



# City of Madison

## Conditional Use

Location  
135 East Towne Mall

Project Name  
Portillo's

Applicant  
J C Penney / Skip Alexander, CBL Properties

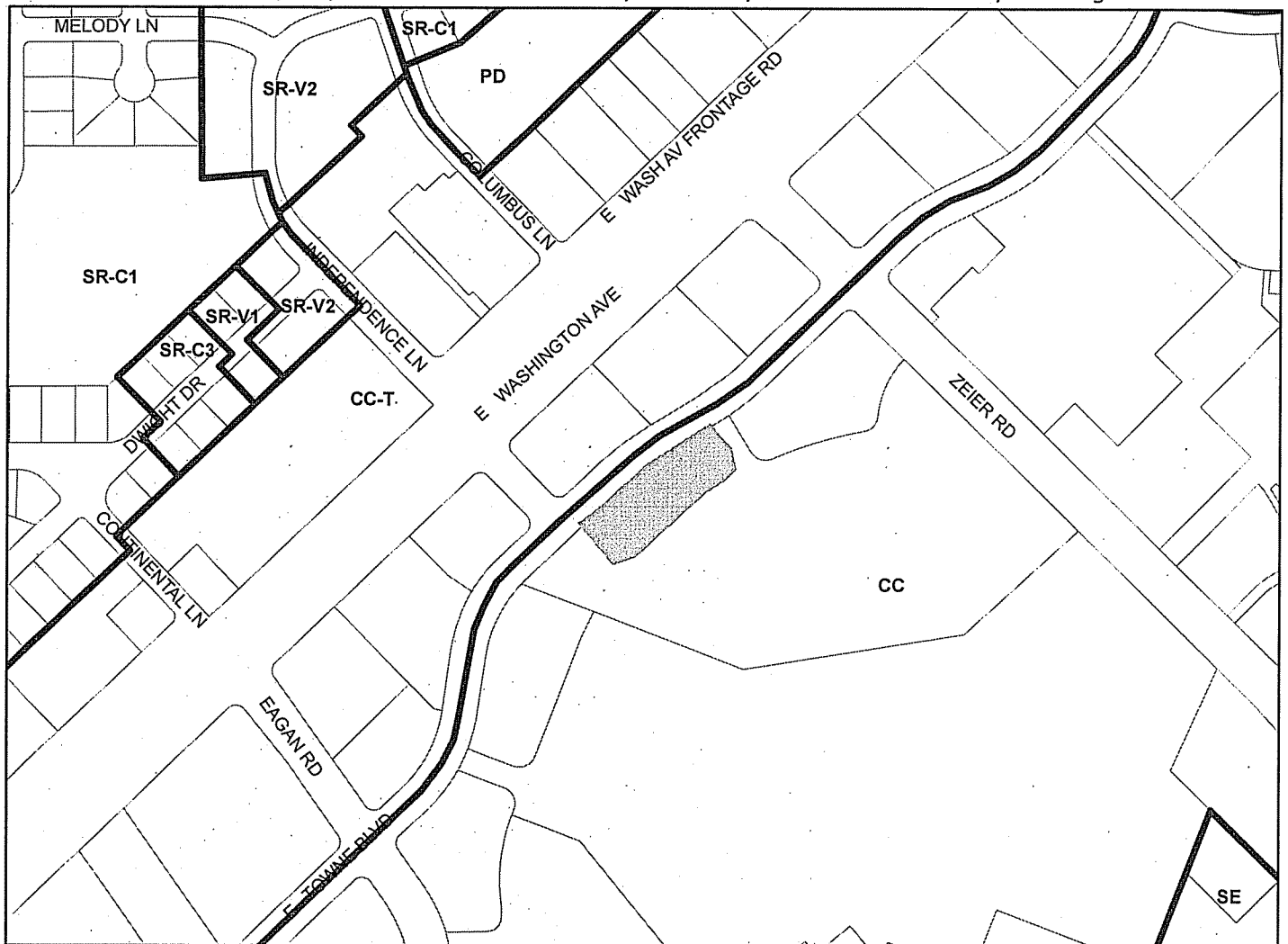
Existing Use  
Parking Lot

Proposed Use  
Construct restaurant with vehicle access sales and service window

Public Hearing Date  
Plan Commission  
08 January 2018

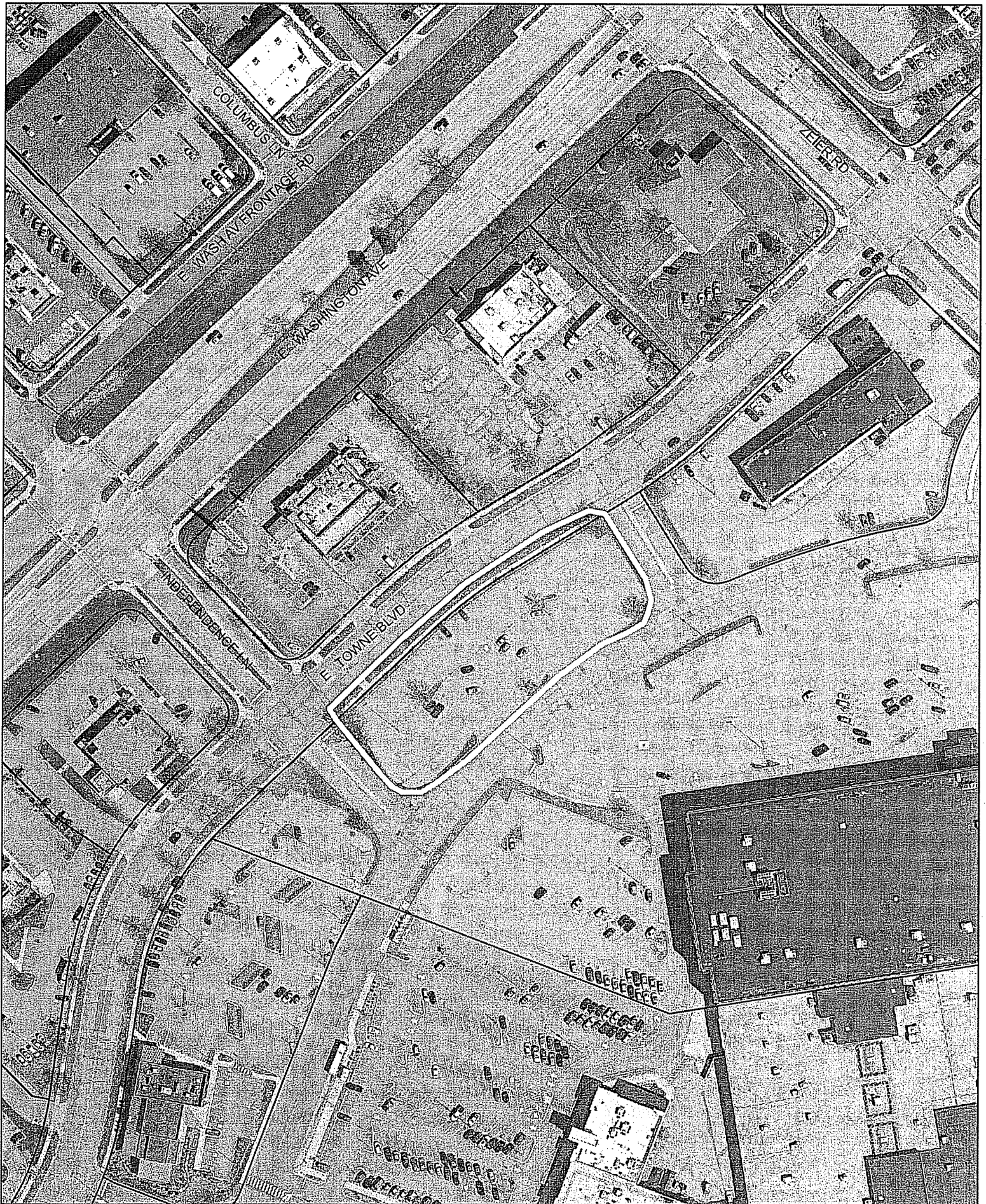


For Questions Contact: Sydney Prusak at: 243-0554 or sprusak@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : PPE : Date : 3 Jan 2018



# LAND USE APPLICATION

# LND-B

City of Madison  
 Planning Division  
 126 S. Hamilton St.  
 P.O. Box 2985  
 Madison, WI 53701-2985  
 (608) 266-4635



### FOR OFFICE USE ONLY:

Paid 700 - Receipt # 037134-0002  
 Date received 11/8/17  
 Received by DGP  
 Parcel # 0810-273-0097-0  
 Aldermanic district 17- BALDWIN  
 Zoning district CC  
 Special requirements A  
 Review required by \_\_\_\_\_  
 UDC                       PC  
 Common Council         Other \_\_\_\_\_  
 Reviewed By \_\_\_\_\_

All Land Use Applications must be filed with the Zoning Office at the above address.

This completed form is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application found on the City's web site.

### 1. Project Information

Address: Proposed Address: 4505 East Towne Blvd. Madison, WI 53704-3713  
 Title: Portillo's Restaurant East Towne Mall

### 2. This is an application for (check all that apply)

- Zoning Map Amendment (rezoning) from \_\_\_\_\_ to \_\_\_\_\_
- Major Amendment to an Approved Planned Development-General Development Plan (PD-GDP) Zoning
- Major Amendment to an Approved Planned Development-Specific Implementation Plan (PD-SIP)
- Review of Alteration to Planned Development (PD) (by Plan Commission)
- Conditional Use or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other requests

### 3. Applicant, Agent and Property Owner Information

Applicant name Skip Alexander Company CBL Properties\*  
 Street address 2030 Hamilton Place Blvd. City/State/Zip Chattanooga, TN 37421-6000  
 Telephone 423.490.8822 Email skip.alexander@cblproperties.com  
 Project contact person Same as Above Company \_\_\_\_\_  
 Street address \_\_\_\_\_ City/State/Zip \_\_\_\_\_  
 Telephone \_\_\_\_\_ Email \_\_\_\_\_  
 Property owner (if not applicant) JC Penney  
 Street address n/a City/State/Zip n/a  
 Telephone n/a Email n/a

\*CBL Properties, authorized entity by JC Penney (Underlying Land Owner)

**4. Project Description**

Provide a brief description of the project and all proposed uses of the site:

Portillo's is proposing an approximate 9,075 SF restaurant on lands currently owned by JC Penney via a Conditional Use Land Use Application and Certified Survey Map.

Scheduled start date April 2018 Planned completion date Fall 2018

**5. Required Submittal Materials**

Refer to the Land Use Application Checklist for detailed submittal requirements.

- Filing fee
- Land Use Application
- Letter of intent
- Legal description
- Pre-application notification
- Vicinity map
- Survey or existing conditions site plan
- Development plans
- Land Use Application Checklist (LND-C)
- Supplemental Requirements
- Electronic Submittal\*

*\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to pcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

**For concurrent UDC applications** a separate pre-application meeting with the UDC Secretary is required prior to submittal. Following the pre-application meeting, a complete UDC Application form and all other submittal requirements must be submitted to the UDC Secretary. An electronic submittal, as noted above, is required. Electronic submittals should be compiled on a CD or flash drive, or sent via email to udcapplications@cityofmadison.com.

**6. Applicant Declarations**

- Pre-application meeting with staff.** Prior to preparation of this application, the applicant is strongly encouraged to discuss the proposed development and review process with Zoning and Planning Division staff. Note staff persons and date.

Planning staff DAT Meetings Date 03.23.17 & 09.07.17

Zoning staff DAT Meetings Date 03.23.17 & 09.07.17

- Demolition Listserv**
- Public subsidy is being requested (indicate in letter of intent)
- Pre-application notification:** The zoning code requires that the applicant notify the district alder and any nearby neighborhood and business associations **in writing no later than 30 days prior to FILING this request.** List the alderperson, neighborhood association(s), business association(s), AND the dates you sent the notices:

Email notification provided to District 17 Alder Samba Baldeh on 08.30.17

Notification acknowledged and Neighborhood Meeting requested and scheduled for 09.28.17

The alderperson and the Director of Planning & Community & Economic Development may reduce the 30-day requirement or waive the pre-application notification requirement altogether. Evidence of the pre-application notification is required as part of the application materials. A copy of the notification letters or any correspondence granting a waiver is required as part of the application materials.

