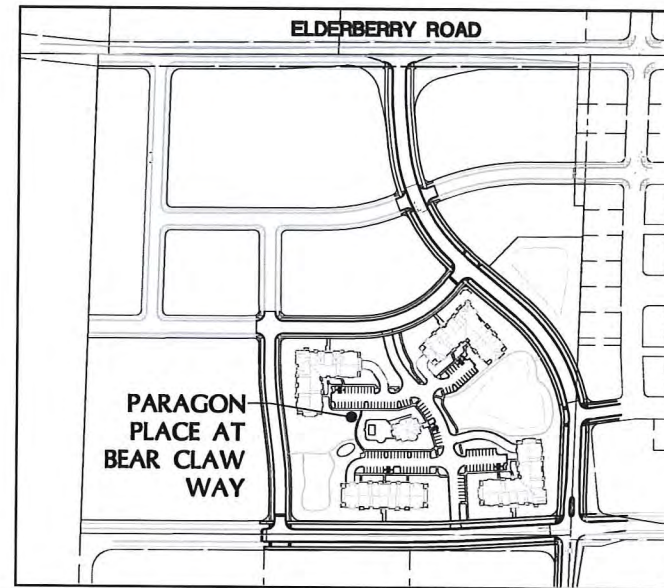
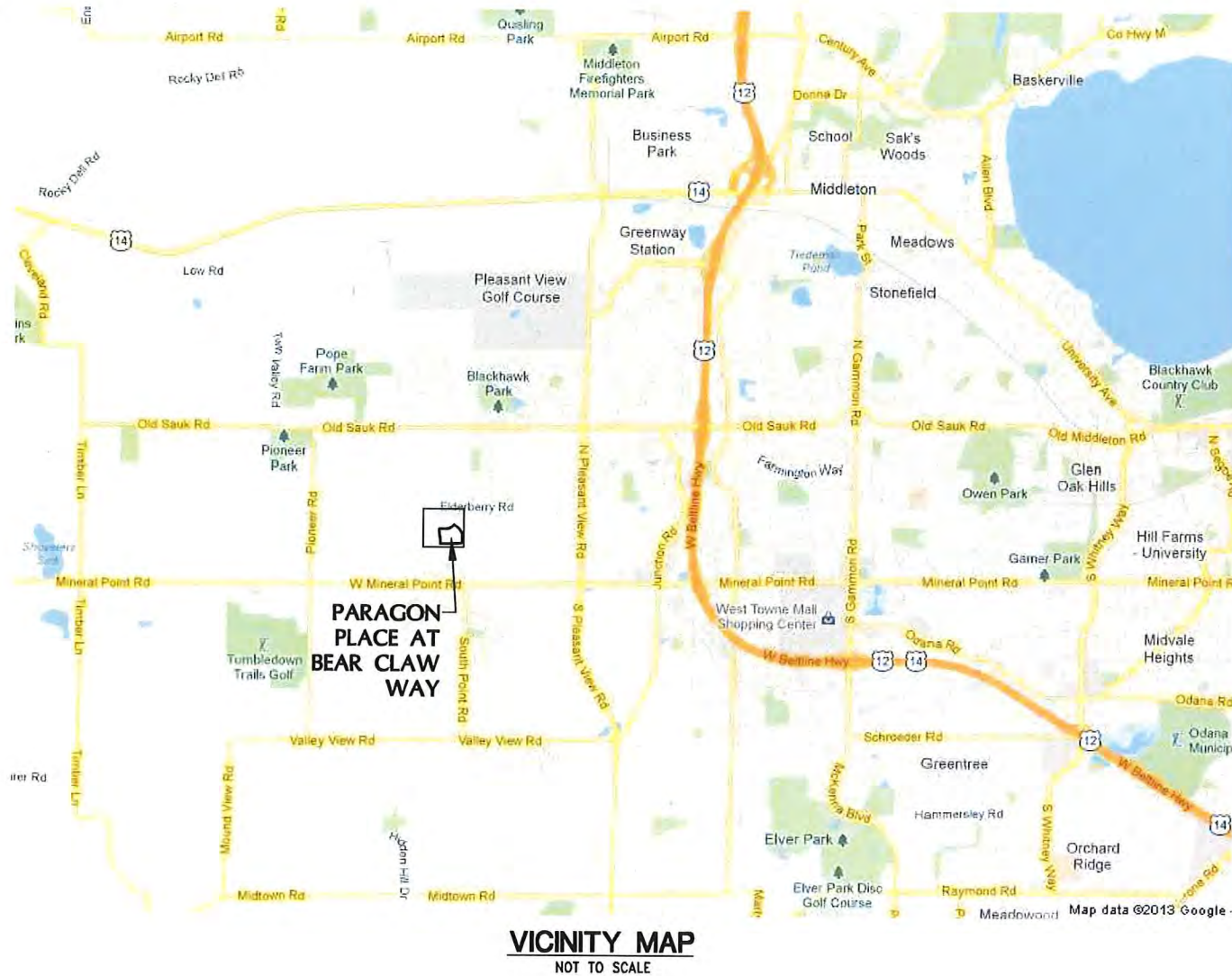


GENERAL NOTES

- THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.
 - STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 8TH EDITION (SSSWCW)
 - THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
 - WDNR STORMWATER RUNOFF TECHNICAL STANDARDS.
 - WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
 - CITY OF MADISON DEVELOPMENT STANDARDS, LATEST EDITION.
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, AN APPROVED EROSION CONTROL PLAN WILL BE PROVIDED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY IMPLEMENTING THE APPROVED PLAN.
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511). COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY
- EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- ALL TRENCHING SHALL BE PERFORMED ACCORDING TO OSHA STANDARDS.
- ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
- THE CONTRACTOR SHALL CLEAN ALL ADJACENT STREETS OF ANY SEDIMENT OR DEBRIS BY SWEEPING BEFORE THE END OF THE WORKING DAY.

PARAGON PLACE AT BEAR CLAW WAY ELDERBERRY NEIGHBORHOOD PRELIMINARY DEVELOPMENT PLANS

CITY OF MADISON, WISCONSIN



SHEET INDEX

CIVIL	
T1	- COVER SHEET
C1.0	- OVERALL SITE DEVELOPMENT PLAN
C1.1	- SITE DEVELOPMENT PLAN - LOT 6
C2.0	- OVERALL GRADING & DRAINAGE PLAN
C2.1	- MASTER GRADING & DRAINAGE PLAN - LOT 6
C3.0	- SITE UTILITY PLAN - LOT 6
C4.0	- EROSION CONTROL PLAN - LOT 6
C5.0	- PARAGON STREET: ROADWAY PLAN & PROFILE
C5.1	- CHASKA DRIVE: ROADWAY PLAN & PROFILE
C6.0	- CONSTRUCTION DETAILS

CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-242-8511

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



12650 W. NORTH AVENUE
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FAX: (262) 790-1481
EMAIL: jpudelko@trioeng.com



PROJECT:
PARAGON PLACE AT BEAR CLAW WAY
ELDERBERRY NEIGHBORHOOD
CITY OF MADISON, WI

BY: United Financial Group, Inc.
660 W. Ridgeview Drive
Appleton, WI 54911

REVISION HISTORY

DATE	DESCRIPTION
04/08/16	SITE UPDATES

DATE:
APRIL 6, 2015

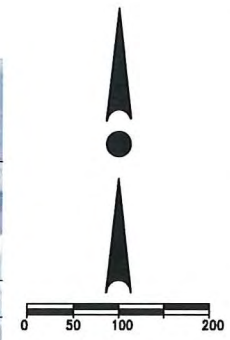
JOB NUMBER:
12041

DESCRIPTION:
COVER SHEET

SHEET

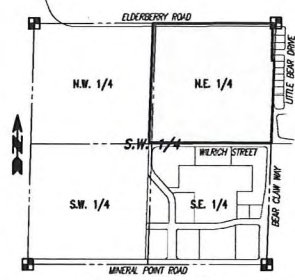
T1

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LEGEND:

- SAN — EXISTING SANITARY SEWER
- W — EXISTING WATER MAIN
- ST — EXISTING STORM SEWER
- ST — EXISTING STORM MANHOLE
- ST — EXISTING STORM INLET
- ST — PROPOSED SANITARY SEWER
- ST — PROPOSED SANITARY MANHOLE
- ST — PROPOSED WATER MAIN
- ST — PROPOSED HYDRANT
- ST — PROPOSED WATER VALVE
- ST — PROPOSED STORM SEWER
- ST — PROPOSED STORM MANHOLE
- ST — PROPOSED STORM INLET
- ST — PROPOSED STORM END SECTION



**PARAGON PLACE - "LOT 6"
SR-V2 DISTRICT ZONING REQUIREMENTS**

	Multi-Family SR-V2 District Requirements (>8 units)	Proposed Lot 6
Total Number of Units		145
Lot Area (sq. ft.) per d.u.	2,000/d.u.	2,668
Required Lot Area (sq. ft.)	292,000	386,616
Lot Width	60 ft.	± 495 ft.
Front Yard Setback	25 ft.	25 ft.
Side Yard Setback	10 ft.	NA*
Rev. Corner Side Yard Setback	12 ft.	NA*
Rear Yard Setback	30 ft.	30 ft.
Maximum Height - Permitted Use	3 stories / 40 ft.	3 stories max. / 44 ft.
Conditional Use	4 stories / 62 ft.	
Maximum Lot Coverage (% Impervious)	60%	43.6%
Usable Open Space (sq. ft. per d.u.)	500	882
	Total Usable Open Space *	127,569
	Total Open Space =	166,590
Total Floor Area (sq. ft.)		208,575
Floor Area Ratio (F.A.R.)		0.64
Total Building Coverage Area (sf.)	N/A	76,923 s.f. (19.6% of site)

*Side Yard setbacks are not applied since the lot has street frontage on all four sides.

