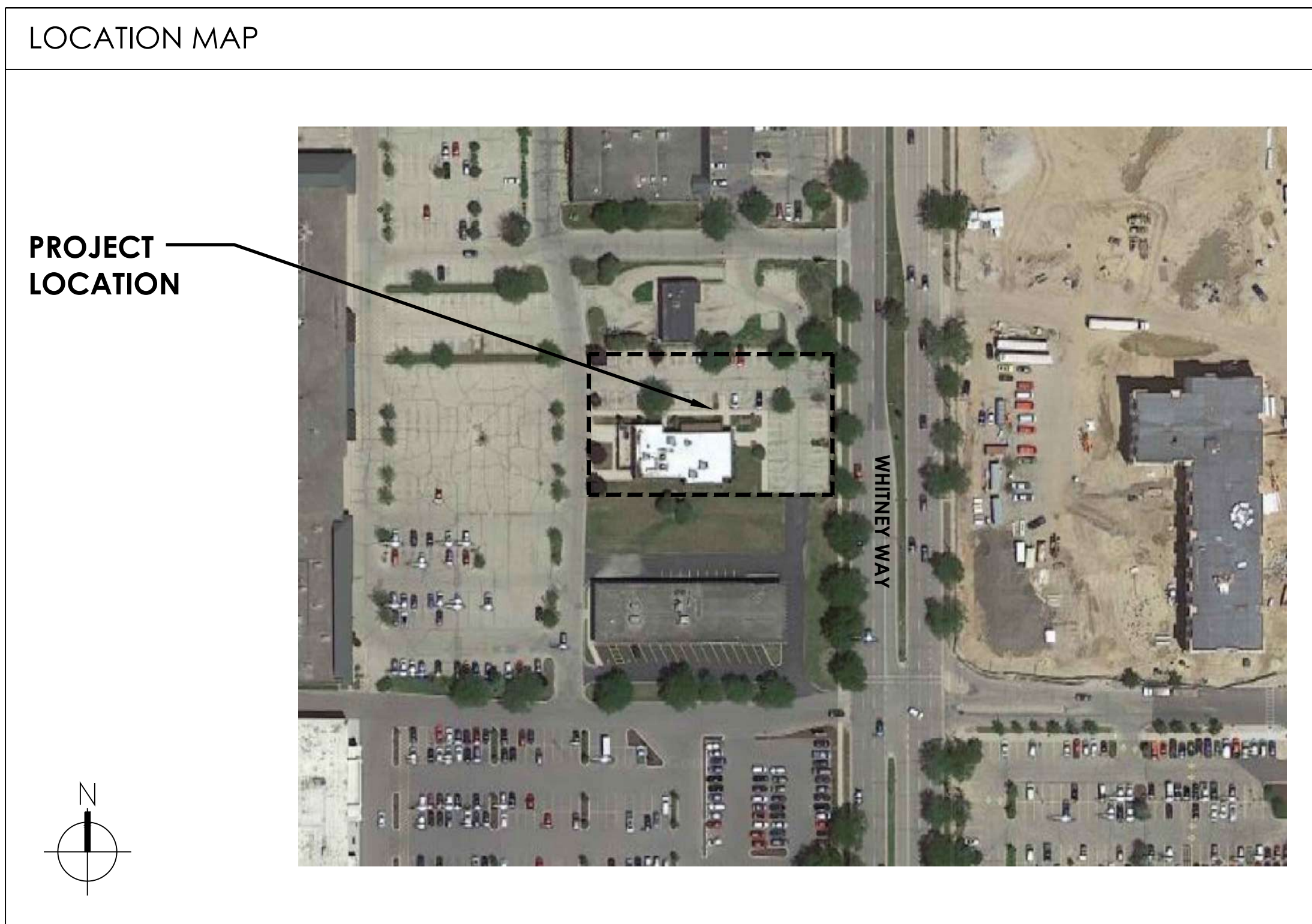




WHITNEY ODANA
RETAIL BANKING CENTER
660 WHITNEY WAY
MADISON, WI 53711



DEVELOPER & CONSULTANTS	
OWNER: JP MORGAN CHASE BANK, N.A. RETAIL REAL ESTATE CHASE TOWER 10 SOUTH DEARBORN FLOOR 25 CHICAGO, IL 60603 CONTACT: THEODORE FOGGY 872-400-0071 THEODORE.FOGGY@CHASE.COM ARCHITECT OF RECORD: THE ARCHITECTS PARTNERSHIP 200 SOUTH MICHIGAN AVENUE SUITE 1020 CHICAGO, ILLINOIS 60604	MECHANICAL / PLUMBING / ELECTRICAL ENGINEER: TERRA ENGINEERING CONTACT: CRAIG MOST PHONE: 312-467-0123 X 269 CMOST@TERRAENGINEERING.COM CIVIL ENGINEER: KIMLEY-HORN 4201 WINFIELD ROAD SUITE 600 WARRENVILLE, IL 60555 CONTACT: TOM SZAFRANSKI 630-209-4811 TOM.SZAFRANSKI@KIMLEY-HORN.COM

SHEET INDEX						
		ISSUE FOR CUP & UDC SUBMITTAL 06.23.2023				
GENERAL						
A0.1	COVER SHEET	●				
CIVIL AND LANDSCAPE						
C0.0	COVER SHEET	●				
V0.0	ALTA SURVEY	●				
C1.0	SITE PLAN	●				
C1.1	FIRE ACCESS AND FIRE HYDRANT	●				
C2.0	GRADING PLAN	●				
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A1.0	FLOOR PLAN	●				
A2.0	ROOF PLAN	●				
A3.1	EXISTING ELEVATIONS	●				
A3.2	EXISTING ELEVATIONS	●				
A3.3	PROPOSED ELEVATIONS	●				
A3.4	PROPOSED ELEVATIONS	●				
A3.5	TRASH ENCLOSURE	●				



WHITNEY
ODANA
RETAIL BANKING CENTER
660 S Whitney Way
Madison, WI 53711

ARCHITECT/ ENGINEER OF RECORD



NOT FOR
CONSTRUCTION

ISSUE	DATE	DESCRIPTION
	04/26/2023	ISSUE CUP & UDC SUBMITTAL
PROJECT INFORMATION BLOCK		
JOB #	23067	
DRAWN BY:	AK/GP	
CHECKED BY:	TW/GP	

SHEET TITLE

COVER SHEET

SHEET NUMBER

A0.1



[illegible]

COMMUNITY DEVELOPMENT AUTH.
MADISON MUNICIPAL BUILDING
215 MARTIN LUTHER KING JR. BLVD #161
MADISON, WI 53703
TEL: (608) 266-6520
CONTACT: MATT WACHTER

PUBLIC WORKS DEPT.
2120 FISH HATCHERY RD
MADISON, WI 53713
TEL: (601) 856-8958

ENGINEERING DEPARTMENT
CITY COUNTY BUILDING
210 MARTIN LUTHER KING JR. BLVD #115
MADISON, WI 53703
TEL: (606) 266-4751

DEVELOPER
JP MORGAN CHASE BANK,
10 SOUTH DEARBORN, 25TH
CHICAGO, IL 60603-2300
TEL: (312) 320-9594
CONTACT: KEN COLLIANDER

ARCHITECT
THE ARCHITECTS PARTNERSHIP, LTD.
200 SOUTH MICHIGAN AVENUE, SUITE 1020
CHICAGO, IL 60604
TEL: (561) 628-9845
CONTACT: TERRON WRIGHT

POWER COMPANY
MADISON GAS & ELECTRIC CO.
PO BOX 1231
MADISON, WI 53701-1231
TEL: (608) 252-7222

NATURAL GAS COMPANY
MADISON GAS & ELECTRIC CO.
PO BOX 1231
MADISON, WI 53701-1231
TEL: (608) 252-7222

WATER SERVICE
WATER UTILITY ADMINISTRATIVE OFFICE
119 EAST OLIN AVENUE
MADISON, WI 53713
TEL: (608) 266-4651

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD RD, SUITE 600
WARRENVILLE, IL 60555
TEL: (630) 487-5550
EMAIL: TOM.SZAFRANSKI@KIMLEY-HORN.COM
CONTACT: TOM SZAFRANSKI

SURVEYOR
CHAPUT LAND SURVEYS
234 W. FLORIDA STREET
MILWAUKEE, WI 53204
TEL: (414) 224-8068
CONTACT: DANIEL BEDNAR

LOCATION MAP
(NOT TO SCALE)

TOKAY BLVD

S. WHITNEY WAY

ODANA RD

S. SEGOE RD

**PROJECT
LOCATION**

NORTH

BENCHMARKS

STARTING BENCHMARK:
REFERENCE MARK AND REFERENCE
BENCHMARK WEST 1/4 OF SECTION 29
ELEVATION=996.07'

SITE BENCHMARKS:
(LOCATIONS SHOWN ON SURVEY)

SBM #1 SET CHISELED "T" IN TOP OF CURB, EAST SIDE
OF SITE.
ELEVATION=1026.730'

SBM #2 SET CHISELED "T" IN TOP OF CURB, NORTH
SIDE OF SITE
ELEVATION=1031.035'

I, ANDREW HEINEN, A LICENSED PROFESSIONAL ENGINEER OF WI, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE BUT EXCLUDING DETAILS PREPARED BY OTHERS, WAS PREPARED ON BEHALF OF JP MORGAN CHASE BANK, N.A. BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 26TH DAY OF JUNE, A.D., 2023.

WI LICENSED PROFESSIONAL ENGINEER 36037-6
MY LICENSE EXPIRES ON JULY 31ST, 2023
DESIGN FIRM REGISTRATION NUMBER: 184002012-0006

<div>CHASE BANK</div> <div>660 S. WHITNEY WAY</div> <div>MADISON, WI 53711</div>	<div>COVER SHEET</div>	<div></div>	<div></div>	<div>© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFELD ROAD, SUITE 600 WINSTON-SALEM, NC 27106 PHONE: 633-487-5550 WWW.KIMLEY-HORN.COM</div>	SCALE: AS NOTED	<div>No.</div> <div>REVISIONS</div> <div>DATE</div> <div>BY</div>
					DESIGNED BY: JRS	
					DRAWN BY: JRS	
					CHECKED BY: TJS	
ORIGINAL ISSUE: 06/26/23	KHA PROJECT NO. 168558057	SHEET NUMBER	C0.0			

ALTA/NSPS LAND TITLE SURVEY

CLIENT

The Architects Partnership, Ltd.

SITE ADDRESS

660 S. Whitney Way, City of Madison, Dane County, Wisconsin.

LEGAL DESCRIPTION

LOT FOUR (4) AND THE SOUTH 15.77 FEET OF LOT FIVE (5), TOKAY PLACE, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

BASIS OF BEARINGS

Bearings are referenced to Dane County Coordinates in which the West line of S. Whitney Way bears S00°08'26"E (Recorded as S00°31'48"E in Tokay Place).

