



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:
<http://www.cityofmadison.com/planning/documents/UDCapplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: <u>7.1.15</u>	<input type="checkbox"/> Informational Presentation
UDC Meeting Date: <u>7.15.15</u>	<input type="checkbox"/> Initial Approval
Combined Schedule Plan Commission Date (if applicable): _____	<input type="checkbox"/> Final Approval

1. Project Address: 739 WILLIAMSON STREET
Project Title (if any): _____

2. This is an application for (Check all that apply to this UDC application):

New Development Alteration to an Existing or Previously-Approved Development

AGENDA ITEM #	<u>4</u>
LEGISTAR #	<u>37726</u>
ALD. DIST.	<u>6</u>

A. Project Type:

- Project in an Urban Design District* (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
- Planned Development (PD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Planned Residential Complex

CITY OF MADISON

B. Signage:

- Comprehensive Design Review* (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)
- Street Graphics Variance* (public hearing-\$300 fee)

JUL 1 2015
3:51 PM
Planning & Community
& Economic Development

C. Other:

Please specify: UPDATE OF PROJECT

3. Applicant, Agent & Property Owner Information:

Applicant Name: JOHN BIENO Company: TJK DESIGN BUILD
 Street Address: 1012 WEST MAIN STREET STE 201 City/State: MADISON WI Zip: 53703
 Telephone: (608) 257 1090 Fax: () 257 1092 Email: JBIENO@TJKDESIGNBUILD.COM

Project Contact Person: SAME AS ABOVE Company: _____
 Street Address: _____ City/State: _____ Zip: _____
 Telephone: () _____ Fax: () _____ Email: _____

Project Owner (if not applicant): MICHAEL MATTY
 Street Address: 2132 FERDEN AVE STE 1000 City/State: MADISON WI Zip: 53704
 Telephone: (608) 321 0000 Fax: () _____ Email: MMATTY@RPARENTALS.COM

4. Applicant Declarations:

- A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with _____ on _____
(name of staff person) (date of meeting)
- B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant JOHN BIENO Relationship to Property ARCHITECT
 Authorized Signature [Signature] Date 7.1.15

July 1, 2015

Urban Design Commission
City of Madison Planning Division
215 Martin Luther King Jr. Blvd.
Madison, WI 53701

RE: Development Changed to Approved Project
739 Williamson Street

To Whom It May Concern:

Please find attached the developmental changes to the apartment building portion of this project. These changes reflect agreements made through the approval process with other agencies. It also reflects the evolutionary development as a response to ADA, construction requirements and building function. The scope/concept of the project remains intact.

Please note the single family residence portion of this project has not changed.

We look for the approval of the Urban Design Commission on the updated construction set.
Thank you for your consideration.

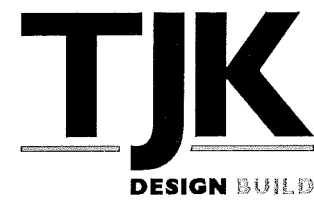
Respectfully,

John Bieno, AIA

PROPOSED MULTI FAMILY RESIDENTIAL BUILDING FOR:

739 WILLIAMSON STREET

739 WILLIAMSON STREET
MADISON, WISCONSIN



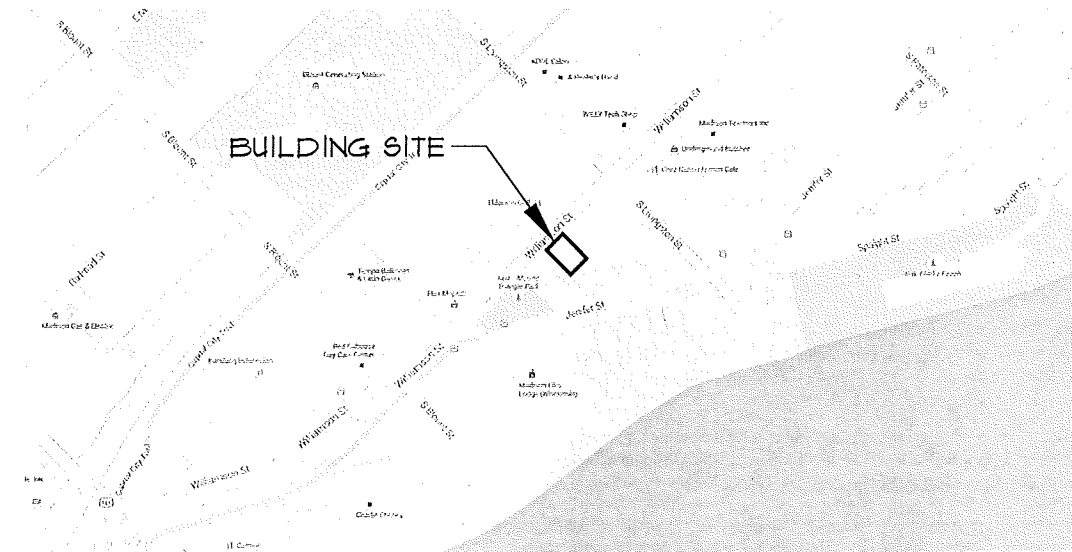
TJK Design Build

612 West Main Street

Madison, WI 53703

608-257-1090

FAX 608-257-1092



SITE LOCATION MAP

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- A-3.1 BUILDING SECTIONS
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- A-3.3 WALL SECTIONS

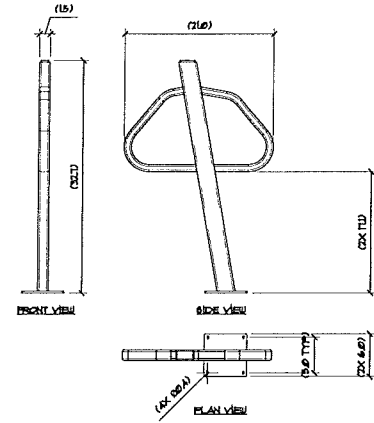
INDEX OF DRAWINGS - CON'T:

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- A-5.6 ENLARGED UNIT PLAN - UNIT 302
- A-5.7 ENLARGED UNIT PLAN - UNIT 300
- A-5.8 ENLARGED UNIT PLAN AND ACCESSIBILITY DETAILS - UNIT 102 - TYPE A
- A-6.1 FLOOR, ROOF, AND WALL TYPES
- A-7.1 DOOR SCHEDULE, DOOR TYPE ELEVATIONS, AND DOOR FRAME ELEVATIONS
- A-7.2 WINDOW SCHEDULE, WINDOW ELEVATIONS

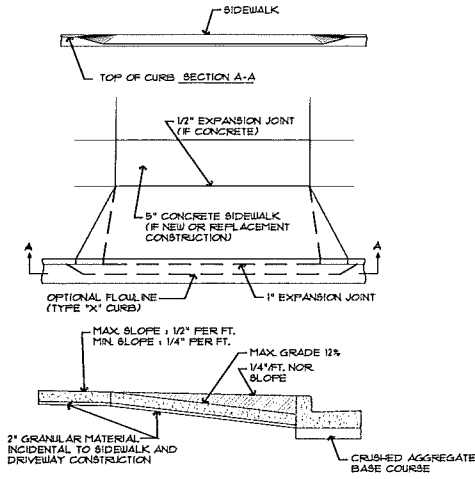
ACCESSIBLE UNIT NOTES:

- (THE FOLLOWING NOTES, IN ADDITION TO ALL 'GENERAL UNIT ACCESSIBILITY NOTES,' APPLY TO UNIT TYPE A)
- GENERAL**
1. ALL WINDOWS TO HAVE OPENING / CLOSING, AND SINGLE-POINT LOCKING HARDWARE, AT 48" MAX. AND 18" MIN. ABOVE FINISH FLOOR.
 2. CLOSETS WITH ADJUSTABLE RODS AND SHELVING, MOUNTED.
 3. ALL HARDWARE, INCLUDING INTERIOR DOORS, REQUIRES 5 LBS. OR LESS OF FORCE TO ACTIVATE.
 4. PROVIDE ANTI-SCALD DEVICES ON ALL SINKS, TUBS, AND SHOWER FAUCETS. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER SINKS AND LAVS.
 5. LOW LEVEL PILE CARPET 5/8" PILE MAX.
- BATHROOMS**
6. BATHROOM WALLS SHALL HAVE REINFORCING IN WALLS FOR FUTURE GRAB BAR INSTALLATION. IN ADDITION, SHOWERS SHALL HAVE SLOTTING TO ALLOW FUTURE INSTALLATION OF SHOWER SEAT. REINFORCING SHALL BE IN LOCATIONS SHOWN IN DIAGRAMS PER DETAIL HC-1. INSTALLATION OF GRAB BARS IS NOT REQUIRED AT TIME OF CONSTRUCTION (SEE DETAIL HC-2/A-B-B IF GRAB BARS ARE INSTALLED).
 7. VANITIES AND LAVATORIES SHALL HAVE A MINIMUM OF 24" FROM THE CENTER LINE OF THE FIXTURE TO THE ADJOINING WALLS - UNLESS NOTED OTHERWISE.
 8. TOILET SEAT HEIGHT TO BE 17" TO 19" ABOVE FINISH FLOOR.
 9. FLUSH CONTROLS TO BE ON OPEN SIDE OF WATER CLOSET.
 10. NO BASE CABINETS UNDER VANITIES. FLOOR, WALL, AND CABINET FINISHES TO EXTEND UNDER SINK. LAVATORY CLEARANCES SHALL BE AS SHOWN IN DETAILS HC-3/A-B-B AND HC-10/A-B-B.
 11. ALL BATHUBS AND SHOWERS TO HAVE HAND-HELD SHOWER SPRAY UNIT ON MIN. 60" LONG HOSE.
 12. PERMANENT NON-SKID SURFACE IN TUBS AND SHOWERS.
 13. SHOWER THRESHOLD 18 3/8" MAX. AND COMPLIES UNDER 'ACCESSIBLE ROUTE' GUIDELINES.
 14. ANY SHOWER ENCLOSURE DOES NOT OBSTRUCT SHOWER CONTROLS OR TRANSFER FROM WHEELCHAIRS.
 15. BOTTOM OF VANITY MIRROR TO BE MOUNTED AT 46" ABOVE FINISH FLOOR MAX. IF MIRROR MEDICINE CABINET IS ONLY MIRROR IN ROOM, THEN IT IS TO BE MOUNTED AT 46" ABOVE FINISH FLOOR MAX. TO BOTTOM EDGE.
 16. IF MEDICINE CABINET IS PROVIDED IN ADDITION TO VANITY MIRROR, THEN THE LOWEST SHELF OF CABINET SHALL BE MOUNTED AT 46" ABOVE FINISH FLOOR MAX.
- KITCHENS**
17. SINK MOUNTED AT 34" MAX ABOVE FINISH FLOOR WITH NO BASE CABINETS. SINK AND SURROUNDING COUNTER TO BE 36" WIDE MINIMUM WITH CLEARANCES PER HC-8 AND HC-19. FINISHED FLOOR, WALL, AND CABINET FINISHES TO EXTEND UNDER SINK.
 18. PROVIDE "WORK SURFACE" AREA OF COUNTERTOP THAT IS 36" WIDE MIN. AND 34" ABOVE FINISH FLOOR WITH NO BASE CABINETS AND CLEARANCES PER HC-9/A-B-B AND HC-10/A-B-B. FINISHED FLOOR, WALL, AND CABINET FINISHES TO EXTEND UNDER WORK SURFACE.
 19. FRONT CONTROL OVEN / RANGE; SELF-CLEANING OVENS.
 20. COMBINATION REFRIGERATOR FREEZERS SHALL HAVE AT LEAST 80 PERCENT OF THE FREEZER SPACE 34" MAX ABOVE FINISH FLOOR.
 21. DOOR PULLS AND KNOBS TO BE MOUNTED AS CLOSE TO THE BOTTOM OF WALL CABINETS AS POSSIBLE. DOOR PULLS AND KNOBS TO BE MOUNTED AS CLOSE TO THE TOPS OF BASE CABINETS AS POSSIBLE.
 22. 80% OF SHELF SPACE IN CABINETS CLEAR FLOOR SPACE CENTERED ON IT AND IS WITHIN ACCESSIBLE REACH RANGE.
 23. ELECTRICAL RECEPTACLES, SWITCHES, AND APPLIANCE CONTROLS AT KITCHEN COUNTERTOPS MUST BE MOUNTED U ON FACE OF CABINETS, U ON SIDE WALL 18" FROM CLEAR FLOOR SPACE, OR U ON BACK WALL BEHIND 34" HIGH CABINETS. FOR EACH LENGTH OF COUNTERTOP UNINTERRUPTED BY AN APPLIANCE OR SINK THAT HAS ACCESSIBLE RECEPTACLES, ONE NON-ACCESSIBLE RECEPTACLE CAN BE ADDED.
- LAUNDRY**
24. PROVIDE FRONT LOADING WASHER AND DRYER WITH FRONT-MOUNTED CONTROLS. BOTTOM OF OPENING TO LAUNDRY COMPARTMENT TO BE 18" MIN. AND 34" MAX ABOVE FINISH FLOOR.

PROPOSED MULTI FAMILY RESIDENTIAL BUILDING FOR:
739 WILLIAMSON STREET



3 BIKE RACK DETAIL
C-1.1 SCALE: NTS



2 DRIVEWAY APPROACH
C-1.1 SCALE: 1/8" = 1' - 0"

PARKING LOT PLAN SITE INFORMATION BLOCK	
SITE ACREAGE (TOTAL)	4,403 SQ FT = 0.10 ACRES
PROPOSED PARKING AND PAVEMENT	3,420 SQ FT
GROUND LEVEL OPEN SPACE	881 SQ FT
UPPER LEVELS OPEN SPACE	519 SQ FT
TOTAL OPEN SPACE	1,400 SQ FT = 3.17%
NUMBER OF BUILDING STORIES (ABOVE GRADE)	3
BUILDING HEIGHT	34'-0" ABOVE FINISH FLOOR
TYPE OF CONSTRUCTION	1A AT GROUND LEVEL, 9A ABOVE, FULLY SPRINKLED
TOTAL SQUARE FOOTAGE OF BUILDING	11,239 SQ FT
USE OF PROPERTY	R-2
NUMBER OF PARKING STALLS	5
NUMBER OF LANDSCAPE POINTS REQUIRED	SEE LANDSCAPE PLAN

LIGHT FIXTURE KEY

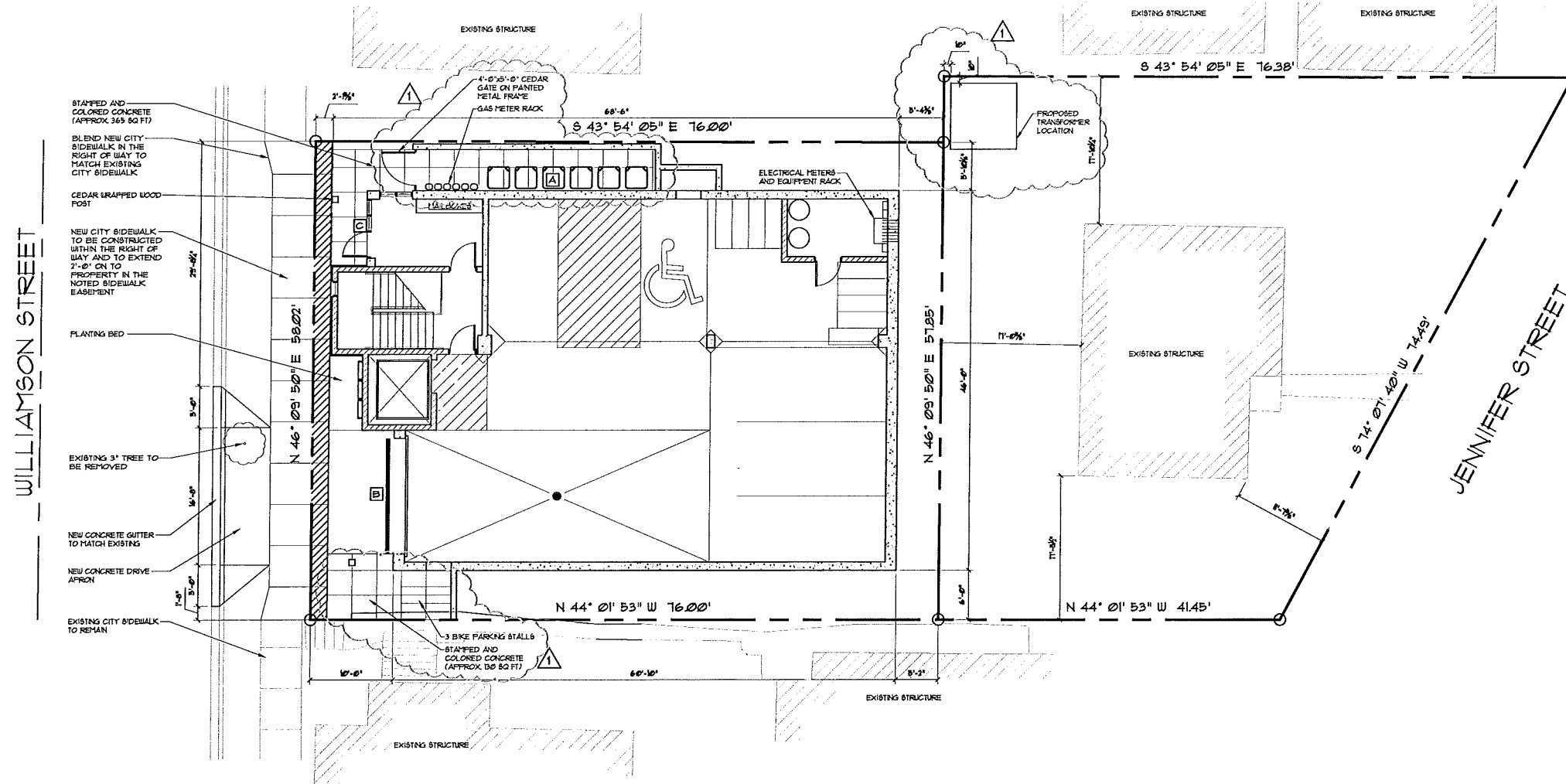
- A ENTRI LED LUMINAIRE (1) LIGHTBAR WITH ACCULED OPTICS - WALL GRAZER WIDE CATALOG #ENV-C01-LED-EI-GZW MOUNTING HEIGHT = 7'-0" ABOVE GRADE
- B ENTRI LED LUMINAIRE (1) LIGHTBAR WITH ACCULED OPTICS - 90° SPILLLIGHT ELIMINATOR LEFT CATALOG #ENV-C01-LED-EI-SLL MOUNTING HEIGHT = 8'-0" ABOVE GRADE
- C ENTRI LED LUMINAIRE (1) LIGHTBAR WITH ACCULED OPTICS - 90° SPILLLIGHT ELIMINATOR RIGHT CATALOG #ENV-C01-LED-EI-SLR MOUNTING HEIGHT = 8'-0" ABOVE GRADE

GENERAL NOTES:

1. LOT SIZE = 4,403 SQ. FT., GROUND FLOOR FOOTPRINT = 2,911 SQ. FT., 67.6% OF LOT SIZE.
2. CONNECT ALL ROOF DRAINS TO CITY STORM SEWER SYSTEM.
3. REMOVE EXISTING CONCRETE DRIVEWAY APPROACH AND REPLACE WITH NEW CURB AND GUTTER TO MATCH EXISTING.
4. GENERAL CONTRACTOR TO OBTAIN PERMIT TO PLUG EXISTING PRIVATE STORM LATERAL.
5. ALL CURB, GUTTER, AND SIDEWALK WHICH ABUTS THE PROPERTY WHICH IS DAMAGED OR IS DETERMINED BY CITY ENGINEER TO BE REPLACED.
6. ALL WORK IN THE PUBLIC RIGHT-OF-WAY TO BE PERFORMED BY A CITY LICENSED CONTRACTOR.
7. ALL DAMAGE TO PAVEMENT ON WILLIAMSON STREET ADJACENT TO SITE SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
8. GENERAL CONTRACTOR TO OBTAIN A STREET EXCAVATION PERMIT FOR INSTALLATION OF REQUIRED UTILITIES.
9. GENERAL CONTRACTOR TO OBTAIN ALL REQUIRED SEWER CONNECTION AND PLUGGING PERMITS PRIOR TO ANY UTILITY WORK BEING PERFORMED.
10. GENERAL CONTRACTOR TO OBTAIN CONNECTION AND EXCAVATION PERMITS PRIOR TO COMMENCING STORM SEWER CONSTRUCTION.
11. NO RESIDENTIAL PARKING PERMITS SHALL BE ISSUED FOR 139 WILLIAMSON STREET.
12. ALL DIMENSIONS ARE FROM FACE OF CONCRETE WALL, FACE OF CURB OR CENTER OF PROPERTY LINE.
13. TRACKED MATERIAL SHALL BE COLLECTED BY THE GENERAL CONTRACTOR AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE CITY.
14. EXISTING WATER MAIN VALVES SHALL BE MARKED AND PROTECTED FOR DURATION OF CONSTRUCTION.
15. DEVELOPER TO REPLANT ONE TREE AND CONTACT CITY FORESTRY PRIOR TO PLANTING TO SELECT SPECIES AND MARK PLANTING LOCATIONS.

LEGEND:

- PROPERTY CORNER
- PROPERTY LINE
- SAN --- SANITARY SEWER
- STM --- STORM SEWER
- W --- WATER MAIN
- ○ ○ ○ ○ FIRE HYDRANT
- ○ ○ ○ ○ UTILITY POLE
- ○ ○ ○ ○ CITY STREET LIGHT
- ○ ○ ○ ○ MANHOLE
- 26" FIRE HOSE LAY
- ○ ○ ○ ○ WATER VALVE
- ○ ○ ○ ○ CURB INLET
- ▨ EXISTING BUILDING



1 PROPOSED SITE PLAN
C-1.1 SCALE: 1/8" = 1' - 0"



612 WEST MAIN STREET
MADISON, WI 53703
608-257-1090
FAX 608-257-1092

REV	DATE
1	6.15.15

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PROPOSED BUILDING FOR:
739 WILLIAMSON STREET
739 WILLIAMSON STREET
MADISON, WI

C-1.1
6.8.15

NOTE: GAS AND ELECTRIC ARE LOCATED WITHIN THE SOUTH WILLIAMSON STREET RIGHT-OF-WAY. CONTRACTOR TO COORDINATE PROVIDING SERVICES TO THE BUILDING WITH THE APPROPRIATE UTILITY COMPANIES.

PAVEMENT, SIDEWALK, CURB & GUTTER REPLACEMENT IN ACCORDANCE WITH CITY OF MADISON PAVEMENT PATCHING CRITERIA AND REQUIREMENTS.

CONNECT TO EXISTING 12" PUBLIC WATER MAIN WITH 12"x6" SLEEVE. PROVIDE 6" GATE VALVE AT THE TAP. REFER TO UTILITY NOTES NO. 12, 13, 14 AND 15.

WILLIAMSON STREET

CAP AND ABANDON EXISTING 1" WATER BUILDING SERVICE STUBS LOCATED IN THIS AREA. COORDINATE ABANDONMENT WITH CITY OF MADISON INSPECTION. CONTACT THE ENGINEER FOR REDESIGN IF THERE IS ANY DISCREPANCY.

CONNECT TO EXISTING 4-INCH SANITARY SEWER, I.E. OF 6" SERVICE AT WYE = 848.2. REFER TO UTILITY NOTES NO. 17. CONTACT THE ENGINEER FOR REDESIGN IF THERE IS ANY DISCREPANCY.

TRENCH DRAIN REQUIRED AT DOOR ENTRANCE. REFER TO INTERIOR PLUMBING PLAN FOR DETAIL AND INTERIOR CONNECTION TO STORM SEWER.

CONNECT TO EXISTING INLET BOX, I.E. (EX. 87) = 851.4. I.E. (87) = 851.60. REFER TO UTILITY NOTES NO. 12, 13 AND 14.

CAP AND ABANDON EXISTING 4" SANITARY SEWER BUILDING SERVICE STUB LOCATED IN THIS AREA. COORDINATE ABANDONMENT WITH CITY OF MADISON INSPECTION. CONTACT THE ENGINEER FOR REDESIGN IF THERE IS ANY DISCREPANCY.

CONTRACTOR TO COORDINATE OVERHEAD ELECTRIC LINES AND POLES REMOVALS AND REPLACEMENT WITH UNDERGROUND LINES WITH MG&E.

WARNING: ULO REQUIRED, GAS AND ELECTRIC CROSSING IN THIS AREA.

8x6 WYE
I.E. = 852.25.

3 LF OF 6" PVC @ 2.08%

STORM BUILDING CONNECTION LOCATION
I.E. = 852.31. COORDINATE WITH INTERIOR PLUMBING AND STRUCTURAL PLANS.
PROVIDE CHECK VALVE / BACK-FLOW PREVENTER
INSTALL SIX (6) AREA DRAINS, 5 FT ON CENTER, RIM = 855.60. PROVIDE SHOP DRAWINGS FOR ARCHITECT / ENGINEER REVIEW PRIOR TO INSTALLATION.

WATER BUILDING CONNECTION LOCATION, COORDINATE WITH INTERIOR PLUMBING PLANS.

SANITARY BUILDING CONNECTION LOCATION
I.E. = 848.25. COORDINATE WITH INTERIOR PLUMBING PLANS.

STORM MANHOLE NO. 1
24" DIA MANHOLE
NEEVIAN R-4010-24
NON-ROCKING, LID
RIM = 861.75
NW I.E. = 852.70 (6" PVC)

PROPOSED BUILDING
BFE = 855.75
FFE = 866.75

CONTRACTOR TO CONFIRM WATER AND SANITARY SEWER SERVICE FOR THE EXISTING HOUSE CONNECT INTO JENIFER STREET. REPORT ANY FINDINGS TO THE ENGINEER FOR REDESIGN IF FOUND.

JENIFER STREET

LEGEND (PROPOSED)

- PROPOSED PROPERTY BOUNDARY
- - - EASEMENT
- ▭ BUILDING FOOTPRINT
- ▭ 18" CURB AND GUTTER
- ▭ ASPHALT PAVEMENT
- ▭ CONCRETE PAVEMENT
- WAT PROPOSED WATER MAIN
- SAN PROPOSED SANITARY SEWER
- STM PROPOSED STORM SEWER
- GAS PROPOSED GAS SERVICE (DESIGN BY OTHERS)
- E PROPOSED ELECTRIC SERVICE (DESIGN BY OTHERS)

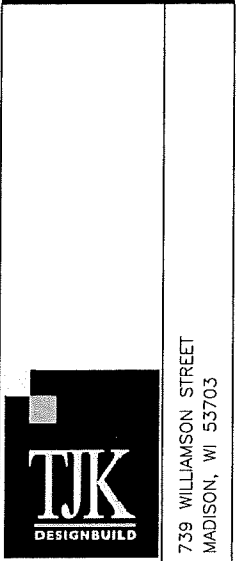
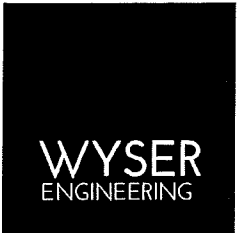


GENERAL NOTES

1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS PROVIDED TO WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY REGISTERED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITIES LAND IF REQUIRED.
4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS.

UTILITY NOTES

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE, CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS.
4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WISDPS, AND WDNR.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITES CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. NO BLASTING IS ALLOWED WITHIN 30 FEET OF EXISTING UTILITIES.
11. ALL PRIVATE INTERCEPTOR WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 6" MINIMUM BURY. PROVIDE INSULATION ABOVE PIPES WITH LESS THAN 5' OF GROUND COVER.
12. GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS UNLESS OTHERWISE SPECIFIED BY A GEOTECHNICAL ENGINEER. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.
13. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE INSTALLED PER CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. PRE-CONSTRUCTION MEETING WITH THE CITY OF MADISON IS REQUIRED PRIOR TO INSTALLATION.
14. CONTRACTOR TO FIELD VERIFY LOCATION AND SIZE. REPORT ANY DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PART VII.
15. ALL WATER MAIN AND ASSOCIATED FITTINGS SHALL MEET THE REQUIREMENTS OUTLINED WITHIN ARTICLE 702 WITHIN THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
16. DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.
17. CONNECT PIPE PER SECTION 503.3 OF THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. CONTACT THE CITY OF MADISON PUBLIC WORKS DEPARTMENT IN ADVANCE OF CONNECTION TO ARRANGE A PRE-CONSTRUCTION MEETING.
18. ALL NON-METALLIC BUILDING SEWER AND WATER SERVICES MUST BE ACCOMPANIED BY MEANS OF LOCATING UNDERGROUND PIPE. TRACER WIRE VALVE BOXES SHALL BE INSTALLED ON ALL LATERALS AND AS INDICATED ON THESE PLANS.
19. ALL EXTERIOR CLEANOUTS SHALL BE PROVIDED WITH A FROST SLEEVE IN ACCORDANCE WITH SPS 382.34(5)(a) AND SPS 384.30(2)(c).
20. ALL PRIVATE SANITARY BUILDING SEWER PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
21. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-6.
22. ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-7.
23. ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 384.48-8 INCLUDING AT LEAST 6" OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6" OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
24. THE CONTRACTOR SHALL ALLOW 10 WORKING DAYS FOR THE CONSTRUCTION OF GAS MAINS WHEN SCHEDULING THE WORK AND SHALL NOT RESTRICT ACCESS TO THE GAS MAIN CONTRACTOR OR OTHER UTILITY COMPANIES.
25. CONTRACTOR SHALL VERIFY AND COORDINATE ALL UTILITY CONNECTIONS WITH THE BUILDING PRIOR TO CONSTRUCTION.