"Lot 6" Rental Residences

Residence Mix Per Building	Building				Total # of Units	% Mix	Total # of Bedrooms
	Northest - 35 unit	Southeast - 39 unit	Northwest - 39 unit	Southwest - 32 unit			
One Bedroom/One Bath	16	12	12	18	58	40%	58
Two Bedroom/Two Bath	19	27	27	14	87	60%	174
Total	35	39	39	32	145	100%	232

Building Square Footages - LOT 6 2/27/2015

	Basement	1st Floor	2nd Floor	3rd Floor	Total 1st, 2nd, 3rd Floor	Total
NORTHEAST 35-unit Rental Residence	18,454	18,454	18,454	13,474	50,382	68,836
SOUTHEAST 39-unit Rental Residence	19,046	19,046	19,046	19,046	57,138	76,184
NORTHWEST 39-unit Rental Residence	18,939	18,939	18,939	18,939	56,817	75,756
SOUTHWEST 32-unit Rental Residence	15,452	15,452	15,452	9,402	40,306	55,758
Community Center		3,932			3,932	3,932
Total	71,891	75,823	71,891	60,861	208,575	280,466
Total Floor Area =	208,575 sq. ft.					

Bike Parking - Lot 6
Code Requirement: 1 Per Dwelling Unit up to 2 Bedrooms; 1/2 Space Per Additional Bedroom; 1 Guest Space Per 10 Dwelling Units

	Underground	Surface	Total
Rental Residences	157	32	189
Amenity Building	-	4	4
Total	157	36	193

Parking Summary - Lot 6
Code Requirement: Minimum = 1 Per Dwelling; Maximum = 2.5 Per Dwelling Unit

	Number of Residences	Underground	Surface	Total	Total Per Dwelling Unit	Future Total Parking	Future Per Dwelling Unit	Surface HC
Rental Residences	145	155	111	266	1.83	18	1.96	8
Amenity Building	-	-	12	12		9		2
Total	145	155	123	278		27		10
Parking Ratio:	278/145 = 1.92 spaces/unit							
Future Parking Ratio:	305/145 = 2.10 spaces/unit							

12560 W. NORTH AVENUE
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PROJECT:
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ELDERBERRY NEIGHBORHOOD
CITY OF MADISON, WI

BY: United Financial Group, Inc.
660 W. Ridgeway Drive
Appleton, WI 54911

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DATE	DESCRIPTION
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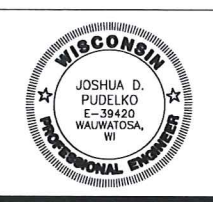
JOB NUMBER:
12041

DESCRIPTION:
OVERALL SITE DEVELOPMENT PLAN

SHEET

C1.0

HA C300\311\2041-01-PRELIMINARY\LOT 6-PRELIMINARY PLANS\LOT 6-PRELIM SITE PLANS-COLOR_ELDERRBERRY-22X34.DWG



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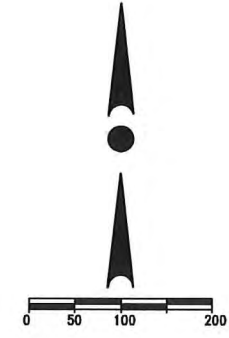
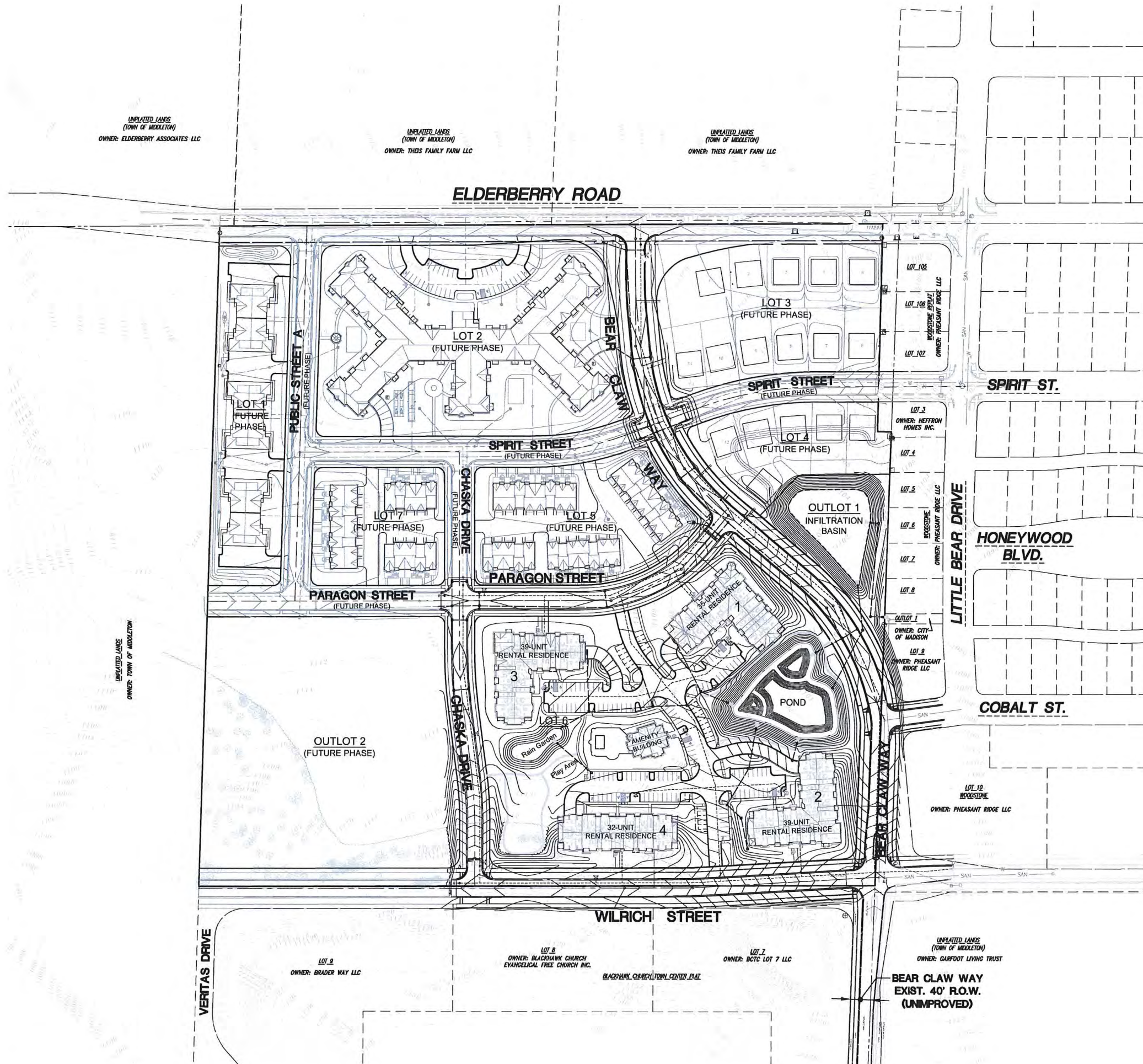
JOB NUMBER:
 12041

DESCRIPTION:
LOT 6 SITE DEVELOPMENT PLAN

SHEET
C1.1

LEGEND:	
— SAN	— EXISTING SANITARY SEWER
— W	— EXISTING SANITARY MANHOLE
— W	— EXISTING WATER MAIN
— H	— EXISTING HYDRANT
— ST	— EXISTING STORM SEWER
— SMI	— EXISTING STORM MANHOLE
— SMI	— EXISTING STORM INLET
— S	— PROPOSED SANITARY SEWER
— SMI	— PROPOSED SANITARY MANHOLE
— SMI	— PROPOSED WATER MAIN
— SMI	— PROPOSED HYDRANT
— SMI	— PROPOSED WATER VALVE
— SMI	— PROPOSED STORM SEWER
— SMI	— PROPOSED STORM MANHOLE
— SMI	— PROPOSED STORM INLET
— SMI	— PROPOSED STORM END SECTION