TITLE COMMITMENT

This survey was prepared based on First American Title Insurance Company Commitment No. NCS-1164543-CH12, effective date of January 31, 2023 which lists the following easements and/or restrictions from schedule B-II:

1, 2, 3, 4 & 5 visible evidence shown, if any.

6, 7, 8, & 15-19 not survey related.

- Drainage Swale Requirement as not on plat of Tokay Place recorded in Volume 56-143B of Plats, page 424 as Document No. 2413099. **Affects property by location, shown.** Affidavit of Correction provided Document No. 2413443.
- Covenants, conditions, restrictions and easements in the document recorded March 21, 1986 as Volume 7904 of Records, page 97 as Document No. 1926304 of Official Records, but deleting any covenant, condition, or restriction, if any, indicating a preference, limitation, or discrimination based on race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, familial status, marital status, disability, handicap, veteran or military status, genetic information, national origin, source of income as defined in subdivision (p) of Section 12955, or ancestry, to the extent that such covenants, conditions or restrictions violate applicable state or federal laws. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status. **Affects property by location.**
- Covenants, conditions, restrictions and easements in the document recorded March 21, 1986 as Volume 7905 of Records, page 03 as Document No. 1926306 of Official Records, but deleting any covenant, condition, or restriction, if any, indicating a preference, limitation, or discrimination based on race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, familial status, marital status, disability, handicap, veteran or military status, genetic information, national origin, source of income as defined in subdivision (p) of Section 12955, or ancestry, to the extent that such covenants, conditions or restrictions violate applicable state or federal laws. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status. **Affects property by location.**
- Terms, conditions, restrictions and provisions relating to the use and maintenance of the Reciprocal Agreement recorded on June 22, 1992 in Volume 19258 of Records, Page 57, as Document No. 2365505. **Affects property by location, blanket type.**
- Terms, conditions, restrictions and provisions relating to the use and maintenance of the Reciprocal Easement Agreement recorded on June 22, 1992 in Volume 19265 of Records, Page 1, as Document No. 2365730. **Affects property by location, blanket type.**
- Agreement Regarding Reciprocal Easement Agreement recorded June 22, 1995 as Document No. 2683741. Assignment and Assumption of Reciprocal Easement Agreement recorded August 8, 1995 as Document No. 2694731. **Affects property by location, blanket type.**
- Assumption and Assumption of Reciprocal Easement Agreement recorded September 2, 1998 as Document No. 3014808. **Affects property by location, blanket type.**
- Assumption of Reciprocal Easement Acknowledgement recorded August 4, 2015 as Document No. 5173830. **Affects property by location, blanket type.**
- Utility Easement to Madison Gas and Electric Company, a Wisconsin corporation, dated October 05, 1992, recorded/filed March 13, 1995 in Volume 29481 of Records, Page 6 as Document No. 2664329. **Affects property by location, shown.**

TABLE "A" ITEMS

- According to the flood insurance rate map of the County of Dane, Community Panel No.55025C0415G, effective date of January 2, 2009, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).
- The Land Area of the subject property is 37,556 square feet or 0.8622 acres.
- There are 54 regular parking spaces and 3 handicap space marked on this site.
- No plans or reports provided by client.
- Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20230704833 and 20230704837. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.
- There is no visible evidence of earth moving, building construction or building additions within recent months.
- There are no changes in street right of way lines either completed or proposed, and available from the controlling jurisdiction. Observable evidence of recent street or sidewalk construction or repairs if any, is shown.
- List the current zoning classification, setback requirements, the height and floor space area restrictions, and parking requirements, if any. Identify the date and source of the zoning information.

The zoning information noted below is taken from the municipal code ordinance. It does not reflect all zoning restrictions that may apply. It is not intended to be used in lieu of a comprehensive zoning report as stated in ALTA Table A item 6(a) nor to be relied on for site development purposes.

Municipal Code: Sec. 28.068

Site is zoned: CC (Commercial Center District)

Front setback: 5 feet

Side setback: 5 feet

Rear setback: 20 feet

Maximum building height: 78 feet

LEGEND

- INDICATES FOUND 3/4" IRON ROD
- ⊕ INDICATES SET 1" IRON PIPE
- ⊕ INDICATES FOUND CHISELED CROSS
- ⊕ SANITARY MANHOLE
- ⊕ SANITARY CLEANOUT OR VENT
- ⊕ SEPTIC TANK ACCESS COVER
- ⊕ M.I.S. MANHOLE
- ⊕ UNKNOWN MANHOLE
- ⊕ STORM MANHOLE
- ⊕ INLET (ROUND)
- ⊕ INLET (SQUARE)
- ⊕ CURB INLET
- ⊕ STORM SEWER END SECTION
- ⊕ GAS VALVE
- ⊕ GAS METER
- ⊕ WATER VALVE
- ⊕ HYDRANT
- ⊕ WATER MANHOLE
- ⊕ WELL HEAD
- ⊕ STAND PIPE

- ⊕ WALL INDICATOR VALVE
- ⊕ POST INDICATOR VALVE
- ⊕ LIGHT POLE
- ⊕ SPOT/YARD LIGHT
- ⊕ UTILITY POLE
- ⊕ GUY POLE
- ⊕ GUY WIRE
- ⊕ ELECTRIC MANHOLE
- ⊕ ELECTRIC PEDESTAL
- ⊕ ELECTRIC METER
- ⊕ TELEPHONE MANHOLE
- ⊕ TELEPHONE PEDESTAL
- ⊕ CABLE PEDESTAL
- ⊕ CONTROL BOX
- ⊕ FIBER OPTIC PEDESTAL/SIGN
- ⊕ TRAFFIC LIGHT
- ⊕ COMMUNICATION MANHOLE
- ⊕ BOLLARD
- ⊕ SOIL BORING/MONITORING WELL
- ⊕ WATER SURFACE
- ⊕ WETLANDS FLAG

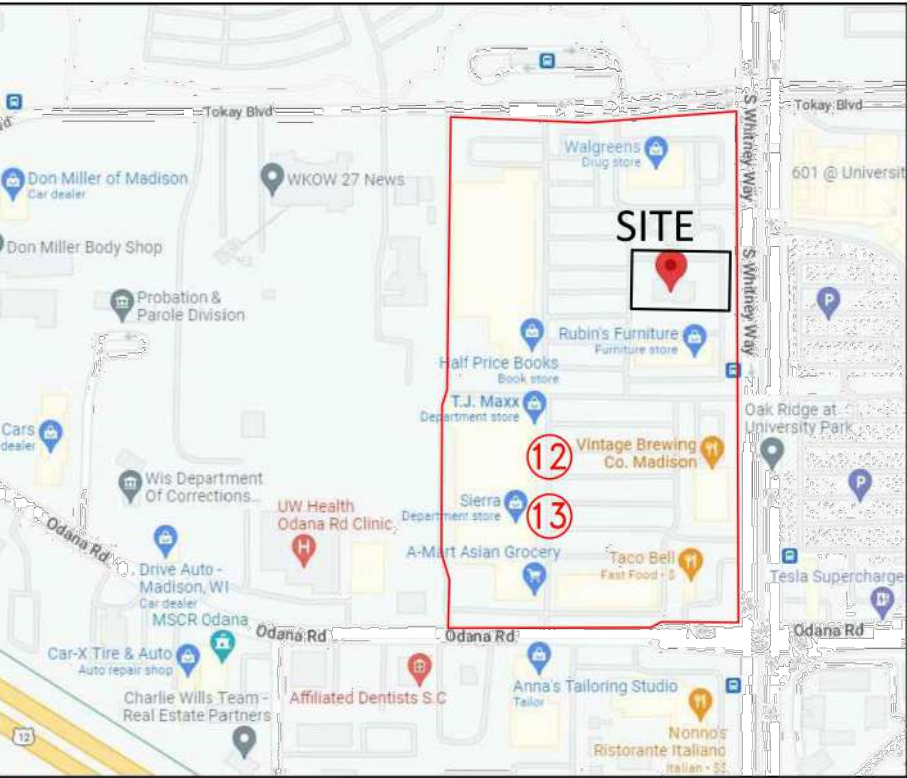
- ▲ MARSH
- ▲ FLAGPOLE
- ▲ PARKING METER
- ▲ SIGN
- ▲ MAILBOX
- ▲ RAILROAD CROSSING SIGNAL
- ▲ HANDICAP SPACE
- ▲ CONIFEROUS TREE
- ▲ DECIDUOUS TREE
- SANITARY SEWER
- STORM SEWER
- WATERLINE
- MARKED GAS MAIN
- MARKED ELECTRIC
- OVERHEAD WIRES
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC
- BURIED ELECTRIC SERVICE
- BOARD FENCE
- CHAIN LINK FENCE
- WIRE FENCE

TOKAY BOULEVARD

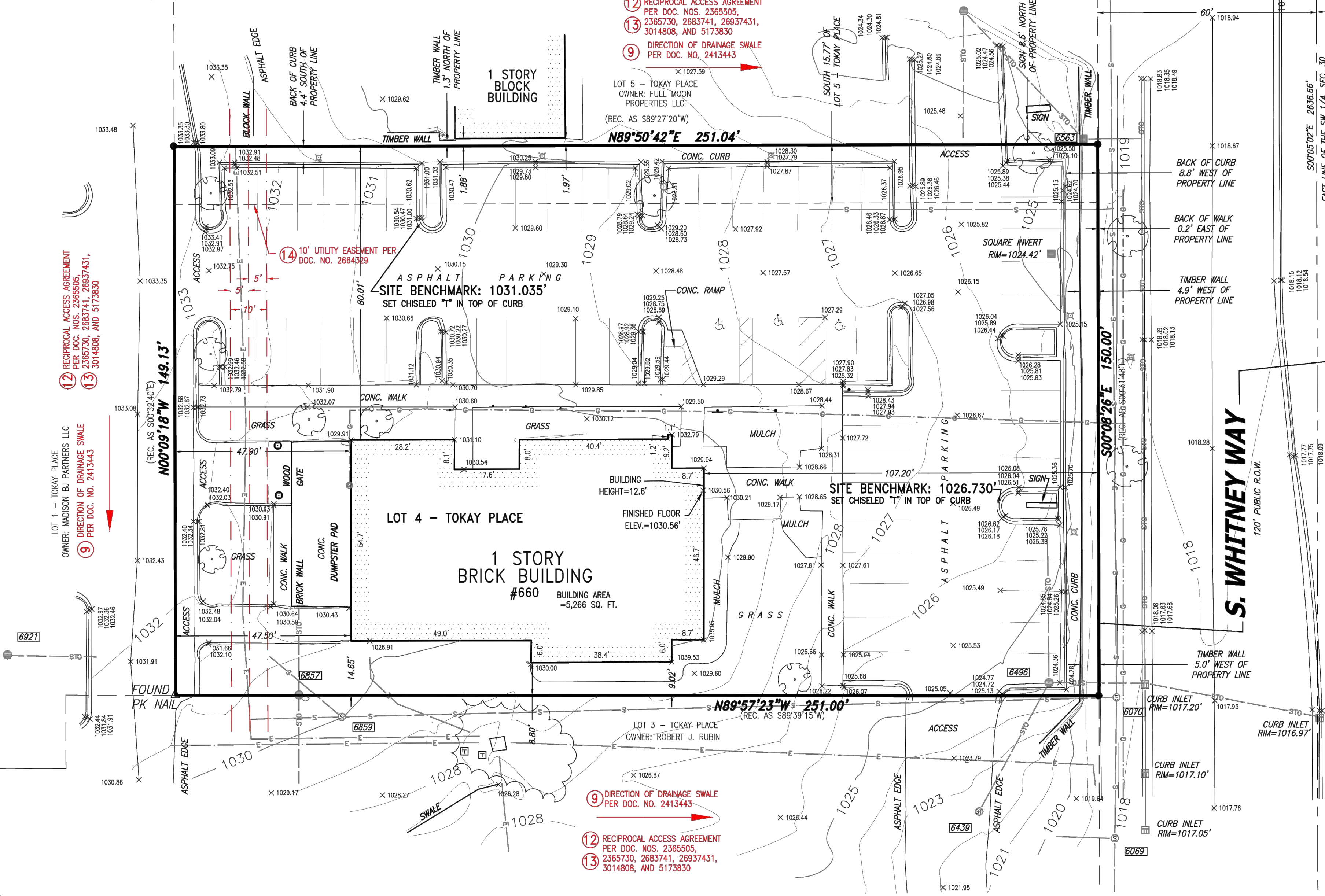
SOUTH RIGHT OF WAY LINE OF TOKAY BLVD. RIGHT OF WAY VARIES

