

CHAPTER 28D: MIXED-USE AND COMMERCIAL DISTRICTS

28.061. GENERAL PROVISIONS FOR MIXED-USE AND COMMERCIAL DISTRICTS.

(1) General Statement of Purpose.

Mixed use and commercial districts are established to provide a range of district types, from the small neighborhood center to regional-level retail centers, while fostering high-quality building and site design and pedestrian, bicycle and transit as well as automobile circulation.

(2) Design Standards.

The following design standards are applicable after the effective date of this code to all new buildings and major expansions (fifty percent (50%) or more of building floor area). Design standards shall apply only to the portion of the building or site that is undergoing alteration. Any design standard may be waived by the Plan Commission, following review by the Urban Design Commission, if the constraints of the existing sites and structure(s) make compliance infeasible.

(a) Entrance Orientation (see figure A). Primary building entrances on all new buildings shall be oriented to the primary abutting public street. The entrance shall have a functional door. Additional secondary entrances may be oriented to a secondary street or parking area. Entries shall be clearly visible and identifiable from the street, and delineated with elements such as roof overhangs, recessed entries, landscaping, or similar design features.



A. Entrance orientation

(b) Facade articulation. Consistent with the design of traditional storefront buildings, new buildings of more than forty (40) feet in width shall be divided into smaller increments, between twenty (20) and forty (40) feet in width, through articulation of the facade. This can be achieved through combinations of the following techniques, and others that may meet the intent of this section.

1. Facade modulation (see figure B1) - stepping back or extending forward a portion of the facade.
2. Vertical divisions using different textures or materials (although materials shall be drawn from a common palette).
3. Division into storefronts, with separate display windows and entrances.
4. Variation in roof lines by alternating dormers, stepped roofs, gables, or other roof elements to



B1. Facade articulation



B2. Variation in roof lines

reinforce the modulation or articulation interval (see figure B2).

5. Arcades, awnings, window bays, arched windows and balconies at intervals equal to the articulation interval.
- (c) Design of street-facing facades. No blank walls shall be permitted to face the public street, sidewalks, or other public spaces such as plazas. Elements such as windows, doors, columns, changes in material, and similar details shall be used to add visual interest.
- (d) Door and window openings. For nonresidential uses at ground floor level, windows and doors or other openings shall comprise at least sixty percent (60%) of the length and at least forty percent (40%) of the area of the ground floor of the primary street facade. At least fifty percent (50%) of windows on the primary street facade shall have the lower sill within three (3) feet of grade.

A minimum of twenty percent (20%) of the ground level of residential facades or side and rear facades not fronting a public street shall consist of windows and door openings. On upper stories, window or balcony openings shall occupy a minimum of 20% of the upper-story wall area.

1. Glass on windows and doors shall be clear or slightly tinted, allowing views into and out of the interior. Views shall not be blocked by equipment, etc. Spandrel glass may be used on service areas of the building.
2. Window shape, size and patterns shall emphasize the intended organization of the facade and the definition of the building.
3. Displays may be placed within windows. Equipment within buildings shall be placed a minimum of five (5) feet behind windows.
- (e) Equipment and service area screening. If an outdoor storage, service or loading area is visible from adjacent residential uses or an abutting public street or public walkway, it shall be screened by a decorative fence, wall or screen of plant material at least six (6) feet in height. Fences and walls shall be architecturally compatible with the primary structure.
- (f) Screening of rooftop equipment. All rooftop equipment, with the exception of solar and wind equipment, shall be screened from view from adjacent streets and public rights-of-way. Rooftop equipment shall be screened from view from adjacent buildings to the extent possible.
 1. The equipment shall be grouped within a single enclosure. This structure shall be set back a distance of one and one-half (1½) times its height from any primary facade fronting a public street.
 - a. Screens shall be of durable, permanent materials (not including wood) that are compatible with the primary building materials.
 - b. Screening shall be constructed to a height of at least one (1) foot above the height of the equipment.
 2. Exterior mechanical equipment such as ductwork shall not be located on primary building facades.
- (g) Materials. Nonresidential or mixed-use buildings shall be constructed of durable, high-quality materials such as brick, stone, textured cast stone, or tinted masonry units. Table 28D-1 below lists allowable building materials. When applying these requirements,

consideration shall be given to the use, amount, placement and relationship of each material as part of a comprehensive palette of building materials. All building facades visible from a public street or public walkway should employ materials and design features similar to or complementary to those of the front facade.

Table 28D-1.

| Building Materials | Allowable for use as/at: | | | | |
|-------------------------------------|--------------------------|-----------------|--------------------|--------------------------|---------------------------|
| | Trim/Accent Material | Top of Building | Middle of Building | Base/ Bottom of Building | Standards (see footnotes) |
| Brick (Face/Veneer) | Y | Y | Y | Y | Y |
| Smooth-Face/ Split-Face Block | Y | Y | Y | Y | A |
| Wood/ Wood Composite | Y | Y | Y | N | |
| Fiber-Cement Siding/ Panels | Y | Y | Y | N | |
| Concrete Panels, Tilt-up or Precast | Y | Y | Y | Y | B |
| EIFS/ Synthetic Stucco | Y | Y | N | N | C |
| Stone/ Stone Veneer | Y | Y | Y | Y | |
| Metal Panels | Y | Y | Y | N | D |
| Hand-Laid Stucco | Y | Y | N | N | C |
| Vinyl Siding | Y | Y | N | N | E |
| Glass Curtain Wall System | Y | Y | Y | Y | |
| Reflective Glass/ Spandrel | Y | N | N | N | F |
| Glass (Storefront) | Y | Y | Y | Y | |

A – Shall be used in conjunction with a palette of materials and shall not comprise more than 33% of any building wall adjacent to a public street or walkway.

B – Shall incorporate horizontal and vertical articulation and modulation, including but not limited to changes in color and texture, or as part of a palette of materials.

C – Shall not be within three feet of the ground or used in heavily trafficked pedestrian areas or where high pedestrian traffic is anticipated.

D – Shall be used in conjunction with a palette of materials; shall be a heavy gauge metal, and; shall be non-reflective.

E – Shall be used in limited quantities due to its limited durability.

F – Shall be used in limited quantities as an accent material.

(3) Design Guidelines.

The following guidelines are considered advisory. New development shall comply with the guidelines to the extent feasible, given the physical constraints of each site. Alternative ways of achieving the intent of each guideline may be considered.

- (a) Compatibility with Traditional Buildings. (see figure A)
New development should relate to the design of identified traditional or historic buildings adjacent to the site, where present, in scale and character. This can be achieved by maintaining similar setbacks, facade divisions, roof lines,



A. Compatibility with traditional buildings

rhythm and proportions of openings, building materials and colors. Historic architectural styles need not be replicated.