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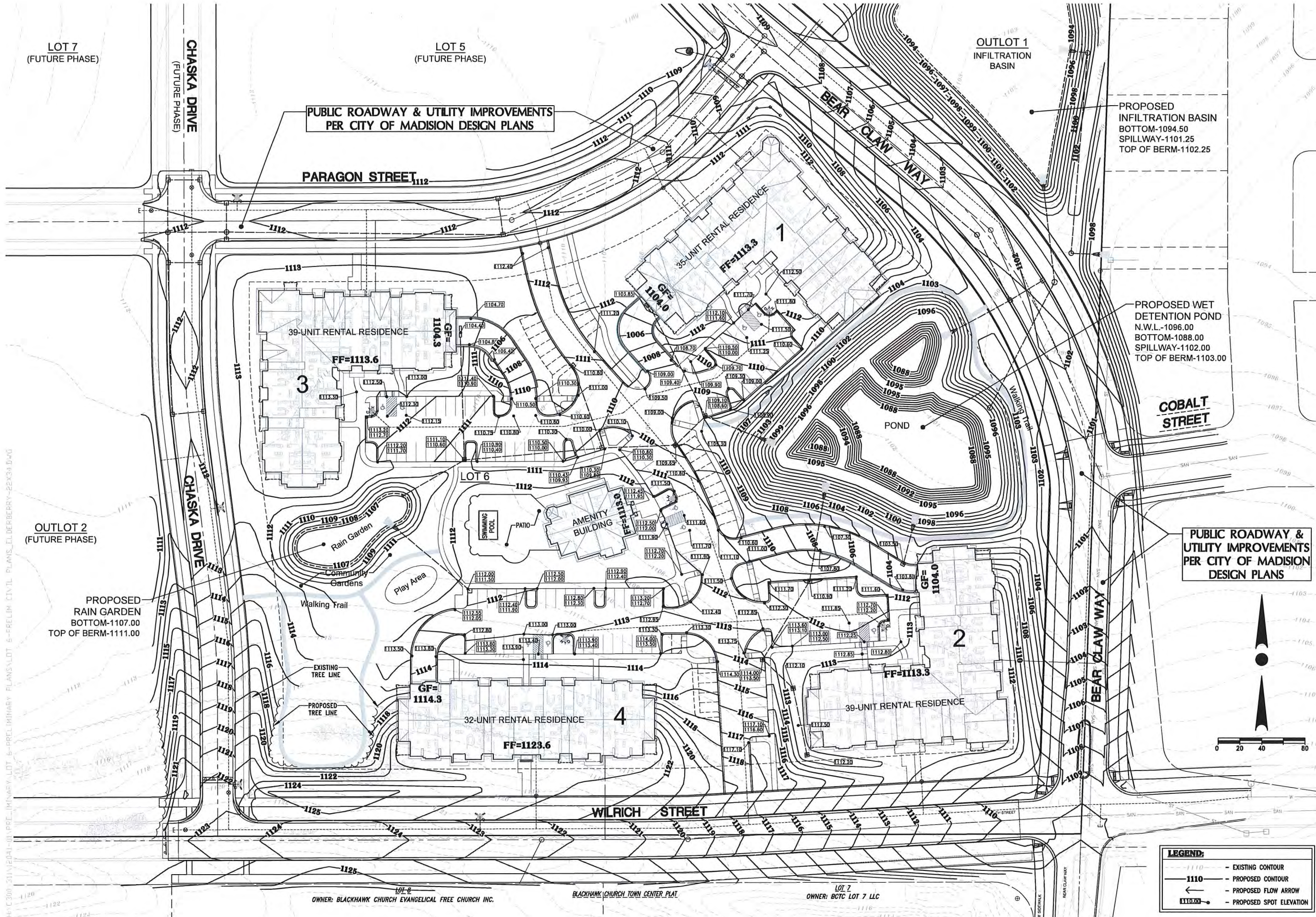
REVISION HISTORY	
DATE	DESCRIPTION
04/08/15	SITE UPDATES

DATE:
APRIL 6, 2015

JOB NUMBER:
12041

DESCRIPTION:
OVERALL GRADING & DRAINAGE PLAN

SHEET
C2.0

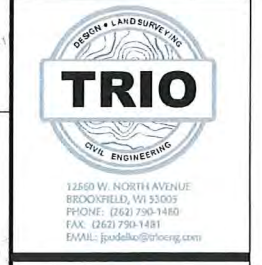
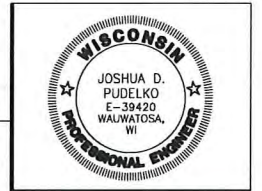


PUBLIC ROADWAY & UTILITY IMPROVEMENTS
PER CITY OF MADISON DESIGN PLANS

PROPOSED INFILTRATION BASIN
BOTTOM-1094.50
SPILLWAY-1101.25
TOP OF BERM-1102.25

PROPOSED WET
DETENTION POND
N.W.L.-1096.00
BOTTOM-1088.00
SPILLWAY-1102.00
TOP OF BERM-1103.00

PUBLIC ROADWAY & UTILITY IMPROVEMENTS
PER CITY OF MADISON
DESIGN PLANS



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APRIL 6, 2015

JOB NUMBER:
12041

DESCRIPTION:
MASTER GRADING
AND DRAINAGE
PLAN

SHEET

C2.1

LEGEND:

	- EXISTING CONTOUR
	- PROPOSED CONTOUR
	- PROPOSED FLOW ARROW
	- PROPOSED SPOT ELEVATION

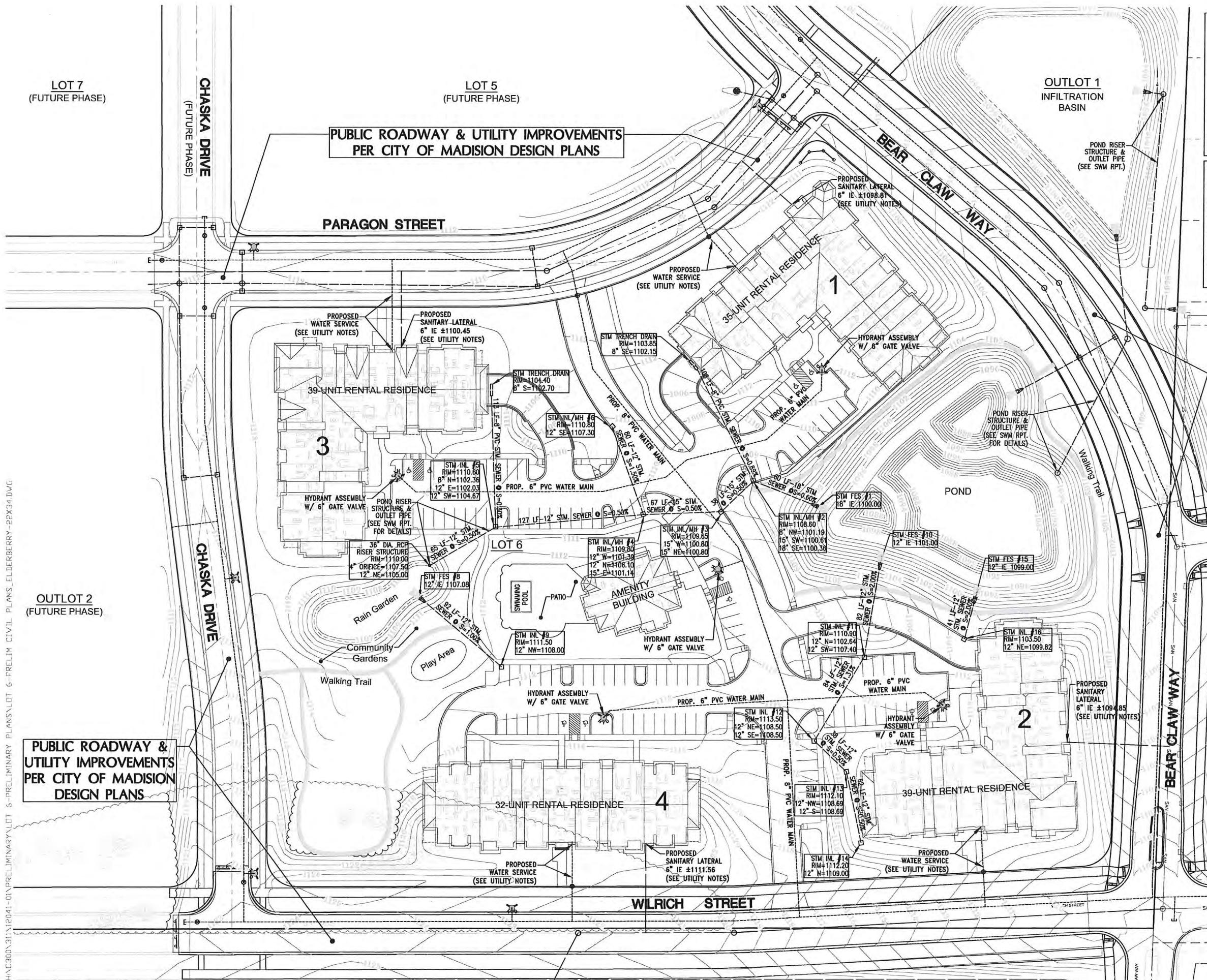
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OWNER: BLACKHAWK CHURCH EVANGELICAL FREE CHURCH INC.

BLACKHAWK CHURCH TOWN CENTER PLAT

LOT 7
OWNER: BOTC LOT 7 LLC

H:\C300\311\12041-01\PRELIMINARY\LOT 6-PRELIMINARY PLANS\LOT 6-FRELIM CIVIL PLANS_ELBERRY-22X34.DWG



SANITARY SEWER AND WATER MAIN NOTES:

- ALL MATERIALS SHALL BE APPROVED BY THE CITY OF MADISON PUBLIC WORKS DEPARTMENT PRIOR TO INSTALLATION.
- ALL WATER MAIN PIPING SHALL BE AWWA C-900 PVC.
- BUILDINGS WITH 4 OR MORE UNITS SHALL HAVE 6" PVC C-900 PIPE WATER SERVICES.
- SANITARY SEWER MAIN PIPE SHALL BE 8" PVC SDR-35.
- ALL SANITARY SEWER SHALL BE CONSTRUCTED SUCH THAT VERTICAL AND HORIZONTAL SEPARATION ARE MAINTAINED PER THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN WISCONSIN.
- BUILDING SANITARY SEWER LATERALS SHALL BE 6" PVC INSTALLED AT 1/4" PER FT. MINIMUM SLOPE FROM THE MAIN UNLESS INDICATED OTHERWISE ON THE PLANS.

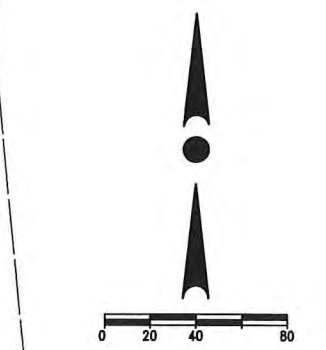
STORM SEWER NOTES:

- ALL MATERIALS SHALL BE APPROVED BY THE CITY OF MADISON PUBLIC WORKS DEPARTMENT PRIOR TO INSTALLATION.
- ALL PUBLIC STORM SEWER PIPE MATERIAL SHALL BE REINFORCED CONCRETE PIPE WITH GASKETED JOINTS. RCP STORM SEWER SHALL BE R.C.P. MEETING SECTION 8.6.0 (SSSWC) AND BE RUBBER GASKETED MEETING THE REQUIREMENTS SET FORTH IN WWS CHAPTER 6.6.0.
- PRIVATE STORM SEWER PIPE MAY BE HIGH DENSITY POLYETHYLENE SMOOTH-WALL INTERIOR CORRUGATED PIPE & SHALL BE AS MANUFACTURED BY ADS OR EQUAL, WITH WATER TIGHT JOINTS, HAVING A MANNING "N" VALUE OF 0.010, OR EQUAL.