Project# 4395 (SANITARY)						
PT. NO.	TYPE	RIM	DEPTH	DEPTH	DEPTH	DEPTH
6859	MH	1030.02	10.1	9.7	9.4	
INVERT			1019.92	1020.32	1020.52	
SIZE			12"	15"	12"	
DIRECTION			E	W	NW	
TYPE			PVC	PVC	PVC	
6069	MH	1018.05		9.35	9.25	
INVERT			1008.7	1008.7	1008.8	
SIZE			12"	12"	12"	
DIRECTION			N	S	W	
TYPE			PVC	PVC	PVC	
6070	MH	1018.26		10.1	9.15	6.5
INVERT			1008.16	1008.16	1009.11	1011.76
SIZE			12"	12"	12"	12"
DIRECTION			N	S	W	W
TYPE			PVC	PVC	PVC	PVC

Project# 4395 (STORM)						
PT. NO.	TYPE	RIM	DEPTH	DEPTH	DEPTH	DEPTH
6921	ROUND INLET	1031.74	2.65			
INVERT			1029.09			
SIZE			15"			
DIRECTION			E			
6857	ROUND INLET	1030	4.4	8.5	8.6	
INVERT			1025.6	1021.5	1021.4	
SIZE			15"	24"	24"	
DIRECTION			N	E	S	
TYPE			RCP	RCP	RCP	
6489	ROUND INLET	1022.5	4.85			
INVERT			1017.65			
SIZE			15"			
DIRECTION			NE			
TYPE			RCP			
6496	ROUND INLET	1024.18		10.3		
INVERT			1013.88	1013.88		
SIZE			15"			
DIRECTION			SW	N		
TYPE			RCP	RCP		
6563	SQUARE INLET	1024.18		8.2		
INVERT				1015.98		
SIZE			NOT OPEN	TO		
DIRECTION			NOT OPEN	BOTTOM		
6007	ROUND INLET	1023.14	3.2	1.5		
INVERT			1019.94	1021.64		
SIZE			10"	4"		
DIRECTION			SE	S		
TYPE			PVC	PVC		

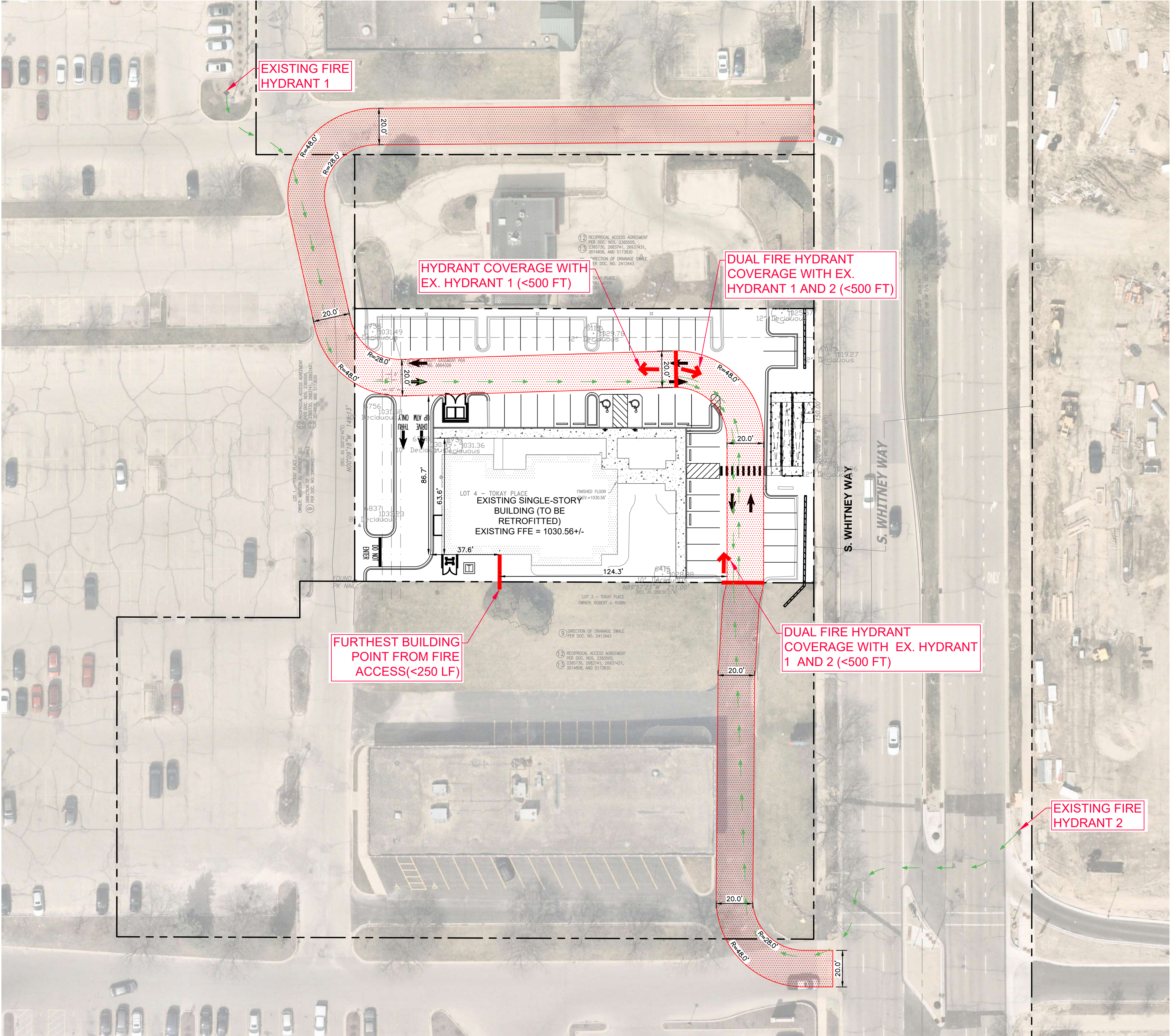


- RECIPROCAL ACCESS AGREEMENT PER DOC. NOS. 2365505, 2365730, 2683741, 26937431, 3014808, AND 5173830
- RECIPROCAL ACCESS AGREEMENT PER DOC. NOS. 2365505, 2365730, 2683741, 26937431, 3014808, AND 5173830
- DIRECTION OF DRAINAGE SWALE PER DOC. NO. 2413443



Drawing name: K:\GIS_DE\168558057_Chase_Madison_WI\2 Design\CAD\PlanSheets\C1.1 - FIRE ACCESS AND FIRE HYD COVERAGE PLAN.dwg C1.1 Jun 26, 2023 8:42am By: Juliette Stroesser

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FIRE ACCESS
AND FIRE
HYDRANT
COVERAGE PLAN

CHASE BANK
660 S. WHITNEY WAY
MADISON, WI 53711

ORIGINAL ISSUE:
06/26/23
KHA PROJECT NO.
168558057

SHEET NUMBER

C1.1

CHASE

SCALE:
AS NOTED
DESIGNED BY: JRS
DRAWN BY: JRS
CHECKED BY: TJS

Kimley»Horn
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MADISON, WI 53711
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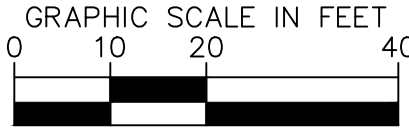
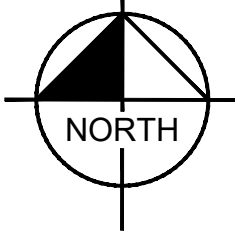
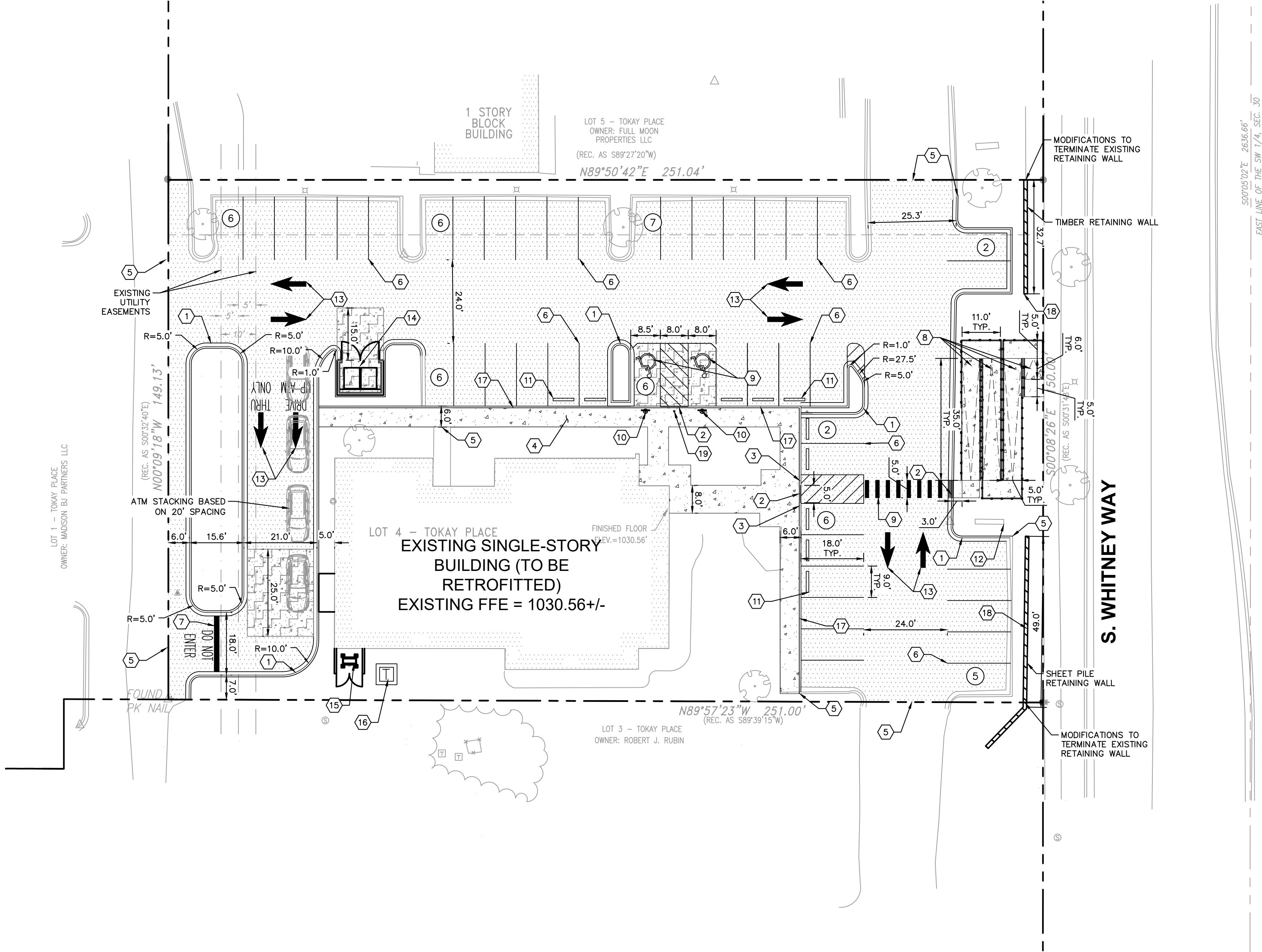
REVISIONS