- (b) **Building Alignment.** (see figure B) Buildings should be placed at or close to the sidewalk to the extent practical. At intersections, buildings should “hold the corner,” that is, have front and side facades aligned at or near the sidewalks of both streets.
1. Front yard setback areas, where provided, should be designed to provide amenities such as outdoor seating and landscaping that will enhance the visual and pedestrian character of the street.
 2. Buildings should be aligned with facades parallel with the street to create a well-defined street edge.
 3. Additions to existing buildings should bring the building closer to the street, to the extent practical
- (c) **Vertical articulation.** Buildings should be designed with a base, a middle and a top, created by variations in detailing, color and materials.
1. Articulated tops should be considered in the design of all new buildings. This articulation might consist of pitched roofs, dormers, gable ends, cornice detailing, stepbacks of upper stories, etc.
 2. The base of the building should include elements that relate to the human scale, including doors and windows, texture, projections, awnings and canopies, ornament, etc.
- (d) **Ground-floor residential uses.** Ground-floor residential uses fronting a public street or walkway, where present, should generally be separated from the street by landscaping, steps, porches, grade changes, and low ornamental fences or walls in order to create a private yard area between the sidewalk and the front door.



B. Building alignment



C. Vertical articulation



D. Ground floor residential uses

- (e) Parking structure design. The ground floor of any parking structure abutting a public street or walkway should be designed and architecturally detailed in a manner consistent with new commercial or mixed-use buildings.
1. Upper floors should be designed so that sloped floors typical of parking structures do not dominate the appearance of the façade.
 2. Windows or openings should be provided that echo those of surrounding buildings.
 3. Entrance drives to structured or underground parking should be located and designed to minimize interference with pedestrian movement. Entrances should be on secondary streets where feasible.



28.061 MIXED-USE AND COMMERCIAL DISTRICT USES

Table 28D-2 lists all permitted and conditional uses in the mixed-use and commercial districts.

- (a) Uses marked as “P” are permitted in the districts where designated.
- (b) Uses marked with a “C” are allowed as conditional uses in the districts where designated, in compliance with all applicable standards.
- (c) Uses indicated as “P/C” may be permitted or conditional, depending on their size and scale, as specified.
- (d) Uses marked with an “A” are allowed when accessory to another allowed use. Some accessory uses are also conditional, depending on their size and scale, as indicated in the table by “A/C”.
- (e) A “Y” in the “Standards” column means that specific standards must be complied with, whether the use is permitted or conditional. Standards are included in Subchapter 28K, Supplemental Regulations.

Key to Table:
 NMX Neighborhood Mixed Use
 TSS Traditional Shopping Street
 MXC Mixed Use Center
 CC-T Commercial Corridor -
 Transitional
 CC Commercial Center

Table 28D-2

| Mixed-Use and Commercial Districts | | | | | | |
|--|-----|-----|-----|------|----|-------|
| | NMX | TSS | MXC | CC-T | CC | Stand |
| Offices | | | | | | |
| Artist, photographer studio, etc. | P | P | P | P | P | |
| Insurance office, real estate office, sales office | P | P | P | P | P | |
| General office | P | P | P | P | P | |
| Medical Facilities | | | | | | |
| Clinic, medical, dental or optical | P | P | P | P | P | |
| Hospital | | | C | C | C | Y |

| Mixed-Use and Commercial Districts | | | | | | |
|--|------------|------------|------------|-------------|-----------|------------------|
| | NMX | TSS | MXC | CC-T | CC | Standards |
| Medical laboratory | | | P | C | C | |
| Physical, occupational or massage therapy | P | P | P | P | P | |
| Veterinary clinic | P | P | P | P | P | Y |
| Retail Sales and Services | | | | | | |
| General retail ^a | P | P | P | P | P | |
| Animal boarding, kennel | | | | C | C | Y |
| Animal grooming | P | P | P | P | P | |
| Auction rooms | | P | P | P | P | |
| Bank, financial institution | P | P | P | P | P | |
| Business sales and services | P | P | P | P | P | |
| Drive-through sales and services | | | A/C | A/C | A/C | Y |
| Dry cleaning plant, commercial laundry | | | | P | P | |
| Farmers' market | P/C | P | P | P | P | Y |
| Food and related goods sales ^b | P | P | P | P | P | |
| Furniture and household goods sales | C | P | P | P | P | |
| Garden center | C | C | P | P | P | |
| Greenhouse, nursery | C | C | P | P | P | |
| Home occupation | P/C | P/C | P/C | P/C | P/C | Y |
| Laundromat, self-service | P | P | P | P | P | |
| Liquor store | P | P | P | P | P | |
| Mortuary, funeral home | P | P | P | P | P | |
| Outdoor uses, commercial | | | | C | C | Y |
| Package delivery service | | | | P | P | |
| Payday loan business, auto title loan business | | | | C | C | Y |
| Pet day care | C | C | C | C | P | Y |
| Photocopying | P | P | P | P | P | |
| Post office | P | P | P | P | P | |
| Secondhand goods sales | C | C | P | P | P | |
| Service business ^c | P | P | P | P | P | |
| Service business with showroom or workshop | | C | C | P | P | Y |
| Small appliance repair | P | P | P | P | P | |
| Small engine repair | | C | C | C | C | |
| Sporting goods store, bait shop | P | P | P | P | P | Y |
| Tattoo shop | P | P | P | P | P | |
| Tobacco shop | P | P | P | P | P | |
| Food and Beverages | | | | | | |
| Catering | C | P | P | P | P | |
| Coffee shop, tea house | P | P | P | P | P | |
| Restaurant (including carry-out, deli) | P | P | P | P | P | |

| Mixed-Use and Commercial Districts | | | | | | |
|---|------------|------------|------------|-------------|-----------|------------------|
| | NMX | TSS | MXC | CC-T | CC | Standards |
| Restaurant-tavern | C | P | P | P | P | Y |
| Outdoor eating area associated with food & beverage establishment | A/C | A/C | A | A/C | A | Y |
| Tavern (liquor sales >50% gross receipts), brewpub | C | P | P | P | P | Y |
| Commercial Recreation, Entertainment and Lodging | | | | | | |
| Bed and breakfast establishment | P | P | P | P | P | Y |
| Health/sports club | P | P | P | P | P | |
| Hostel | C | P | P | P | P | |
| Hotel, inn, motel | C | P | P | P | P | |
| Indoor recreation | C | C | C | P | P | Y |
| Lodge, private club, reception hall | P | P | P | P | P | |
| Management office, restaurant, limited retail, recreation facilities within multi-family building | | A | A | A | A | Y |
| Outdoor recreation (i.e., mini-golf, driving range, etc.) | | | | C | C | Y |
| Theater, assembly hall, concert hall | | P | P | P | P | |
| Adult Entertainment | | | | | | |
| Adult entertainment tavern | | | | P | | Y |
| Automobile Services | | | | | | |
| Auto body shop | C | C | C | C | C | Y |
| Auto service station, convenience market | C | C | C | C | C | Y |
| Auto repair station | C | C | C | C | C | Y |
| Auto sales and rental | | | | C | C | Y |
| Car wash | | C | C | C | C | Y |
| Parking, Storage and Display Facilities | | | | | | |
| Parking facility, public | P | P | P | P | P | Y |
| Parking facility, commercial, principal use | C | C | C | C | C | Y |
| Lease of off-street parking spaces | P | P | P | P | P | |
| Parking lot exceeding maximum required parking | C | C | C | C | C | Y |
| Outdoor storage | | A/C | A/C | A/C | A/C | Y |
| Outdoor display | | A/C | A/C | A/C | A/C | Y |
| Transportation | | | | | | |
| Bus or railroad passenger depot | | C | P | P | P | |
| Railroad right-of-way | P | P | P | P | P | |
| Taxicab or limousine business | | | | C | | Y |
| Transit stop or station | P | P | P | P | P | |
| Limited Production, Processing and Storage | | | | | | |
| Artisan workshop | P | P | P | P | P | Y |
| Bakery, wholesale | | | | C | C | |
| Laboratory, research and development | | C | C | C | C | |

