Carefree Wonder Rose	#3 CONT.
6	CBC	Cranberry Cotoneaster	#2 CONT.
3	CPB	Crimson Pzygm Barberry	#2 CONT.
6	CPS	Crisp Spirea	#2 CONT.
15	DAGS	Dakota Goldcharm Spirea	#2 CONT.
10	DS	Daphne Spirea	#2 CONT.
5	DNB	Diabolo Ninebark	#5 CONT.
23	DBH	Dwarf Bush-honeysuckle	#2 CONT.
19	GMS	Gold Mound Spirea	#2 CONT.
22	GVV	Green Velvet Boxwood	#3 CONT.
4	HC	Hedge Cotoneaster	#7 CONT.
6	ISLT	Ivory Silk Japanese Tree Lilac (f)	1 1/2" B&B
3	KV	Koreanspice Viburnum	3" B&B
12	MCS	Magic Carpet Spirea	#2 CONT.
9	MWP	Mckay's White Potentilla	#2 CONT.
1	ML	Minuet Lilac	3" B&B
11	PL	Palibin Lilac	3" B&B
10	RW	Rumba Weigela	#2 CONT.
21	TWE	Tures Winged Euonymus	3" B&B
10	WACV	Wentworth Amer Crnby Viburnum	3" B&B



1513 LAKE POINT DRIVE
MADISON, WISCONSIN

Checked By: RS
Drawn By: CJ
Revised: 3/7/06
Revised: 4/25/06
Revised: 5/25/06
Revised:
Revised:
Revised:

Job #
C-4.1

CITY OF MADISON

LANDSCAPE POINTS REQUIREMENTS	
Number of parking Stalls	114
Number of 2" Min. Cal. Trees Required	9
Number of Landscape Points Required	662

SOLUTION		
7	Canopy Trees (2" - 1 1/2") @ 35 pts.	245
9	Canopy Trees or Small Ornamental Trees (1 1/2" - 2") @ 15 pts.	135
80	Deciduous Shrubs @ 2 pts.	160
26	Evergreen Shrubs @ 3 pts.	78
14	Evergreen Trees (2" H.L.) @ 15 pts.	210
-	Decorative Wall or Fence @ 5 pts. per 10 L.F.	-
-	Earth Berm per 10 L.F.	-
-	Average H.C. - 30" @ 5 pts.	-
-	Average H.C. - 15" @ 2 pts.	-
TOTAL POINTS		628

GENERAL NOTES

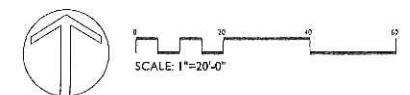
A) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive bark rings (and bark beds) consisting of a mixture of hardwood shredded bark mulch spread to a minimum 3" depth (3" wide beds for shrub groupings).

B) "Edging" to be Valley View Black Diamond Edging or equivalent.