No.

DATE

BY

Drawing name: K:\GIS_LDE\168558057_Chase_Madison_W\2 Design\CAD\PlanSheets\C1.0 - SITE PLAN.dwg Jun 26, 2023 8:41am by: JulietteStroesser Layout1
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GENERAL NOTES

1. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
4. RADI ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3- FEET, TYPICAL.
5. REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
6. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

KEY NOTES

- 1 CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS)
- 2 DEPRESSED CURB AND GUTTER (SEE DETAILS)
- 3 VARIABLE LENGTH CURB TRANSITION (SEE GRADING PLAN)
- 4 CONCRETE SIDEWALK, TYP. (SEE DETAILS)
- 5 CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
- 6 4" WIDE PAINTED SOLID LINE, TYP.
- 7 PAINTED STOP BAR, TYP. (SEE DETAILS)
- 8 ACCESSIBLE RAMP (SEE DETAILS)
- 9 ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
- 10 ACCESSIBLE PARKING SIGN, TYP. (MUTCD R7-8, SEE DETAILS)
- 11 WHEEL STOP, TYP. (SEE DETAILS)
- 12 RE-USED EXISTING MONUMENT SIGN (SEE ARCHITECTURAL DETAILS)
- 13 SITE DIRECTIONAL MARKING (SEE ARCHITECTURAL DETAILS)
- 14 TRASH ENCLOSURE (SEE ARCHITECTURAL DETAILS)
- 15 VRF ENCLOSURE (SEE ARCHITECTURAL DETAILS)
- 16 TRANSFORMER PAD (FOR REFERENCE ONLY)
- 17 CONCRETE CURB (SEE WISDOT CURB DETAIL)
- 18 SITE RETAINING WALL PER MANUFACTURER SPECIFICATIONS (SEE DETAILS)
- 19 BOLLARD (SEE DETAILS)

PAVING AND CURB LEGEND

- | | |
|--|--|
| | ASPHALT VARIABLE DEPTH OVERLAY (2" MIN.)
ADDITIONAL ASPHALT DEPTH MAY BE REQUIRED TO ACHIEVE PROPOSED GRADES. SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION |
| | CONCRETE SIDEWALK
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION |
| | HEAVY DUTY CONCRETE PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION |
| | STANDARD PITCH CONCRETE CURB AND GUTTER |
| | CONCRETE DEPRESSED CURB AND GUTTER |

PARKING SUMMARY

PARKING SPACES REQUIRED (CITY STANDARD)	=	0 SPACES
EXISTING TOTAL PARKING SPACES PROVIDED	=	58 SPACES
PROPOSED TOTAL PARKING SPACES PROVIDED	=	46 SPACES
ACCESSIBLE PARKING SPACES REQUIRED	=	2 SPACES
ACCESSIBLE PARKING SPACES PROVIDED	=	2 SPACES

FEMA NOTE

PER FLOOD INSURANCE RATE MAP PANEL NO. 55025C0415G, THE SITE OR A PORTION OF THE SITE IS LOCATED IN ZONE X, AREAS OF MINIMAL FLOOD HAZARD.

Kimley»Horn

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4251 WINFIELD ROAD, SUITE 600
MADISON, WI 53711
PHONE: 608-487-5550
WWW.KIMLEY-HORN.COM

SCALE:

AS NOTED

DESIGNED BY: JRS

DRAWN BY: JRS

CHECKED BY: TJS

CHASE

SITE PLAN

CHASE BANK

660 S. WHITNEY WAY
MADISON, WI 53711

ORIGINAL ISSUE:

06/26/23

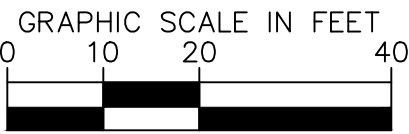
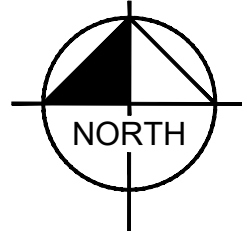
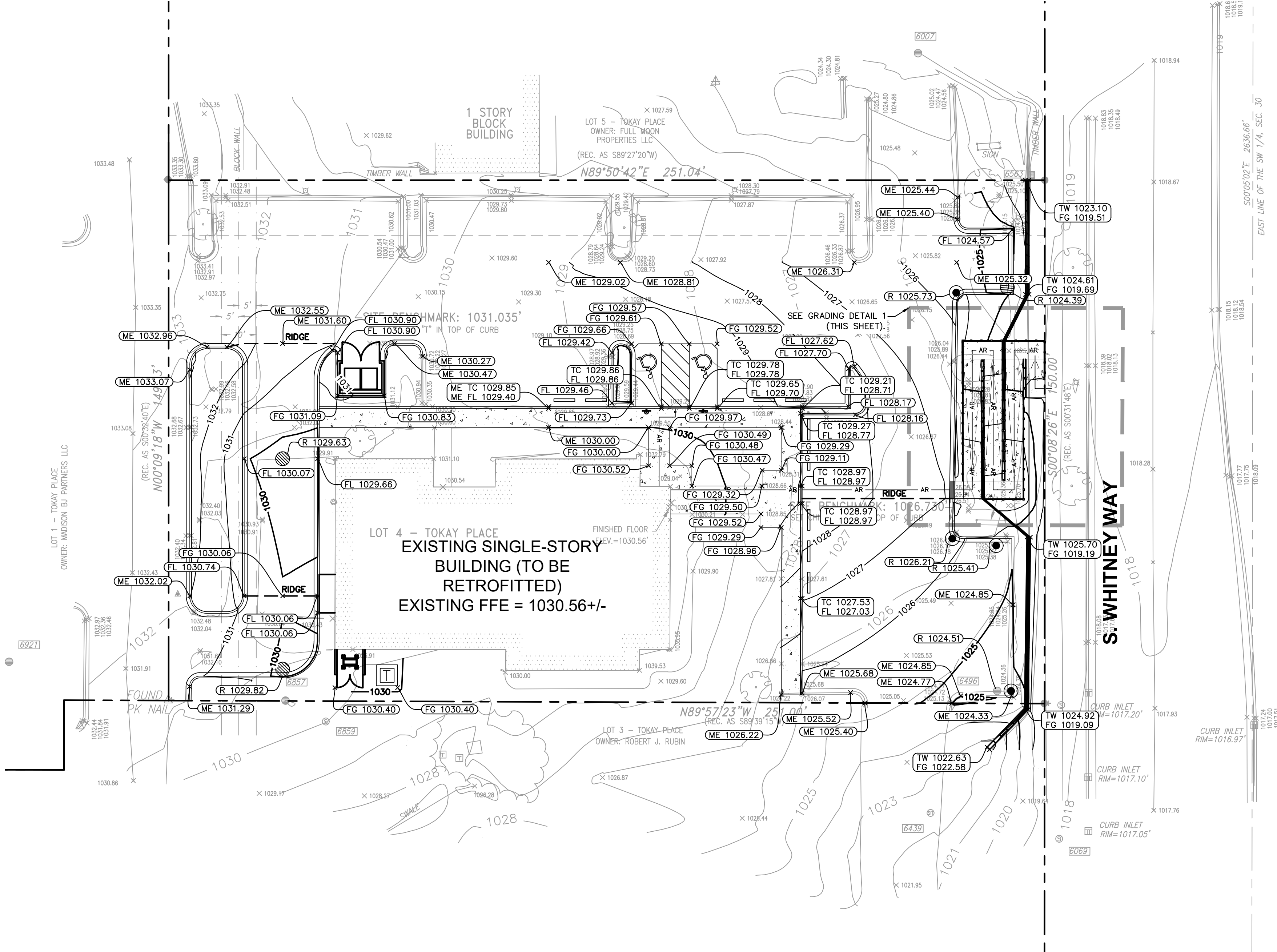
KHA PROJECT NO.