| Mixed-Use and Commercial Districts | | | | | | |
|---|---------------------------------|------------|------------|-------------|-----------|------------------|
| | NMX | TSS | MXC | CC-T | CC | Standards |
| Limited production and processing ^d | | | | C | C | Y |
| Mail order house | | | | C | C | |
| Printing and publishing | P | P | P | P | P | |
| Warehousing and storage | | | | | C | Y |
| Wholesale establishment | | | C | C | C | Y |
| Residential - Family Living | | | | | | |
| Single-family detached dwellings ^e | C | P | | C | | |
| Two-family dwelling – two-flat ^e | C | P | | C | | |
| Two-family dwelling - twin ^e | C | P | | C | | |
| Three-family dwelling - three-flat | C | P | | C | | |
| Single-family attached dwelling (3-8 dwelling units) | C | C | P | C | C | |
| Single-family attached dwelling (> 8 dwelling units) | C | C | P | C | C | |
| Dwelling units in mixed-use buildings (retail or other nonres. required at corners) | P | P | P | P | C | Y |
| Multi-family dwelling (3-4 dwelling units) | P | C | P | C | C | |
| Multi-family dwelling (3-8 dwelling units) | C | C | P | C | C | |
| Multi-family dwelling (> 8 dwelling units) | | C | C | C | C | |
| Multi-family building complex | | | | C | C | |
| Caretaker’s dwelling (nonresidential uses) | A/C | A/C | A/C | A/C | A/C | Y |
| Accessory dwelling unit, attached or detached | as part of ADU Overlay District | | | | | Y |
| Residential - Group Living | | | | | | |
| Adult family home meeting separation requirements | P | P | | P | | Y |
| Adult family home not meeting separation requirements | C | C | | C | | Y |
| Cohousing community | P/C | P/C | P/C | P/C | P/C | Y |
| Community living arrangement (up to 8 residents) | P | P | | P | | Y |
| Community living arrangement (9-15 residents) | C | C | | C | | Y |
| Dormitory | | | | C | | |
| Housing cooperative | P/C | P/C | | P/C | | Y |
| Lodging house, fraternity or sorority | | | | C | | Y |
| Assisted living, congregate care, nursing home | | | C | C | C | Y |
| Convent, monastery or similar religious community | P | P | | P | | Y |
| Civic and Institutional | | | | | | |
| Cemetery | C | C | C | C | C | |
| Community garden | P | P | P | P | P | Y |
| Counseling, community services organization | C | C | | C | | |
| Day care home, children or adults | P | P | P | P | | Y |
| Day care center in school or religious inst. | P | P | P | P | P | Y |
| Day care center, nursery school | P | P | P | P | P | Y |

| Mixed-Use and Commercial Districts | | | | | | |
|---|------------|------------|------------|-------------|-----------|------------------|
| | NMX | TSS | MXC | CC-T | CC | Standards |
| Library, museum | P | P | P | P | P | |
| Market garden | C | C | C | C | C | Y |
| Mission house in conjunction with religious institution | P | P | P | P | P | |
| Parks and playgrounds | P | P | P | P | P | |
| Place of worship | P | P | P | P | P | |
| Public safety facilities (fire, police stations, etc.) | P | P | P | P | P | |
| Schools, public and private | P | P | P | P | P | |
| Schools, arts, technical or trade | C | P | P | P | P | |
| Public Utility and Public Service Uses | | | | | | |
| Electric substations | C | C | C | C | C | |
| Gas regulator stations, mixing and gate stations | C | C | C | C | C | |
| Gas regulator stations, mixing and gate stations | C | C | C | C | C | |
| Telecommunications towers and transmission equipment buildings | C | C | C | C | C | |
| Sewerage system lift stations | C | C | C | C | C | Y |
| Water pumping stations, water reservoirs | C | C | C | C | C | Y |
| Accessory Structures | | | | | | |
| Emergency electric generator | P | P | P | P | P | |
| Garage, workshop, not exceeding maximum size | P | P | P | P | P | |
| Garage, workshop, exceeding maximum size | C | C | C | C | C | |
| Keeping of up to 4 chickens | P | P | P | P | | Y |
| Temporary Uses | | | | | | |
| Dependency living arrangements | P | P | P | P | P | |
| Real estate sales office | P | P | P | P | P | |
| Temporary buildings for storage of construction materials and equipment | P | P | P | P | P | |
| Yard sales (max. 4 per year) | P | P | P | P | P | |

- a. See definition, general retail uses, Subchapter 28P.
- b. See definition, food and related goods sales, Subchapter 28P.
- c. See definition, service uses, Subchapter 28P.
- d. See definition, limited production uses, Subchapter 28P.
- e. Single-family and two-family dwellings existing as of the date of adoption of this ordinance shall be considered as permitted uses.

Key to Table:

NMX Neighborhood Mixed Use

TSS Traditional Shopping Street

MXC Mixed Use Center

CC-T Commercial Corridor - Transitional

CC Commercial Center

28.062 NEIGHBORHOOD MIXED-USE DISTRICT

- (1) Statement of Purpose.

The NMX District is established to encourage and sustain the viability of commercial nodes that serve the shopping needs of residents in adjacent neighborhoods. The district is also intended to:

- (a) Encourage pedestrian, bicycle and transit use as a means of accessing these commercial areas.
- (b) Encourage diversification of uses, including residential and civic uses, in order to enhance the vitality and appeal of these areas.
- (c) Facilitate the development or redevelopment goals of the comprehensive plan and of adopted neighborhood, corridor or special area plans.

(2) Permitted and Conditional Uses.

See Table 28D-2 for a complete list of allowed uses within the mixed-use and commercial districts.

(3) Building Standards.

The following standards shall apply to new buildings and additions exceeding 50% of original building's floor area.