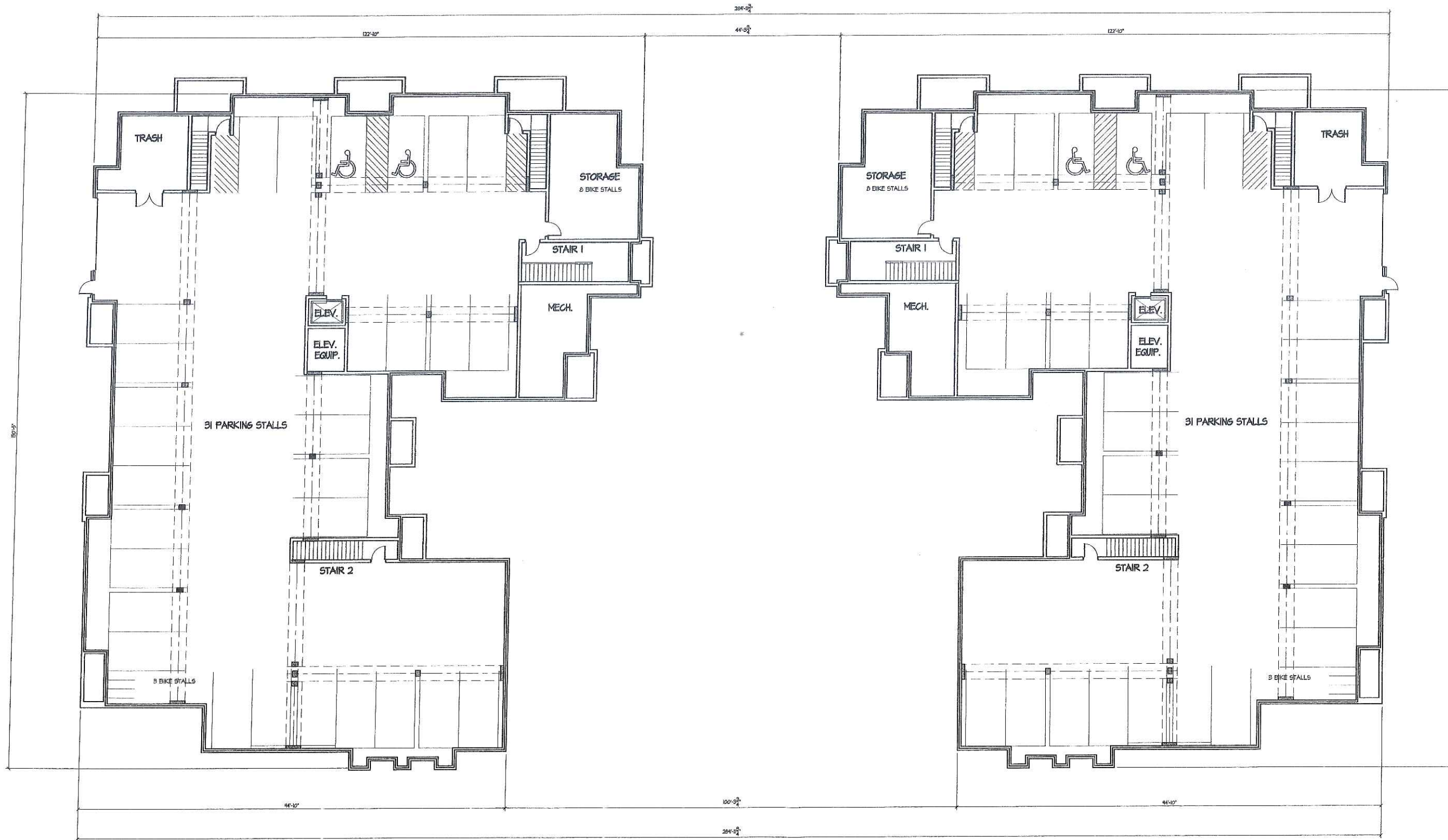
C) Areas labeled "Gravel Mulch" to receive 1-1/2" washed gravel spread to a 3" depth over fabric weed barrier.

D) "Seed" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.

E) Seed shall consist of the following mixture:
40% Palmer Ryegrass
20% Baron Bluegrass
20% Nassau Bluegrass
20% Pennburn Crawling Red Fescue



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- Revisions
- MARCH 8, 2006 - PLAN COMMISSION SUBMITTAL
 - MARCH 24, 2006 - INITIAL U.D.C. SUBMITTAL
 - MARCH 31, 2006 - ISSUED FOR PRICING
 - MAY 31, 2006 - FINAL U.D.C. SUBMITTAL

Project Title
**River Oaks
Condominiums**
1513 Lake Point Drive

○ BASEMENT FLOOR OVERALL PLAN
3/32" = 1'-0"

Drawing Title
Basement Overall Plan
25 Unit Building

Project No. Drawing No.
0529 A-1.0

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Consultant

Notes

1. _____ INDICATES EXTENT OF FIREBARRIER WALL. FIRE BARRIER WALL EXTENDS FROM TOP OF FLOOR DECK TO BOTTOM OF FLOOR DECK ABOVE. GYPSUM BOARD SHEETING MUST EXTEND THROUGH FLOOR ASSEMBLY TO UNDERSIDE OF FLOOR DECK ABOVE.