168558057

SHEET NUMBER

C1.0

Drawing name: K:\GIS_LDE\168558057_Chase_Madison_WI2 Design\CAD\PlanSheets\C2.0 - GRADING PLAN.dwg C2.0 Jan 26, 2023 8:42am by Juliette.Strosser
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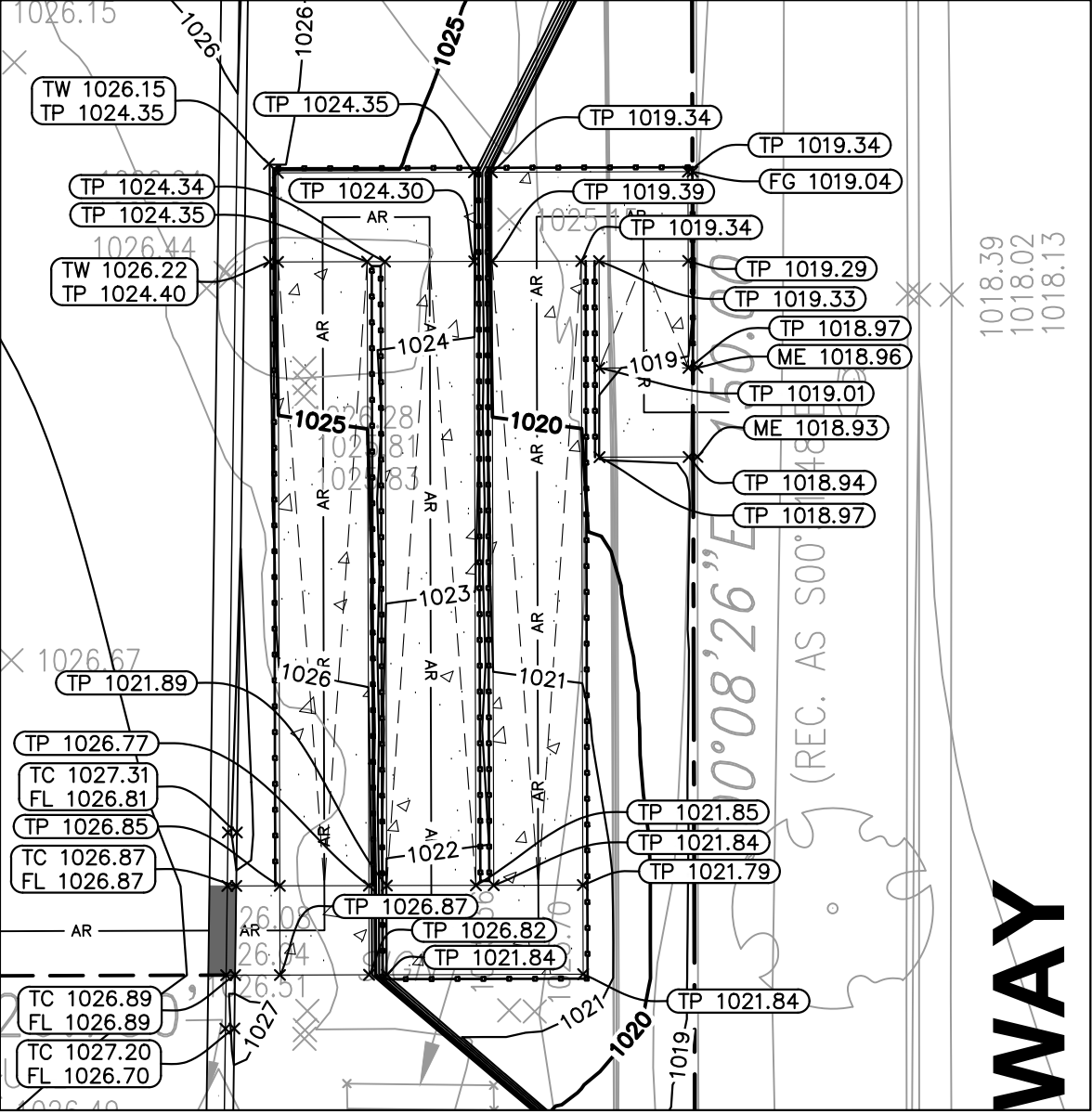


GRADING NOTES

1. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
2. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
3. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
4. NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
5. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
6. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
7. WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
8. MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

GRADING LEGEND

- TP = TOP OF PAVEMENT
EP = EDGE OF PAVEMENT
FL = FLOW LINE
TC = TOP OF CURB
ME = MATCH ELEVATION
TF = TOP OF FOUNDATION
R = RIM ELEVATION
TW = TOP OF WALL
FG = FINISHED GRADE
TS = TOP OF STAIRS
BS = BOTTOM OF STAIRS
- XXX--- PROPOSED CONTOUR
---XXX--- EXISTING CONTOUR
---RIDGE--- RIDGE LINE
---XXX--- SLOPE AND FLOW DIRECTION
---RIDGE--- PROPOSED RETAINING WALL
---AR--- ACCESSIBLE ROUTE

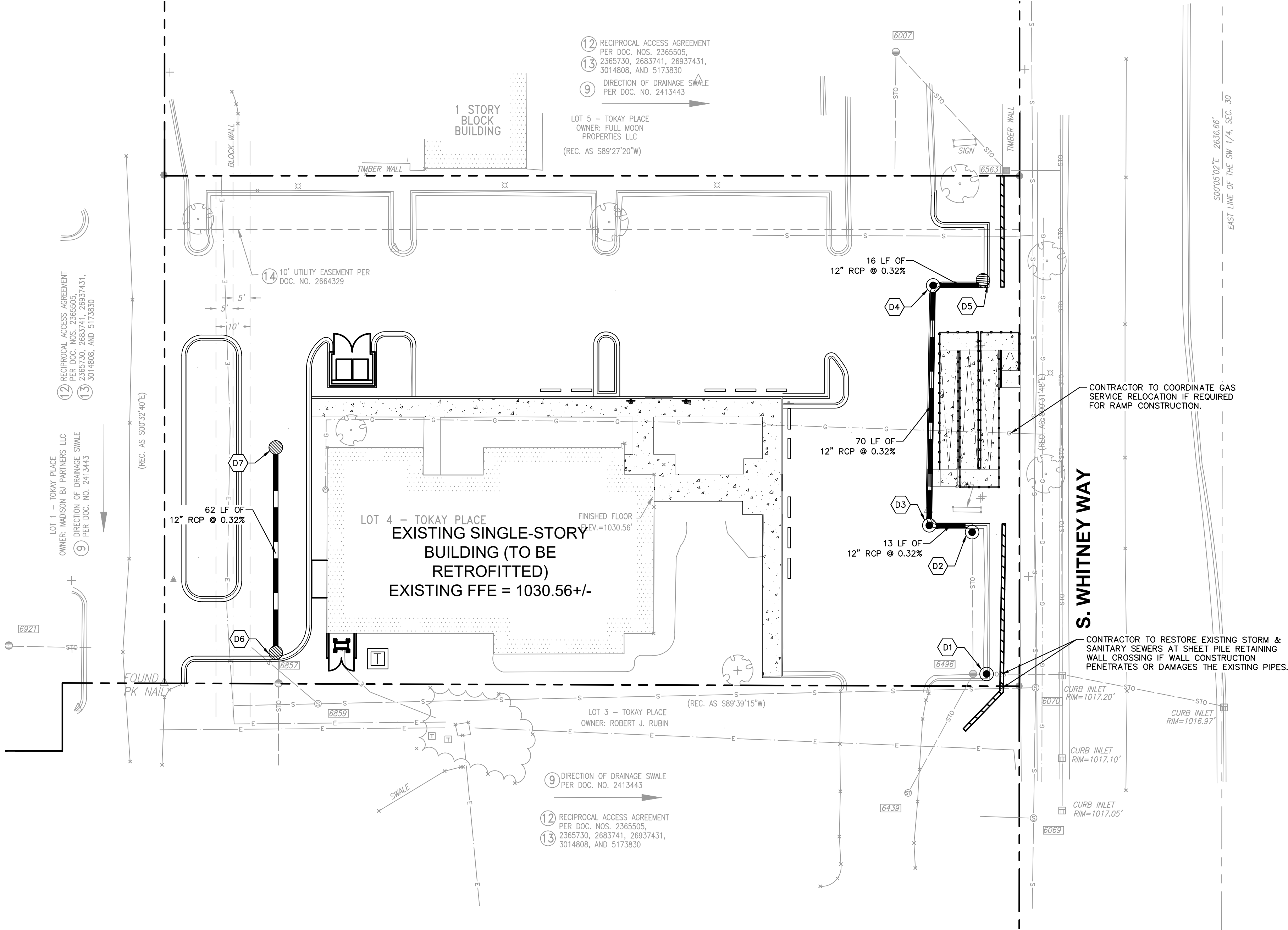


GRADING DETAIL 1

SCALE: 1" = 10'

BY	
DATE	
REVISIONS	
No.	
Kimley»Horn	
© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600 MADISON, WI 53711 PHONE: 608-487-5550 WWW.KIMLEY-HORN.COM	
SCALE:	AS NOTED
DESIGNED BY:	JRS
DRAWN BY:	JRS
CHECKED BY:	TJS
CHASE	
GRADING PLAN	
CHASE BANK 660 S. WHITNEY WAY MADISON, WI 53711	
ORIGINAL ISSUE: 06/26/23 KHA PROJECT NO. 168558057	
SHEET NUMBER C2.0	

Drawing name: K:\GIS_LDE\168558057_Chase_Madison_WI\2 Design\CA0\PlanSheets\C3.0 - UTILITY PLAN.dwg C3.0 Jun 26, 2023 8:42am by: Juliette Strosser
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adoption by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
D1	WATER QUALITY STRUCTURE. CONNECT TO EXISTING STORM SEWER. CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH, AND SIZE OF EXISTING SEWER PRIOR TO ORDERING MATERIALS. RIM: 1024.36 INV IN: 1013.87 (W, 15") INV OUT: 1013.87 (E, 15")
D2	TIE IN TO EXISTING STORM SEWER WITH NEW MANHOLE. CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH, AND SIZE OF EXISTING SEWER PRIOR TO ORDERING MATERIALS. RIM: 1025.41 INV IN: 1020.91 (W, 12") INV OUT: 1013.98 (E, 15")
D3	STORM MANHOLE RIM: 1028.21 INV IN: 1020.95 (N, 12") INV OUT: 1020.95 (E, 12")
D4	STORM MANHOLE RIM: 1025.73 INV IN: 1021.17 (E, 12") INV OUT: 1021.17 (S, 12")
D5	STORM MANHOLE RIM: 1024.39 INV OUT: 1021.22 (W, 12")
D6	TIE IN TO EXISTING STORM SEWER WITH NEW MANHOLE. CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH, AND SIZE OF EXISTING SEWER PRIOR TO ORDERING MATERIALS. RIM: 1028.82 INV IN: 1025.62 (N, 12") INV OUT: 1025.62 (S, 15")
D7	STORM INLET RIM: 1029.63 INV OUT: 1025.82 (S, 12")

- ### UTILITY NOTES
- ALL WATER LINES $\geq 3"$ SHALL BE DUCTILE IRON PIPE, CLASS 52.
 - ALL SANITARY SEWER LINES SHALL BE PVC MEETING, ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN. THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER.
 - CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
 - ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
 - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
 - CONTRACTOR TO CALL LIVEWIRE UTILITY LOCATION SERVICES (1-800-835-1600) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
 - PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE MUNICIPALITY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
 - CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
 - CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
 - ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
 - SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
 - LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE SITE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.
 - SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE CURB LINE.

- ### UTILITY LEGEND
- | | |
|--|--|
| | EX. SANITARY SEWER LINE |
| | EX. SANITARY SEWER MANHOLE |
| | EX. STORM DRAIN LINE |
| | EX. STORM STRUCTURE/INLET |
| | EX. GAS LINE |
| | EX. UNDERGROUND ELECTRIC LINE |
| | EX. LIGHT POLE |
| | PROPOSED STORM SEWER LINE |
| | PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEENAH R-2540) (GRASS USE NEENAH R-4340-B BEEHIVE) |
| | PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEENAH R-1713) (GRASS USE NEENAH R-1786) |

REVISIONS	DATE	BY
No.		