- (a) Maximum size: Buildings shall not exceed five thousand (5,000) square feet of gross floor area for an individual establishment or ten thousand (10,000) square feet gross floor area for a building containing two or more uses. Buildings exceeding this size may be allowed as conditional uses.
- (b) Parking shall not be placed between the front façade of a building and the abutting street. Parking shall be located to rear or side of principal building; parking abutting the primary street frontage is limited to seventy (70) feet in width or fifty percent (50%) of lot frontage, whichever is less.
- (c) No outdoor storage or display of goods shall be allowed except for the following:
 - 1. Outdoor dining accessory to restaurants, taverns and coffee shops.
 - 2. Incidental accessory structures at automotive service and repair establishments, such as donation drop-off boxes, ice machines and soda machines.
 - 3. Automatic teller machines accessory to banks.
 - 4. Supplies clearly incidental to the conduct of the business may be displayed outside during business hours.
 - 5. Periodic "sidewalk sales" may be allowed as a temporary use.
- (d) No drive-in or drive-through uses are allowed.

(4) Building Forms.

The following building forms are permitted in the NMX District. See Subchapter 28L for design standards and guidelines for building forms.

- (a) Storefront/Commercial Block Building
- (b) Residential – Commercial Conversion
- (c) Live-Work Building
- (d) Single-family Attached Building
- (e) Small Apartment Building

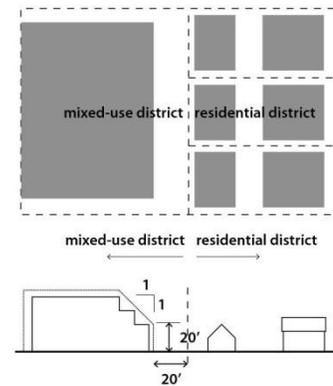
- (f) Courtyard Apartment Building
- (g) Large Apartment Building, Stacked Flats
- (h) Single-Family Detached Building
- (i) Two-Family Building - Twin or Two-Flat
- (j) Civic or Institutional Building

(5) Dimensional Standards.

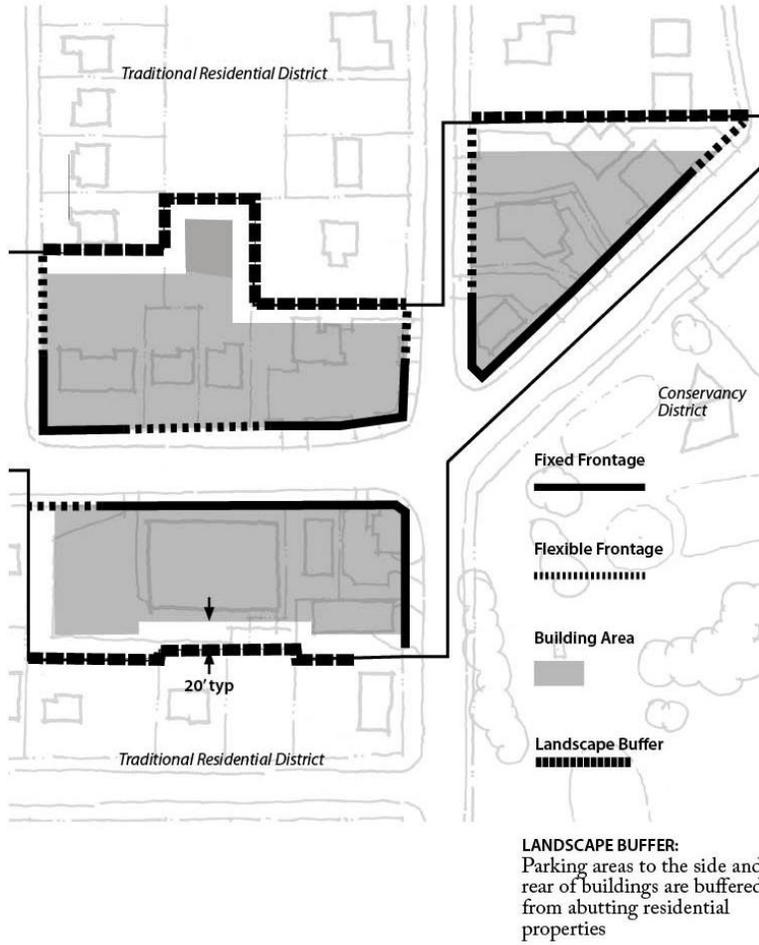
Standards represent minimums unless otherwise noted. Dimensions are in feet unless otherwise noted.

| Neighborhood Mixed Use District | |
|---|--|
| Side yard setback: Where buildings abut residentially-zoned lots at side lot line. | Minimum side yard required in the adjacent residential district |
| Side yard setback: Where proposed buildings or abutting buildings have window openings in side wall(s) within 6 feet of lot line | One-story: 5 Two-story or higher: 6 Lot width <40: 10% lot width |
| Side yard setback: other cases (i.e., infill between party wall storefront buildings) | none unless needed for access |
| Rear yard setback | 20 |
| Maximum lot coverage | 75% |
| Maximum height | 4 stories / 55 feet (see notes a and c below) |
| Usable open space – residential only | 160 sq. ft. per lodging room or 1-bedroom unit, 320 sq. ft. for >1-bedroom units |

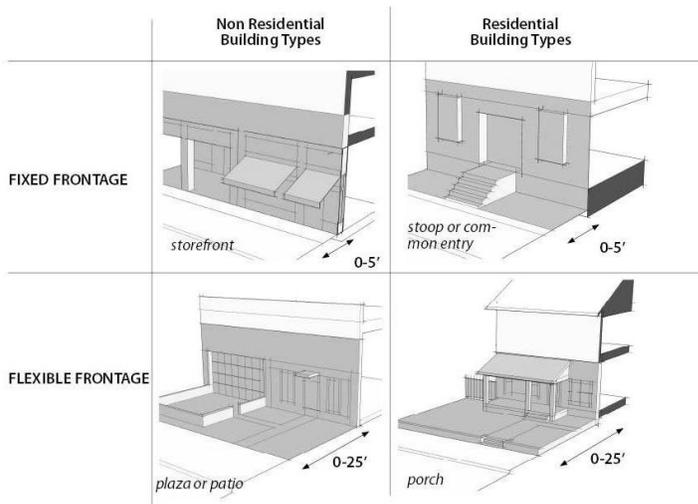
- (a) Rear yard height transition to residential districts.
Where the NMX District abuts a residential district at the rear lot line, building height at the rear yard setback line shall not exceed two (2) stories/twenty-five (25) feet. From this point, building height may increase at a ratio of one foot of rise to one foot of horizontal distance away from the property line, (a 45° angle) up to the maximum allowed height. This standard may be waived or modified through a conditional use process.
- (b) Usable open space. Usable open space may be shared among units, and may take the form of balconies, roof decks, green roofs or other above-ground amenities.
- (c) Additional height. Building height exceeding the maximum may be allowed with conditional use approval.



Rear yard height transition



Neighborhood Mixed-Use Frontage Example



(6) Frontage Requirements.