739 WILLIAMSON STREET
CITY OF MADISON, DANE COUNTY, WI
Sheet Title:
UTILITY PLAN

Revisions:		
No.	Date:	Description:

Graphic Scale	0' 5' 10' 15'
Wyser Number	15-0227
Set Type	PERMIT
Date Issued	05/08/2015
Sheet Number	C300

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PLANTING SCHEDULE AND LEGEND

Key	Botanical Name	Common Name	Qty	Planting Size	Root Spec	Spacing	Comments
Major Deciduous Trees							
FSD	<i>Fagus sylvatica</i> 'Dawyck Gold'	Dawyck Gold Beech	5	2 1/2" cal	B&B	As shown	Straight leader, matched
RJC	<i>Malus 'Jewelcole'</i>	Red Jewel Crabapple	1	2" cal	B&B	As shown	Straight leader, matched
Deciduous Shrubs							
CFV	<i>Calycanthus floridus</i> 'Venus'	Venus Carolina Allspice	4	24" HT	Cont	As shown	Full plants, matched
PON	<i>Physocarpus opulifolius</i> 'Nana'	Dwarf Ninebark	3	12" HT	Cont	As shown	Full plants, matched
VCC	<i>Viburnum carlesii</i> 'Compactum'	Dwarf Koreanspice Viburnum	4	18" HT	Cont	As shown	Full plants
Evergreen Shrubs							
IGC	<i>Ilex glabra</i> 'Compacta'	Compact Inkberry	8	24" HT	Cont	As shown	Full plants, matched
MP	<i>Myrica pensylvanica</i>	Northern Bayberry	3	24" HT	Cont	As shown	Full plants, semi-evergreen
Perennials, Ornamental Grasses and Groundcovers							
cp	<i>Carex pensylvanica</i>	Pennsylvania Sedge	175	plugs	Cont	As shown	Full plants
hap	<i>Hydrangea anomala</i> perularis	Climbing Hydrangea	1	5 Gal	Cont	As shown	Full plant, 3 stems minimum, refer to living wall notes this sheet
sh	<i>Sporobolus heterolepis</i>	Prairie Dropseed	34	1 Gal	Cont	As shown	Full plants, matched
Non-Plant Groundlayer Treatment, see plan for limits							
	Shredded Bark Mulch: Shredded Natural Cypress						
	Spade Edge Treatment						
	Metal Edge Treatment						

GENERAL NOTES:

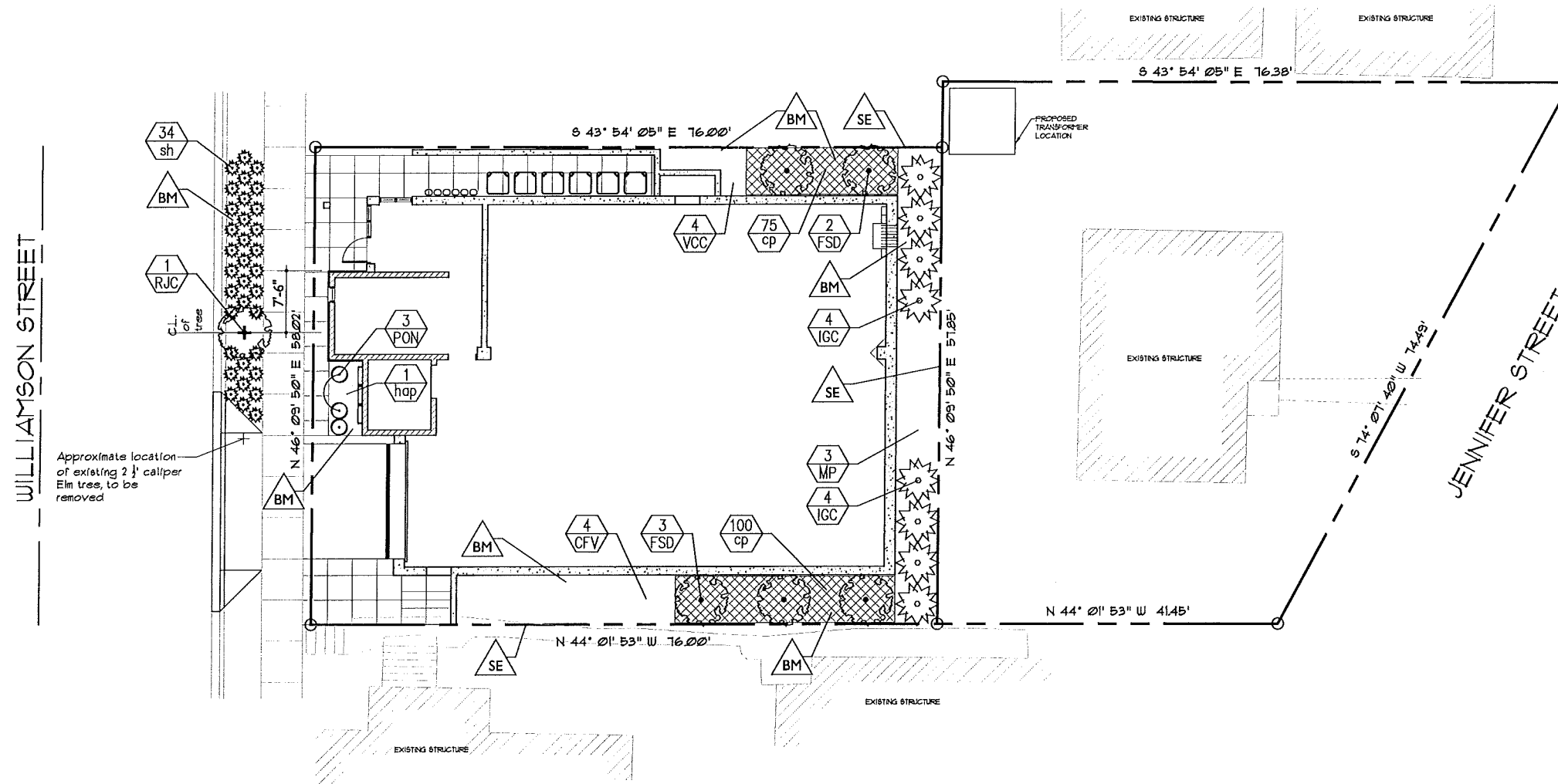
- LOT SIZE = 4493 SQ. FT., GROUND FLOOR FOOTPRINT = 2511 SQ. FT., 67.6% OF LOT SIZE.
- CONNECT ALL ROOF DRAINS TO CITY STORM SEWER SYSTEM.
- REMOVE EXISTING CONCRETE DRIVEWAY APPROACH AND REPLACE WITH NEW CURB AND GUTTER TO MATCH EXISTING.
- GENERAL CONTRACTOR TO OBTAIN PERMIT TO PLUG EXISTING PRIVATE STREET LATERAL.
- ALL CURB, GUTTER, AND SIDEWALK WHICH ADJUTS THE PROPERTY WHICH IS DAMAGED OR IS DETERMINED BY CITY ENGINEER TO BE REPLACED.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY TO BE PERFORMED BY A CITY LICENSED CONTRACTOR.
- ALL DAMAGE TO PAVEMENT ON WILLIAMSON STREET ADJACENT TO SITE SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
- GENERAL CONTRACTOR TO OBTAIN A STREET EXCAVATION PERMIT FOR INSTALLATION OF REQUIRED UTILITIES.
- GENERAL CONTRACTOR TO OBTAIN ALL REQUIRED SEWER CONNECTION AND PLUGGING PERMITS PRIOR TO ANY UTILITY WORK BEING PERFORMED.
- GENERAL CONTRACTOR TO OBTAIN CONNECTION AND EXCAVATION PERMITS PRIOR TO COMMENCING STORM SEWER CONSTRUCTION.
- NO RESIDENTIAL PARKING PERMITS SHALL BE ISSUED FOR 133 WILLIAMSON STREET.
- ALL DIMENSIONS ARE FROM FACE OF CONCRETE WALL, FACE OF CURB OR CENTER OF PROPERTY LINE.
- TRACKED MATERIAL SHALL BE COLLECTED BY THE GENERAL CONTRACTOR AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE CITY.
- EXISTING WATER MAIN VALVES SHALL BE MARKED AND PROTECTED FOR DURATION OF CONSTRUCTION.
- CONTRACTOR SHALL CONTACT CITY FORESTRY AT LEAST ONE WEEK PRIOR TO PLANTING TO SCHEDULE MARKING THE PLANTING SITE, INSPECTING THE NURSERY STOCK, AND REVIEWING PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

LEGEND:

- PROPERTY CORNER
- PROPERTY LINE
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- FIRE HYDRANT
- UTILITY POLE
- CITY STREET LIGHT
- MANHOLE
- 250' FIRE HOSE LAY
- WATER VALVE
- CURB INLET
- EXISTING BUILDING