PUBLIC ROADWAY & UTILITY IMPROVEMENTS PER CITY OF MADISON DESIGN PLANS

COBALT STREET



LEGEND:

— SAN	— EXISTING SANITARY SEWER
○	— EXISTING SANITARY MANHOLE
— W	— EXISTING WATER MAIN
⊕	— EXISTING HYDRANT
— ST	— EXISTING STORM SEWER
○	— EXISTING STORM MANHOLE
□	— EXISTING STORM INLET
○	— PROPOSED SANITARY SEWER
○	— PROPOSED SANITARY MANHOLE
—	— PROPOSED WATER MAIN
⊕	— PROPOSED HYDRANT
●	— PROPOSED WATER VALVE
—	— PROPOSED STORM SEWER
○	— PROPOSED STORM MANHOLE
□	— PROPOSED STORM INLET
—	— PROPOSED STORM END SECTION

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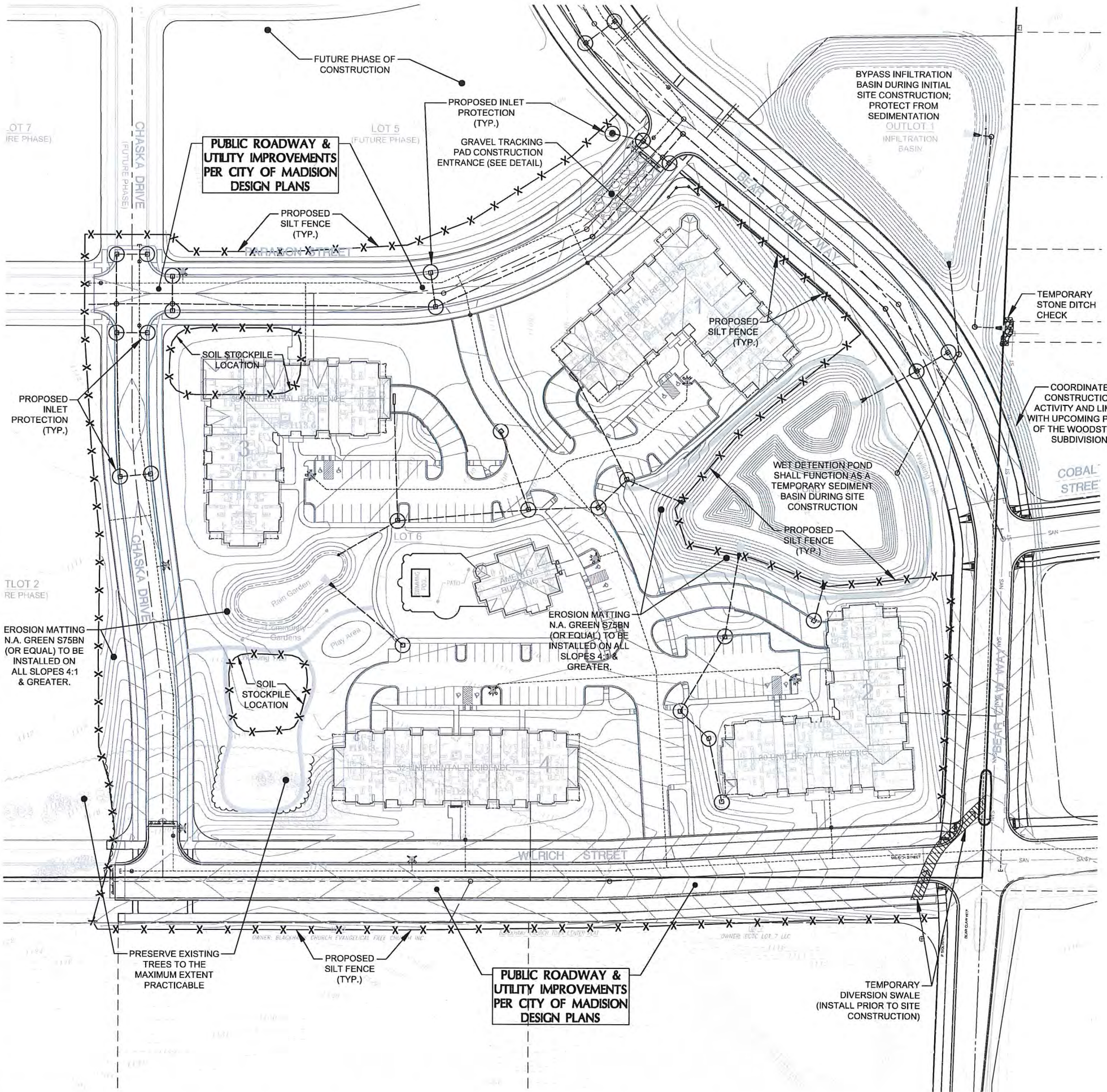
DATE:
 APRIL 6, 2015

JOB NUMBER:
 12041

DESCRIPTION:
 LOT 6
 SITE UTILITY
 PLAN

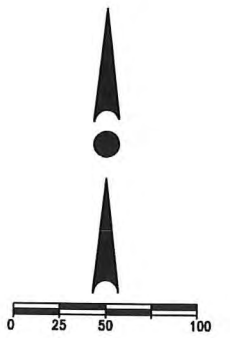
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LEGEND:

- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- X - X - X PROPOSED SILT FENCE
- PROPOSED INLET PROTECTION
- [Pattern] PROPOSED TRACKING PAD



- EROSION CONTROL NOTES:**
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 - EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, THE CONTRACTOR MAY BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN, DETAILING SPECIFIC MEASURES THAT WILL BE USED IN THE VARIOUS STAGES OF CONSTRUCTION FOR APPROVAL BY THE ENGINEER.
 - IMPLEMENTATION: THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL AFTER INITIAL EROSION AND SEDIMENT CONTROL DEVICES ARE IN PLACE AND APPROVED BY THE ENGINEER.
 - EROSION CONTROL MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - DIVERT UPSTREAM RUNOFF FROM FLOWING THROUGH THE CONSTRUCTION SITE.
 - PROTECT DOWNSTREAM OR ADJACENT DRAINAGEWAYS WITH SILT FENCE AND/OR STONE DITCH CHECKS.
 - DELAY STRIPPING TOPSOIL UNTIL REQUIRED FOR CONSTRUCTION.
 - PLACE SILT FENCE OR EROSION CONTROL BALES IN DITCHES AND OTHER DRAINAGE WAYS TO COLLECT SEDIMENT AND TO SLOW THE VELOCITY OF RUNOFF.
 - MAINTAIN SEDIMENT BASIN AS DICTATED BY SITE CONDITIONS.
 - PROTECT STORM SEWER INLETS AND THE UPSTREAM END OF CULVERTS WITH SILT FENCE OR EROSION CONTROL BALES.
 - PROMPT REMOVAL OF EXCAVATED MATERIAL.
 - PROPER STORAGE OF BACKFILL AND BEDDING MATERIALS INCLUDING PLACING SILT FENCE OR EROSION CONTROL BALES ON THE DOWN-SLOPE SIDES OF SPOIL PILES.
 - CONSTRUCTION OF TRACKING PAD TO CONSTRUCTION SITE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO ROADWAYS.
 - PROMPT (SAME DAY) CLEANUP OF MATERIAL TRACKED ONTO ADJACENT STREETS.
 - TIMELY RESTORATION OF DAMAGE SURFACE AREAS.
 - ALL AREAS THAT WILL REMAIN DISTURBED AFTER OCTOBER 15, MUST BE TEMPORARILY SEEDED AS OF THAT DATE.
 - TEMPORARY EROSION CONTROL MEASURES.
 - THE CONTRACTOR SHALL CONSTRUCT TEMPORARY EROSION CONTROL MEASURES, WHERE EROSION IS LIKELY TO BE A PROBLEM, PRIOR TO BEGINNING WORK ON THOSE SECTION(S) OF THE PROJECT. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL AFTER PERMANENT EROSION CONTROL, SUCH AS SEEDING OR SOODING, HAS BEEN ESTABLISHED.
 - IN THE EVENT THE PERMANENT EROSION CONTROL MEASURES ARE NOT FULLY IMPLEMENTED IN CURRENT CONSTRUCTION SEASON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL AFTER PERMANENT MEASURES HAVE BEEN COMPLETED IN THE FOLLOWING YEAR.
 - ALL DISTURBANCE AREAS THAT REMAIN INACTIVE FOR SEVEN DAYS OR LONGER SHALL RECEIVE TEMPORARY SEEDING.
 - TRENCH DEWATERING SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
 - INSTALL SILT FENCE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DETAILS.
 - ALL RIP RAP AT PIPE OUTLETS SHALL BE 3"x5" MEDIUM RIP RAP OVER TYPE R FABRIC PER WDOT SPECIFICATIONS UNLESS OTHERWISE DESIGNATED.
 - EROSION CONTROL INSPECTION AND MAINTENANCE
 - INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER SITE RECEIVES 0.5" OF RAIN IN A 24-HOUR PERIOD DURING CONSTRUCTION.
 - REPAIR OR REPLACE EROSION CONTROLS THAT ARE DAMAGED OR FAILING.
 - ALL AREAS TO BE SEEDED AND MULCHED SHALL USE WDOT SEED MIXTURE NO. 20. MULCH SHALL APPLIED PER WDOT SPECIFICATIONS USING METHOD B FOR PLACEMENT.