The following standards are applicable to new buildings and additions exceeding fifty percent (50%) of original building's floor area. Frontage requirements may be waived by the Plan Commission, following review by the Urban Design Commission, if the constraints of the existing sites and structure(s) make compliance infeasible.

Frontage requirements may be defined as part of a neighborhood or corridor plan and shown on the zoning map. For areas where frontage types have been defined, the following applies:

- (a) Fixed Frontage. Within the "fixed frontage" areas shown on the zoning map, buildings shall be placed within five (5) feet from the front lot line (see illustration).
- (b) Flexible Frontage. Within the "flexible frontage" areas shown on the zoning map, buildings shall be placed between zero (0) and twenty-five (25) feet from the front lot line. In general, nonresidential and mixed-use buildings will typically be placed close to the street, while residential buildings will be placed farther back (see illustration).

For areas where frontage types have not been defined, the following applies:

- (c) Frontage Not Defined. In locations where frontages have not been defined on the zoning map, buildings at corner locations shall be located within five (5) feet of the front lot line on either street for a distance of at least thirty (30) feet from the corner. Buildings in other locations on the block shall be placed between zero (0) and twenty-five (25) feet from the front lot line.

28.063 TRADITIONAL SHOPPING STREET (TSS) DISTRICT.

(1) Statement of Purpose.

The TSS District is established to encourage and sustain the viability of Madison's mixed-use corridors, which sustain many of the City's traditional neighborhoods. The district is also intended to:

- (a) Encourage pedestrian, bicycle and transit use as a means of accessing and moving through these corridors.
- (b) Encourage diversification of uses, including residential and civic uses, in order to enhance the vitality and appeal of these areas.
- (c) Maintain the viability of existing residential buildings located within or adjacent to these corridors.
- (d) Encourage appropriate transitions between higher-intensity uses within TSS districts and adjacent lower-density residential districts.
- (e) Facilitate the development or redevelopment goals of the comprehensive plan and of adopted neighborhood, corridor or special area plans.

(2) Permitted and Conditional Uses.

See Table 28D-2 for a complete list of allowed uses within the mixed-use and commercial districts.

(3) Building Standards.

The following standards are applicable to new buildings and additions exceeding 50% of original building's floor area.

- (a) Maximum size: Buildings shall not exceed ten thousand (10,000) square feet gross floor area for an individual establishment or twenty-five thousand (25,000) square feet gross floor area for a mixed-use or multi-tenant building. Buildings exceeding this size may be allowed as conditional uses, meeting the standards of Section 28.183.
- (b) Parking shall not be placed between the front façade of a building and the abutting street. Parking shall be located to rear or side of principal building; parking abutting primary street frontage is limited to forty percent (40%) of lot frontage.
- (c) No outdoor storage or display of goods shall be allowed except for the following:
 - 1. Outdoor dining accessory to restaurants, taverns and coffee shops.
 - 2. Incidental accessory structures at automotive service and repair establishments, such as donation drop-off boxes, ice machines and soda machines.
 - 3. Automatic teller machines accessory to banks.
 - 4. Supplies clearly incidental to the conduct of the business may be displayed outside during business hours.
 - 5. Periodic “sidewalk sales” may be allowed as a temporary use.
- (d) No drive-in or drive-through uses are allowed.
- (e) Parking buildings shall be designed with ground-floor retail or office uses fronting primary streets.

(4) Building Forms.

The following building forms are permitted in the TSS District. See Subchapter 28L for design standards and guidelines for building forms.

- (a) Storefront/Commercial Block Building
- (b) Parking / Liner Buildings
- (c) Residential – Commercial Conversion
- (d) Live-Work Building
- (e) Single-Family Detached Building
- (f) Two-Family Building - Twin or Two-Flat
- (g) Single-Family Attached Building
- (h) Small Apartment Building
- (i) Courtyard Apartment Building
- (j) Large Apartment Building, Stacked Flats
- (k) Civic or Institutional Building

(5) Dimensional Standards.

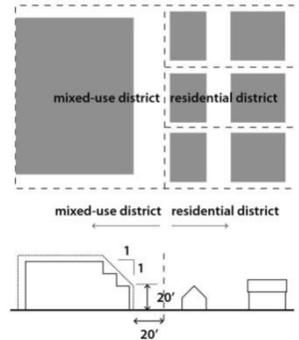
Standards represent minimums unless otherwise noted. Dimensions are in feet unless otherwise noted.

| Traditional Shopping Street District | |
|--|---|
| Side yard setback: Where buildings abut residentially-zoned lots at side lot line. | Minimum side yard required in the adjacent residential district |
| Side yard setback: | One-story: 5 |

| | |
|---|--|
| Where proposed buildings or abutting buildings have window openings in side wall(s) within 6 feet of lot line | Two-story or higher: 6 Lot width <40: 10% lot width |
| Side yard setback: other cases (i.e., infill between party wall storefront buildings) | none unless needed for access |
| Rear yard setback | 20% of lot depth, but no less than 20 feet |
| Maximum lot coverage | 85% |
| Maximum height | 4 stories / 55 feet (see note c below) |
| Usable open space | None required |

(a) Rear yard height transition to residential districts. Where the TSS District abuts a residential district at the rear lot line, building height at the rear yard setback line shall not exceed two (2) stories/twenty-five (25) feet. From this point, building height may increase at a ratio of one foot of rise to one foot of horizontal distance away from the property line, (a 45° angle) up to the maximum allowed height. This standard may be waived or modified through a conditional use process.

(b) Additional height. Building height exceeding the maximum may be allowed with conditional use approval.

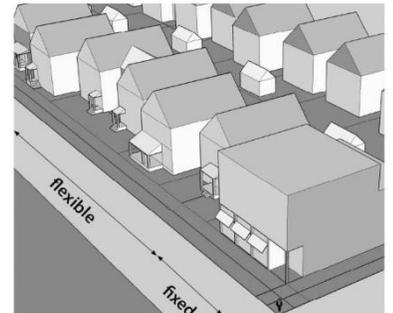


(6) Frontage Requirements.

The following standards are applicable to new buildings and additions exceeding fifty percent (50%) of original building's floor area. Frontage requirements may be waived by the Plan Commission, following review by the Urban Design Commission, if the constraints of the existing sites and structure(s) make compliance infeasible.