LIVING WALL NOTES AND MAINTENANCE PLAN

- THE LIVING WALL REFERS TO A CABLE STRUCTURE, ATTACH TO THE NORTH FACING EXTERIOR WALL OF THE ELEVATOR SHAFT, WHICH WILL SUPPORT A CLIMBING HYDRANGEA VINE (*Hydrangea anomala* perularis).
- NEARLY PLANTED CLIMBING HYDRANGEA VINES GROW SLOWLY, ONCE ESTABLISHED, THEY GROW MUCH MORE VIGOROUSLY, THE VINE HAS A THREE-DIMENSIONAL QUALITY IN THAT BRANCHES CAN SPREAD OVER TWO FEET HORIZONTALLY. IN IDEAL CONDITIONS, THE VINE CAN REACH 50 FEET IN HEIGHT.
- MAINTENANCE OF THE CLIMBING HYDRANGEA VINE INCLUDES:
 - REGULAR WATERING TO MAINTAIN RELATIVELY MOIST SOIL
 - FERTILE SOIL WITH A PH THAT IS NEUTRAL OR SLIGHTLY ACIDIC (4-7.0)
 - CHECK PH LEVEL IN THE SPRING AND APPLY CHELATED IRON TO LOWER LEVEL, AS NEEDED
 - ANNUAL MULCHING WITH A COMPOST-BASED MULCH OVER THE ENTIRE ROOT ZONE
 - SEASONAL PRUNING TO MAINTAIN DESIRED PLANT LIMITS AND TO REMOVE DAMAGED BRANCHES, PRUNE CLIMBING HYDRANGEAS AFTER FLOWERING.



1 PROPOSED PLANTING PLAN
C-1.4 SCALE: 1/8" = 1' - 0"



612 WEST MAIN STREET
MADISON, WI 53703
608-257-1090
FAX 608-257-1092

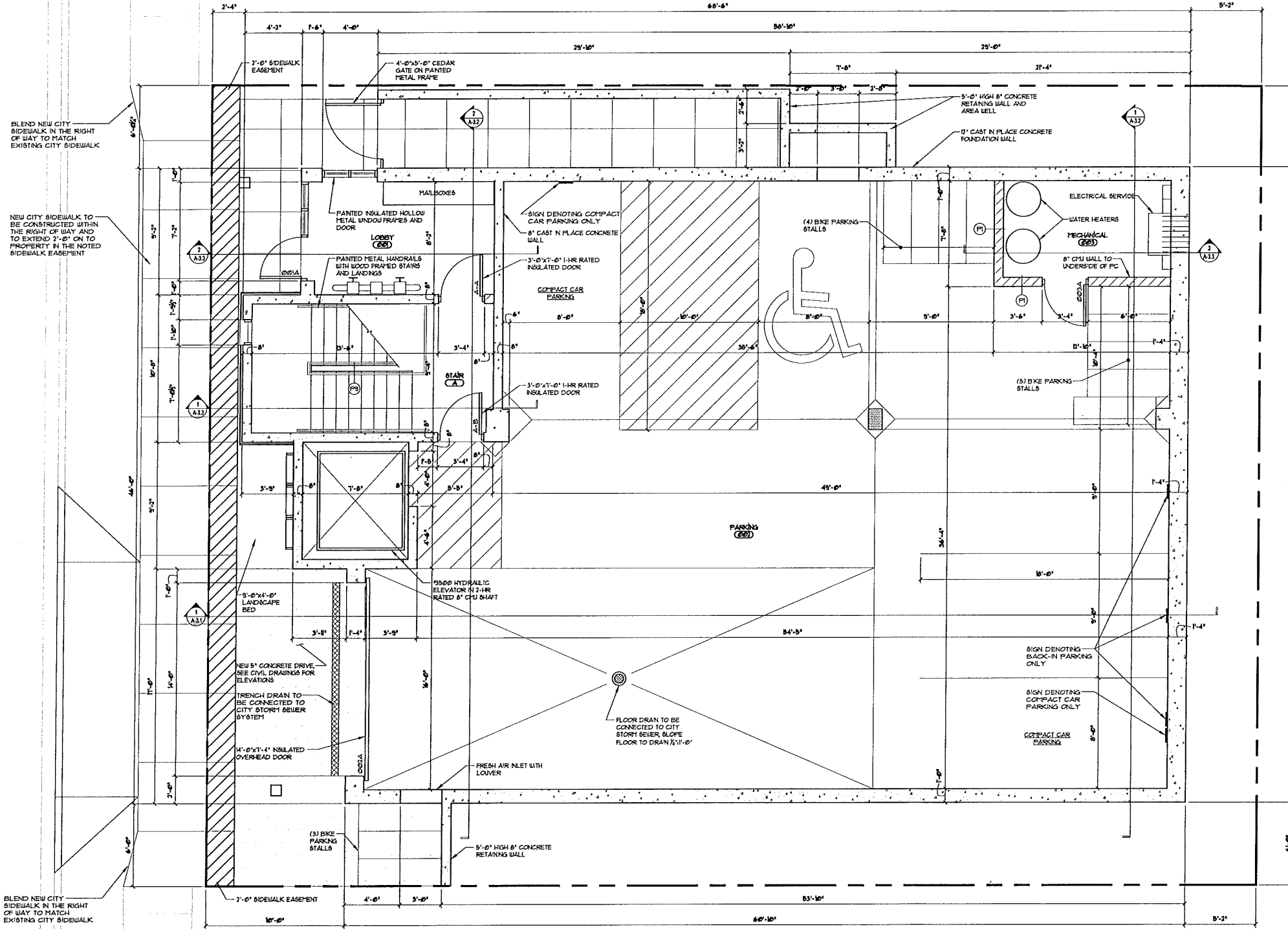
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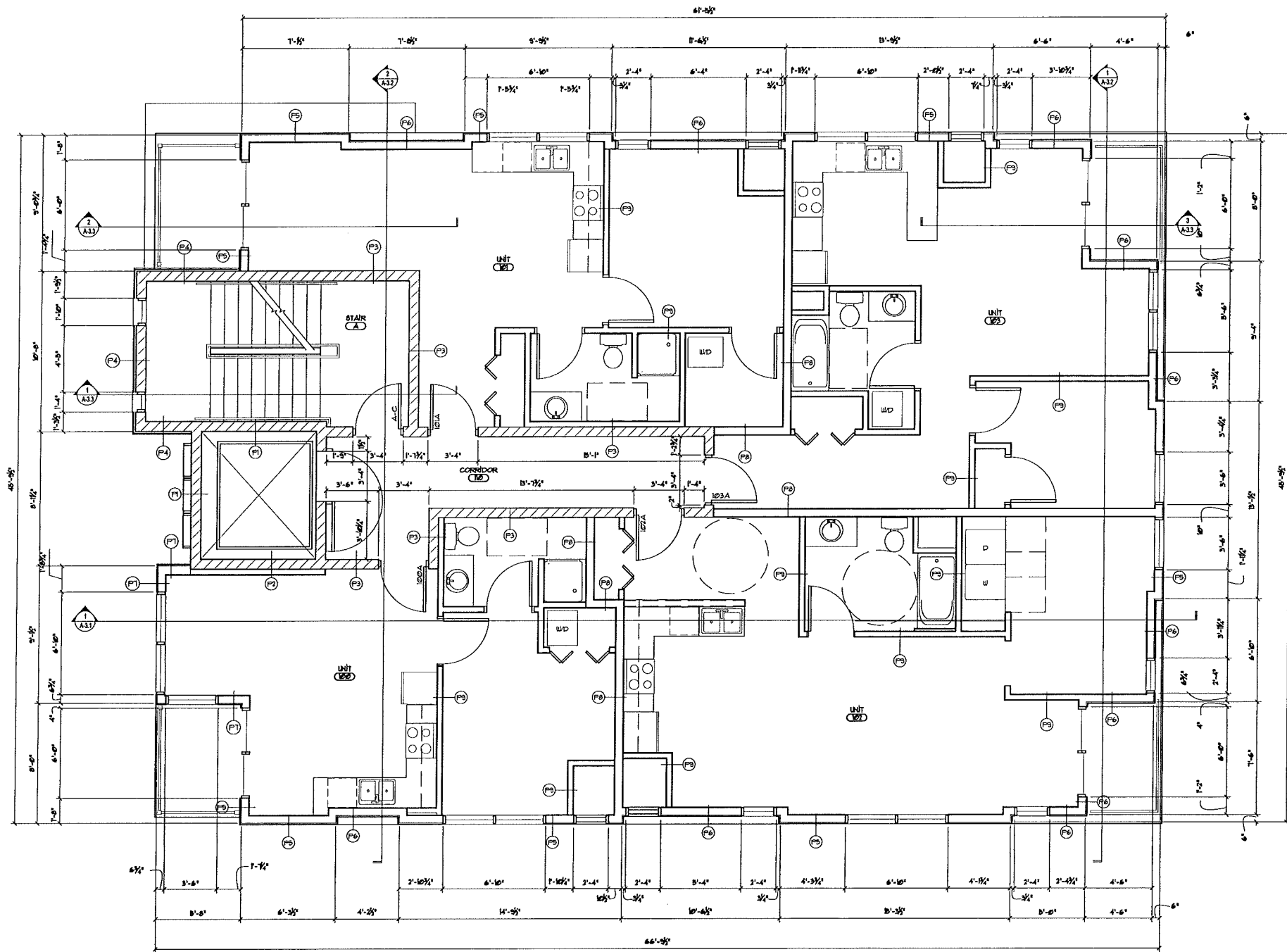
PROPOSED BUILDING FOR:
739 WILLIAMSON STREET
739 WILLIAMSON STREET
MADISON, WI