**The applicant attests that this form is accurately completed and all required materials are submitted:**

Name of applicant Skip Alexander, CBL Properties (Developer) Relationship to property Authorized Entity by Property Owner

Authorizing signature of property owner  Date 11.03.17



# Memorandum / Letter of Intent

[www.jsdinc.com](http://www.jsdinc.com)

To: City of Madison Plan Commission, Urban Design Commission & City Staff  
From: Justin Frahm, JSD Professional Services, Inc.  
Re: Portillo's Restaurant – East Towne Mall, 4505 East Towne Blvd. Madison, WI  
JSD Project #: 16-7567  
Date: November 8, 2017  
cc: Skip Alexander, CBL; Wendy Hunter, Hunter Development Group; Peggy Hart, Portillo's;  
Walter Sydor, Portillo's; Jarrett Jensen, Jensen & Jensen

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City of Madison Staff, Plan Commission & Urban Design Commission:

On behalf of CBL & Associates Properties, Inc, and Portillo's Hot Dogs, LLC, JSD is submitting and requesting an initial-final Urban Design Commission review and subsequent Plan Commission review and approval for the issuance of a Conditional Use Permit and construction of a Portillo's Hot Dogs restaurant at the East Town Mall, in Madison, WI.

CBL and Portillo's are proposing a 9,075 SF restaurant with a drive through vehicle service window to be constructed on an outlot to be subdivided via CSM on an underlying parcel owned by JC Penney northwest of East Towne Mall. The City anticipates the address of the restaurant outlot to be 4505 East Towne Blvd, Madison, WI 53704-3713.

The proposed Portillo's restaurant building will include 209 interior seats and 26 additional seats on the covered, outdoor patio. Hours of operation will typically be 10:30 AM to 11 PM.

Portillo's new freestanding building design will include an upgraded brick structure with accents of clear stainless steel, creating an Art Deco-based diner building. Access to the site will be limited to the interior mall ring road, with no vehicular access to adjacent public right-of-ways. The building entrance will face the parking lot, with drive through circulation circling the building. Parking is provided on site, along with bicycle parking and pedestrian sidewalks connecting to the public sidewalks along East Towne Blvd and existing bus stops, as well as the rear of the JCPenney facility for Mall access. An outdoor patio, accessible from the interior of the restaurant, will provide seasonal outdoor service. Site parking area, foundation and site landscaping will provide screening of the drive through lane, with foundation planting accenting the building design.

CBL and Portillo's have worked together with the City Staff, Development Assistance Team and UDC to review and inform plan development for the proposed site layout/circulation, building design, and sign package. Further, the project information has been presented to Alder Samba Baldeh at a public neighborhood meeting, with attendance of local constituents.

Construction is proposed to start in the spring of 2018, with an opening in fall 2018.

## **Enclosures**

- Letter of Transmittal – Land Use Application
- Letter of Transmittal – Urban Design Commission Application (Initial & Final Combined Request)
- Land Use Application (Conditional Use Request – Vehicular service window)
- Land Use Application Checklist

- Land Use Application Fee (\$700 for Conditional Use - \$600 + \$100 for each addtl acre 2-7)
- Urban Design Commission Application (Initial-Final Combined Request)
- Urban Design Commission Fee (\$300)
- Memorandum / Letter of Intent
- Legal Description of Proposed Parcel
- Pre-Application Notification to Alder
- Development Plans:
  - Ex. A – Location Map
  - Ex. B – Context Photos
  - C1.0 - Title Sheet
  - C2.0 – Existing Conditions Survey
  - C3.0 – Demolition Plan
  - C4.0 – Site Plan
  - C5.0 – Grading and Erosion Control Plan
  - C6.0 – Utility Plan
  - C7.0 – Fire Access Exhibit
  - C8.0 – Details
  - C8.1 – Details
  - L1.0 – Landscape Plan
  - L2.0 – Landscape Details Notes and Specifications
  - Photometric Plan
  - Photometric Specifications (2 copies)
  - Architectural Plans
    - Floor Plans
    - Roof Plan
    - Line Elevations w/ Material Callouts
    - Color Elevations w/ Material Callouts
    - Material Board
    - Renderings
  - Signage Plans
    - Aerial Site Plan
    - Proposed Site Plan / Locator Map
    - Site Photographs
    - Building Signage – Elevation
    - Building Signage – Details
    - Site Signage - Details
- Stormwater Management Memorandum (2 copies)

Additional requests for information and/or questions can be directed to JSD Professional Services, Inc.





LOCATION MAP  
SCALE: 1:100



LOCATION MAP  
SCALE: 1:2000



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KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:  
**CBL & ASSOCIATES  
PROPERTIES**

CLIENT ADDRESS:  
**2030 HAMILTON PLACE BLVD.,  
STE. 500, CHATANOOGA, TN 34721**

PROJECT:  
**PORTILLO'S, EAST  
TOWNE MALL**

PROJECT LOCATION:  
**CITY OF MADISON, WI  
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date	Description
1	11-08-17	Land Use - UDC Initial/Final
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Design/Drawn: JLF / TKG 10-13-2017  
Approved: PMP 10-13-2017  
Submitted: 10-13-2017

SHEET TITLE:  
**LOCATION MAP**

SHEET NUMBER:  
**EX. A**

JSD PROJECT NO: 16-7567

SCALE IN FEET  
100' 0 100'

Toll Free (800) 242-8511

File: X:\PROJECTS\2016\167567\DWG\167567- Construction Documents.dwg Layout: Location Map User: tquatin Plotted: Nov 01, 2017 - 2:46pm Xref's:

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.





IMAGE 1: FROM SITE FACING NORTHEAST TOWARD OUTBACK STEAKHOUSE



IMAGE 2: FROM SITE FACING NORTH TOWARD RED LOBSTER



IMAGE 3: FROM SITE FACING NORTHWEST TOWARD ASSOCIATED BANK



IMAGE 4: FROM SITE FACING WEST TOWARD ASSOCIATED BANK LOT



IMAGE 5: FROM SITE FACING EAST TOWARD FIRESTONE AUTO



IMAGE 6: FROM SITE FACING SOUTHEAST TOWARD JC PENNY LOT



IMAGE 7: FROM SITE FACING SOUTH TOWARD JC PENNY



IMAGE 8: FROM SITE FACING SOUTHWEST TOWARD MALL ENTRANCE



IMAGE 9: FROM SITE FACING SOUTHWEST TOWARD INDEPENDENCE LANE



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161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:  
**CBL & ASSOCIATES  
PROPERTIES**

CLIENT ADDRESS:  
**2030 HAMILTON PLACE BLVD.,  
STE. 500, CHATANOOGA, TN 34721**

PROJECT:  
**PORTILLO'S, EAST  
TOWNE MALL**

PROJECT LOCATION:  
**CITY OF MADISON, WI  
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	11-08-17	Land Use - UDC Initial/Final
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Design/Drawn: JLF / TKG 10-13-2017

Approved: PMP 10-13-2017

Submitted: 10-13-2017

SHEET TITLE:  
**EXISTING SITE IMAGES**

SHEET NUMBER:  
**EX. B**



Toll Free (800) 242-8511

JSD PROJECT NO. 16-7567



# PORTILLO'S EAST TOWNE MALL

## CITY OF MADISON, WISCONSIN

NE 1/4, SE 1/4, SECTION 28, TOWNSHIP 08 NORTH, RANGE 10 EAST



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VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:  
**CBL & ASSOCIATES  
PROPERTIES**

CLIENT ADDRESS:  
**2030 HAMILTON PLACE BLVD.,  
STE. 500, CHATANOOGA, TN 34721**

PROJECT:  
**PORTILLO'S, EAST  
TOWNE MALL**

PROJECT LOCATION:  
**CITY OF MADISON, WI  
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	11-08-17	Land Use - UDC Initial/Final
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Design/Drawn: J.F / TKG 10-13-2017

Approved: PMP 10-13-2017

Submitted: 10-13-2017

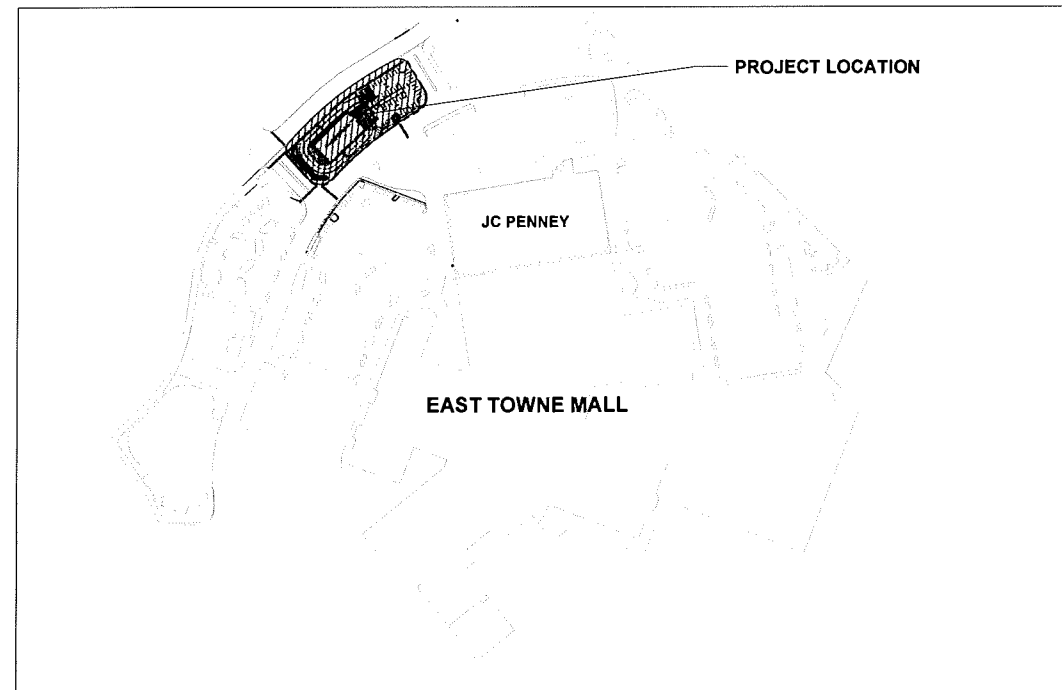
SHEET TITLE:  
**TITLE SHEET**

SHEET NUMBER:  
**C1.0**

JSD PROJECT NO: 16-7667

### DRAWING INDEX

- C1.0 TITLE SHEET
- C2.0 SURVEY
- C3.0 DEMOLITION PLAN
- C4.0 SITE PLAN
- C5.0 EROSION CONTROL
- C6.0 GRADING PLAN
- C7.0 UTILITY PLAN
- C8.0 DETAILS
- C8.1 DETAILS
- L1.0 LANDSCAPE PLAN
- L2.0 LANDSCAPE DETAILS & NOTES



**PROJECT AREA**  
NOT TO SCALE



### PROJECT INFORMATION

**OWNER**  
CBL Properties/Skip Alexander  
CBL Center, Suite 500, 2030 Hamilton Place Blvd.  
Chattanooga, TN 37421-6000  
P: 423-855-0001

**CIVIL CONSULTANT**  
JSD Weston/Justin Frahm  
7402 Stone Ridge Drive, Suite 4  
Weston, WI 54476  
P: 715-298-6330  
justin.frahm.@sdinc.com

**ARCHITECT / INTERIOR DESIGN**  
Jensen & Jensen Architects/Jarrett Jensen  
Midwest Plaza Center, 2001 Midwest Road, Suite 301  
Oak Brook, IL 60523  
P: 630-573-1770





# EXISTING CONDITIONS SURVEY

PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER SECTION 28,  
TOWNSHIP 08 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



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KENOSHA APPLETON WAUSAU

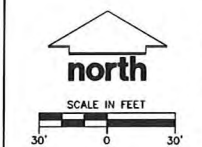
MADISON REGIONAL OFFICE  
181 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:  
**CBL & ASSOCIATES  
PROPERTIES, INC**

CLIENT ADDRESS:  
**2030 HAMILTON PLACE BLVD.,  
STE. 500, CHATAGOONA, TN 34721**

PROJECT:  
**PORTILLO'S, EAST  
TOWNE MALL**

PROJECT LOCATION:  
**CITY OF MADISON  
DANE COUNTY, WISCONSIN**



PLANNING INFORMATION:

#	Date	Description
1	09.27.17	X
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Design/Drawn: JK  
Approved: TJS

SHEET TITLE:  
**EXISTING CONDITIONS  
SURVEY**

MAP NO.: E-376  
SHEET NUMBER:

**1 OF 1**

JSD PROJECT NO.: 167587

- LEGEND**
- GOVERNMENT CORNER
  - PK/MAG NAIL FOUND
  - 1" REBAR FOUND
  - BENCHMARK
  - SIGN
  - SANITARY MANHOLE
  - WATERMAN OR GASMAN VALVE
  - HYDRANT
  - STORM MANHOLE
  - SQUARE CASTED INLET
  - CURB INLET
  - STORM SEWER ACCESS
  - ELECTRIC MANHOLE
  - LIGHT POLE
  - DECIDUOUS TREE
  - HANDICAP PARKING
  - PARCEL BOUNDARY
  - SECTION LINE
  - RIGHT-OF-WAY LINE
  - CENTERLINE
  - PLATTED LOT LINE
  - CHORD LINE
  - EASEMENT LINE
  - FENCE LINE
  - CONCRETE CURB & CUTTER
  - SANITARY SEWER
  - WATER LINE
  - STORM SEWER
  - NATURAL GAS
  - UNDERGROUND ELECTRIC
  - FIBER OPTIC
  - BUILDING
  - INDEX CONTOUR
  - INTERMEDIATE CONTOUR
  - SPOT ELEVATION
  - BITUMINOUS PAVEMENT
  - CONCRETE PAVEMENT
  - END OF FLAGGED UTILITIES

- NOTES**
- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON AUGUST 28 AND 30, 2017.
  - BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (DANE COUNTY). THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 28, TOWN, RICE, BEARS 500°54'38"W.
  - ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP IN CONCRETE MARKING THE EAST QUARTER CORNER OF SECTION 28, TOWN, RICE, ELEVATION = 879.55'.
  - CONTOUR INTERVAL IS ONE FOOT.
  - SPOT ELEVATIONS IN CURBED AREAS REFERENCE THE PAVEMENT EDGE ELEVATIONS.
  - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGER'S HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO. 20173313821 AND 20173313829, WITH A CLEAR DATE OF AUGUST 21, 2017.
  - UTILITY COMPANIES CONTACTED THRU DIGGER'S HOTLINE:  
CITY OF MADISON ENGINEERING  
MADISON GAS AND ELECTRIC (ELECTRIC AND GAS)  
CHARTER COMMUNICATIONS  
AMERICAN TRANSMISSION COMPANY  
AT&T DISTRIBUTION  
CENTURYLINK INC  
MADISON METRO SEWERAGE DISTRICT
  - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGER'S HOTLINE, AT 1800.242.8531.
  - JSD DOES NOT GUARANTEE THAT THE BENCHMARKS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.
  - THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.

**LEGAL DESCRIPTION**

PART OF LOT 1, CERTIFIED SURVEY MAP NO. 13722, RECORDED IN VOLUME 90 OF DANE COUNTY CERTIFIED SURVEY MAPS ON PAGES 215-223 AS DOCUMENT NUMBER 5071049, CITY OF MADISON, DANE COUNTY, WISCONSIN MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SECTION 28, AFORESAID; THENCE SOUTH 00 DEGREES 38 MINUTES 38 SECONDS WEST ALONG THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION A DISTANCE OF 107.15 FEET; THENCE NORTH 89 DEGREES 05 MINUTES 22 SECONDS WEST, 135.13 FEET TO A POINT ON THE SOUTHEASTERN RIGHT-OF-WAY LINE OF EAST TOWNE BOULEVARD, SAID POINT BEING THE POINT OF BEGINNING; THENCE SOUTH 31 DEGREES 20 MINUTES 27 SECONDS EAST, 84.56 FEET TO A POINT OF CURVE; THENCE SOUTHWESTERLY 65.30 FEET ALONG AN ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 40.50 FEET; THENCE SOUTH 89 DEGREES 58 MINUTES 30 SECONDS WEST, 60.49 FEET; THENCE NORTH 41 DEGREES 42 MINUTES 47 SECONDS WEST, 86.00 FEET TO THE SOUTHEASTERN RIGHT-OF-WAY LINE OF EAST TOWNE BOULEVARD; THENCE NORTH 46 DEGREES 22 MINUTES 53 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE, 155.40 FEET TO A POINT OF CURVE; THENCE NORTHEASTERLY 126.72 FEET ALONG AN ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 126.72 FEET; THENCE NORTH 52 DEGREES 28 MINUTES 43 SECONDS EAST, 126.49 FEET; THENCE NORTH 58 DEGREES 30 MINUTES 52 SECONDS EAST, 129.07 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 53,360 SQUARE FEET OR 1.225 ACRES.

TAX KEY NO: 251/0810-273-0097-0

**SURVEYOR'S CERTIFICATE**

I, JOHN KREBS, WISCONSIN PROFESSIONAL LAND SURVEYOR NO. S-1876, HEREBY CERTIFY THAT THIS EXISTING CONDITIONS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

JOHN KREBS, S-1876  
PROFESSIONAL LAND SURVEYOR

**SANITARY SEWER MANHOLES**

STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	878.66	NE	867.84	8"	VCP
		W	868.16	8"	VCP
SAN-2	876.20	SW	867.82	8"	VCP
		NE	865.40	8"	VCP
SAN-3	874.20	W	865.74	8"	VCP
		NE	862.85	8"	VCP
		W	862.90	8"	VCP
		SW	865.85	8"	VCP

**BENCHMARKS**

BENCH MARK	ELEVATION	DESCRIPTION
BM-1	879.55	CONCRETE MONUMENT AT THE EAST QUARTER CORNER OF SECTION 28-08-10
BM-2	876.20	3/4" REBAR EAST OF SITE

\*JSD DOES NOT GUARANTEE THAT THE BENCHMARK ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.

**STORM SEWER MANHOLES**

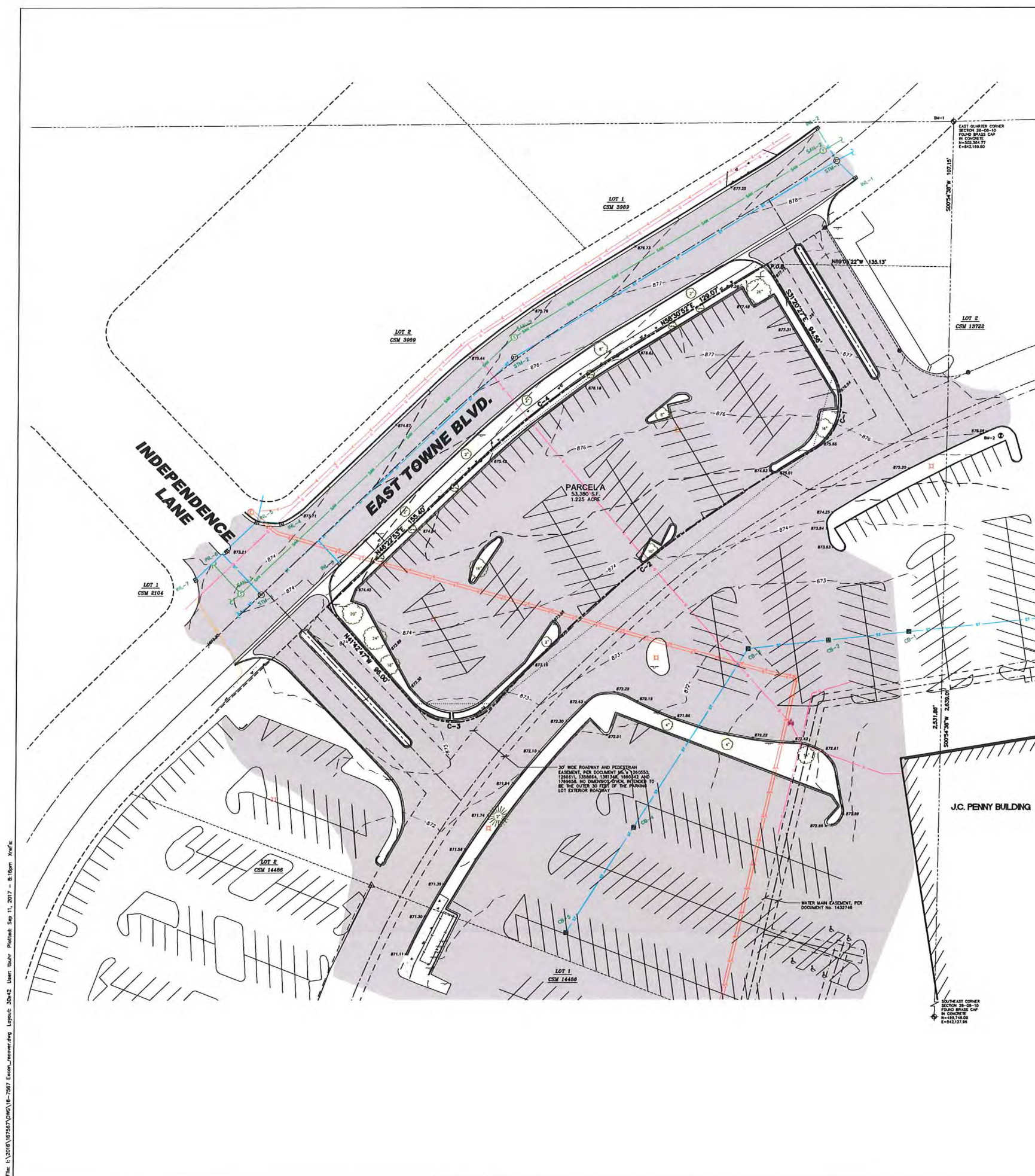
STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
CB-1	871.72	NE	865.72	30"	RCP
		SW	865.67	30"	RCP
CB-2	871.46	NE	865.57	30"	RCP
		SW	865.54	30"	RCP
CB-3	871.23	NE	865.43	30"	RCP
		SW	865.48	30"	RCP
CB-4	870.53	NE	864.23	30"	RCP
		SW	864.68	30"	RCP
CB-5	869.39	CENTER	864.19	30"	RCP
		NE	871.65	48"	RCP
STM-1	878.78	E	+	12"	RCP
		W	+	12"	RCP
STM-2	876.50	NE	869.45	48"	RCP
		SW	869.45	48"	RCP
STM-3	874.55	NE	+	48"	RCP
		W	+	30"	RCP
		SW	+	60"	RCP

**CURVE TABLE**

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C-1	65.30'	40.50'	82°22'40"	58.45'	S14°50'53"W
C-2	299.37'	885.34'	18°22'26"	297.84'	S51°17'10"W
C-3	88.30'	40.50'	98°37'28"	60.49'	S89°58'30"W
C-4	126.72'	603.66'	120°1'46"	126.49'	S52°26'43"E

