

CITY OF MADISON

Proposed Plat

Plat Name: Meadow Estates

Location: 3391 Meadow Road

Applicant: Tim Cornett/Dan Frick - Mayo Corporation

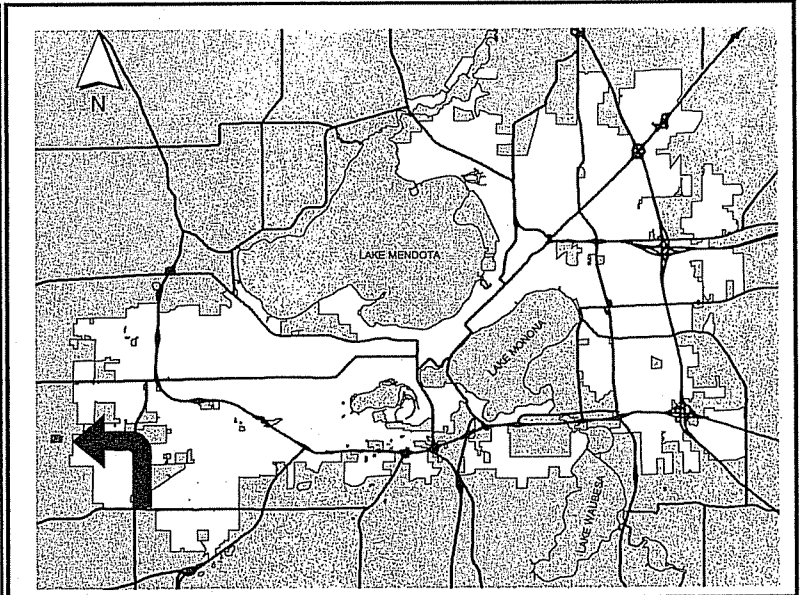
- | | |
|---|--|
| <input type="checkbox"/> Preliminary | <input type="checkbox"/> Within City |
| <input checked="" type="checkbox"/> Final | <input checked="" type="checkbox"/> Outside City |

Proposed Use: 11 Single Family Lots & 3 Outlots

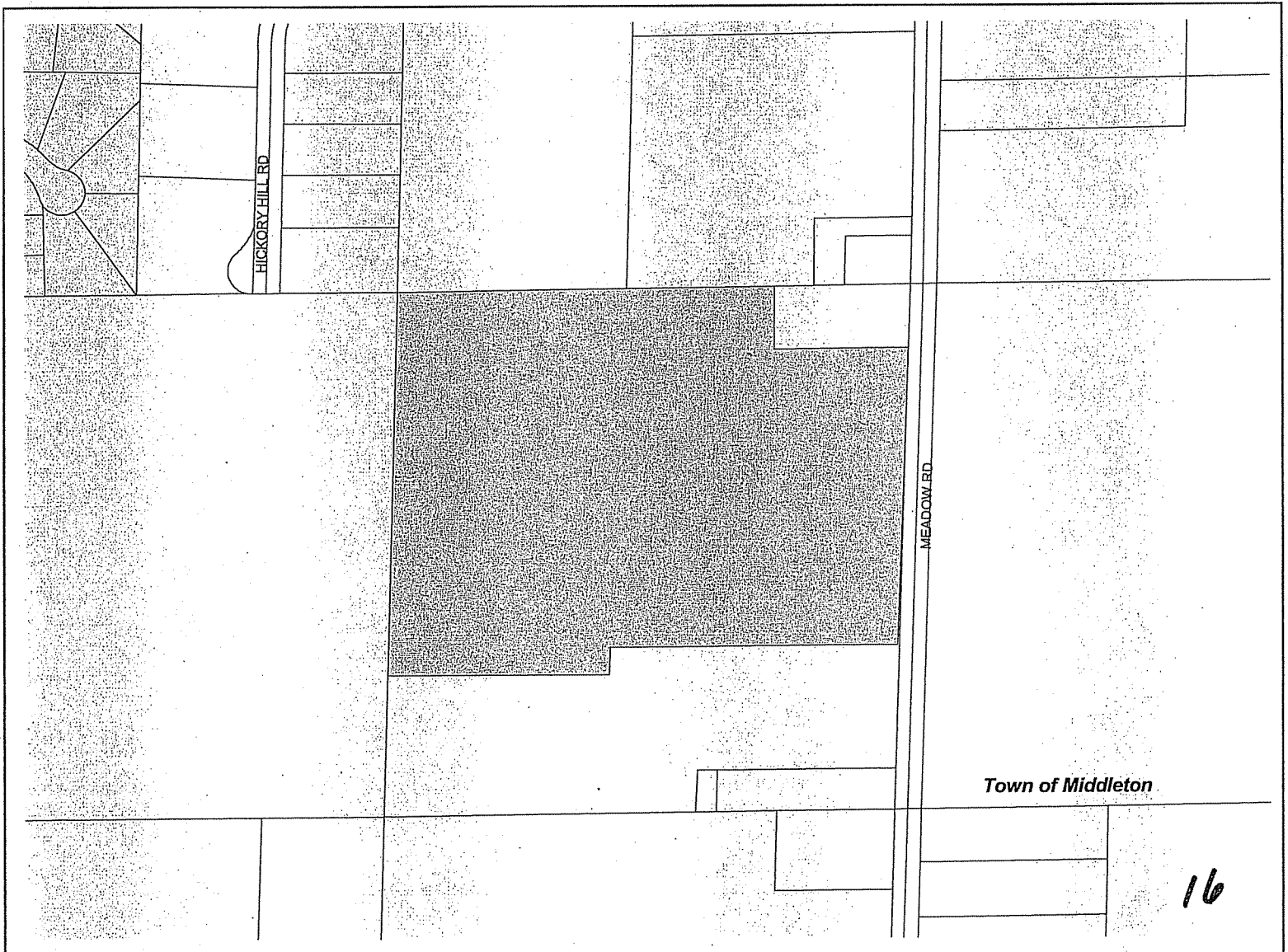
Public Hearing Dates:

Plan Commission 18 July 2005

Common Council 02 August 2005



For Questions contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



3391 Meadow Road

0 100 Feet



Date of Aerial Photography - April 2000



16

MEADOW ESTATES

LOT 1 AND PART OF LOT 2 OF CERTIFIED SURVEY MAP 10312 (VOLUME 60, PAGE 268-272, DOCUMENT NUMBER 3441612) LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 7 NORTH, RANGE 8 EAST, TOWN OF MIDDLETON, DANE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, David C. Fick, Registered Land Surveyor, hereby certify that in full compliance with the terms of the plat located in the City of Madison, was hereby approved by Resolution No. 10312, adopted on the 20th day of _____, 2000, and further provided for the acceptance of those lands and rights indicated by said plat to the City for public use.

Plat of Lot 1 of Certified Survey Map 10312 recorded in Volume 60, Southwest Quarter of the Northeast Quarter of Section 32, Township 7 North, Range 8 East, Dane County, Wisconsin, from a survey described as follows: Commence at the intersection of the North and South lines of the right-of-way line of Meadow Road, 751.93 feet, thence South 89 degrees 31 minutes 21 seconds East 132.52 feet to the point of beginning, thence South 89 degrees 31 minutes 21 seconds East 132.52 feet to the point of beginning, subject to any easements or encumbrances, recorded or unrecorded. This description contains 31,116.049 square feet of 256,359 acres.

CORRELATIVE OWNER'S CERTIFICATE OF INDICATION

Cornell Hanna, Inc., a corporation duly organized and existing under and by the laws of the State of Wisconsin, as owner, does hereby certify that said parcel of land, the plat to be surveyed, shown, mapped and dedicated as represented on this plat.

Cornell Hanna, Inc., does further certify that this plat is required by s.235.10 or s.235.12 to be submitted to the following for approval or objection:

Wisconsin Department of Administration
 Town of Middleton and Natural Resources Committee
 City of Madison

IN WITNESS WHEREOF, the said Cornell Hanna, Inc. has caused these presents to be signed by _____ Authorized Representative, and countersigned by _____ its Secretary, of _____ Wisconsin, on this _____ day of _____, 2000.

Signature: _____
 Authorized Representative

Countersigned: _____
 Secretary

STATE OF WISCONSIN)
 DANE COUNTY) ss

Personally came before me this _____ day of _____, 2000, the _____ Secretary of the above named corporation, in the presence of _____ Secretary of said corporation, and acknowledged that they executed the foregoing instrument as such officers on the deed of said corporation, by its authority.

Notary Public _____ Wisconsin

By commission expires _____

TOWN OF MIDDLETON APPROVAL CERTIFICATE

Resolved that this plat located in the City of Madison, was hereby approved by Resolution No. 10312, adopted on the 20th day of _____, 2000, and further provided for the acceptance of those lands and rights indicated by said plat to the Town for public use.