C-1.4

6.15.15



1 GROUND FLOOR PLAN
A-1.1 SCALE: 1/4" = 1' - 0"



2 FIRST FLOOR PLAN
 A-12 SCALE: 1/4" = 1' - 0"



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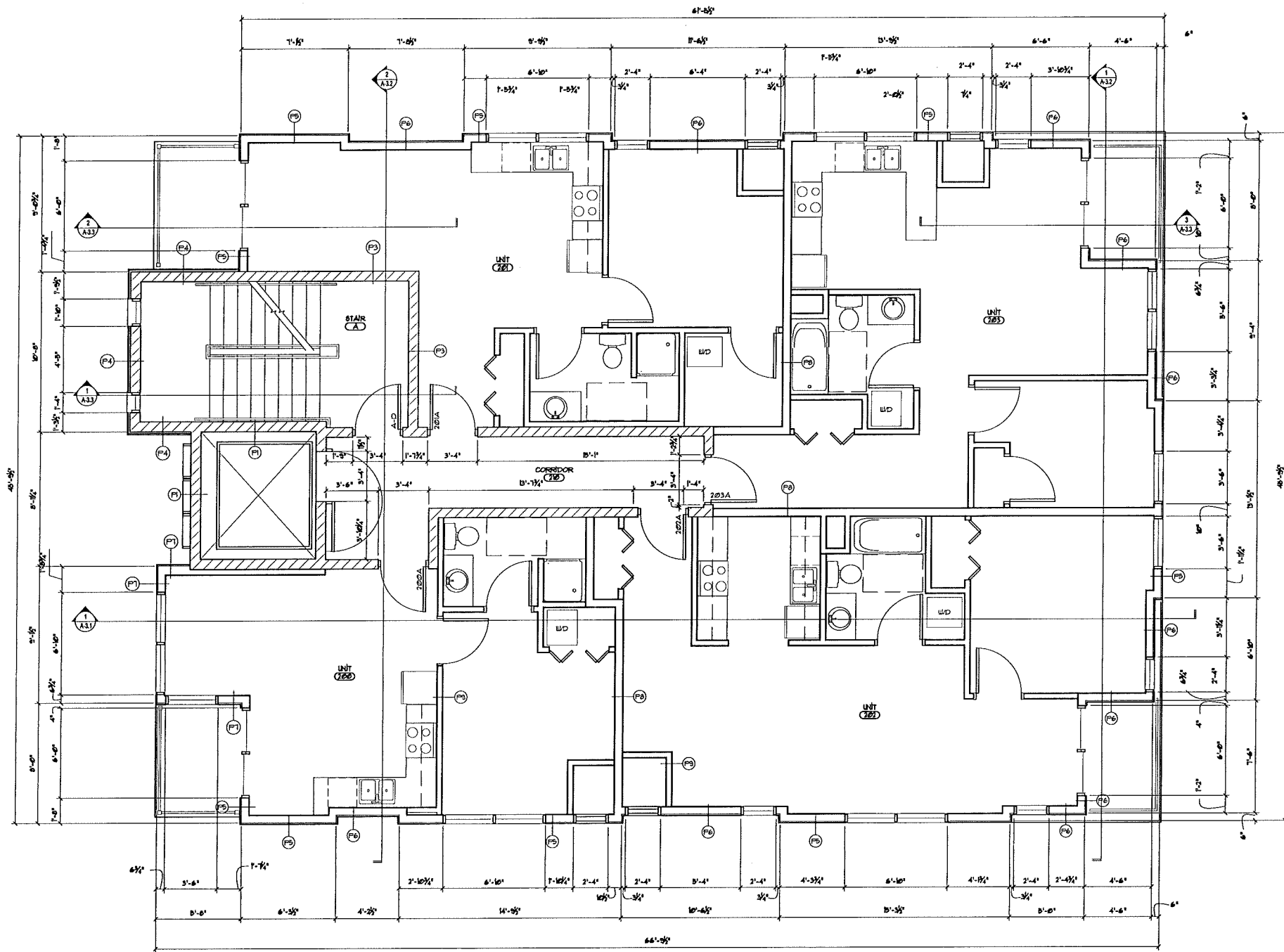
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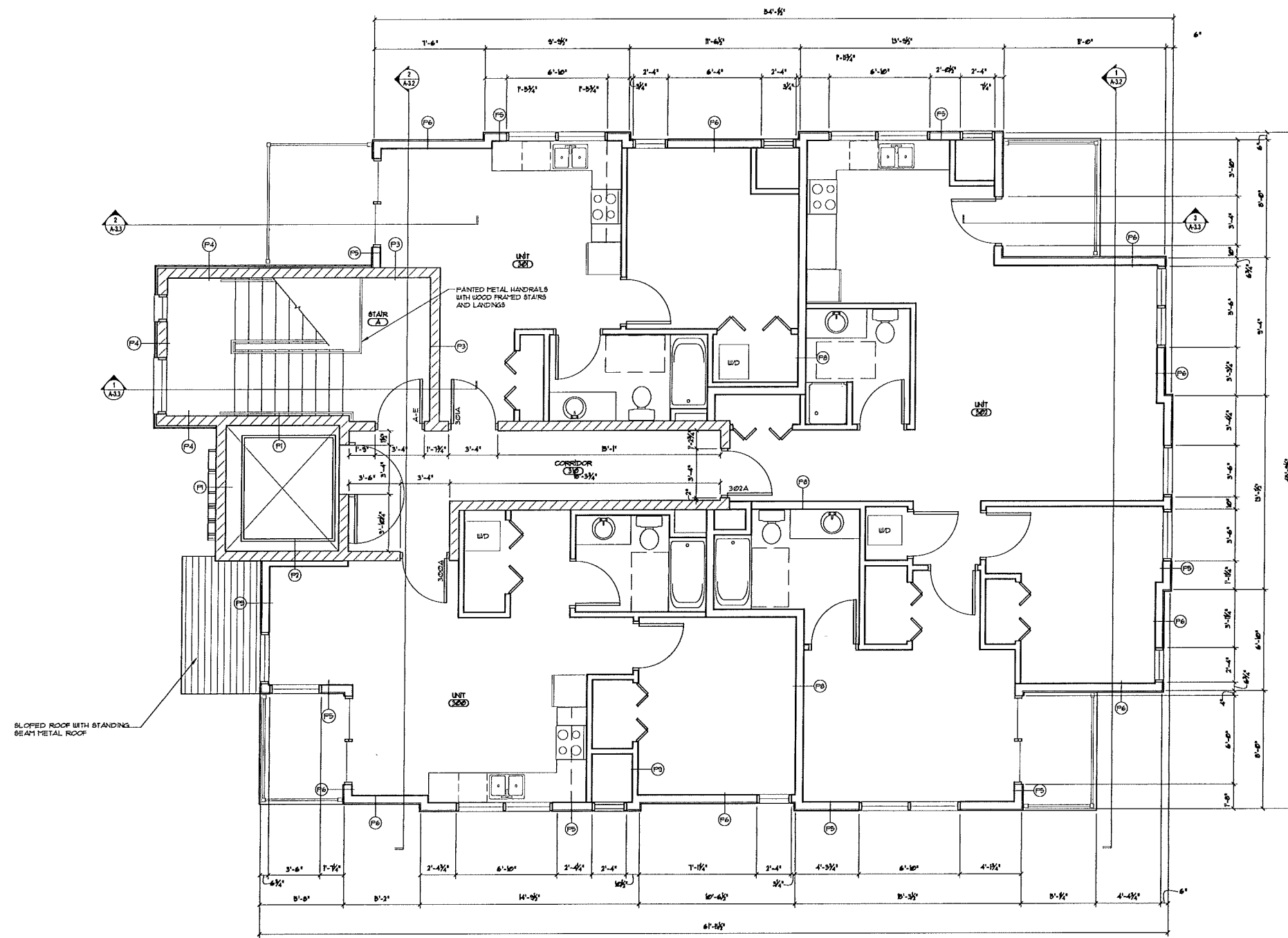
PROPOSED BUILDING FOR:
 739 WILLIAMSON STREET
 739 WILLIAMSON STREET
 MADISON, WI