Revisions

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Project Title

**River Oaks
 Condominiums**
 1513 Lake Point Drive

Drawing Title

First Floor Overall Plan
 25 Unit Building

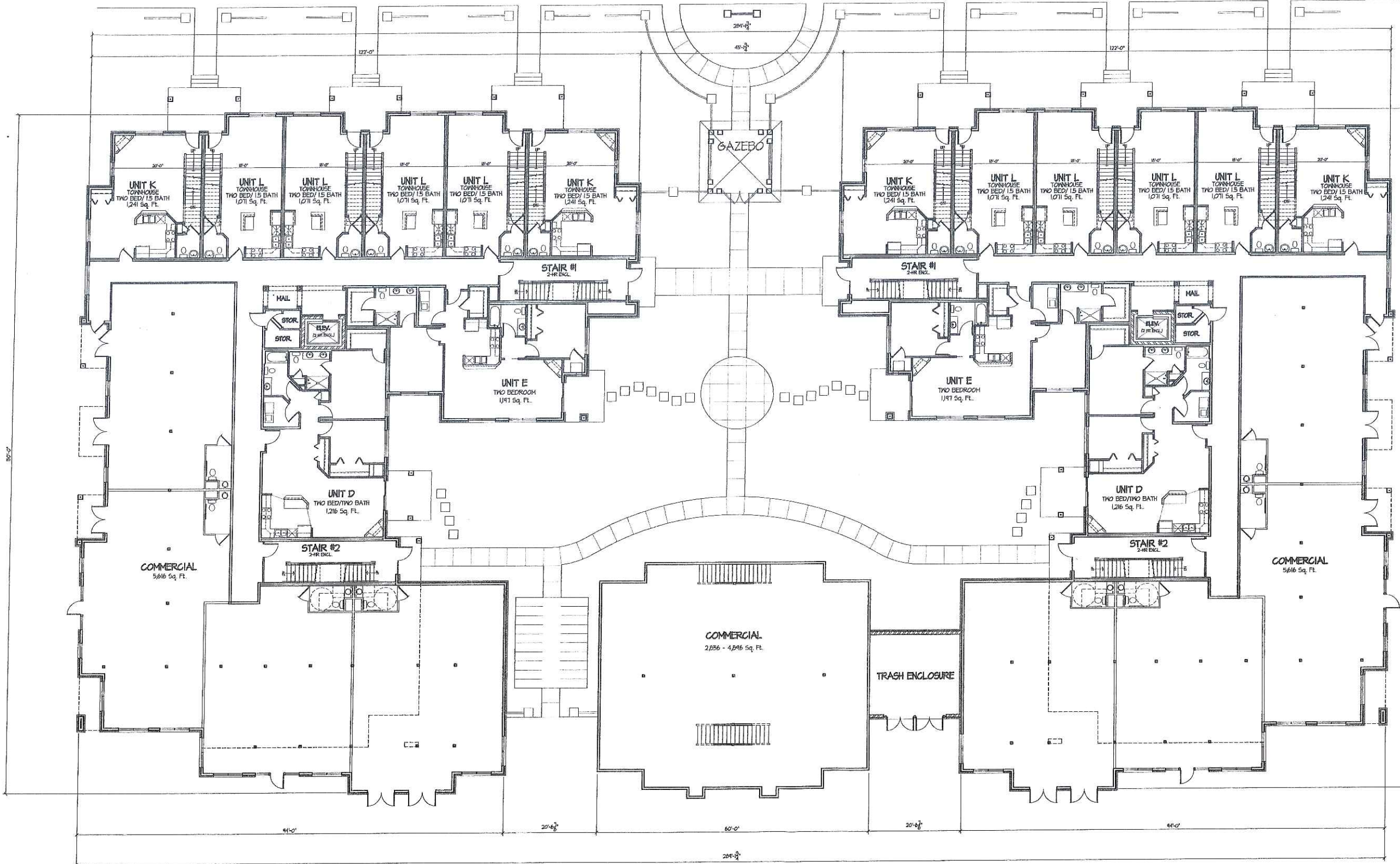
Project No.

0529

Drawing No.

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FIRST FLOOR OVERALL PLAN
 3/8" = 1'-0"

Notes

1. _____ INDICATES EXTENT OF FIREBARRIER WALL. FIRE BARRIER WALL EXTENDS FROM TOP OF FLOOR DECK TO BOTTOM OF FLOOR DECK ABOVE. GYPSUM BOARD SHEETING MUST EXTEND THROUGH FLOOR ASSEMBLY TO UNDERSIDE OF FLOOR DECK ABOVE.