Town Clerk _____

DATE OF MIDDLETON TREASURER CERTIFICATE

I, being the duly elected, qualified and acting Treasurer of the Town of Middleton, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments on or to this _____ day of _____, 2000, on any of the lands included in the plat of MEADOW ESTATES.

Town Treasurer _____

STATE OF WISCONSIN)
 DANE COUNTY) ss

I, Dave Goswami, being the duly elected, qualified and acting Treasurer of the Town of Middleton, do hereby certify that in accordance with the records in my office there are no unpaid taxes or unpaid special assessments on or to this _____ day of _____, 2000, affecting the lands included in the plat of MEADOW ESTATES.

Town Treasurer _____

DANE COUNTY ZONING AND LAND REGULATION COMMITTEE APPROVAL

Approved for recording per Dane County Zoning and Land Regulation Committee.

Date: _____, 2000.

Signature: _____
 Authorized Representative

DEPARTMENT OF ADMINISTRATION

RECORDING DATA

CERTIFICATE OF REGISTER OF DEEDS

Received for recording this _____ day of _____, 2000, and recorded in Volume _____ of Block, on _____ pages _____ of _____

JOHN TERRY TOWN CLERK
 Register of Deeds

CITY OF MADISON COUNCIL RESOLUTION

Resolved that this plat located in the City of Madison, was hereby approved by Resolution No. 10312, adopted on the 20th day of _____, 2000, and further provided for the acceptance of those lands and rights indicated by said plat to the City for public use.

City Clerk _____

FORWARDED BY THE REG. L.S.
 FIRST NAME: DAVID C. FICK
 LAST NAME: SURVEYOR

SUBMITTED FOR: _____
 P.O. BOX 14310
 MADISON, 53714

MAYO CORPORATION

ENGINEERS SURVEYORS ARCHITECTS PLANNERS
 600 GRAND CANYON DRIVE, MADISON, WI 53719-1044
 PHONE: (608) 833-0228 FAX: (608) 833-0746
 E-MAIL: madison@mayocorp.com



SUBDIVISION APPLICATION

Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
 PO Box 2985; Madison, Wisconsin 53701-2985
 Phone: 608.266.4635 | Facsimile: 608.267.8739

**** Please read both pages of the application completely and fill in all required fields****

This application form may also be completed online at www.cityofmadison.com/planning/plan.html

1a. Application Type. (Choose ONE)

- Preliminary Subdivision Plat Final Subdivision Plat Land Division/ Certified Survey Map (CSM)

If a Plat, Proposed Subdivision Name: Meadow Estates

1b. Review Fees. Make checks payable to "City Treasurer."

- For Preliminary and Final Plats, an application fee of \$200, plus \$35 per lot and outlot contained on the plat drawing.
 For Certified Survey Maps, an application fee of \$200 plus \$150 per lot and outlot contained on the certified survey map.

2. Applicant Information.

Name of Property Owner: Tim Cornett Representative, if any: _____
 Street Address: P.O. Box 45410 City/State: Madison, WI Zip: 53744
 Telephone: (608) 833-2877 Fax: (608) 833-8787 Email: cornetttim@aol.com

Firm Preparing Survey: Mayo Corporation Contact: Dan Frick, R.L.S.
 Street Address: 600 Grand Canyon Drive City/State: Madison, WI Zip: 53719
 Telephone: (608) 833-0628 Fax: (608) 833-0746 Email: dfrick@mayocorporation.com

Check only ONE – ALL Correspondence on this application should be sent to: Property Owner Survey Firm

3a. Project Information.

Parcel Address: Meadow Road in the City or Town of: Middleton
 Tax Parcel Number(s): 070832190420 & 070832191020 School District: Middleton-Cross Plains
 Existing Zoning District(s): A-1 Development Schedule: July 2005
 Proposed Zoning District(s) (if any): R-1, A-1 Provide a Legal Description of Site on Reverse Side

3b. For Surveys Located Outside the Madison City Limits and in the City's Extraterritorial Jurisdiction:

Date of Approval by Dane County: Expected 4/2005 Date of Approval by Town: 9/13/2004

In order for an exterritorial request to be accepted, a copy of the approval letters from both the town and Dane County must be submitted.