A-1.2

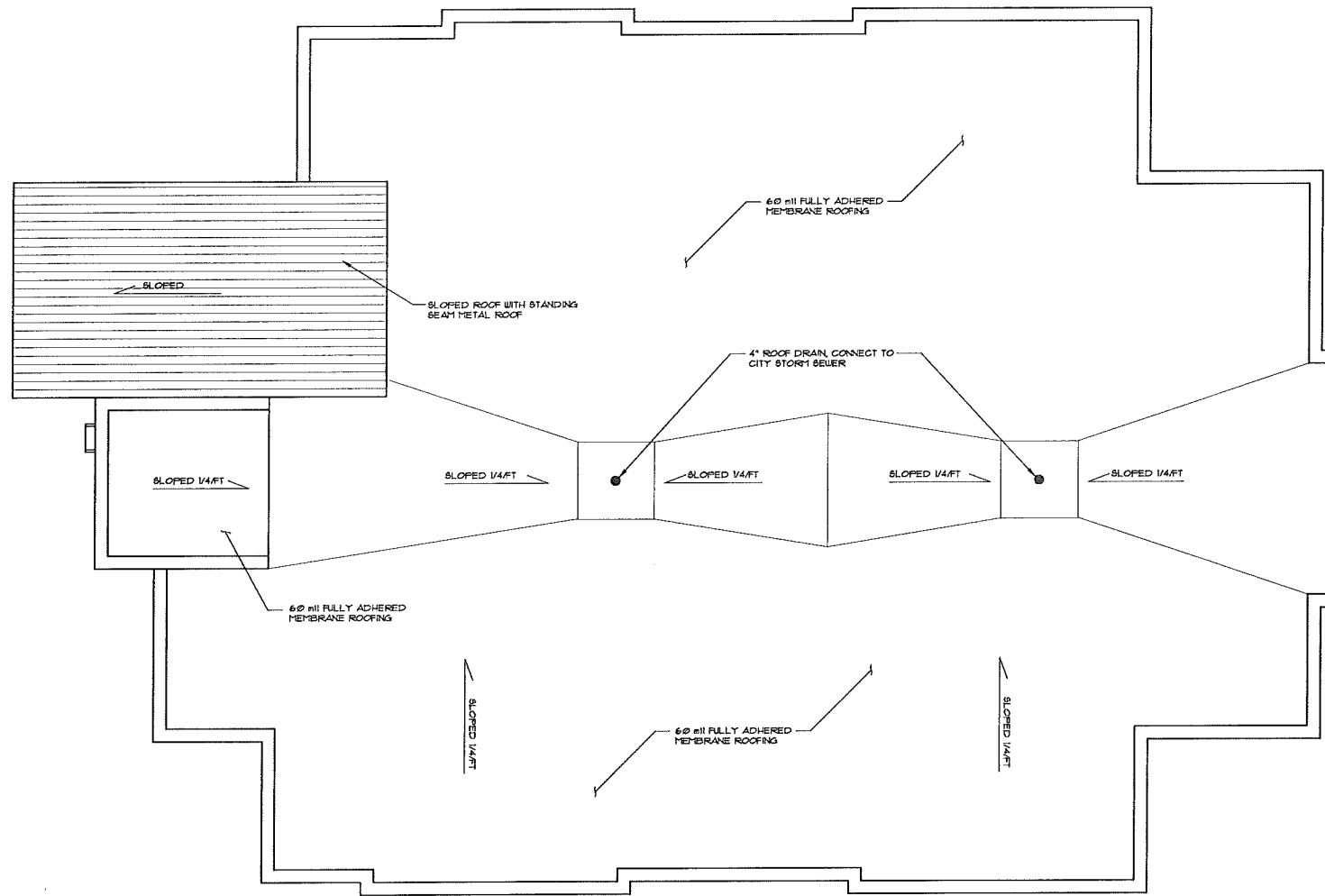
6.15.15



1 SECOND FLOOR PLAN
 A-13 SCALE: 1/4" = 1' - 0"



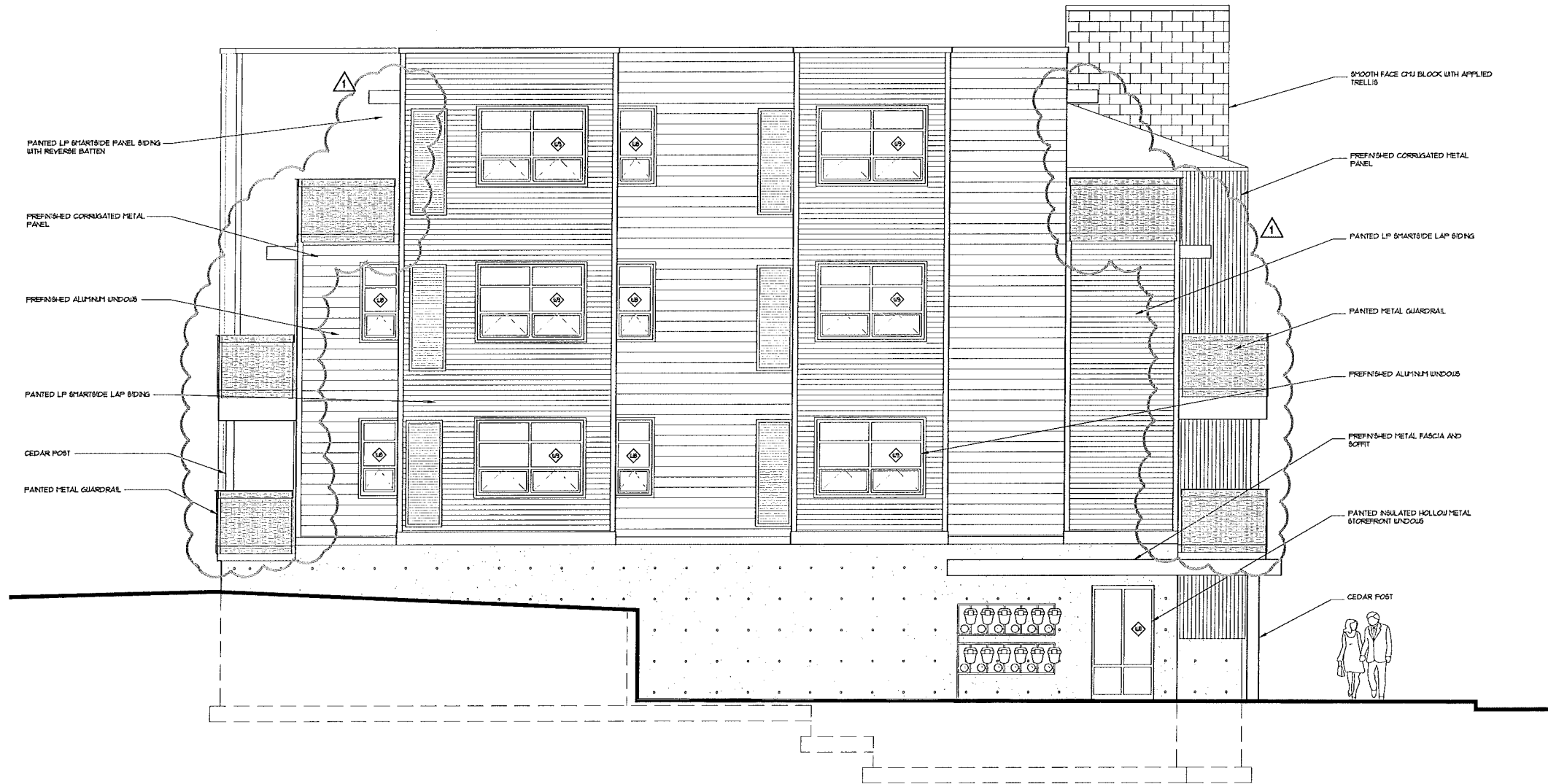
1 THIRD FLOOR PLAN
A-1.4 SCALE: 1/4" = 1' - 0"