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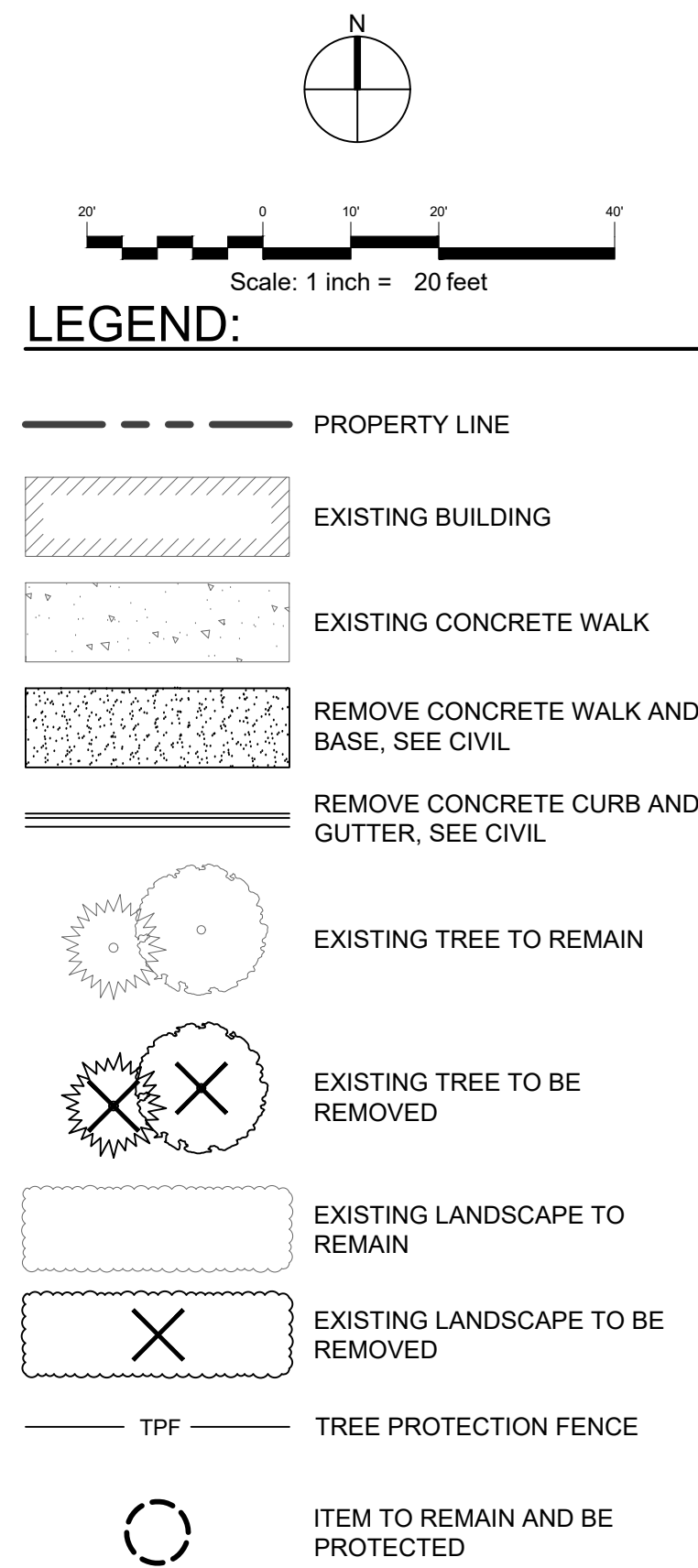


UTILITY PLAN

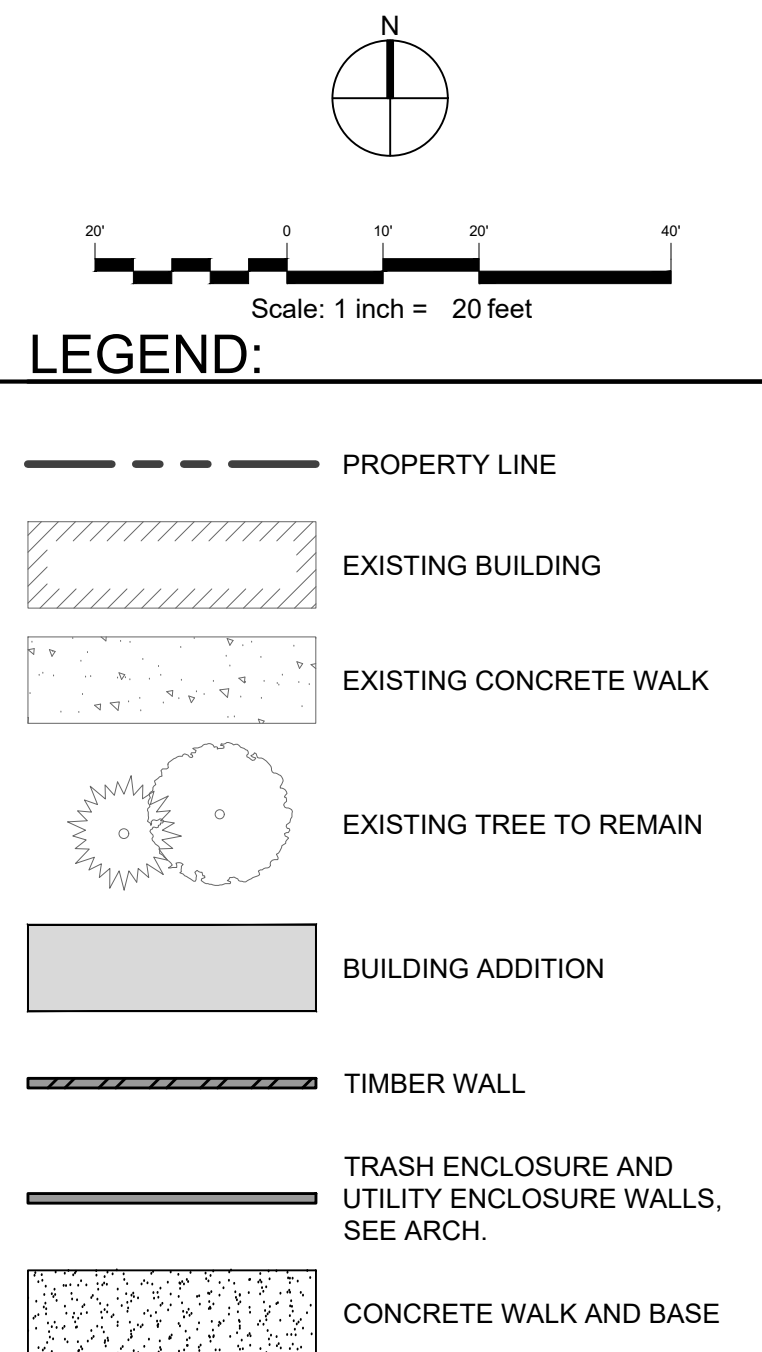
CHASE BANK
660 S. WHITNEY WAY
MADISON, WI 53711

ORIGINAL ISSUE:
06/26/23
KHA PROJECT NO.
168558057
SHEET NUMBER

C3.0



SCALE: 1" = 10'-0"



SCALE: 1" = 10'-0"

Chase Bank - 660 S. Whitney Way Madison, WI 53711

Zoning:	RMX
Site Area:	36,543 SF (0.83 AC)
Building Footprint:	5,266 SF
Total Developed Area:	31,278 SF
Total Parking:	46 Stalls (Includes 3 ADA)

FRONTAGE LANDSCAPE

Requirement: 1 Shade tree and 5 shrubs per 30 LF of lot frontage (5 shade trees required, 25 shrubs)
150 LF along S. Whitney Way requires 5 Trees and 25 Shrubs

1	Existing Trees
4	Trees Provided
5	Total Trees Provided
26	Shrubs Provided
26	Total Shrubs Provided

INTERIOR PARKING LANDSCAPE

Requirement: Changes to developed site required 5% of pavement area shall be landscaped. (1, Shade tree for every 160 SF of required landscape area.

19,305 SF Parking pavement requires 965.25 SF of interior landscape area

Landscape Areas Provided: 2,352 SF

965.25 SF Interior Landscape area requires 6.0 Interior trees

5	Existing Trees
1	Trees Provided
6	Total Trees Provided

FOUNDATION LANDSCAPE

Requirement: Shrubs and perennials shall be provided along building facades

1	Existing Evergreen Shrubs
1	Ornamental Tree
38	Deciduous Shrubs Provide
293	Perennial/Grasses Provide

SCREENING LANDSCAPE








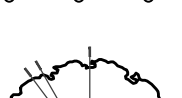











Requirement: Screening shall consist of a solid wall, solid fence, or hedge with year-round foliage, between six (6) and eight (8) feet in height, except that within the front yard setback area, screening shall not exceed four (4) feet in height.

10 Ev

PLANT SCHEDULE

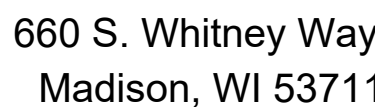
Qty.	Key	Botanical name	Common name	Size at Planting	Notes
SHADE TREES					
1	CEO	Celtis occidentalis	Hackberry	2.5" BB	Central Leader
4	GB	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo	2.5" BB	Central Leader
5	TOTAL SHADE TREES				
ORNAMENTAL TREES					
5	AMC	Amelanchier spargandifera 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	8' ht. BB	Central Leader
5	TOTAL ORNAMENTAL TREES				
EVERGREEN SHRUBS					
18	TAM	Taxus media 'Densaiformis'	Dense Yew	18" BB	4" o.c.
18	TOTAL EVERGREEN SHRUBS				
DECIDUOUS SHRUBS					
11	HYA	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	#5 Cont.	4" o.c.
29	RHA	Rhus aromatica "Gro-Low"	Gro-Low Fragrant Sumac	#5 Cont.	Min. 12 Ht. 5" o.c.
10	FOG	Fothergilla gardenii	Dwarf Fothergilla	#3 Cont.	4" o.c.
17	RKO	Rosa "Knockout"	Knockout Rose	#5 Cont.	4" o.c.
33	VID	Viburnum dentatum "Blue Muffin"	Blue Muffin Arrowwood Viburnum	24" BB	5" o.c.
109	TOTAL DECIDUOUS SHRUBS				
PERENNIALS AND ORNAMENTAL GRASSES					
34	ALM	Allium 'MGsmppmk 13'	Summer Peek-A-Boo Allium	#1 Cont.	18" o.c.
25	CAA	Calamagrostis acutiflora "Karl Foerster"	Karl Foerster Feather Reed Grass	#1 Cont.	3" o.c.
69	COV	Careopsis verticillata 'Zagreb'	Zagreb Coreopsis	#1 Cont.	18" o.c.
45	HEH	Hemerocallis "Happy Returns"	Happy Returns Daylily	#1 Cont.	18" o.c.
45	NEF	Nepeta racemosa "Walker's Low"	Walker's Low Catmint	#1 Cont.	18" o.c.
34	SES	Sedum spectabile Neon	Neon Sedum	#1 Cont.	18" o.c.
137	SEA	Sesleria autumnalis	Autumn Moor Grass	#1 Cont.	18" o.c.
14	SPH	Sporobolus heterolepis	Prairie Dropseed	#1 Cont.	30" o.c.
403	TOTAL PERENNIALS AND ORNAMENTAL GRASSES				
VINES					
11	PAT	Parthenocissus tricuspidata	Boston Ivy	#1 Cont.	3" o.c., 6" off wall
11	TOTAL VINES				
SEED AND SOD AREAS					
TBD	Sod	Restore any disturbed areas with sod. Quantities determined by Contractor			