- WISCONSIN DEPARTMENT OF NATURAL RESOURCES, CONSERVATION PRACTICE STANDARD:**
- 1052 - NON-CHANNEL EROSION MAT
 - 1055 - SEDIMENT BALE BARRIER (NON-CHANNEL)
 - 1056 - SILT FENCE
 - 1060 - STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES
 - 1062 - DITCH CHECK
 - 1057 - STONE TRACKING PAD AND TIRE WASHING
 - 1058 - MULCHING FOR CONSTRUCTION SITES
 - 1059 - TEMPORARY SEEDING
 - 1061 - DE-WATERING (NOT ANTICIPATED PER SOIL BORINGS)
 - 1064 - SEDIMENT BASIN

CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE
CALL DIGGERS HOTLINE 1-800-243-8511

NOTE:
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 12041

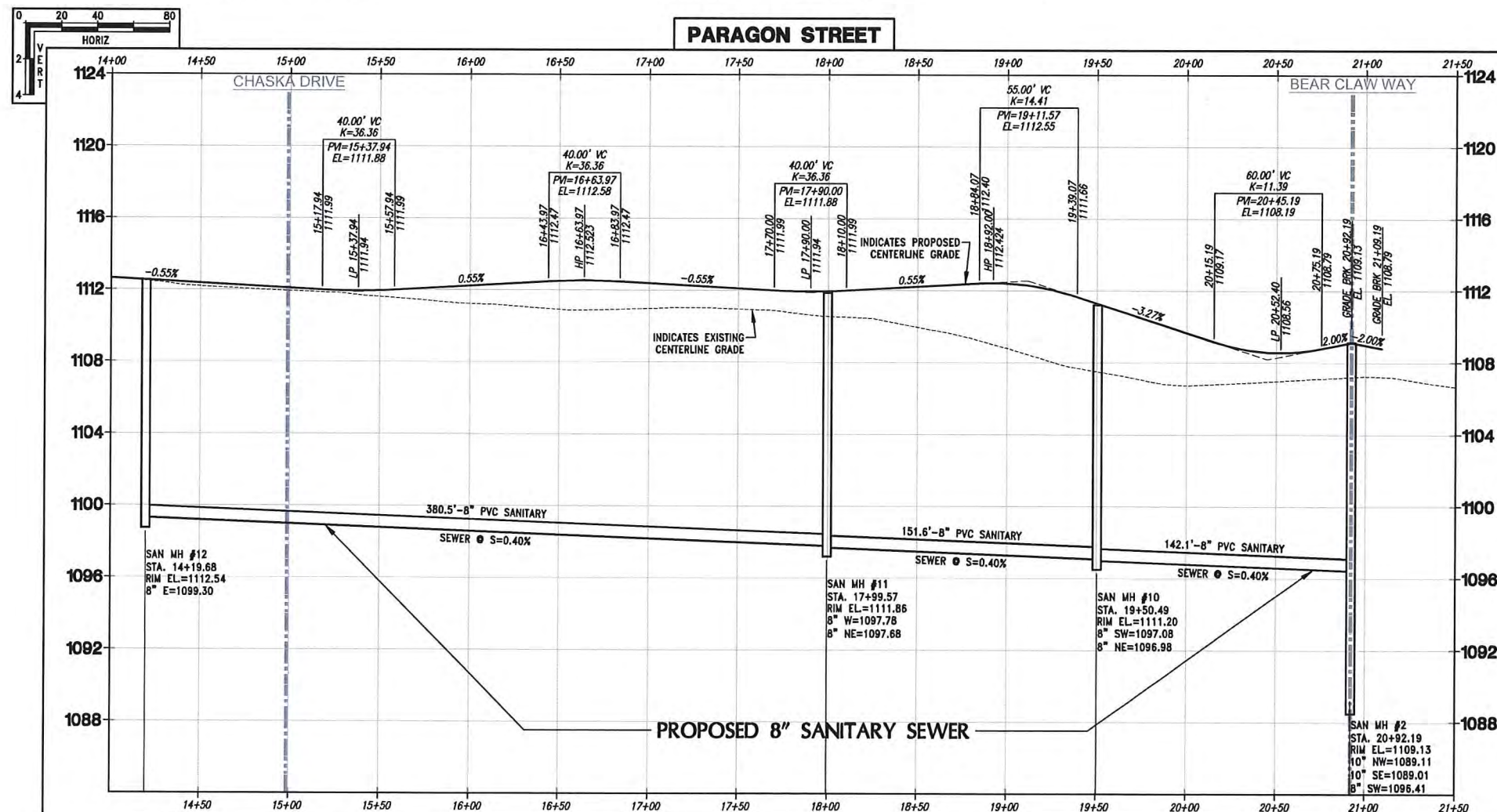
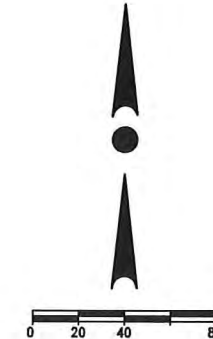
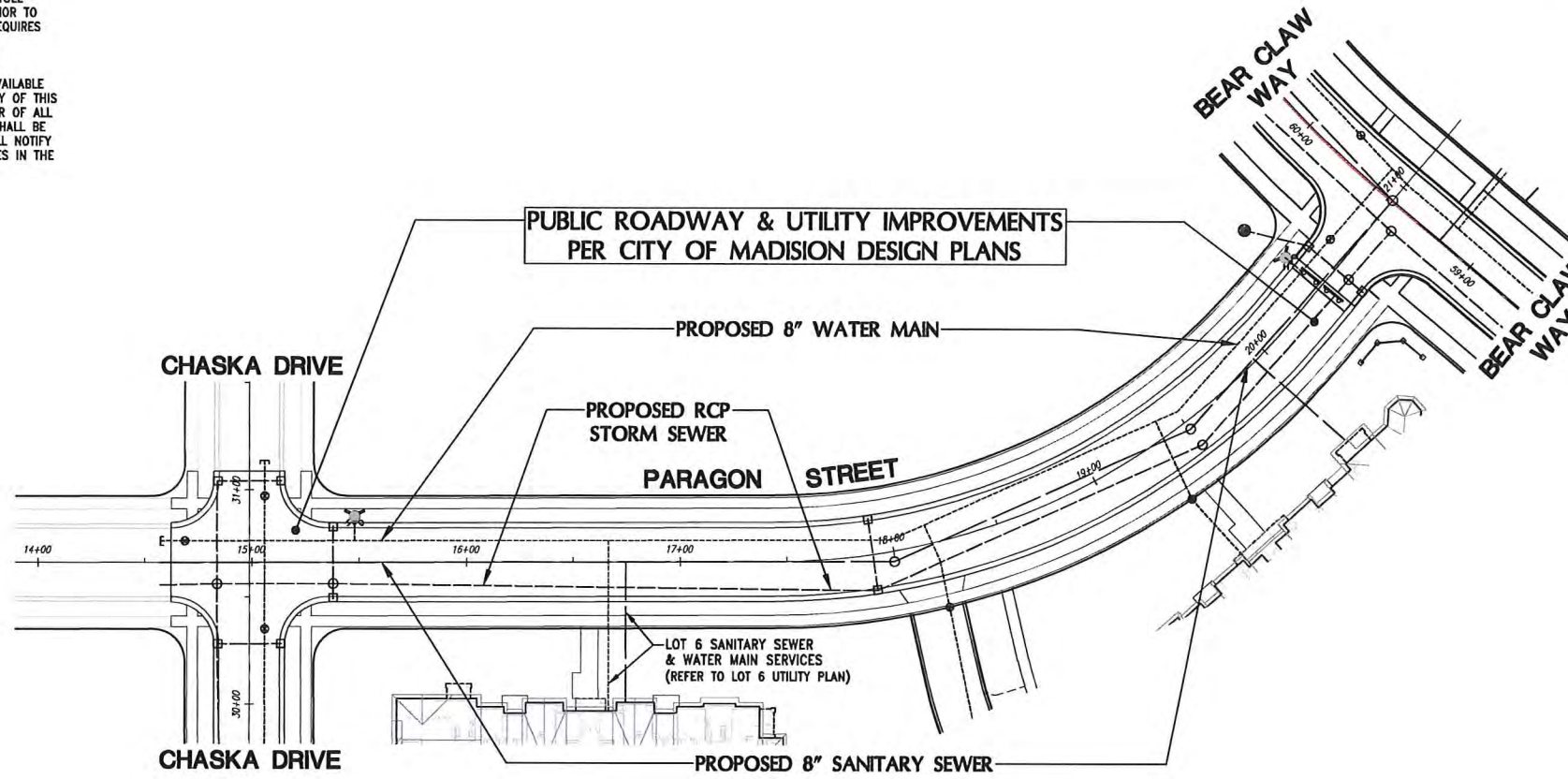
DESCRIPTION:
 EROSION CONTROL PLAN
 LOT 6

SHEET
C4.0



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
CALL DIGGERS HOTLINE 1-800-242-8511

NOTE:
EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



H:\3300\3113\2014\01\PREL\PRIMARY PLANS\DOT 6-PP\ELIM PLAN & PROFILE\ELIM PLAN & PROFILE-22X34.DWG



PROJECT:
PARAGON PLACE AT BEAR CLAW WAY
ELDERBERRY NEIGHBORHOOD
CITY OF MADISON, WI
BY: United Financial Group, Inc.
660 W. Ridgeway Drive
Appleton, WI 54911