1 ROOF PLAN
A-1.5 SCALE: 1/4" = 1' - 0"

REV	DATE
PROJECT DEVELOPMENT	6.15.15

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PANDED LP SMARTSIDE PANEL SIDING WITH REVERSE BATTERY

PREFINISHED CORRUGATED METAL PANEL

PREFINISHED ALUMINUM WINDOWS

PANDED LP SMARTSIDE LAP SIDING

CEDAR POST

PANDED METAL GUARDRAIL

SMOOTH FACE CMU BLOCK WITH APPLIED TRELLIS

PREFINISHED CORRUGATED METAL PANEL

PANDED LP SMARTSIDE LAP SIDING

PANDED METAL GUARDRAIL

PREFINISHED ALUMINUM WINDOWS

PREFINISHED METAL FASCIA AND SOFFIT

PANDED INSULATED HOLLOW METAL STOREFRONT WINDOWS

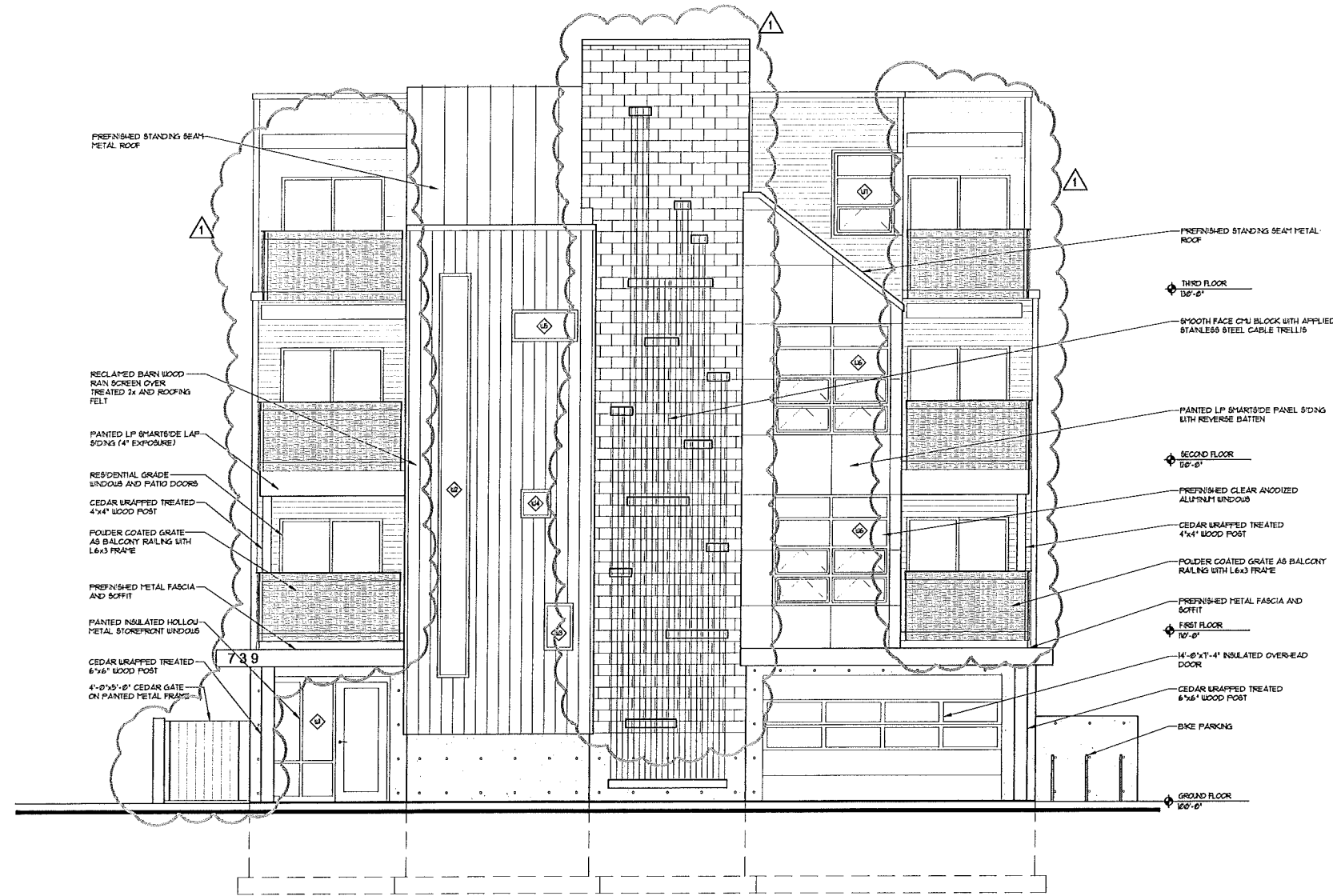
CEDAR POST

1 EAST ELEVATION
A-2.1 SCALE: 1/4" = 1' - 0"

PROPOSED BUILDING FOR:
739 WILLIAMSON STREET
739 WILLIAMSON STREET
MADISON, WI

REV	DATE
1	6.15.15
PROJECT DEVELOPMENT	

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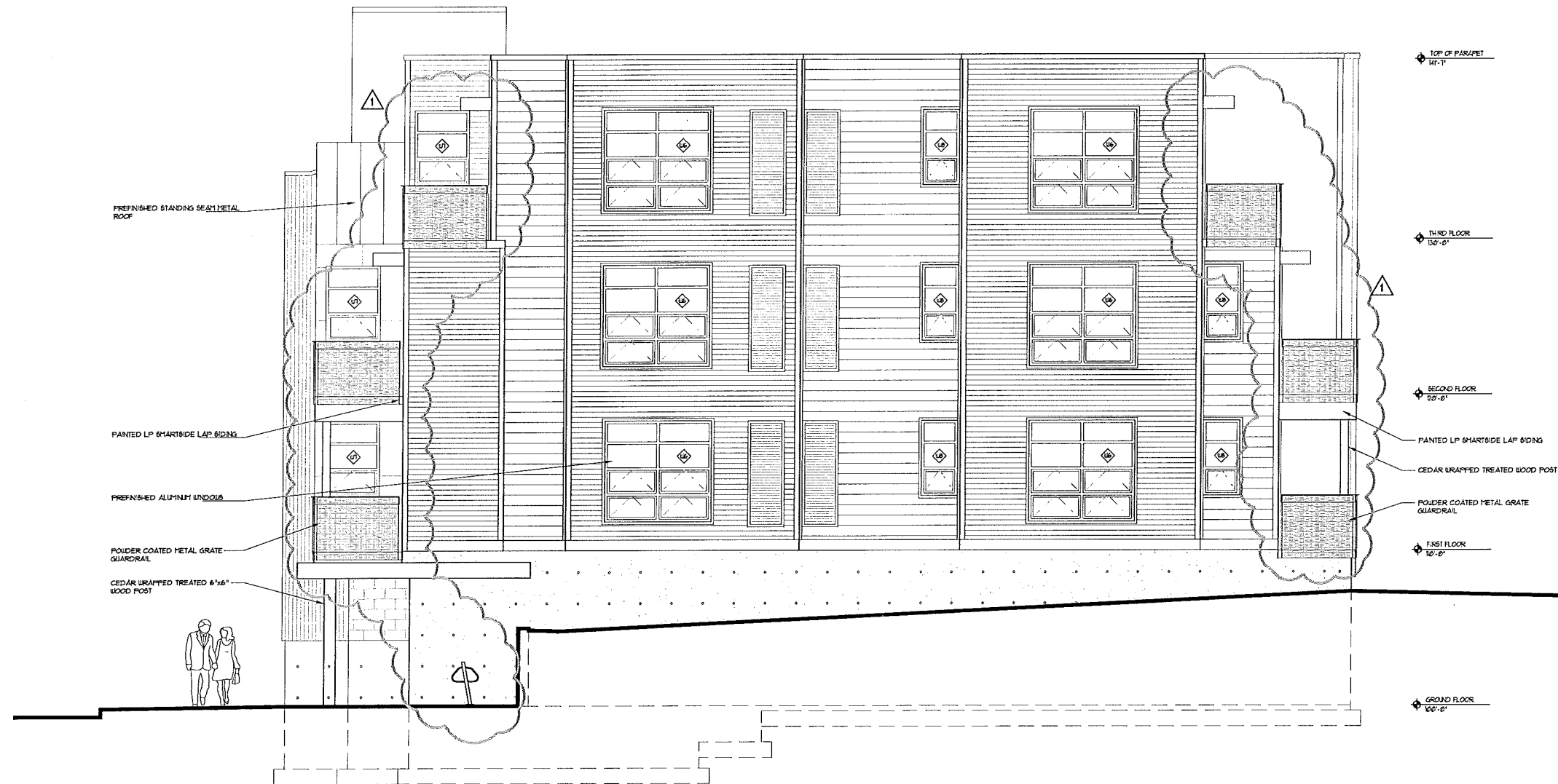


1 NORTH ELEVATION
A-22 SCALE: 1/4" = 1' - 0"

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MADISON, WI

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1 WEST ELEVATION
A-2.3 SCALE: 1/4" = 1' - 0"

PROPOSED BUILDING FOR:
739 WILLIAMSON STREET

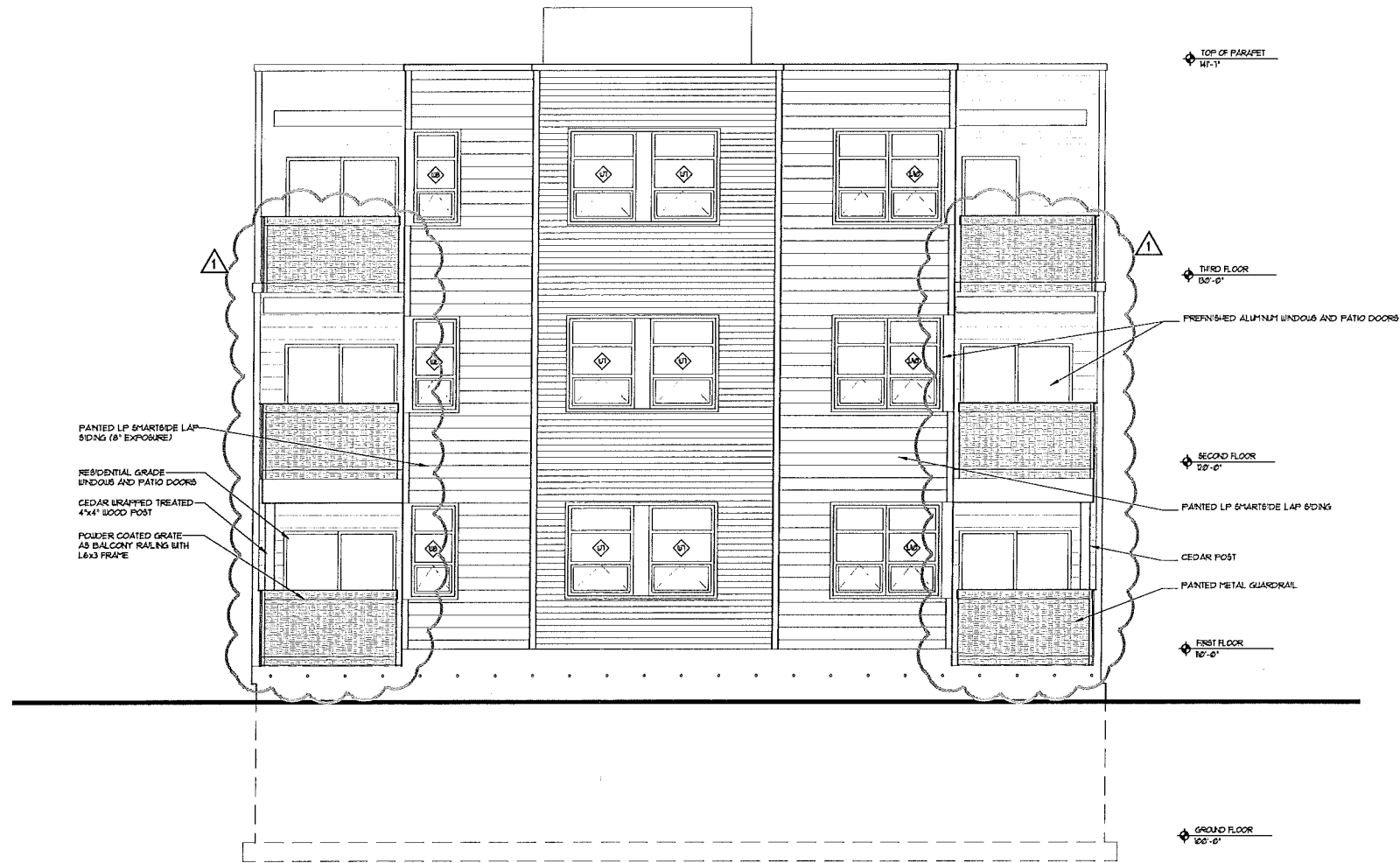
739 WILLIAMSON STREET
MADISON, WI

A-2.3

6.1.15

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1 SOUTH ELEVATION
A-2.4 SCALE: 1/4" = 1' - 0"

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