**STORM SEWER INLETS**

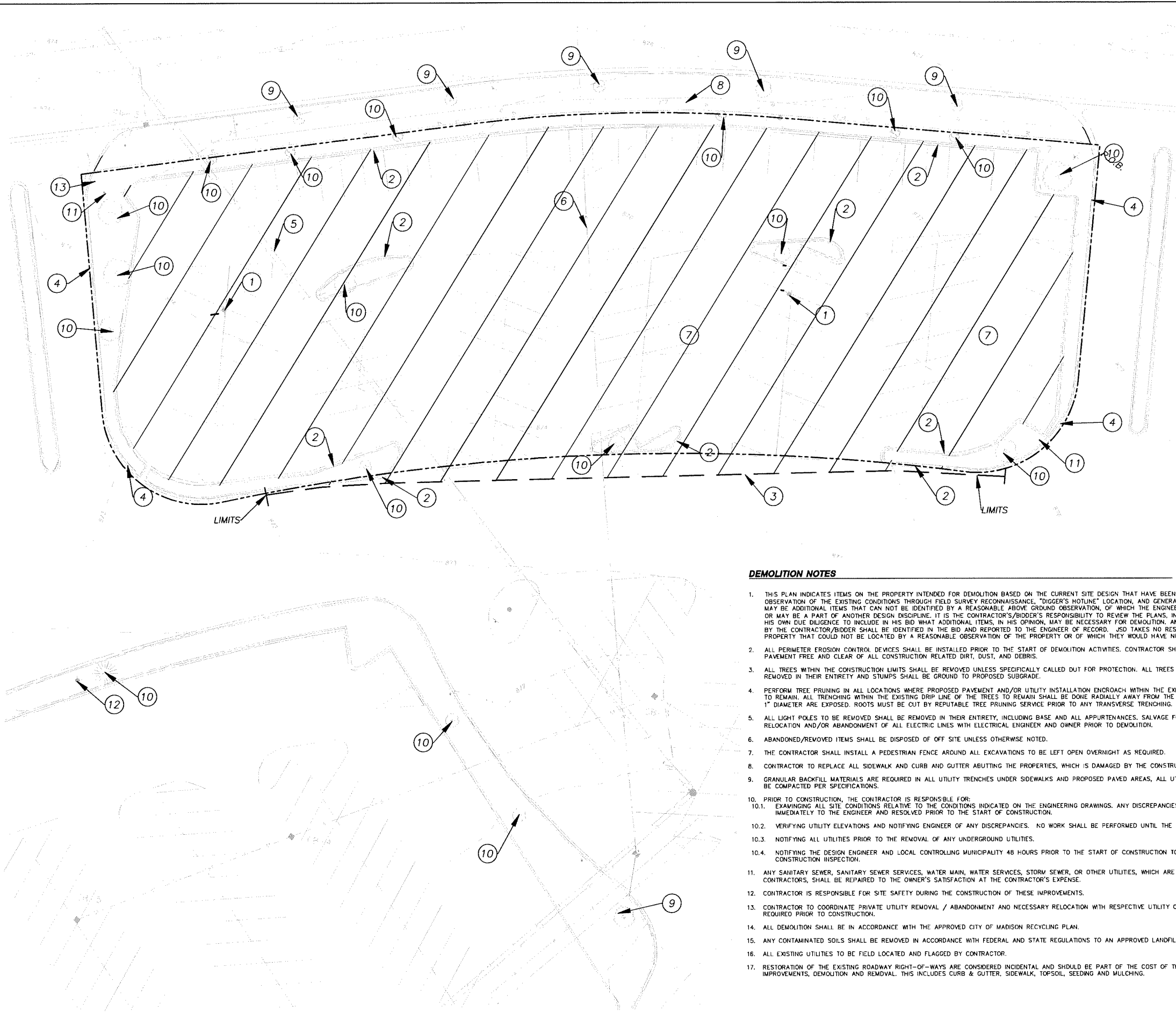
INLET ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
INL-1	877.83	W	875.78	12"	RCP
INL-2	877.84	E	875.78	12"	RCP
INL-3	873.65	NE	871.50	12"	RCP
INL-4	873.30	SW	871.30	12"	RCP
INL-5	872.90	NE	870.90	12"	RCP
		SW	870.70	12"	RCP
INL-6	872.97	SW	870.45	12"	RCP
		SW	869.73	12"	RCP
INL-7	872.65	NE	869.67	18"	RCP
		E	870.65	12"	RCP



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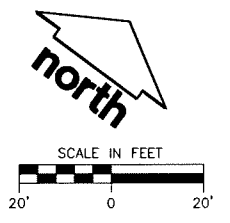
**LEGEND (GRADING & EROSION CONTROL)**

	PAVEMENT REMOVAL
	CONCRETE PAVEMENT
	CONSTRUCTION LIMITS
	SANITARY SEWER
	WATERMAIN
	STORM SEWER
	STANDARD CURB AND GUTTER
	DEMOLITION KEY NOTE NUMBER

- DEMOLITION KEY NOTES**
- 1 REMOVE EXISTING LIGHT POLE AND BASE. COVERED UNDER NOTE 5 BELOW.
  - 2 REMOVE EXISTING CURB TO LIMITS SHOWN.
  - 3 SAW CUT EXISTING ASPHALT PAVEMENT.
  - 4 EXISTING CURB & GUTTER TO REMAIN.
  - 5 EXISTING ELECTRIC SERVICE TO BE RELOCATED. COORDINATE WITH MG & E.
  - 6 EXISTING GAS SERVICE TO BE RELOCATED. COORDINATE WITH MG & E.
  - 7 REMOVE EXISTING ASPHALT PAVEMENT.
  - 8 EXISTING WALK TO REMAIN.
  - 9 EXISTING TREES TO REMAIN.
  - 10 EXISTING TREE TO BE REMOVED.
  - 11 EXISTING SIGN TO REMAIN.
  - 12 EXISTING LIGHT POLE TO BE RELOCATED.
  - 13 EXISTING SIGN TO BE RELOCATED.

**DEMOLITION NOTES**

1. THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
2. ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST, AND DEBRIS.
3. ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
4. PERFORM TREE PRUNING IN ALL LOCATIONS WHERE PROPOSED PAVEMENT AND/OR UTILITY INSTALLATION ENDOURCH WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN. ALL TRENCHING WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN SHALL BE DONE RADIALLY AWAY FROM THE TRUNK IF ROOTS IN EXCESS OF 1" DIAMETER ARE EXPOSED. ROOTS MUST BE CUT BY REPUTABLE TREE PRUNING SERVICE PRIOR TO ANY TRANSVERSE TRENCHING.
5. ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION. COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
6. ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
8. CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION.
9. GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS, ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.
10. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - 10.1. EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - 10.2. VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
  - 10.3. NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
  - 10.4. NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
11. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
12. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
13. CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
14. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED CITY OF MADISON RECYCLING PLAN.
15. ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
16. ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
17. RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.



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CLIENT:  
**CBL & ASSOCIATES  
PROPERTIES**

CLIENT ADDRESS:  
**2030 HAMILTON PLACE BLVD.,  
STE. 500, CHATANOOGA, TN 34721**

PROJECT:  
**PORTILLO'S, EAST  
TOWNE MALL**

PROJECT LOCATION:  
**CITY OF MADISON, WI  
DANE COUNTY**

**PLAN MODIFICATIONS:**

#	Date	Description
1	11-06-17	Land Use - UDC Initial/Final
2		
3		
4		
5		
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7		
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Design/Drawn: JLF / TKG 10-13-2017  
Approved: PMP 10-13-2017  
Submitted: 10-13-2017

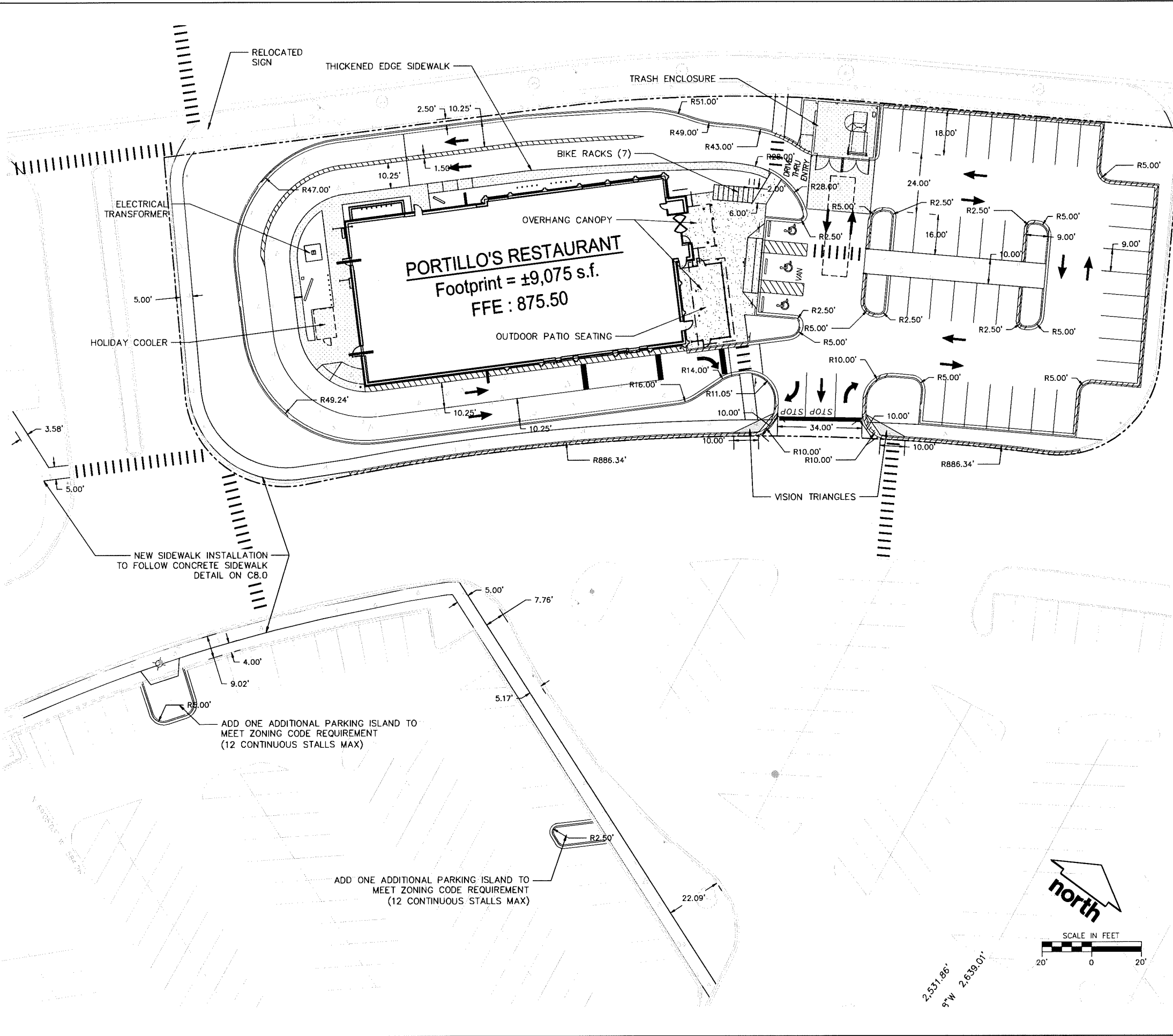
SHEET TITLE:  
**DEMOLITION PLAN**

SHEET NUMBER:  
**C3.0**

JSD PROJECT NO. 16-7667

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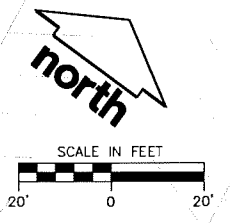
**LEGEND (SITE PLAN)**

---	PROPERTY LINE
- - - -	RIGHT-OF-WAY
---	EASEMENT LINE
---	BUILDING SETBACK LINE
---	PAVEMENT SETBACK LINE
---	BUILDING OUTLINE
---	BUILDING OVERHANG
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	REJECT CURB AND GUTTER
---	MOUNTABLE CURB
---	ASPHALT PAVEMENT
---	HEAVY DUTY ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
---	CONCRETE PAVEMENT- DEEP CHARCOAL U49
---	CONCRETE PAVEMENT- SIENNA U37
---	SAWCUT EXISTING PAVEMENT
---	STORMWATER MANAGEMENT AREA
---	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
---	ADA PARKING BOLLARDS/SIGNS

- GENERAL NOTES:**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
  - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

- SITE PLAN NOTES:**
- ALL DIMENSIONS TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
  - ALL RADII TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
  - ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET THE REQUIREMENTS OF THE CITY OF MADISON.
  - CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
  - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
  - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
  - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
  - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
  - 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMP.
  - ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH HIGH VISIBILITY YELLOW LATEX PAINT PER SPECIFICATIONS.

SITE INFORMATION BLOCK	
Site Address	EAST TOWNE MALL MADISON, WI
Site Acreage (total)	1.22 (53,100 SF)
Number of Building Stories (above grade)	1
Total Building Square Footage	9,075 SF
Use of property	COMMERCIAL
Parking Stalls:	
Large Stall	38
Accessible	3
Total Stalls	41
Existing vs. Proposed Site Coverage:	
Existing Impervious Surface Area	47,540 S.F.
Existing Pervious Surface Area	5,560 S.F.
Proposed Impervious Surface Area	43,710 S.F.
Proposed Pervious Surface Area	9,390 S.F.
Proposed Impervious Surface Area Ratio	4.66
Offsite Areas (Sidewalk & Terrace South of Main Site)	
Proposed Offsite Impervious Surface Area	2,160 S.F.
Proposed Offsite Pervious Surface Area	390 S.F.