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Project Title

**River Oaks
Condominiums**
1513 Lake Point Drive

Drawing Title

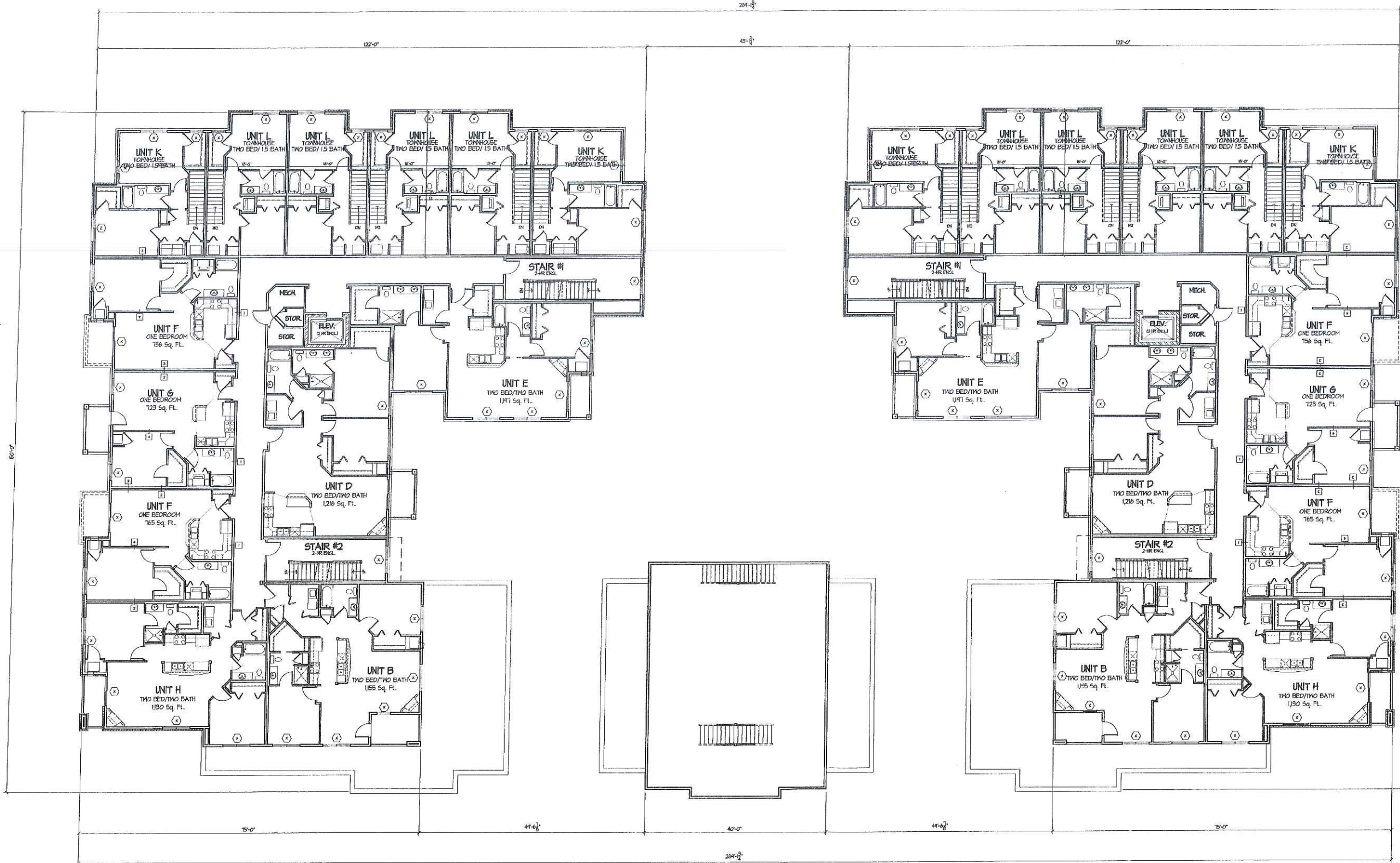
Second Floor Overall Plan
25 Unit Building

Project No.

0529

Drawing No.

A-1.2



SECOND FLOOR OVERALL PLAN

3/32" = 1'-0"



Consultant

Notes

1. ——— INDICATES EXTENT OF FIREBARRIER WALL. FIRE BARRIER WALL EXTENDS FROM TOP OF FLOOR DECK TO BOTTOM OF FLOOR DECK ABOVE. GYPSUM BOARD SHEETING MUST EXTEND THOUGH FLOOR ASSEMBLY TO UNDERSIDE OF FLOOR DECK ABOVE.