Is the subject site proposed for annexation? No Yes If YES, approximate timeframe: _____

4. Survey Contents and Description. Complete table as it pertains to the survey; do not complete gray areas.

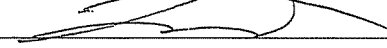
Land Use	Lots	Outlots	Acres
Residential	11	2	
Retail/Office			
Industrial			
Outlots Dedicated to City			
Homeowner Assoc. Outlots		1	
Other (state use)			
TOTAL			

Describe the use of the lots and outlots on the survey
Lots in Town of Middleton are single family. Outlots are
Future residential development if Madison provides
Infrastructure to the area in the future.
Stormwater Management

5. Required Submittals. Your application is required to include the following (check all that apply):

- Surveys** (prepared by a Registered Land Surveyor):
 - For Preliminary Plats, **eighteen (18) copies** of the drawing drawn to scale are required. The drawing is required to provide all information as it pertains to the proposed subdivision as set forth in Section 16.23 (7)(a) of the Madison General Ordinances. The drawings shall include, but are not limited to, a description of existing site conditions and natural features, delineation of all public and private utilities that serve the site (denote field located versus record drawings), the general layout of the proposed subdivision, the dimensions of lots and outlots, widths of existing and proposed rights of way, topographic information, and any other information necessary for the review of the proposed subdivision.
 - For Final Plats, **sixteen (16) copies** of the drawing are required to be submitted. The final plat shall be drawn to the specifications of Section 236.20 of the Wisconsin Statutes.
 - For Certified Survey Maps (CSM), **sixteen (16) copies** of the drawing are required. The drawings shall include all of the information set forth in Sections 16.23 (7)(a) and (d) of the Madison General Ordinances, including existing site conditions, the nature of the proposed land division and any other necessary data. Utility data (field located or from utility maps) may be provided on a separate map submitted with application.
 - All surveys submitted with this application are required to be collated, stapled and folded so as to fit within an 8 1/2" X 14" case file. In addition, an **8-1/2 X 11 inch reduction of each sheet** must also be submitted.
- Report of Title and Supporting Documents:** All plats and certified surveys submitted to the City of Madison for approval shall include a Report of Title satisfactory to the Real Estate Division as required in Section 16.23 of the Madison General Ordinances. A minimum of **two (2) copies** of the City of Madison standard 60/30 year Report of Title shall be obtained from a local, reputable title insurance company. **Title insurance or a title commitment policy is NOT acceptable** (i.e. a Preliminary Title Report or a Record Information Certificate). The owner or applicant must deliver a **third copy** of the Report of Title to the survey firm preparing the plat or CSM. The applicant shall submit a copy of all documents listed in the Report of Title for each copy of the report submitted.
- For Residential Preliminary Plats ONLY:** If the proposed project will result in **ten (10) or more dwelling units**, it is required to comply with the City's Inclusionary Zoning requirements under Section 28.04 (25) of the Zoning Ordinance. A separate *INCLUSIONARY ZONING DWELLING UNIT PLAN APPLICATION* explaining the project's conformance with these ordinance requirements shall be submitted with your application.
- For Surveys Creating Residential Lots:** The applicant shall include a certified copy of the accepted option or offer, including all terms of the purchase and any other information that may be deemed necessary by the Real Estate Division to assist them in determining Fair Market Value for the purpose of establishing park fees.
- For Surveys Outside the Madison City Limits:** A copy of the approval letters from both the town in which the property is located and Dane County must be submitted with your request. The City of Madison may not consider a survey within its extraterritorial jurisdiction without it first having been approved by the **town and Dane County**.
- For Surveys Conveying Land to the Public:** A Phase I Environmental Site Assessment Report may be required if any interest in these lands are to be conveyed to the public. Please contact the City's Real Estate Division at 267-8719, ext. 305 for a determination as soon as possible.
- Completed application and required Fee (from Section 1b on front):** \$ 690 Make all checks payable to "City Treasurer."
- Electronic Application Submittal:** All applicants are required to submit a copy of the completed application form, legal description and preliminary and/or final plats or certified survey map as individual Adobe Acrobat PDF files compiled either on a non-returnable CD-ROM to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Unit at 266-4635 for assistance.

The signer attests that this application has been completed accurately and all required materials have been submitted:

Applicant's Printed Name Tim Cornett Signature 
Date 12 May 05 Interest In Property On This Date _____

For Office Use Only	Date Rec'd: _____	PC Date: _____	Alder. District: _____	Amount Paid: \$ _____
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