LEGEND:

	PROPERTY LINE		CONCRETE CURB AND GUTTER		ORNAMENTAL GRASSES
	EXISTING BUILDING		HANDRAIL, SEE CIVIL		VINES
	EXISTING CONCRETE WALK		SHADE TREE		LAWN SOD
	EXISTING TREE TO REMAIN		ORNAMENTAL TREE		PERENNIAL / GROUNDCOVER AREAS
	BUILDING ADDITION		DECIDUOUS SHRUBS		MULCH, 3" DEPTH
	TIMBER WALL		EVERGREEN SHRUBS		12' X 12' SIGHT TRIANGLE
	TRASH ENCLOSURE AND				

NOTES:

1. RESTORE ANY DISTURBED TURF AREAS NOT RECEIVING OTHER LANDSCAPE TREATMENTS WITH SOD.



Project Team

LANDSCAPE ARCHITECT®



ARCHITEC™

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Revisions

[illegible]

Stamp












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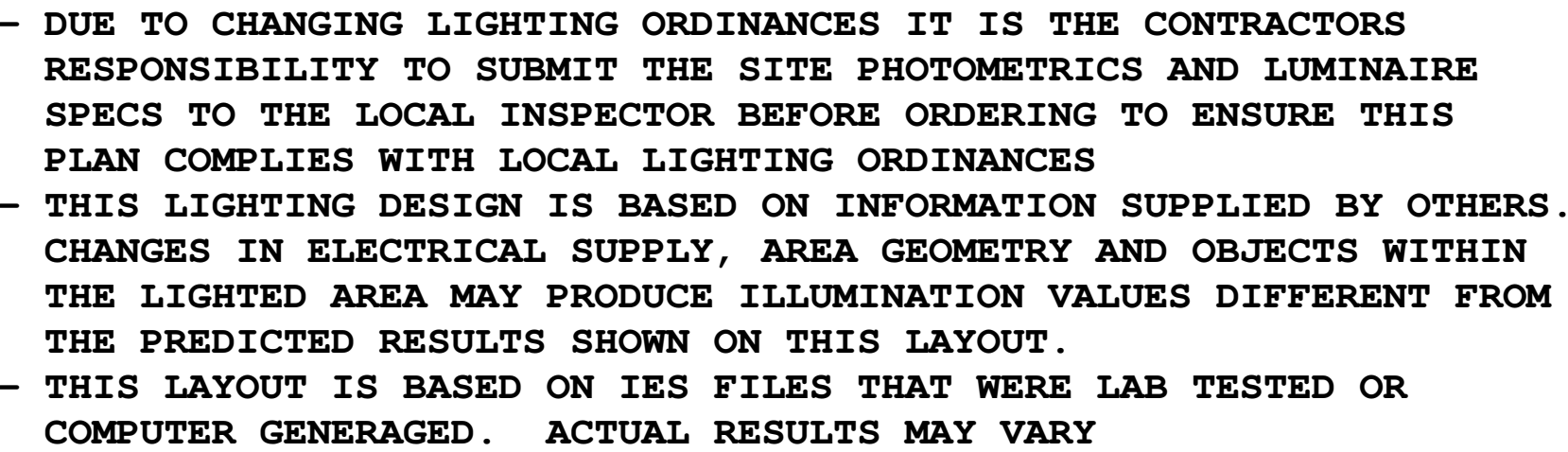
LANDSCAPE PLAN

Sheet No

L1.0



Luminaire Schedule				
Symbol	Label	Qty	Part Number	Description
	SL4	1	EACL010F4AF740-DIMMING- D1-FINISH	FULL CUTOFF AREA LIGHT
	SL3	1	EACL010F2AN740-DIMMING-D1-FINISH	FULL CUTOFF AREA LIGHT
	L7B	3	LDXB4R010T35V1+RD14RWPTWTWTR	RECESSED DOWNLIGHT
	W1	16	9004-W2-RW-LED3090-W-BK-L1-UNV	WALL MOUNT UP/ DN LIGHT
	SL2	1	EACL010E2AN740-DIMMING-D1-FINISH	FULL CUTOFF AREA LIGHT
	SL1	5	EACL010D4F740-DIMMING- D1-FINISH WSHIELD	FULL CUTOFF AREA LIGHT W/SHIELD
	SL5	1	EACL010D4AF740-DIMMINGOEL-FINISH	FULL CUTOFF AREA LIGHT
	L6-A	1	ECLS010A5SM740-DIMMING-SM-WHTE	SURFACE MOUNT CANOPY
	L21-B	3	XTOR6B-W	WALL MOUNT FULL CUTOFF HO WALLPACK





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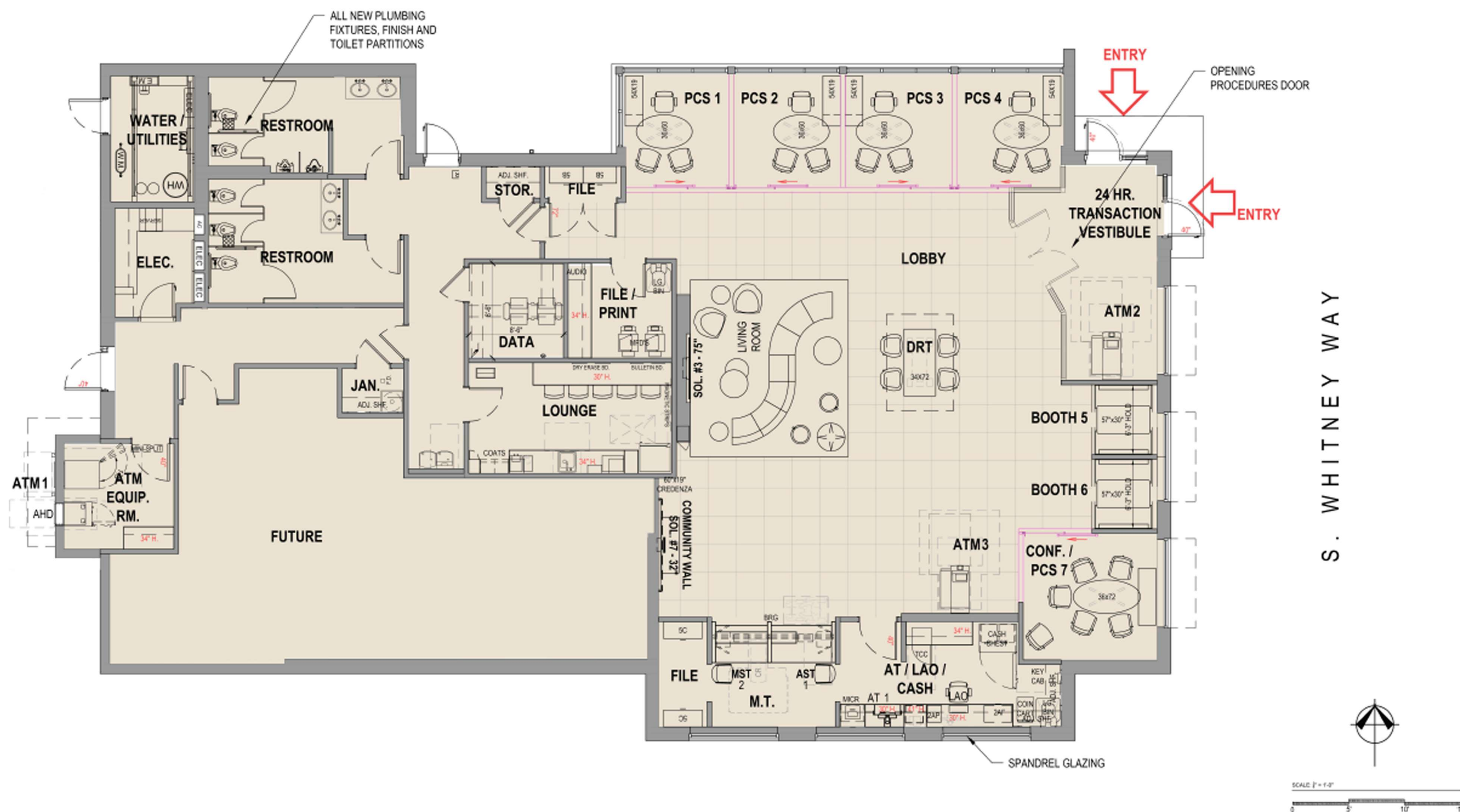
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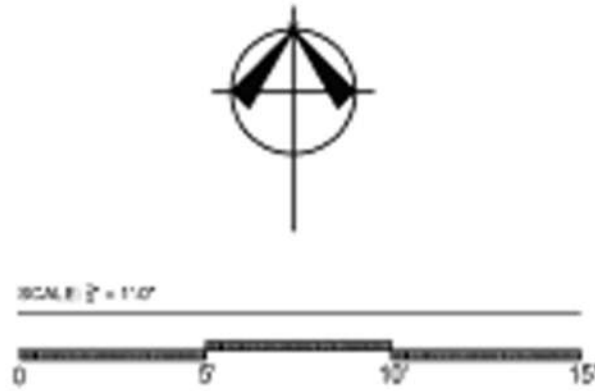
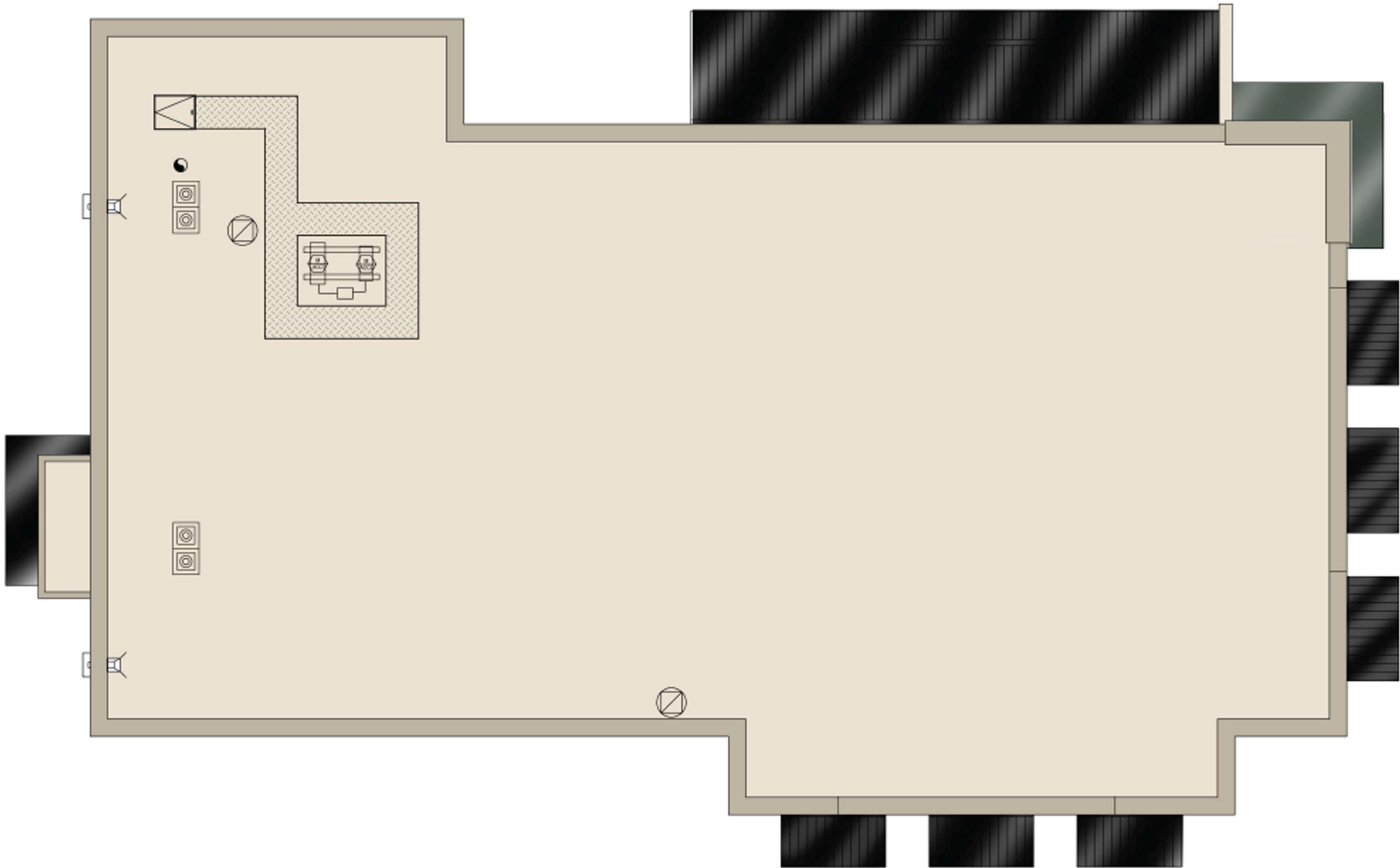
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A1.0