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CLIENT:  
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PROPERTIES**

CLIENT ADDRESS:  
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STE. 600, CHATANOOGA, TN 34721**

PROJECT:  
**PORTILLO'S, EAST  
TOWNE MALL**

PROJECT LOCATION:  
**CITY OF MADISON, WI  
DANE COUNTY**

**PLAN MODIFICATIONS:**

#	Date	Description
1	11.08.17	Land Use - UDC Initial/Final
2		
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Design/Drawn: JLF / TKG 10-13-2017  
Approved: PMP 10-13-2017  
Submitted: 10-13-2017

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**C4.0**

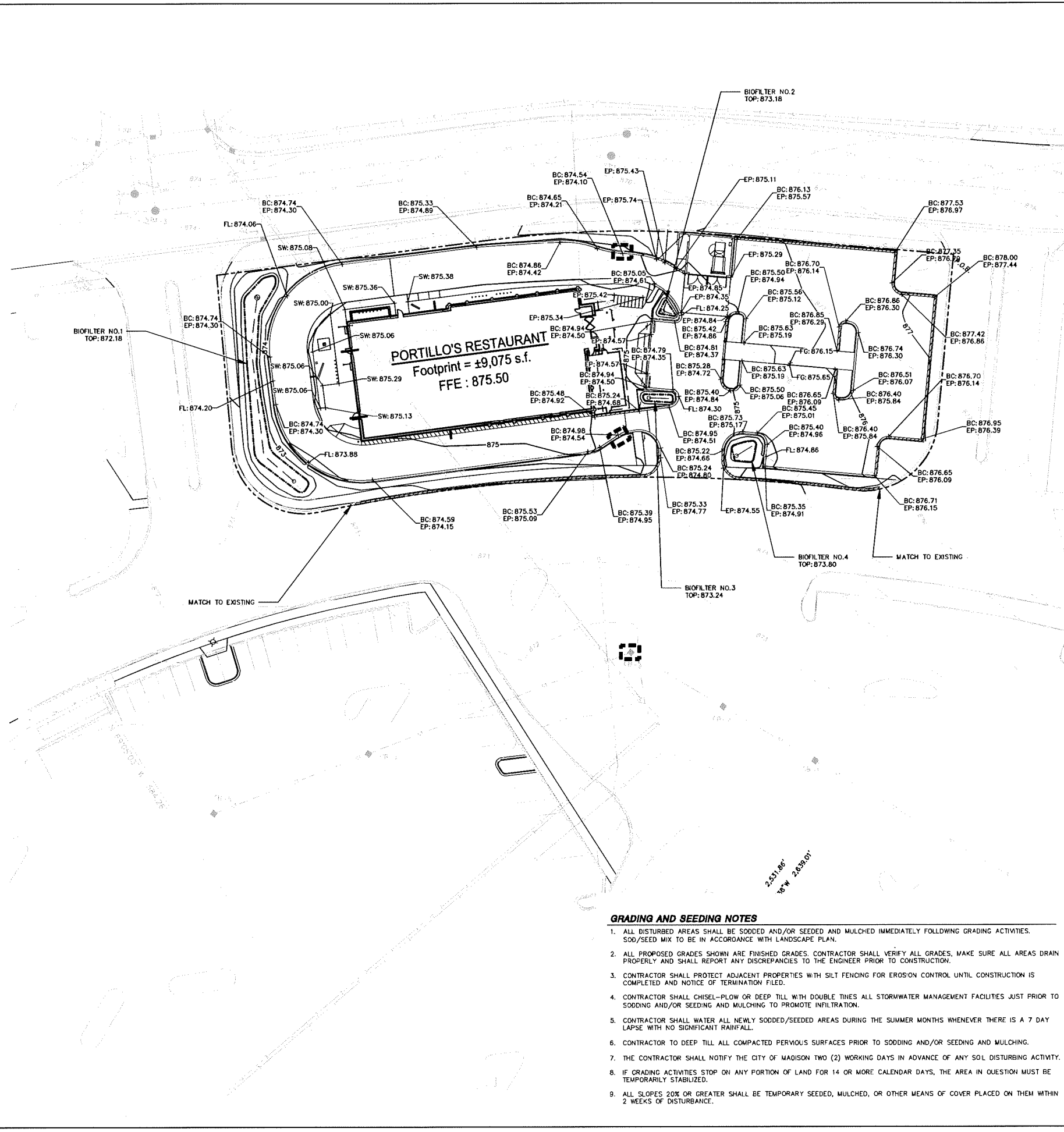


JSD PROJECT NO: 16-7567

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**LEGEND (GRADING & EROSION CONTROL PLAN)**

- |     |                                        |     |     |                          |
|-----|----------------------------------------|-----|-----|--------------------------|
| --- | PROPERTY LINE                          | --- | 934 | PROPOSED 1 FOOT CONTOUR  |
| --- | RIGHT-OF-WAY                           | --- | 935 | PROPOSED 1 FOOT CONTOUR  |
| --- | EASEMENT LINE                          | --- | --- | DRAINAGE DIRECTION       |
| --- | BUILDING OUTLINE                       | --- | ST  | STORM SEWER              |
| --- | BUILDING OVERHANG                      | --- | --- | SILT FENCE               |
| --- | EDGE OF PAVEMENT                       | --- | --- | CONSTRUCTION LIMITS      |
| --- | STANDARD CURB AND GUTTER               | --- | --- | INLET PROTECTION, TYPE D |
| --- | REJECT CURB AND GUTTER                 | --- | --- | SPOT ELEVATION           |
| --- | ASPHALT PAVEMENT                       | --- | --- | EP - EDGE OF PAVEMENT    |
| --- | HEAVY DUTY ASPHALT PAVEMENT            | --- | --- | FG - FINISH GRADE        |
| --- | CONCRETE PAVEMENT                      | --- | --- | EC - EDGE OF CONCRETE    |
| --- | HEAVY DUTY CONCRETE PAVEMENT           | --- | --- | TS - TOP OF STEP         |
| --- | STORMWATER MANAGEMENT AREA             | --- | --- | BS - BOTTOM OF STEP      |
| --- | BOULDER RETAINING WALL                 | --- | --- | RM - RIM ELEVATION       |
| --- | MODULAR BLOCK RETAINING WALL           | --- | --- | ---                      |
| --- | LIGHT POLE (REFER TO PHOTOMETRIC PLAN) | --- | --- | ---                      |
| --- | ADA PARKING BOLLARDS/SIGNS             | --- | --- | ---                      |

**CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS (CSECR) NOTES:**

- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm>
- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% OF THE COVER FOR THE UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
  - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
  - DISCHARGE TRENCH WATER INTO A SEIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
- STABILIZATION PRACTICES:**
  - STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
    - THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
    - CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHICH ACTIVITY CEASED. (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
  - STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
    - PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
    - TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
    - HYDRO-MULCHING WITH A TACKIFIER
    - GEOTEXTILE EROSION MATTING
    - SODDING

**CONSTRUCTION SEQUENCING**

- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- REMOVE EXISTING SURFACE MATERIALS PER DEMOLITION PLAN.
- EXCAVATE BUILDING FOUNDATIONS.
- COMPLETE ALL OTHER GRADING.
- EXCAVATE BIO-FILTER AREAS.
- INSTALL STORM SEWER & INLET PROTECTION MEASURES.
- INSTALL AGGREGATE BASE COURSE AND PAVING IN PARKING AREAS.
- STABILIZE NEWLY GRADED SOILS.
- COMPLETE EXTERIOR BUILDING WORK AND DOWNSPOUTS.
- INSTALL BIO-FILTER MATERIAL.

**GRADING AND SEEDING NOTES**

- ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDDED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
- CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TIMES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
- CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- CONTRACTOR TO DEEP TILL ALL COMPACTED PEROUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
- IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.
- ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.



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PROJECT LOCATION:  
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DANE COUNTY**

**PLAN MODIFICATIONS:**

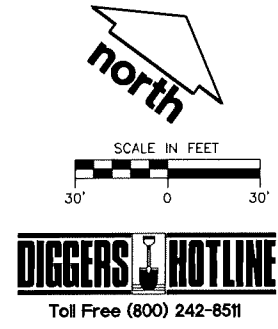
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Design/Drawn: JLF/TRG 10-13-2017  
Approved: PMP 10-13-2017  
Submitted: 10-13-2017

**SHEET TITLE:  
GRADING & EROSION  
CONTROL PLAN**

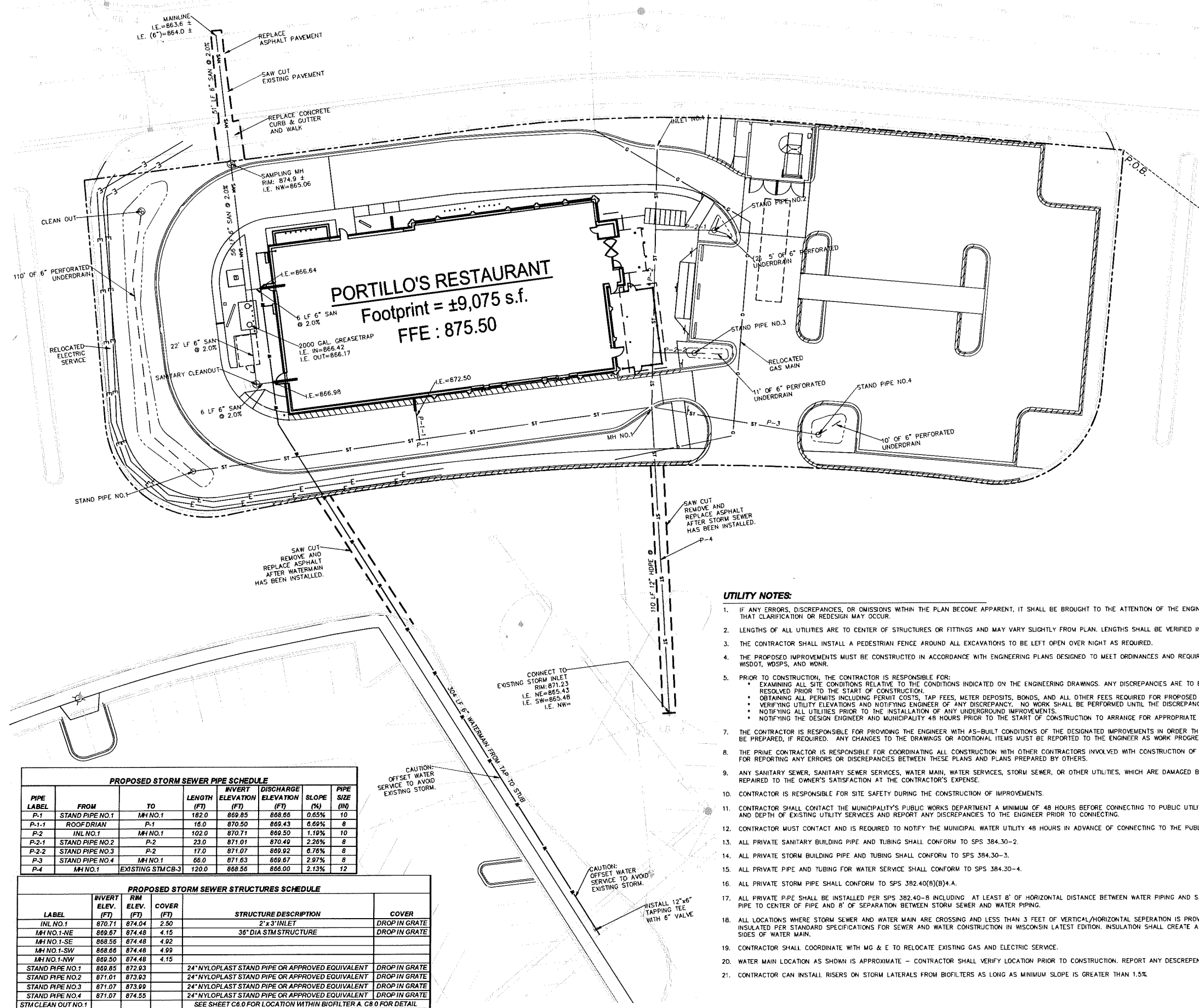
SHEET NUMBER:  
**C5.0**

JSD PROJECT NO: 16-7667



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**LEGEND (UTILITY PLAN)**

---	PROPERTY LINE
- - - -	RIGHT-OF-WAY
---	EASEMENT LINE
---	BUILDING OUTLINE
---	SAW CUT
---	EDGE OF PAVEMENT
---	STORMWATER MANAGEMENT AREA
---	SAN
---	SANITARY SEWER
---	WATERMAIN
---	STORM SEWER
---	STORM SEWER UNDERDRAIN
---	UNDERGROUND GAS
---	E
---	UNDERGROUND ELECTRIC
---	EXISTING STORM SEWER
---	EXISTING SANITARY SEWER
---	EXISTING WATERMAIN
---	EXISTING UNDERGROUND GAS
---	EXISTING UNDERGROUND ELECTRIC