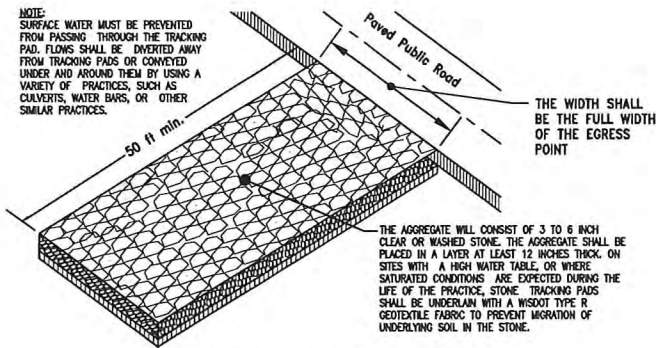
REVISION HISTORY	
DATE	DESCRIPTION
04/08/16	SITE UPDATES

DATE:
APRIL 6, 2015

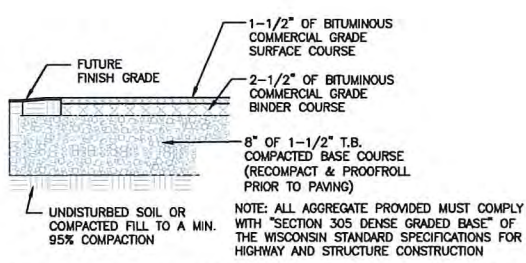
JOB NUMBER:
12041

DESCRIPTION:
ROADWAY AND UTILITY PLAN & PROFILE

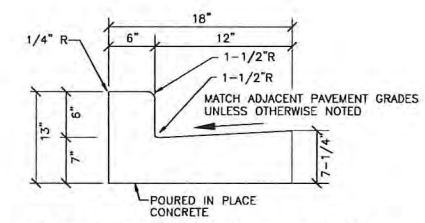
SHEET
C5.0



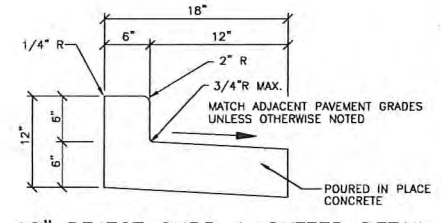
CONSTRUCTION ENTRANCE DETAIL
NO SCALE



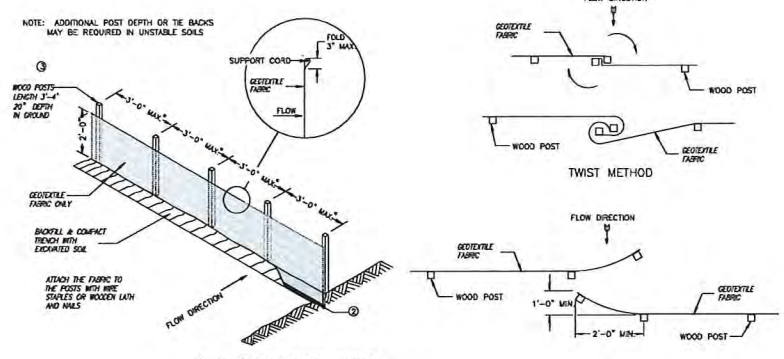
STANDARD PARKING LOT ASPHALT PAVING DETAIL
NO SCALE



18" CONCRETE CURB & GUTTER
NO SCALE

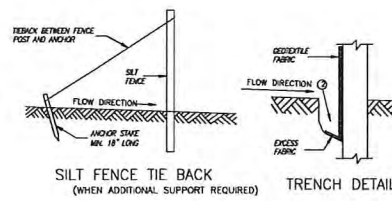


18" REJECT CURB & GUTTER DETAIL
NO SCALE

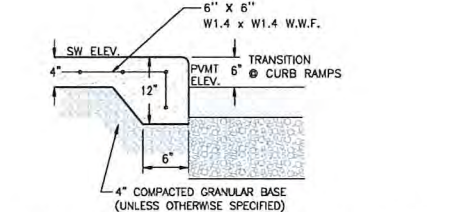


SILT FENCE

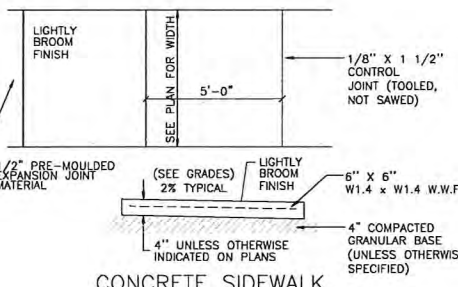
JOINING TWO LENGTHS OF SILT FENCE



SILT FENCE INSTALLATION DETAIL
NO SCALE

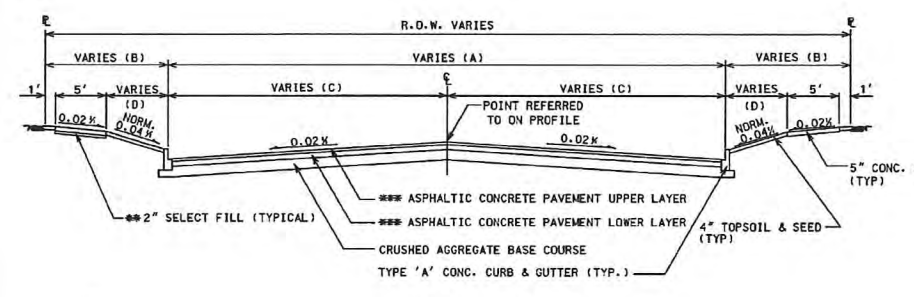


INTEGRAL SIDEWALK & BARRIER CURB
(WHERE SIDEWALK ADJOINS DRIVEWAYS/PARKING AREAS)
NO SCALE



CONCRETE SIDEWALK
NO SCALE

PUBLIC ROADWAY & UTILITY IMPROVEMENTS
PER CITY OF MADISON DESIGN PLANS

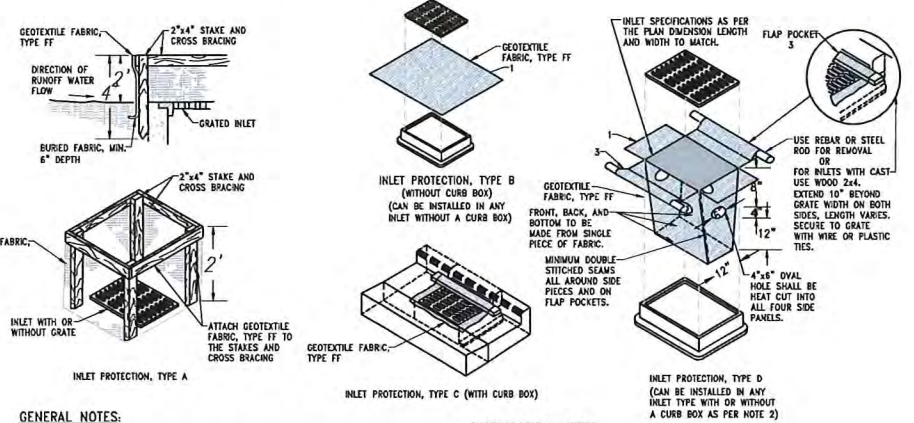


- NOTES:
- * A PAVEMENT DESIGN IN ACCORDANCE WITH STANDARD DETAIL DRAWING 4.06 IS REQUIRED ON ALL PROJECTS.
 - ** 3" OF CRUSHED AGGREGATE BASE COURSE GRADATION 3 SHALL BE PLACED UNDER THE SIDEWALK WHERE THE CENTERLINE GRADE OF THE STREET EXCEEDS 5%.
 - *** ALL UPPER LAYER PAVEMENTS ARE 12.5 mm LOWER LAYER PAVEMENT IS 12.5 mm FOR TYPE A & 19 mm FOR TYPE B & C.

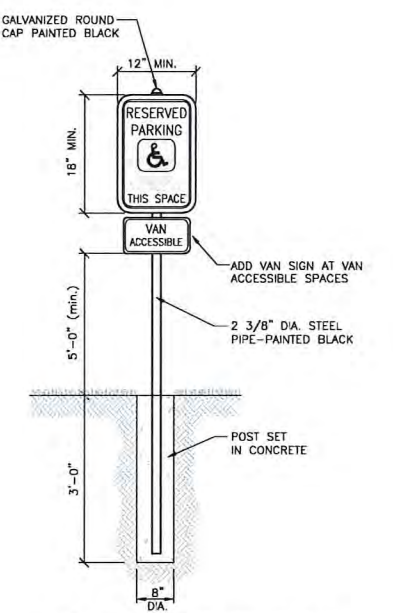
TYPICAL DIMENSIONS				
R.O.W.	A	B	C	D
60	32	14	16	8
66	36	15	18	9
66	40	13	20	7
80	44	18	22	12
80	54	13	27	7

TYPE	CRUSHED AGGREGATE BASE COURSE		ASPHALTIC CONCRETE PAVEMENT LOWER LAYER		ASPHALTIC CONCRETE PAVEMENT UPPER LAYER	
	LOWER LAYER GRADATION 1	UPPER LAYER GRADATION 2	TYPE	THICKNESS	TYPE	THICKNESS
A	6"	4"	E-0.3	1.75"	E-0.3	1.75"
B	6"	4"	E-1	2.25"	E-1	2.00"
C	6"	4"	E-3	3.25"	E-3	2.00"