Frontage requirements may be defined as part of a neighborhood or corridor plan and shown on the zoning map. For areas where frontage types have been defined, the following applies:

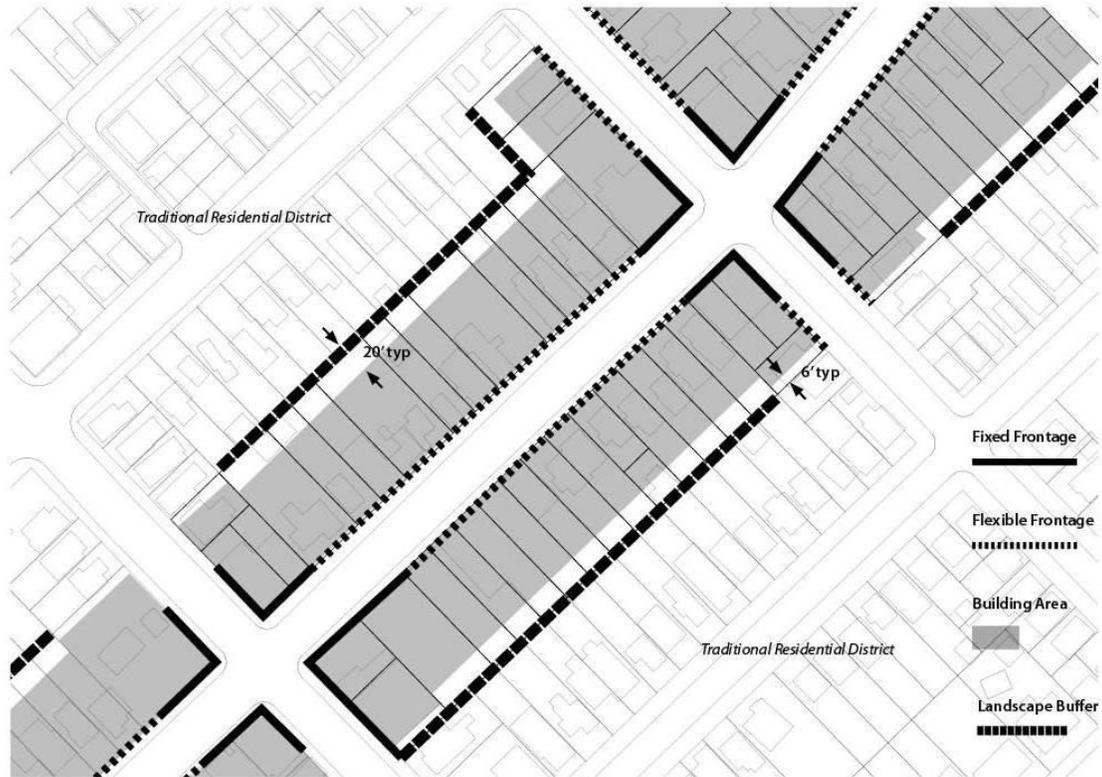
- (a) Fixed Frontage. Within the “fixed frontage” areas shown on the zoning map, buildings shall be placed within five (5) feet of the edge of sidewalk.
- (b) Flexible Frontage. Within the “flexible frontage” areas shown on the zoning map, buildings shall be placed between zero (0) and twenty-five (25) feet from the edge of sidewalk. In general, nonresidential and mixed use buildings will typically be placed close to the street, while residential buildings will be placed farther back.



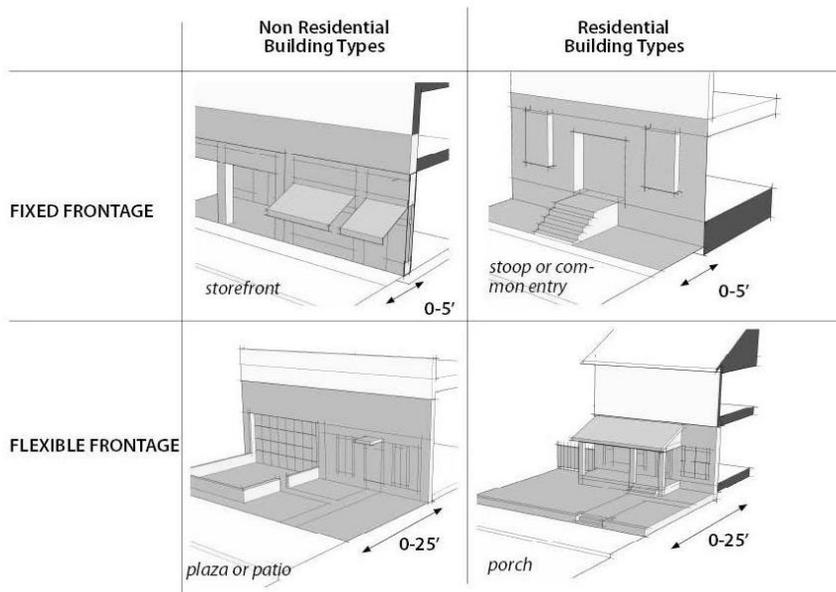
For areas where frontage types have not been defined, the following applies:

- (c) Frontage Not Defined. In locations where frontages have not been defined on the zoning map, buildings at corner locations shall be located within five (5) feet of the edge of sidewalk along the primary abutting street for a distance of at least thirty (30) feet from the corner. Buildings in other locations on the block shall be

placed between zero (0) and twenty-five (25) feet from the edge of sidewalk.



LANDSCAPE BUFFER:
 Parking areas to the side and rear of buildings are buffered from abutting residential properties



28.064 MIXED USE CENTER (MXC) DISTRICT.

(1) Statement of Purpose.

The MXC District is established to encourage the development or redevelopment of mixed-use centers that combine new or existing retail development with a variety of housing, offices, studios, live-work space, civic buildings, and other complementary uses which combine to create a lively pedestrian-oriented environment. Typically, the MXC District would be established through a zoning map amendment from an existing commercial or industrial area. The district is also intended to:

- (a) Encourage pedestrian, bicycle and transit use as a means of accessing and moving through mixed use centers.
- (b) Encourage appropriate transitions between higher-intensity uses within mixed use centers and adjacent lower-density residential districts.
- (c) Facilitate the development or redevelopment goals of the comprehensive plan and of adopted neighborhood, corridor or special area plans.

(2) Permitted and Conditional Uses.

See Table 28D-2 for a complete list of allowed uses within the mixed-use and commercial districts.

(3) Master Plan Required.

Establishment of an MXC District through a zoning map amendment shall require a master plan as part of the application process. The master plan shall demonstrate compliance with the requirements of this Section. A master plan may also be developed as part of a neighborhood or corridor plan. Master plan approval shall include the elements required for a General Development Plan in the Planned Development District.

(4) Required Mix of Uses.

On any development site larger than one (1) acre, new development must include uses from at least two (2) of the following categories:

- (a) Commercial uses, including retail, service and office uses
- (b) Residential – family and group living categories
- (c) Civic and institutional uses

Any development site greater than five (5) acres in size must also include common open space designed and improved as a plaza, square or green, comprising a minimum of five percent (5%) of the development site.

(5) Building Standards.

The following standards are applicable to new buildings and additions exceeding fifty percent (50%) of original building's floor area.

- (a) Maximum size: Buildings shall not exceed twenty-five thousand (25,000) square feet gross floor area for an individual establishment or forty thousand (40,000) square feet gross floor area for a mixed-use or multi-tenant building. Buildings exceeding this size may be allowed

as conditional uses, meeting the standards governing large retail developments in Section 33.24, Madison General Ordinances.