**UTILITY NOTES:**

- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WDSPS, AND WDWNR.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
  - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
  - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL CONTACT THE MUNICIPALITY'S PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES. CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING UTILITY SERVICES AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONNECTING.
- CONTRACTOR MUST CONTACT AND IS REQUIRED TO NOTIFY THE MUNICIPAL WATER UTILITY 48 HOURS IN ADVANCE OF CONNECTING TO THE PUBLIC UTILITY.
- ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
- ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
- ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
- ALL PRIVATE STORM PIPE SHALL CONFORM TO SPS 382.40(8)(B)4.A.
- ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-8 INCLUDING AT LEAST 8' OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 8' OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
- ALL LOCATIONS WHERE STORM SEWER AND WATER MAIN ARE CROSSING AND LESS THAN 3 FEET OF VERTICAL/HORIZONTAL SEPARATION IS PROVIDED, WATER MAIN SHALL BE INSULATED PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN LATEST EDITION. INSULATION SHALL CREATE A "BOX" ENCLING THE TOP AND SIDES OF WATER MAIN.
- CONTRACTOR SHALL COORDINATE WITH MG & E TO RELOCATE EXISTING GAS AND ELECTRIC SERVICE.
- WATER MAIN LOCATION AS SHOWN IS APPROXIMATE - CONTRACTOR SHALL VERIFY LOCATION PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO ENGINEER AND OWNER.
- CONTRACTOR CAN INSTALL RISERS ON STORM LATERALS FROM BIOFILTERS AS LONG AS MINIMUM SLOPE IS GREATER THAN 1.5%.

**PROPOSED STORM SEWER PIPE SCHEDULE**

PIPE LABEL	FROM	TO	LENGTH (FT)	INVERT ELEVATION (FT)	DISCHARGE ELEVATION (FT)	SLOPE (%)	PIPE SIZE (IN)
P-1	STAND PIPE NO.1	MH NO.1	182.0	869.85	868.06	0.65%	10
P-1-1	ROOF DRAIN	P-1	16.0	870.50	869.43	0.69%	8
P-2	INLET NO.1	MH NO.1	102.0	870.71	869.50	1.19%	10
P-2-1	STAND PIPE NO.2	P-2	23.0	871.01	870.49	2.26%	8
P-2-2	STAND PIPE NO.3	P-2	17.0	871.07	869.92	0.78%	8
P-3	STAND PIPE NO.4	MH NO.1	66.0	871.63	869.67	2.97%	8
P-4	MH NO.1	EXISTING STM CB-3	120.0	868.56	866.00	2.13%	12

**PROPOSED STORM SEWER STRUCTURES SCHEDULE**

LABEL	INVERT ELEV. (FT)	RIM ELEV. (FT)	COVER (FT)	STRUCTURE DESCRIPTION	COVER
INLET NO.1	870.71	874.04	2.50	2' x 3' INLET	DROP IN GRATE
MH NO.1-NE	869.67	874.48	4.15	36" DIA STM STRUCTURE	DROP IN GRATE
MH NO.1-SE	868.56	874.48	4.92		
MH NO.1-SW	868.68	874.48	4.99		
MH NO.1-NW	869.50	874.48	4.15		
STAND PIPE NO.1	869.85	872.93		24" NYLOPLAST STAND PIPE OR APPROVED EQUIVALENT	DROP IN GRATE
STAND PIPE NO.2	871.01	873.93		24" NYLOPLAST STAND PIPE OR APPROVED EQUIVALENT	DROP IN GRATE
STAND PIPE NO.3	871.07	873.99		24" NYLOPLAST STAND PIPE OR APPROVED EQUIVALENT	DROP IN GRATE
STAND PIPE NO.4	871.07	874.55		24" NYLOPLAST STAND PIPE OR APPROVED EQUIVALENT	DROP IN GRATE
STM CLEAN OUT NO.1				SEE SHEET C6.0 FOR LOCATION WITHIN BIOFILTER A. C&D FOR DETAIL	



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CLIENT:  
**CBL & ASSOCIATES PROPERTIES**

CLIENT ADDRESS:  
**2030 HAMILTON PLACE BLVD.,  
STE. 500, CHATANOOGA, TN 34721**

PROJECT:  
**PORTILLO'S, EAST TOWNE MALL**

PROJECT LOCATION:  
**CITY OF MADISON, WI  
DANE COUNTY**

**PLAN MODIFICATIONS:**

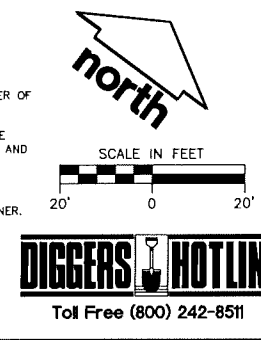
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Design/Drawn: JLF / TKG 10-13-2017  
Approved: PMP 10-13-2017  
Submitted: 10-13-2017

SHEET TITLE:  
**UTILITY PLAN**

SHEET NUMBER:  
**C6.0**

JSD PROJECT NO: 16-7507



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**LEGEND**

	PROPERTY LINE
	500' RADIUS FROM HYDRANT
	20' WIDE FIRE LANE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	CONCRETE PAVEMENT



### City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506  
 Phone: 608.266.4420 • Fax: 608.267.1100 • E-mail: fire@cityofmadison.com

**Project Address:** East Towne Mall, Madison, WI 53704

**Contact Name & Phone #:**

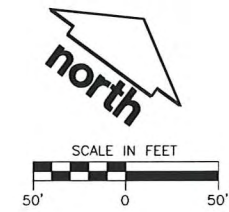
**FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET**

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13 1/2-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
6. Is any part of the building greater than 30-feet above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3 1/2-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1 1/2-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.503 and IFC 2015 Edition Chapter 5 and Appendix D; please see the codes for further information.

Revised 12/12/16



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CLIENT:  
**CBL & ASSOCIATES  
PROPERTIES**

CLIENT ADDRESS:  
**2030 HAMILTON PLACE BLVD.,  
STE. 500, CHATANOOGA, TN 34721**

PROJECT:  
**PORTILLO'S, EAST  
TOWNE MALL**

PROJECT LOCATION:  
**CITY OF MADISON, WI  
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	11.08.17	Land Use - UDC Initial/Final
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Design/Drawn: JLF / TKG 10-13-2017  
 Approved: PMP 10-13-2017  
 Submitted: 10-13-2017

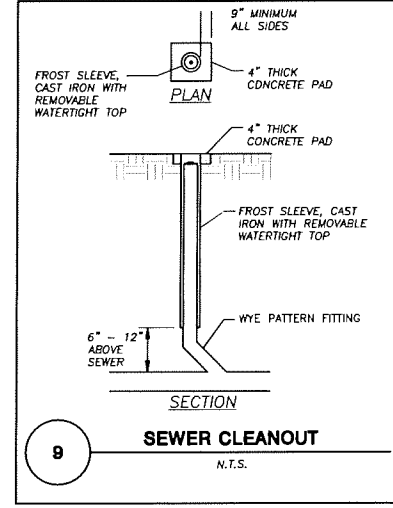
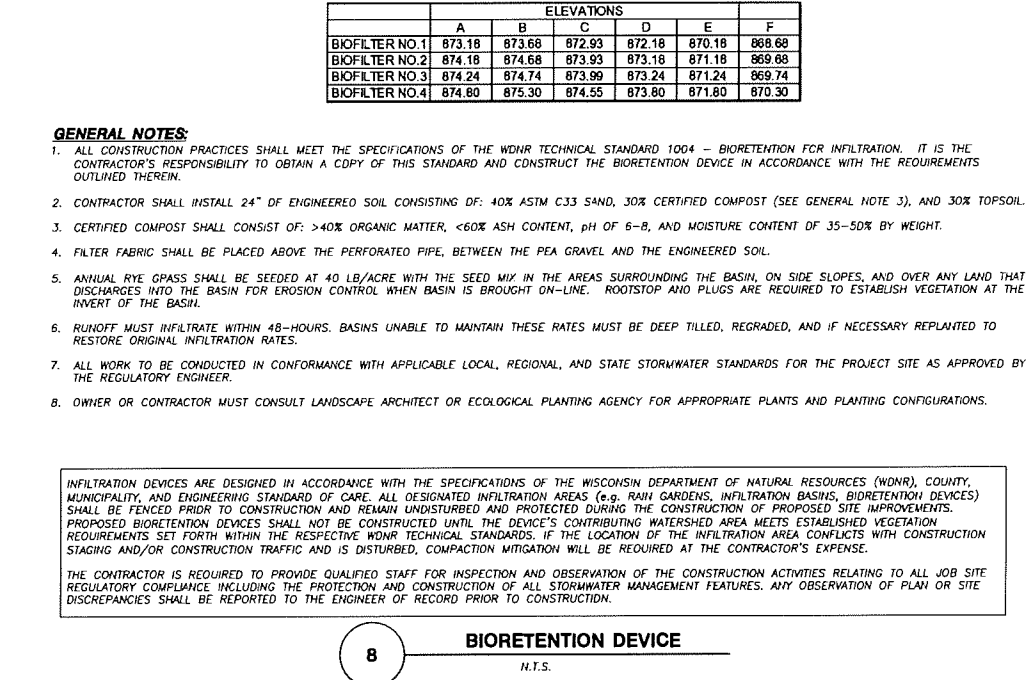
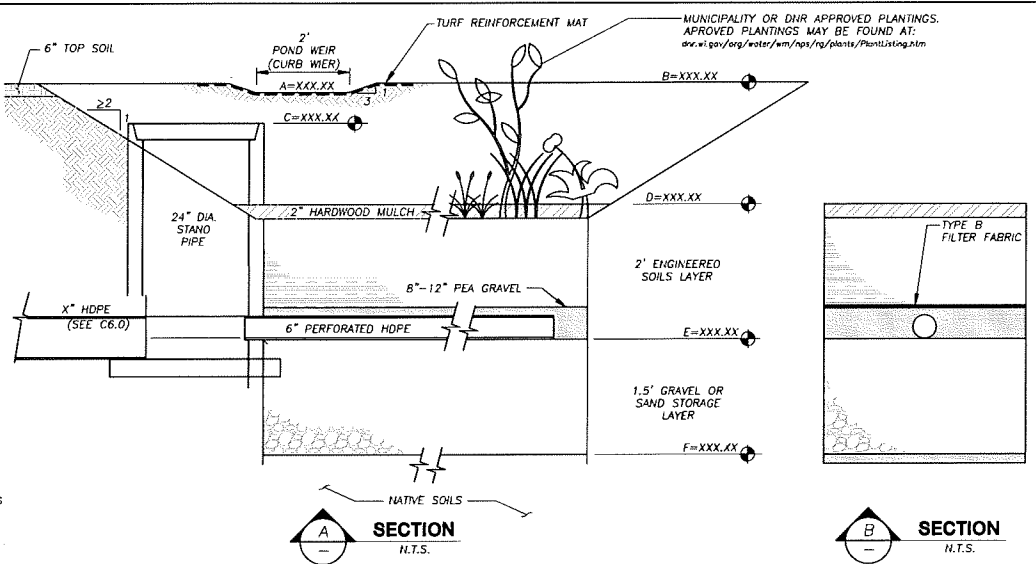
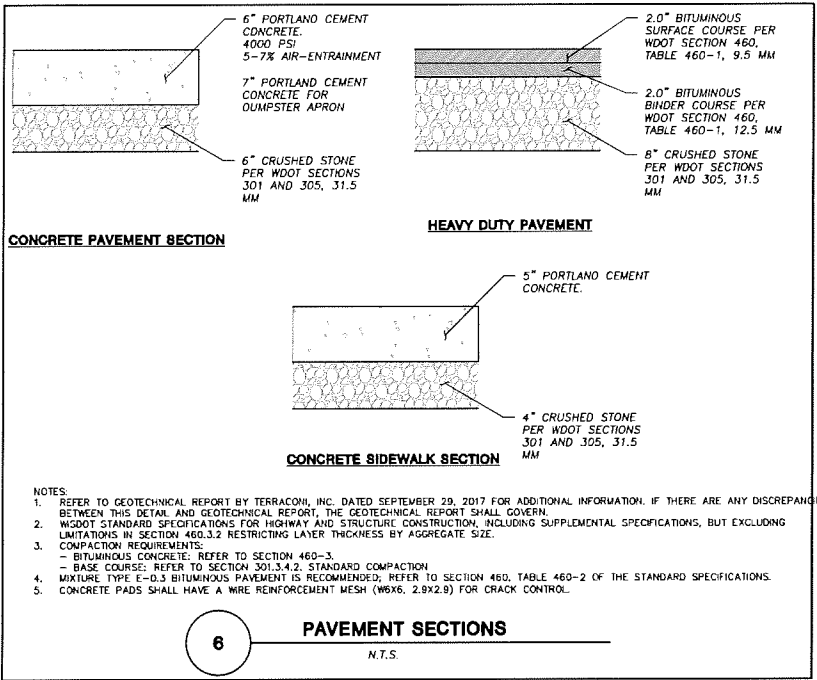
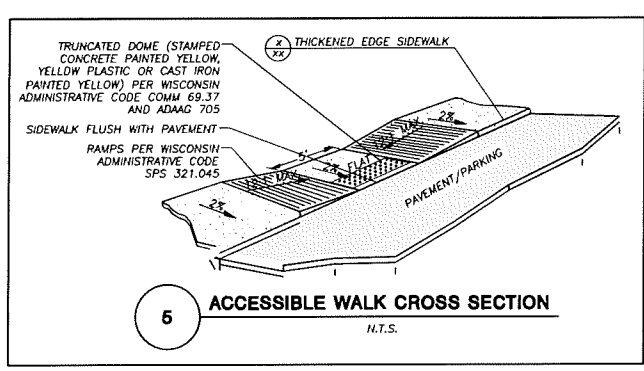
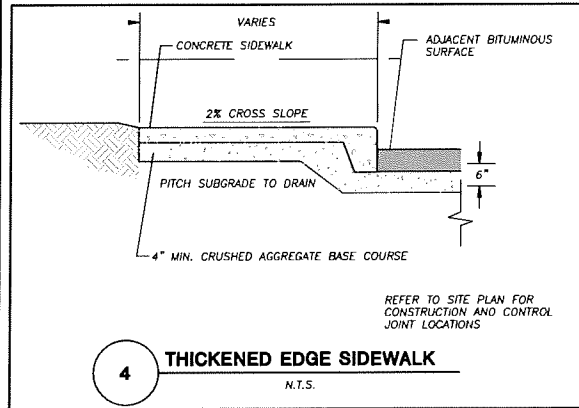
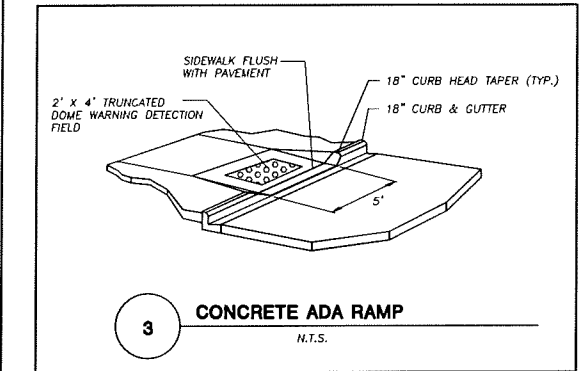
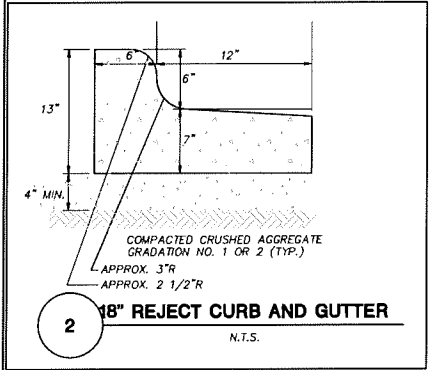
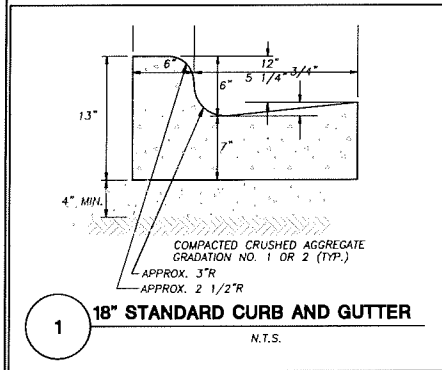
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**FIRE ACCESS EXHIBIT**