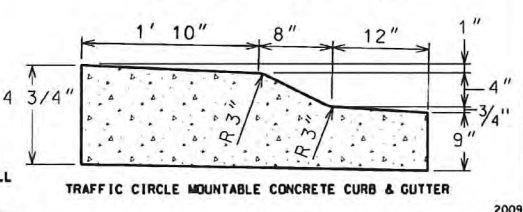
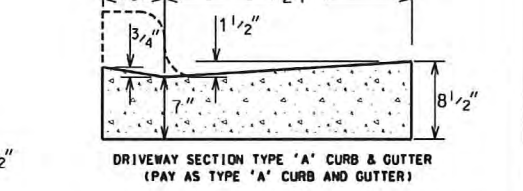
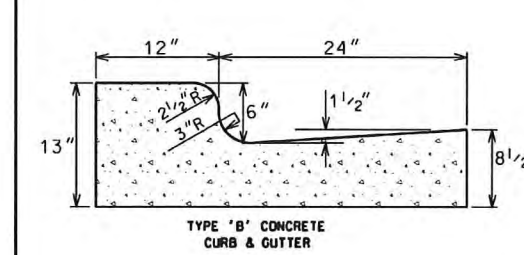
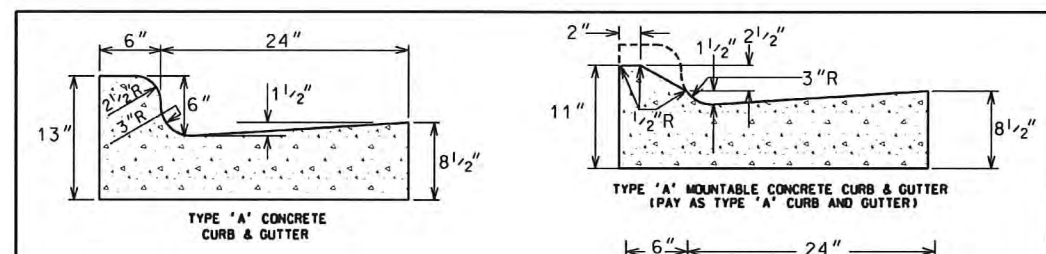
2011
CITY OF MADISON
ENGINEERING DIVISION
TYPICAL SECTION
VARIOUS WIDTH STREETS
STANDARD DETAIL DRAWING 4.02



INLET PROTECTION DETAIL
NO SCALE



HANDICAP SIGNAGE DETAIL
NO SCALE



- GENERAL NOTES:
- LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH
 - EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.

PUBLIC ROADWAY & UTILITY IMPROVEMENTS
PER CITY OF MADISON DESIGN PLANS

2009
CITY OF MADISON
ENGINEERING DIVISION
MADISON STANDARD
CONCRETE CURB & GUTTER
STANDARD DETAIL DRAWING 3.06



PROJECT:
PARAGON PLACE AT BEAR CLAW WAY
ELDERBERRY NEIGHBORHOOD
CITY OF MADISON, WI
BY: United Financial Group, Inc.
660 W. Ridgeview Drive
Appleton, WI 54911

REVISION HISTORY	
DATE	DESCRIPTION
04/08/16	SITE UPDATES

DATE:
APRIL 6, 2015

JOB NUMBER:
12041

DESCRIPTION:
CONSTRUCTION
DETAILS

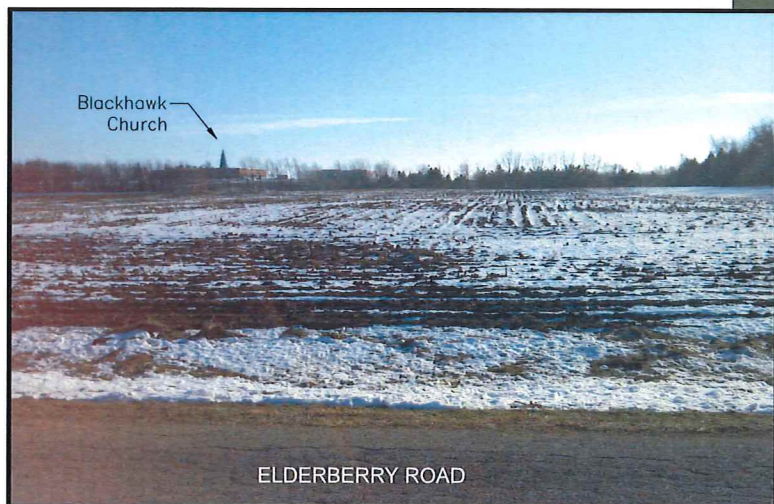
SHEET

C6.0

AREA MAP

PROPOSED "PARAGON PLACE AT BEAR CLAW WAY"

MADISON, WI



NOT TO SCALE

by
UNITED FINANCIAL GROUP, INC.
660 W. Ridgeview Drive
Appleton, WI 54911



VICINITY MAP

PROPOSED
"PARAGON PLACE AT BEAR CLAW WAY"

MADISON, WI

by
UNITED FINANCIAL GROUP, INC.
660 W. Ridgeview Drive
Appleton, WI 54911



NOT TO SCALE

Date: 03-31-2015

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BUILDING 1: PARAGON STREET ELEVATION



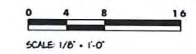
BUILDING 1: SOUTH WEST ELEVATION



BUILDING 1: SOUTH EAST ELEVATION



BUILDING 1: BEAR CLAW WAY ELEVATION



Paragon Place at Bear Claw Way
35 Unit, Three/Two Story Building 1 Elevations
Madison, Wisconsin

18 Mar 2015



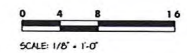


BUILDING 1: NORTH WEST COURTYARD ELEVATION



BUILDING 1: NORTH EAST COURTYARD ELEVATION

18 Mar 2015



Paragon Place at Bear Claw Way
35 Unit, Three/Two Story Building 1 Elevations
Madison, Wisconsin





BUILDING 2: BEAR CLAW WAY ELEVATION



BUILDING 2: NORTH ELEVATION



BUILDING 2: WEST ELEVATION



BUILDING 2: WILRICH STREET ELEVATION

18 Mar 2015



Paragon Place at Bear Claw Way
39 Unit, Three Story Building 2 Elevations
Madison, Wisconsin





BUILDING 2: NORTH COURTYARD ELEVATION



BUILDING 2: WEST COURTYARD ELEVATION

18 Mar 2015



Paragon Place at Bear Claw Way
39 Unit, Three Story Building 2 Elevations
Madison, Wisconsin

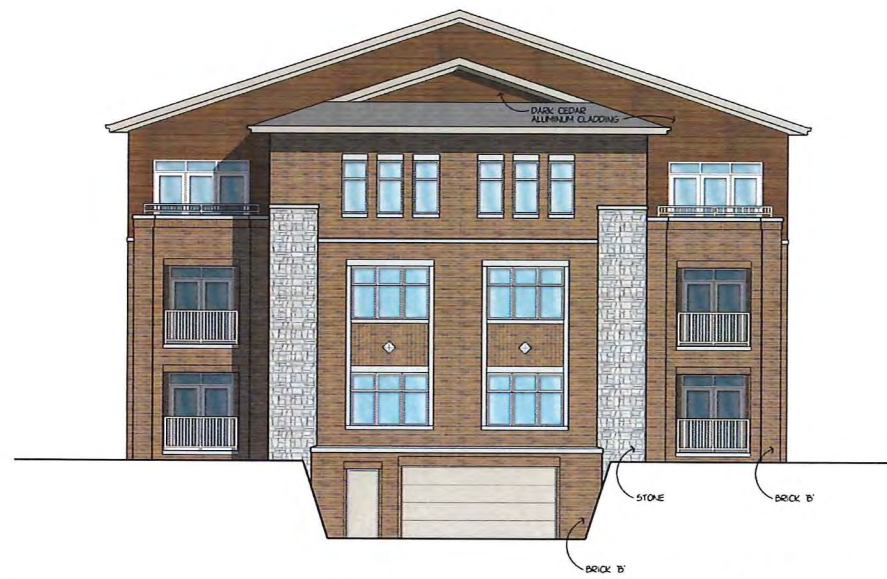




BUILDING 3: CHASKA STREET ELEVATION



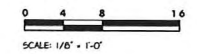
BUILDING 3: SOUTH ELEVATION



BUILDING 3: EAST ELEVATION



BUILDING 3: PARAGON STREET ELEVATION



18 Mar 2015

Paragon Place at Bear Claw Way
39 Unit, Three Story Building 3 Elevations
Madison, Wisconsin

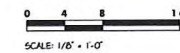




BUILDING 3: NORTH COURTYARD ELEVATION



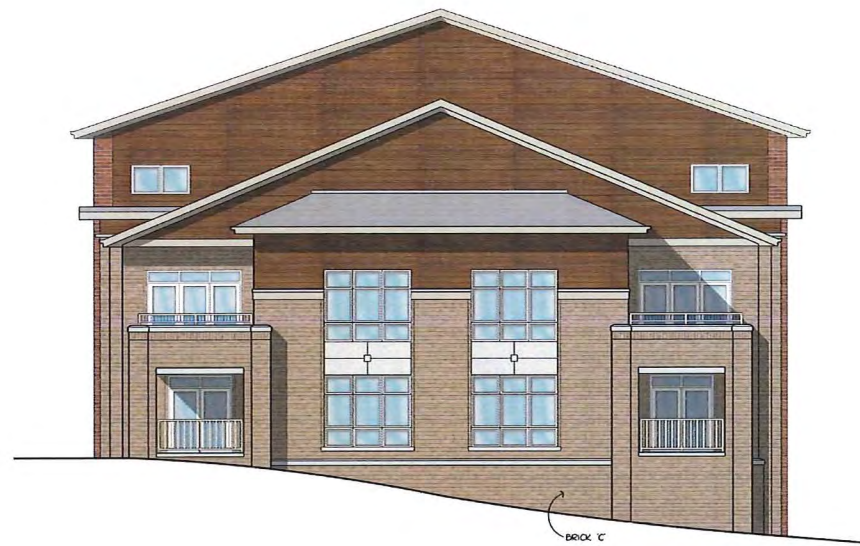
BUILDING 3: WEST COURTYARD ELEVATION



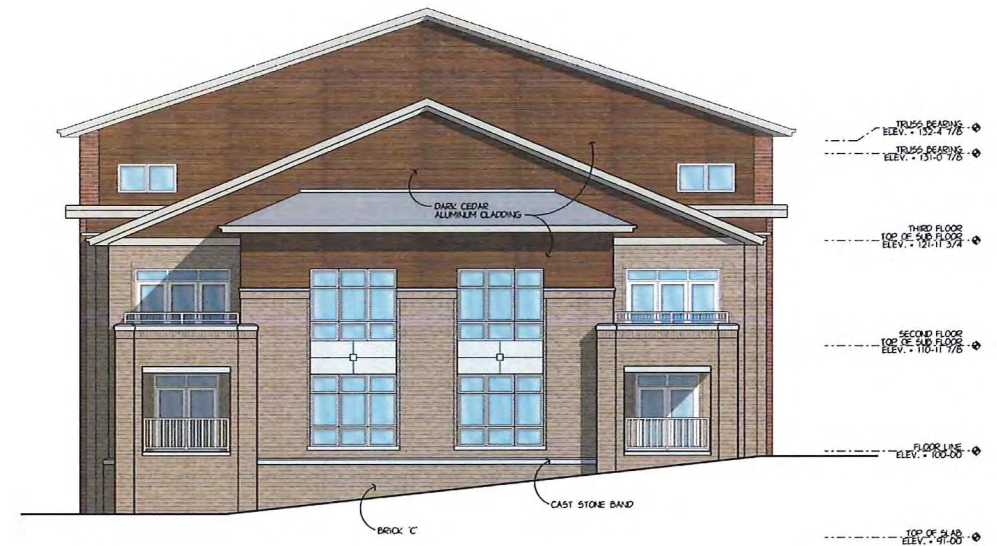
Paragon Place at Bear Claw Way
39 Unit, Three Story Building 3 Elevations
Madison, Wisconsin