- (b) Buildings shall be oriented to the primary abutting street or to an internal street, court, walkway or plaza, where one is present.
- (c) All building facades visible from a public street or public walkway shall employ materials and design features similar to or complementary to those of the front facade.
- (d) At least twenty-five percent (25%) of the required parking shall be structured. Surface parking shall not be placed between the front or side façade of a building and the primary abutting street.
- (e) Surface parking shall be divided into separate modules no greater in size than one hundred (100) spaces; modules shall be separated by buildings, landscaped open space areas, internal streets or landscaped pedestrian pathways at least twenty (20) feet in width.
- (f) Parking abutting the primary street frontage shall be limited to forty percent (40%) of the total lot width.
- (g) Parking buildings abutting any public street shall be designed with ground-floor retail or office uses fronting the primary street. Upper floors devoted solely to parking shall be stepped back from the principal façade and designed with materials and proportions similar to new commercial or mixed-use buildings
- (h) No outdoor storage or display of goods shall be allowed except for the following:
 - 1. Outdoor dining accessory to restaurants and coffee shops.
 - 2. Incidental accessory structures at automotive service and repair establishments, such as donation drop-off boxes, ice machines and soda machines.
 - 3. Automatic teller machines accessory to banks.
 - 4. Periodic “sidewalk sales” may be allowed as a temporary use.
- (i) Drive-through uses may be allowed as conditional uses meeting the standards in Section 28.183.

(6) Internal Streets and Blocks.

An internal system of streets, walkways, lanes and blocks is strongly encouraged on sites of five (5) acres or more, and may be required as a condition of approval for a master plan or for conditional uses.

(7) Building Forms.

The following building forms are permitted in the MXC District. See Subchapter 28L for design standards and guidelines for building forms.

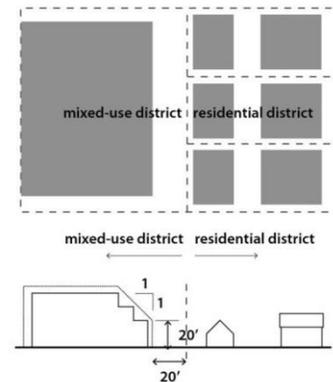
- (a) Storefront/Commercial Block Building
- (b) Parking / Liner Buildings
- (c) Residential – Commercial Conversion
- (d) Live-Work Building
- (e) Single-Family Attached Building
- (f) Small Apartment Building
- (g) Courtyard Apartment Building

- (h) Large Apartment Building, Stacked Flats
 - (i) Podium Building
 - (j) Flex Building
 - (k) Civic or Institutional Building
- (8) Dimensional Standards.

Standards represent minimums unless otherwise noted. Dimensions are in feet unless otherwise noted.

| Mixed-Use Center District | |
|--|---|
| Front yard setback | See frontage requirements |
| Side yard setback: Where buildings abut residentially-zoned lots at side lot line. | Minimum side yard required in the adjacent residential district |
| Side yard setback: Where proposed buildings or abutting buildings have window openings in side wall(s) within 6 feet of lot line | One-story: 5 Two-story or higher: 6 |
| Side yard setback: other cases (i.e., infill between party wall storefront buildings) | none unless needed for access |
| Rear yard setback | 20% of lot depth, but no less than 20 feet |
| Maximum lot coverage | 85% |
| Maximum height | 5 stories / 68 feet (see note b below) |
| Usable open space – residential only | 160 sq. ft./unit |

- (a) Rear yard height transitions to residential districts. Where the MXC District abuts a residential district at the rear lot line, building height at the rear yard setback line shall not exceed two (2) stories/twenty-five (25) feet. From this point, building height may increase at a ratio of one foot of rise to one foot of horizontal distance away from the property line (a 45° angle) up to the maximum allowed height. This standard may be waived or modified through a conditional use process.
- (b) Additional height. Heights exceeding the maximum may be allowed as a conditional use.



(9) Frontage Requirements.

Frontage areas shall include both existing perimeter streets and new or existing internal streets. Frontage requirements may be waived by the Plan Commission, following review by the Urban Design Commission, if the constraints of the existing sites and structure(s) make compliance infeasible.

- (a) Perimeter streets. A minimum of fifty percent (50%) of the lot frontage on the primary abutting street shall be occupied by buildings placed within forty (40) feet of the street right-of-way and with front or side facades oriented to the street.
- (b) Internal streets. A minimum of fifty percent (50%) of the

lot frontage on internal streets shall be occupied by buildings placed within twenty-five (25) feet of the street right-of-way or sidewalk edge, and with front or side facades oriented to the street.

28.065 COMMERCIAL CORRIDOR - TRANSITIONAL DISTRICT.

(1) Statement of Purpose.

The CC-T District is established to recognize the many commercial corridors within the City that remain largely auto-oriented, and to encourage their transformation into mixed use corridors that are equally conducive to pedestrian, bicycle, transit and motor vehicle activity. The district is also intended to:

- (a) Improve the quality of landscaping, site design and urban design along these corridors.
- (b) Maintain the viability of existing residential uses located along predominantly commercial corridors.
- (c) Encourage appropriate transitions between higher-intensity uses along commercial corridors and adjacent lower-density residential districts.
- (d) Facilitate the development or redevelopment goals of the comprehensive plan and of adopted neighborhood, corridor or special area plans.

(2) Permitted and Conditional Uses.

See Table 28D-2 for a complete list of allowed uses within the mixed-use and commercial districts.

(3) Building Standards.

The following standards are applicable to new buildings and additions exceeding fifty percent (50%) of original building's floor area.

- (a) Maximum size. Buildings shall not exceed twenty-five thousand (25,000) square feet gross floor area for an individual establishment or forty thousand (40,000) square feet gross floor area for a multi-tenant building. Buildings exceeding this size may be allowed as conditional uses, meeting the standards governing large retail developments in 33.24, MGO.
- (b) Buildings shall be oriented to the primary abutting street or to an internal street, court, walkway or plaza.
- (c) All building facades visible from a public street or public walkway shall employ materials and design features similar to or complementary to those of the front facade.
- (d) Structured parking is encouraged. Surface parking shall not be placed between the front or side façade of a building and the primary abutting street.
- (e) Surface parking shall be divided into separate modules no greater in size than one hundred (100) spaces; modules shall be separated by buildings, landscaped open space areas, internal streets or landscaped pedestrian pathways at least twenty (20) feet in width.
- (f) Parking abutting the primary street frontage shall be limited to fifty percent (50%) of the total lot frontage.

(4) Building Forms.

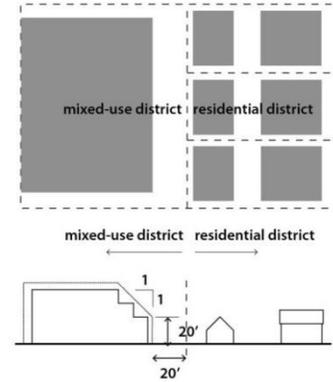
The following building forms are permitted in the CC-T District. See Subchapter 28L for design standards and guidelines for building forms.