SHEET NUMBER:  
**C7.0**

JSD PROJECT NO: 16-7567

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Engineers • Surveyors • Planners

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PROJECT:  
**PORTILLO'S, EAST TOWNE MALL**

PROJECT LOCATION:  
**CITY OF MADISON, WI  
DANE COUNTY**

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Design/Drawn: JLF /TKG 10-13-2017  
Approved: PMP 10-13-2017  
Submitted: 10-13-2017

SHEET TITLE:  
**DETAILS**

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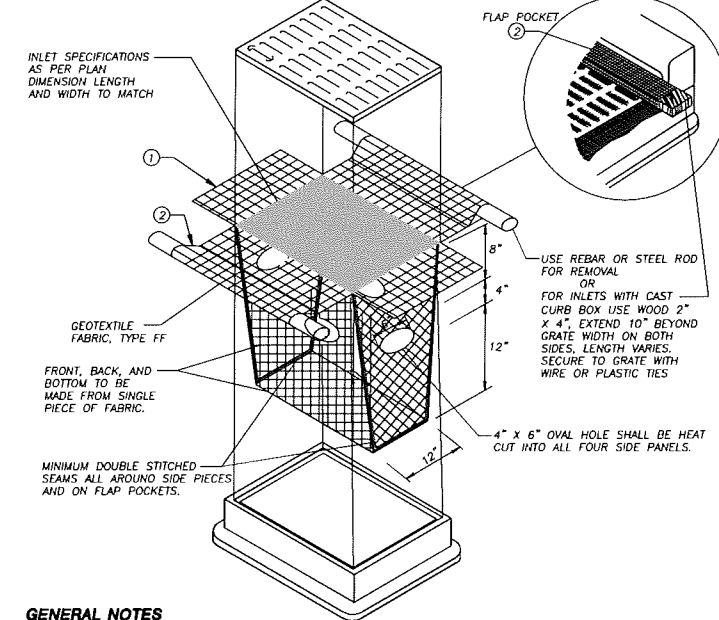
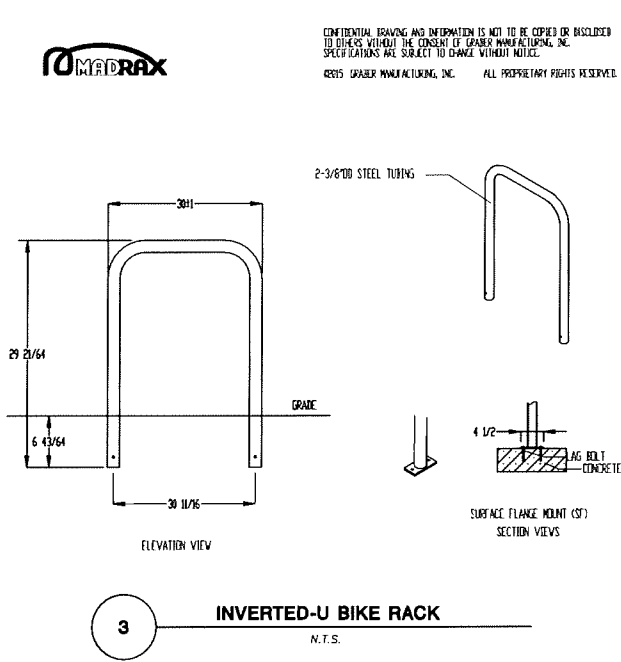
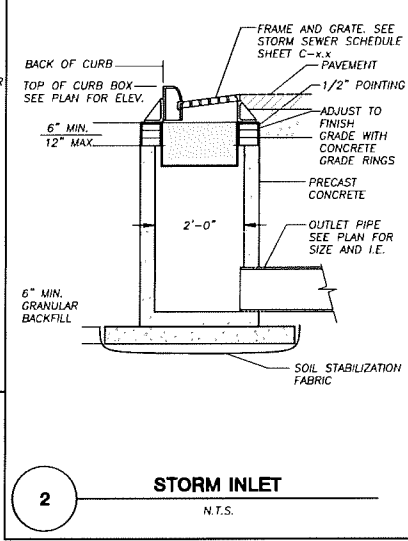
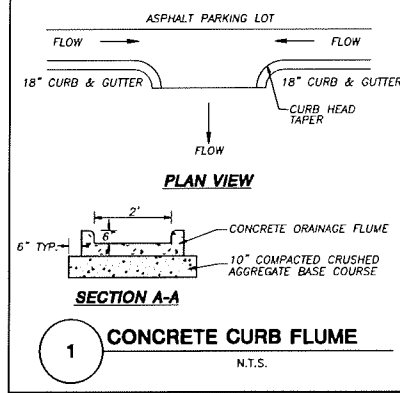
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**GENERAL NOTES**

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

② FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.

**INSTALLATION NOTES**

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCHE THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