18 Mar 2015





BUILDING 4: EAST ELEVATION

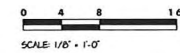


BUILDING 4: WEST ELEVATION



BUILDING 4: WILRICH STREET ELEVATION

18 Mar 2015



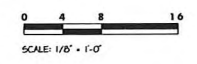
Paragon Place at Bear Claw Way
32 Unit, Three/Two Story Building 4 Elevations
Madison, Wisconsin





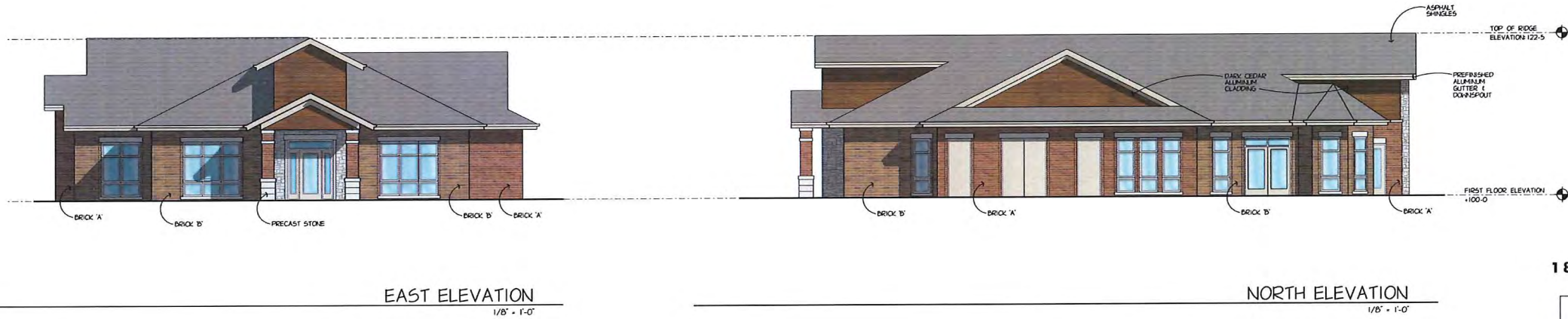
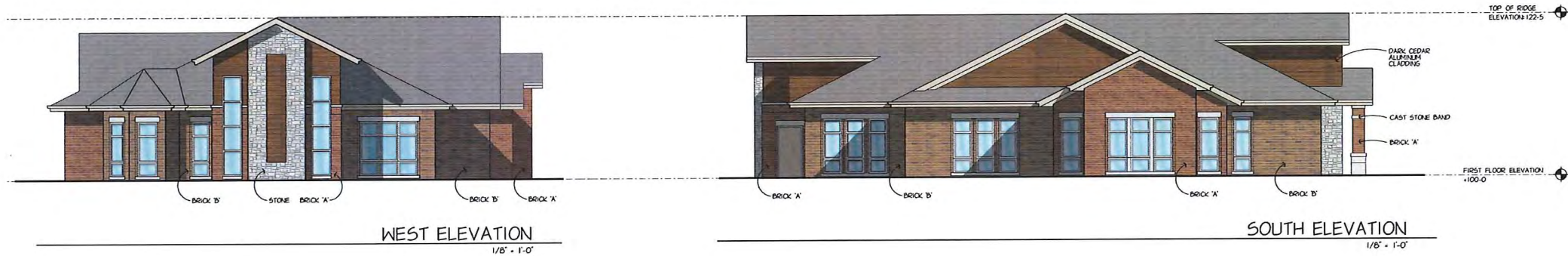
BUILDING 4: NORTH COURTYARD ELEVATION

18 Mar 2015



Paragon Place at Bear Claw Way
32 Unit, Three/Two Story Building 4 Elevations
Madison, Wisconsin

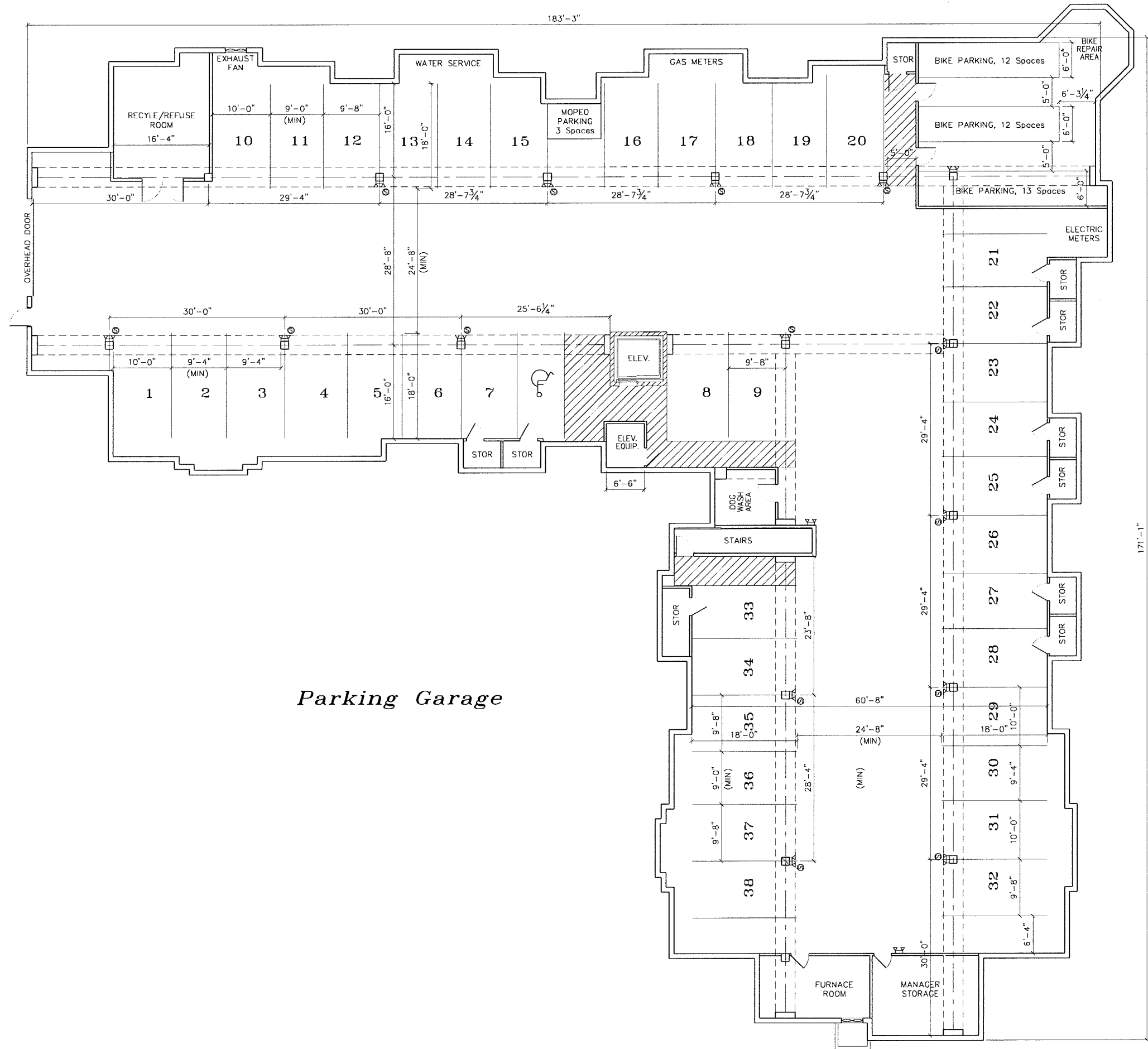




Paragon Place at Bear Claw Way
AMENITY BUILDING ELEVATIONS
Madison, Wisconsin

18 Mar 2015





NO.	REVISIONS

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SCHULER & ASSOCIATES, INC.
 LAND SURVEYORS & ENGINEERS

2711 N. MASON STREET, SUITE F APPLETON, WI 54914-2126 (920) 734-9107

Parking Garage
Paragon Place at Bear Claw Way
 Building 1
 Madison, Wisconsin

United Financial Group Inc., 660 W Ridgeview Drive, Appleton, WI 54911

Construction Manager:

DRAWN	CRS
DATE	3-9-15
SCALE	1/8"=1'-0"
JOB NO.	4192
SHEET	1

These plans have been prepared per standard professional practices. Each contractor is responsible for verifying all dimensions and details prior to beginning construction.