Revisions

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Project Title

**River Oaks
 Condominiums**
 1513 Lake Point Drive

Drawing Title

Third Floor Overall Plan
 25 Unit Building

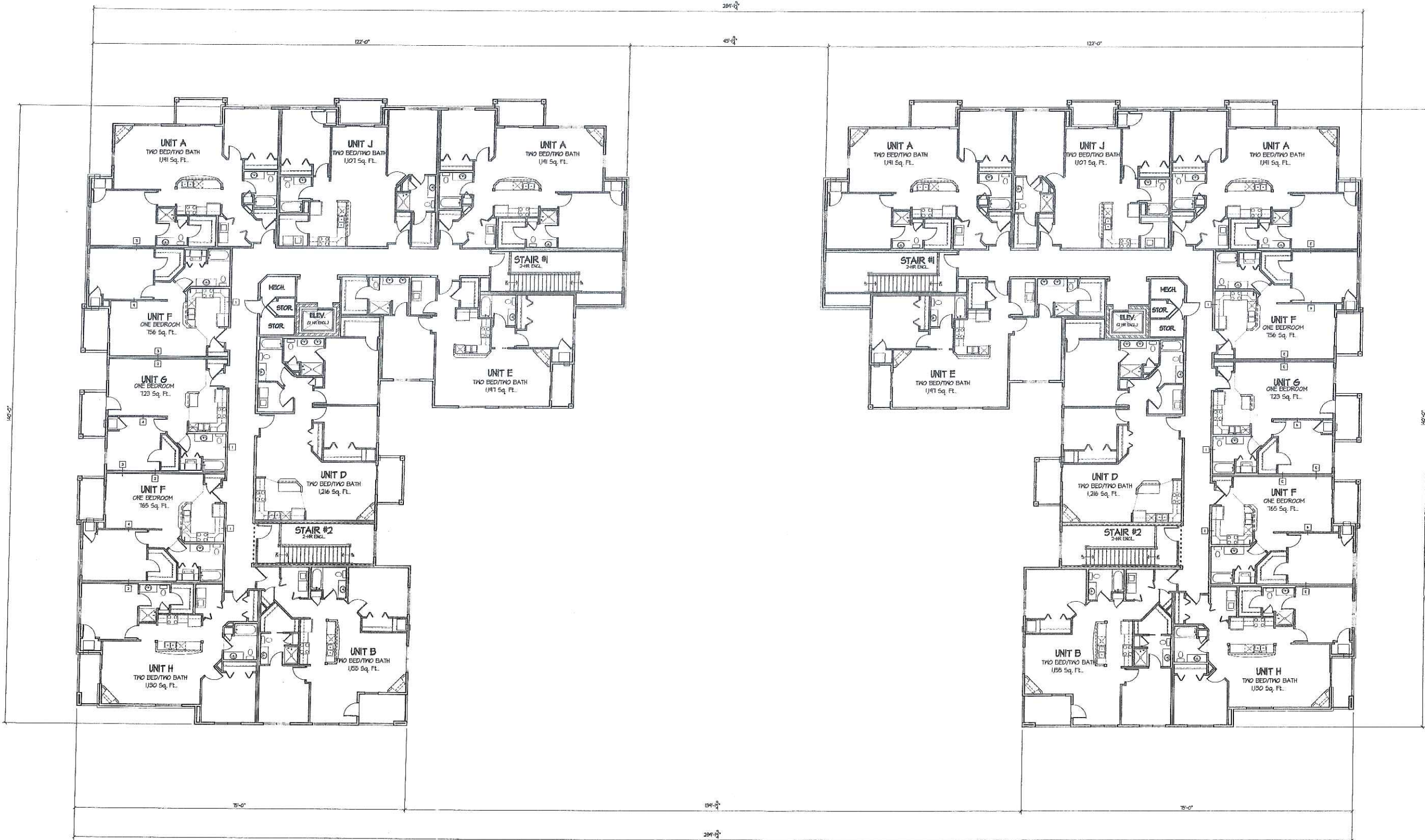
Project No.

0529

Drawing No.

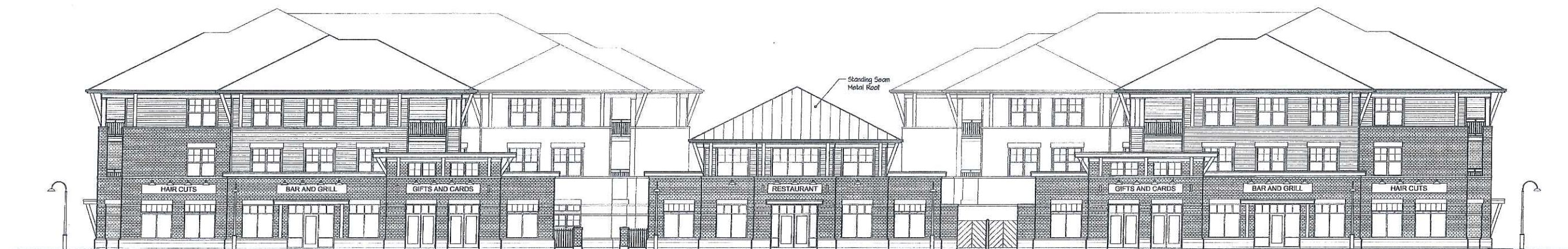
A-13

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THIRD FLOOR OVERALL PLAN
 3/32" = 1'-0"