- (a) Storefront/Commercial Block Building
 - (b) Parking / Liner Buildings
 - (c) Residential – Commercial Conversion
 - (d) Live-Work Building
 - (e) Podium Building
 - (f) Flex Building
 - (g) Single-Family Detached Building
 - (h) Two-Family Building - Twin or Two-Flat
 - (i) Single-Family Attached Building
 - (j) Small Apartment Building
 - (k) Courtyard Apartment Building
 - (l) Large Apartment Building, Stacked Flats
 - (m) Civic or Institutional Building
- (5) Dimensional Standards.

Standards represent minimums unless otherwise noted. Dimensions are in feet unless otherwise noted.

| Commercial Corridor - Transitional District | |
|---|---|
| Front yard setback | See frontage requirements |
| Side yard setback: Where buildings abut residentially-zoned lots at side lot line. | Minimum side yard required in the adjacent residential district |
| Side yard setback: Where proposed buildings or abutting buildings have window openings in side wall(s) within 6 feet of lot line | One-story: 5 Two-story or higher: 6 Lot width < 40: 10% lot width |
| Side yard setback: other cases (i.e., infill between party wall storefront buildings) | none unless needed for access |
| Rear yard setback | 20% of lot depth, but no less than 20 feet |
| Maximum lot coverage | 85% |
| Maximum height | 5 stories / 68 feet (see note b below) |
| Usable open space – residential only | 160 sq. ft. per lodging room or 1-bedroom unit; 320 sq. ft. for >1-bedroom units |

- (a) Rear yard height transitions to residential districts. Where the MXC District abuts a residential district at the rear lot line, building height at the rear yard setback line shall not exceed two (2) stories/twenty-five (25) feet. From this point, building height may increase at a ratio of one foot of rise to one foot of horizontal distance away from the property line, (a 45° angle) up to the maximum allowed height. This standard may be waived or modified through a conditional use process.
- (b) Additional height. Heights exceeding the maximum may be allowed as a conditional use.



(6) Frontage Requirements.

The following standards are applicable to new buildings and additions exceeding fifty percent (50%) of original building’s floor area. Frontage requirements may be waived by the Plan Commission, following review by the Urban Design Commission, if the constraints of the existing sites and structure(s) make compliance infeasible.

- (a) Fixed Frontage. Within the “fixed frontage” areas shown on the zoning map, buildings shall be placed within ten (10) feet of the edge of sidewalk.
- (b) Flexible Frontage. Within the “flexible frontage” areas shown on the zoning map, a minimum of fifty percent (50%) of the lot frontage on the primary abutting street shall be occupied by buildings placed within thirty (30) feet of the street right-of-way and with front or side facades oriented to the street. In general, nonresidential and mixed use buildings will typically be placed close to the street, while residential buildings will be placed farther back.
- (c) Frontage Not Defined. In locations where frontages have not been defined on the zoning map, buildings at corner locations shall be located within ten (10) feet of the edge of sidewalk for a distance of at least thirty (30) feet from the corner. Buildings in other locations on the block shall meet the “Flexible Frontage” standard of item (b) above.

28.066 COMMERCIAL CENTER DISTRICT

(1) Statement of Purpose.

The CC District is established to recognize the existing large-format retail and office sites within the City that remain largely auto-oriented, and to encourage their transformation into mixed use centers that are equally conducive to pedestrian, bicycle, transit and motor vehicle activity. The district is also intended to:

- (a) Improve the quality of landscaping, site design and urban design within commercial centers.
- (b) Encourage diversification of land use in commercial centers.
- (c) Encourage appropriate transitions between higher-intensity uses and adjacent lower-density residential districts.
- (d) Facilitate the development or redevelopment goals of the comprehensive plan and of adopted neighborhood, corridor or special area plans.

(2) Permitted and Conditional Uses.

See Table 28D-2 for a complete list of allowed uses within the mixed-use and commercial districts.

(3) Building Standards.

The following standards are applicable to new buildings and additions exceeding 50% of original building's floor area.

- (a) Maximum size. Buildings shall not exceed twenty-five thousand (25,000) square feet gross floor area for an individual establishment or forty thousand (40,000) square feet gross floor area for a multi-tenant building. Buildings exceeding this size may be allowed as conditional uses, meeting the standards governing large retail developments in Section 33.24, Madison General Ordinances.
- (b) Buildings shall be oriented to the primary abutting street or to an internal street, court, walkway or plaza.
- (c) All building facades visible from a public street or walkway shall employ materials and design features similar to or complementary to those of the front facade.
- (d) Surface parking shall be divided into separate modules no greater in size than one hundred (100) spaces; modules shall be separated by buildings, landscaped open space areas, internal streets or landscaped pedestrian pathways at least twenty (20) feet in width.

(4) Building Forms.

The following building forms are permitted in the CC-T District. See Subchapter 28L for design standards and guidelines for building forms.

- (a) Storefront/Commercial Block Building
- (b) Parking / Liner Buildings
- (c) Live-Work Building
- (d) Podium Building
- (e) Flex Building
- (f) Single-family Attached Building
- (g) Small Apartment Building
- (h) Courtyard Apartment Building
- (i) Large Apartment Building, Stacked Flats
- (j) Civic or Institutional Building

(5) Frontage Requirements.

Buildings are encouraged to be located with a direct relationship to primary abutting streets or to new internal streets. New buildings shall be placed with at least sixty percent (60%) of their front or side facades oriented to and within thirty (30) feet of an external or internal street. Frontage requirements may be waived by the Plan Commission, following review by the Urban Design Commission, if the constraints of the existing sites and structure(s) make compliance infeasible.

| Commercial Center District | |
|--|---|
| Front yard setback | See frontage requirements |
| Side yard setback: Where buildings abut residentially-zoned lots at side lot line. | Minimum side yard required in the adjacent residential district |

| | |
|--------------------------------------|---|
| Side yard setback: other cases | One-story: 5 Two-story or higher: 6 |
| Rear yard setback | 20% of lot depth, but no less than 20 feet |
| Maximum lot coverage | 85% |
| Maximum height | 5 stories / 68 feet (see note b below) |
| Usable open space – residential only | 160 sq. ft. per lodging room or 1-bedroom unit; 320 sq. ft. for >1-bedroom units |

- (a) **Rear yard height transitions to residential districts.** Where the MXC District abuts a residential district at the rear lot line, building height at the rear yard setback line shall not exceed two (2) stories/twenty-five (25) feet. From this point, building height may increase at a ratio of one foot of rise to one foot of horizontal distance away from the property line, (a 45° angle) up to the maximum allowed height. This standard may be waived or modified through a conditional use process.
- (b) **Additional height.** Heights exceeding the maximum may be allowed as a conditional use.