SHEET NUMBER

FLOOR PLAN





WHITNEY
ODANA
RETAIL BANKING CENTER
660 S Whitney Way
Madison, WI 53711

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SHEET NUMBER
ROOF PLAN

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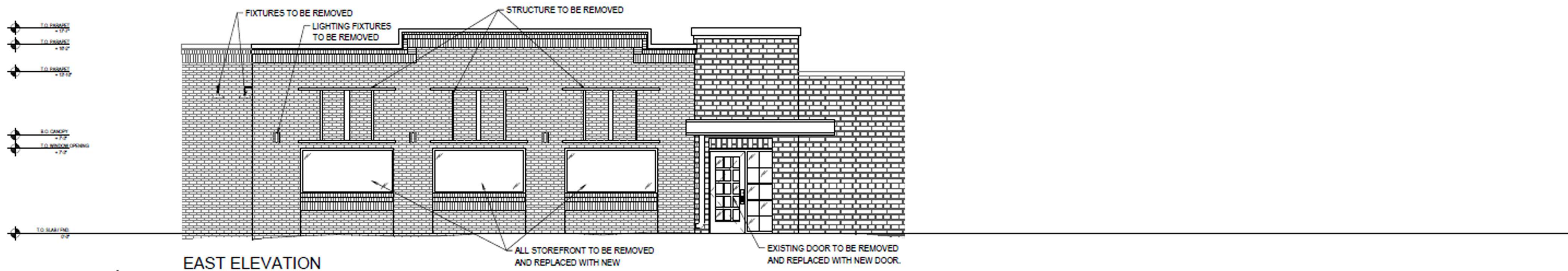
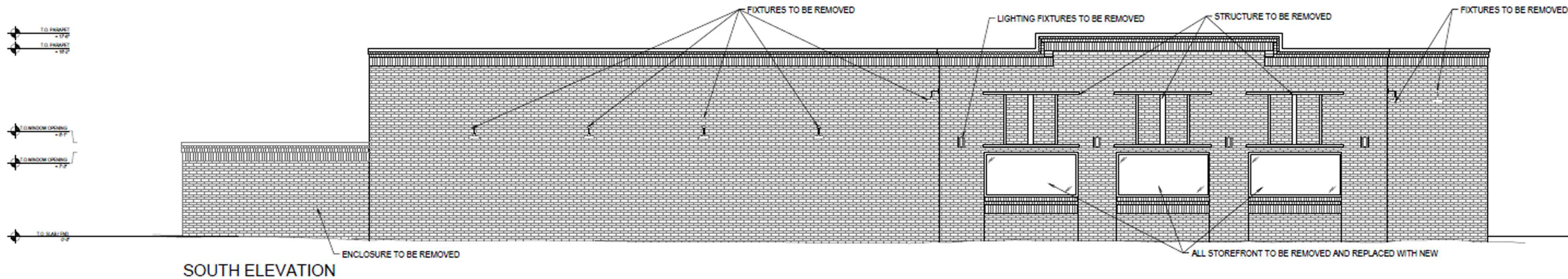
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A3.1

SHEET NUMBER

EXISTING
ELEVATIONS



SCALE: 1/4" = 1'
0 5' 10' 15'

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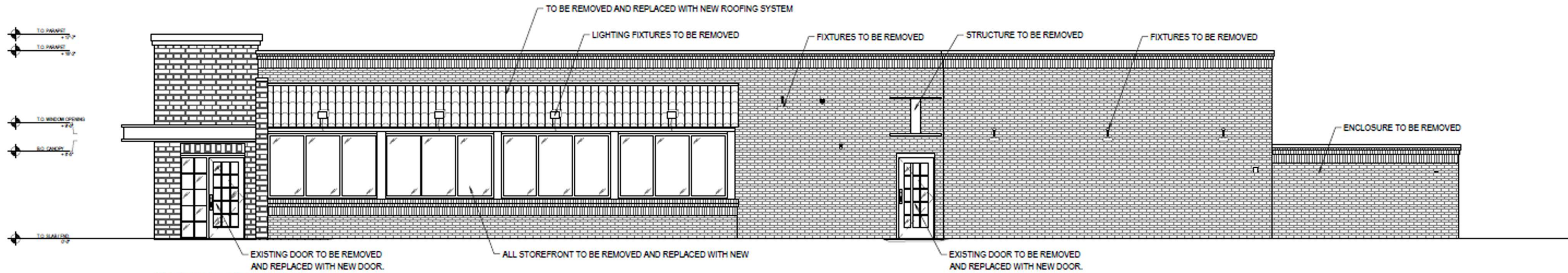
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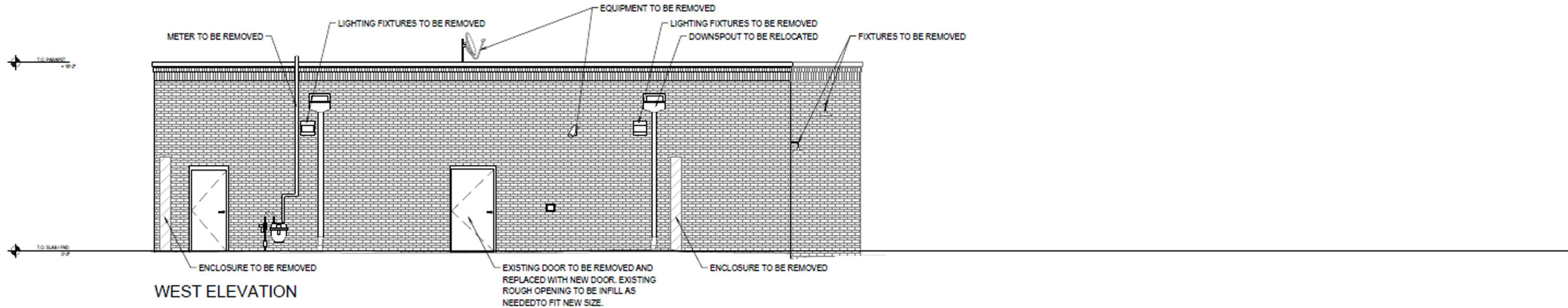
A3.2

SHEET NUMBER

EXISTING
ELEVATIONS



NORTH ELEVATION



WEST ELEVATION

SCALE: 1/4" = 1'
0 5' 10' 15'



**WHITNEY
ODANA
RETAIL BANKING CENTER**
660 S Whitney Way
Madison, WI 53711

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tap
The
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SHEET TITLE

A3.3

SHEET NUMBER

PROPOSED ELEVATIONS



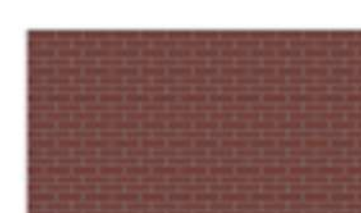
SOUTH ELEVATION



EAST ELEVATION



NEW BRICK TO MATCH
EXISTING



EXISTING BRICK TO REMAIN



EXISTING BRICK TO REMAIN



BRICK
COILOR: MIDNIGHT BLACK
INTERSTATE BRICKS



EXISTING STACKED STONE
TO REMAIN



STANDING SEAM MTL
ROOF



STORE FRONT, METAL CANOPY
COLOR: BLACK ANODIZED
ALUM

CLEAR GLASS



CORRUGATED MTL



SPANDREL GLASS
COATING OPACI-COAT300
COLOR: WARM GRAY

SCALE: $\frac{1}{4}" = 1'$





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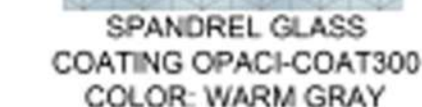
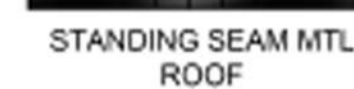
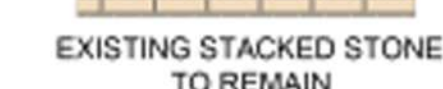
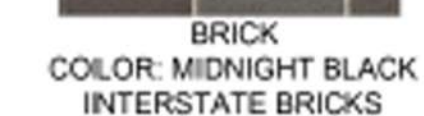
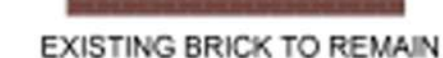
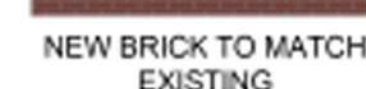
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SHEET TITLE

A3.4

SHEET NUMBER

PROPOSED ELEVATIONS



SCALE: $\frac{1}{2}" = 1'$





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A3.5

SHEET NUMBER

TRASH
ENCLOSURE



FRONT

SIDE

REAR