○ South Elevation Along Broadway
 3/32" = 1'-0"



- TYPICAL MATERIALS:
- Asphalt Shingles
 - Alum. Wrapped Fascia
 - Composite Trim Frieze Board
 - Painted Brackets & Columns
 - Aluminum Railing System
 - Horizontal Plank Siding
 - Composite Window Trim
 - Brick Veneer
 - Precast Bands, Window Heads & Sills
 - Composite Trim Frieze Board
 - Painted Columns
 - CMU Base

○ East Elevation Bldg #2 (West Elevation Bldg #1 Mirror Image)
 3/32" = 1'-0"

Revisions
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Project Title
**River Oaks
 Condominiums**
 1513 Lake Point Drive

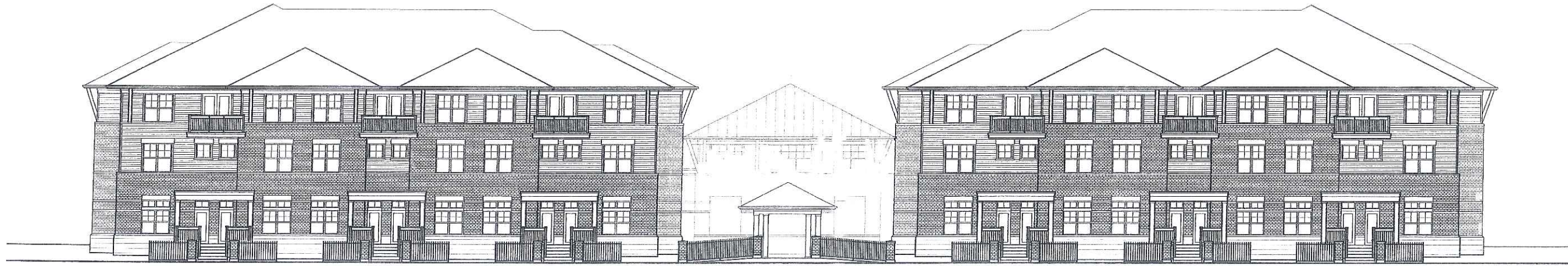
Drawing Title
Elevations

Project No.
0529

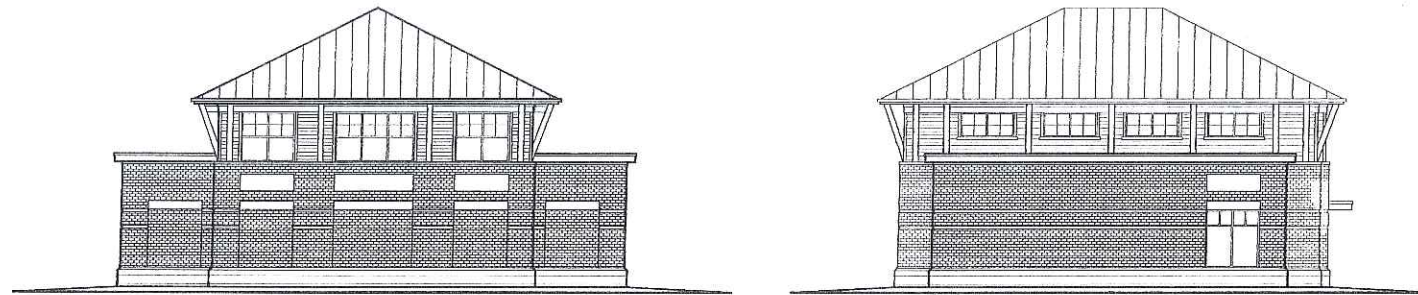
Drawing No.
A-2.1

Consultant

Notes



○ North Elevation Along Lake Point
3/32" = 1'-0"



EAST

WEST

○ Side Elevations Bldg # 3
3/32" = 1'-0"



○ West Elevation Bldg #2 (East Elevation Bldg #1 Mirror Image)
3/32" = 1'-0"

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Project Title

**River Oaks
Condominiums**
1513 Lake Point Drive

Drawing Title
Elevations

Project No.
0529

Drawing No.
A-2.2