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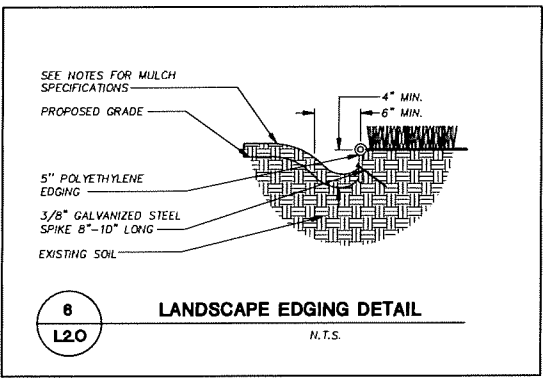
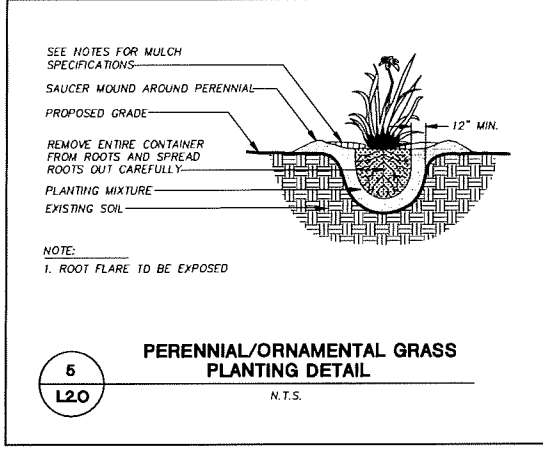
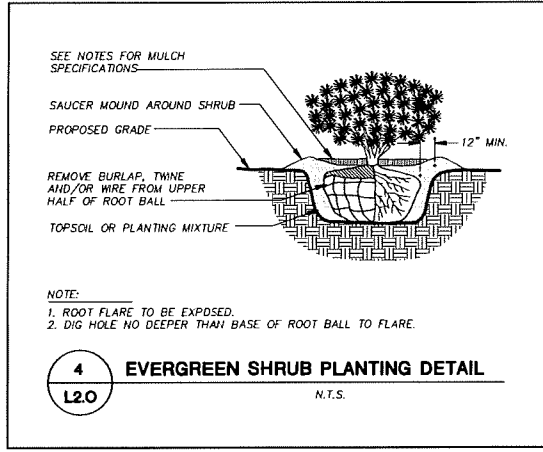
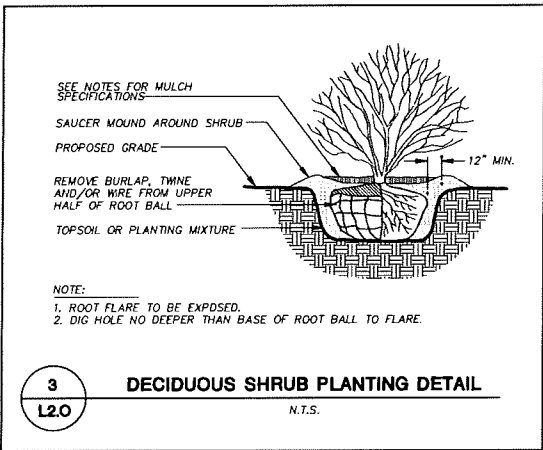
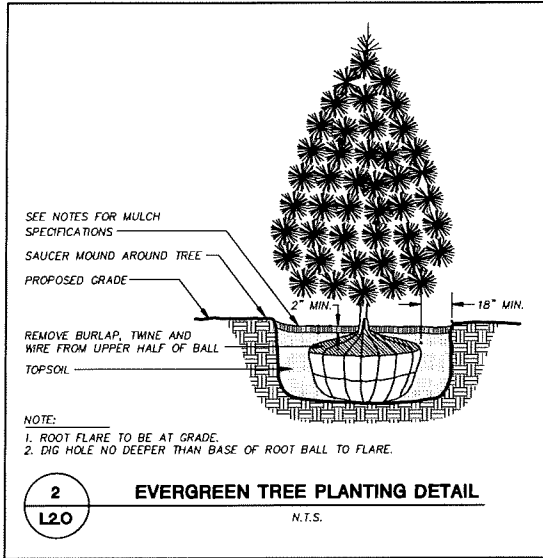
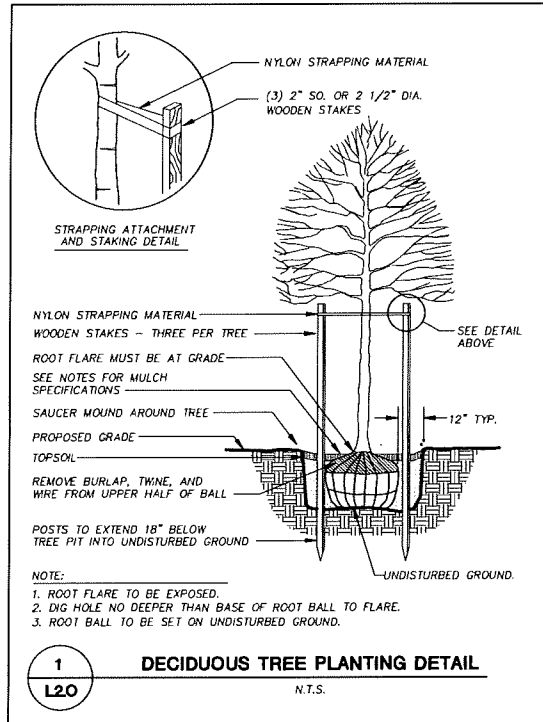
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**CITY OF MADISON**  
**LANDSCAPE WORKSHEET**  
Section 28.142 Madison General Ordinance

Project Location / Address: EAST TOWNE MALL, MADISON, WI 53704  
Name of Project: PORTILLO'S - EAST TOWNE MALL  
Owner / Contact: CBL & ASSOCIATES PROPERTIES, INC. - JUSTIN LONG  
Contract Phone: (608) 848-5060 Contact Email: JUSTIN.FRAHM@JSDINC.COM

\*\* Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. \*\*

**Annexability**  
The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- The area of site disturbance is less than ten percent (10%) of the entire development site during any ten(10) year period.
- Gross floor area is only increased by ten percent (10%) during any ten(10) year period.
- No demolition of a principal building is involved.
- Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

**Landscape Calculations and Distribution**  
Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, drive-ways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

(a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 34,634  
Total landscape points required 578

(b) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area \_\_\_\_\_  
Five (5) acres = 217,800 square feet  
First five (5) developed acres = 3,630 points  
Remainder of developed area \_\_\_\_\_  
Total landscape points required \_\_\_\_\_

(c) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area \_\_\_\_\_  
Total landscape points required \_\_\_\_\_

10/2013

**Tabulation of Points and Credits**  
Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35			9	315
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15			4	60
Upright evergreen shrub (i.e. arbutus)	3-4 feet tall	10				
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			140	420
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			15	60
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			386	772
Ornamental/ decorative fencing or wall	n/a	4 per 10 linear ft.				
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
<b>Sub Totals</b>						<b>1,627</b>

Total Number of Points Provided 1,627

\* As determined by ANSI, ANLA - American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

**GENERAL NOTES**

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DIG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.

**LANDSCAPE MATERIAL NOTES**

- MATERIALS - SOIL: PLANTING SOIL SHALL MEET THESE REQUIREMENTS:  
A. PLANTING AREAS = 24"  
B. TREE PITS = SEE DETAILS
- PLANTING SOIL TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH OVER ALL PLANTING AREAS. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDING LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5" DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 4 INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 4" DIAMETER ABOUT THE CENTER OF THE TREE. PLANTING, A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
- MATERIALS - SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE SPREAD BY HAND BROADCAST METHOD OR APPROPRIATE SPREADER EQUIPMENT WITH EARTH CARPET'S "MADISON PARKS" OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- MATERIALS - BIORETENTION BASH/PRAIRIE SEED MIX: AREAS SPECIFIED ON PLAN TO BE BROADCAST SEEDING WITH "DIVERSE PRAIRIE FOR MEDIUM SOILS" SEED MIX, AS PROVIDED BY PRAIRIE NURSERY, P.O. BOX 306, WESTFIELD, WISCONSIN, 53964, TEL. 608-296-3679 (OR APPROVED EQUIVALENT). INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.
- MATERIALS - BIORETENTION BASIN PLUG PLANTINGS: PLUG PLANTINGS TO BE INSTALLED 1'-6" ON CENTER, MIXING SPECIES INTEGRALLY IN FLATS OF 20 AT A TIME. REFER TO WNR TECHNICAL STANDARDS FOR ROOTSTOCK AND PLUG PLANTINGS FOR BIORETENTION BASINS.

**CONTRACTOR AND OWNER RESPONSIBILITY NOTES**

- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, AND SEEDING LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

**MADISON REGIONAL OFFICE**  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:  
**CBL & ASSOCIATES PROPERTIES**

CLIENT ADDRESS:  
**2030 HAMILTON PLACE BLVD.,  
STE. 600, CHATANOOGA, TN 37271**

PROJECT:  
**PORTILLO'S, EAST TOWNE MALL**

PROJECT LOCATION:  
**CITY OF MADISON, WI  
DANE COUNTY**

PLAN MODIFICATIONS:	Date:	Description:
1	11.08.17	Land Use - UDC Initial/Final
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

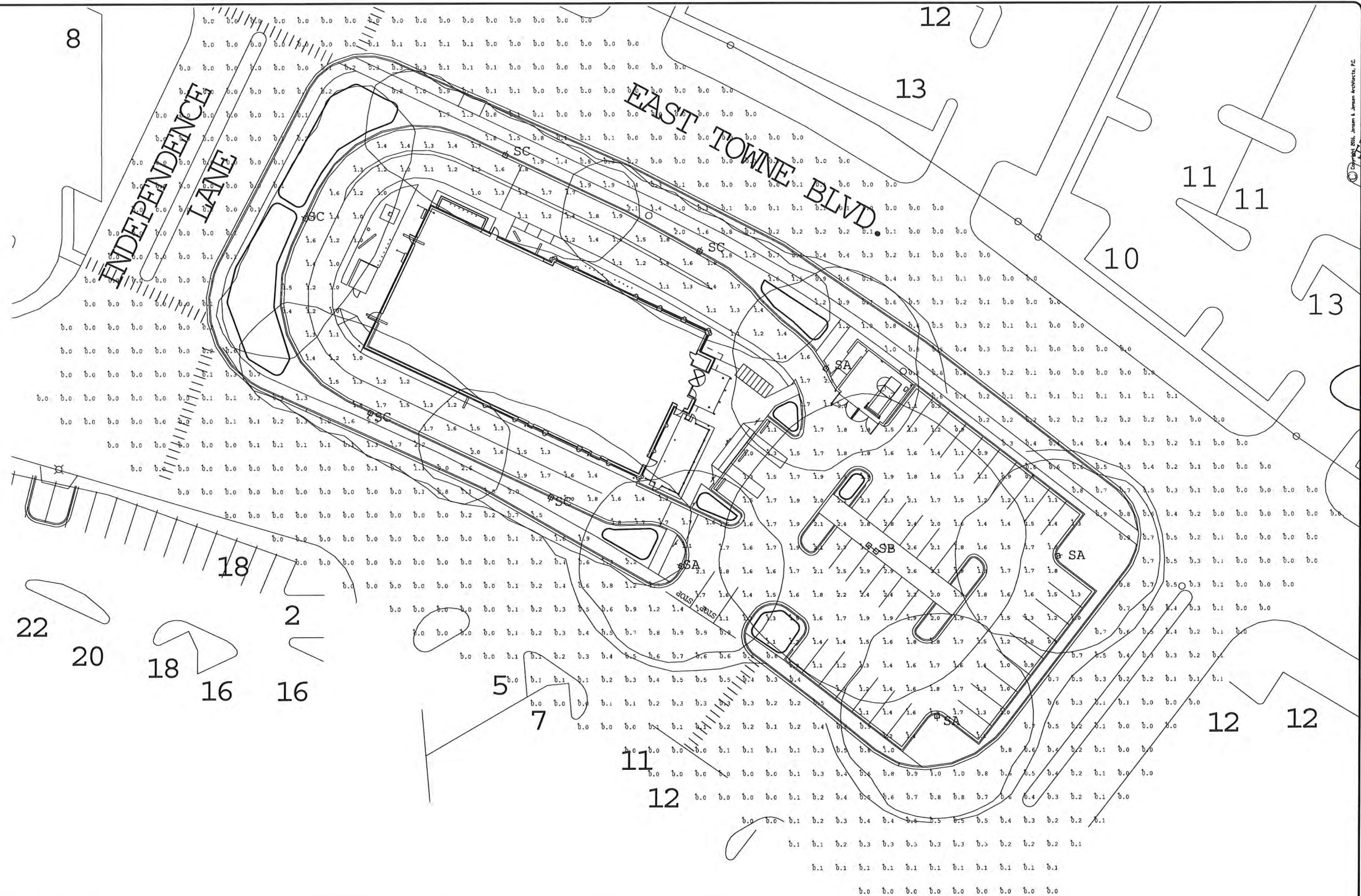
Design/Drawn: JLF /TKG 09-18-2017  
Approved: MAS 09-18-2017  
Submitted: 09-18-2017

SHEET TITLE:  
**LANDSCAPE DETAILS,  
NOTES, AND  
SPECIFICATIONS**

SHEET NUMBER:  
**L2.0**







Luminaire Schedule							Filename	Lum. Watts
Qty	Label	Arrangement	LLF	Description				
4	SA	SINGLE	0.85	Quattro Ltg. 1 / CAR100-L5-140LED4.1-BZTX-QM609 on a ALP Pole SNS-30-50-7-AB-BC-D19 30' Pole on a 0.0' Base			ITL68315-140L5.IES	138.3
1	SB	BACK-BACK	0.85	Quattro Ltg. 2 / CAR100-L5-140LED4.1-BZTX-QM609 on a ALP Pole SNS-30-50-7-AB-BC-D2180 30' Pole on a 0.0' Base			ITL68315-140L5.IES	138.3
5	SC	SINGLE	0.85	Quattro Ltg. 1 / CAR100-L3-140LED4.1-BZTX-QM609 on a ALP Pole SNS-30-50-7-AB-BC-D19 30' Pole on a 0.0' Base			ITL69760-140L3.IES	136

Please contact andyvictores@gmail.com for pricing.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Boundary area at 4.0' above grade	Illuminance	Fc	0.24	2.6	0.0	N.A.	N.A.
Drive Thru Area	Illuminance	Fc	1.44	2.1	1.0	1.44	2.10
Parking Area	Illuminance	Fc	1.64	3.2	0.8	2.05	4.00



EXPIRES 07/31/18  
SIGNED 11/08/17

**WT** THE W-T GROUP, LLC  
Mechanical / Plumbing / Electrical Division  
2015 Pruden Avenue | Hoffman Estates, IL 60192  
Tel: 224-293-8333 | Fax: 224-293-8444  
IL License No. 184,007870-0016  
Exp. 04 / 30 / 2019

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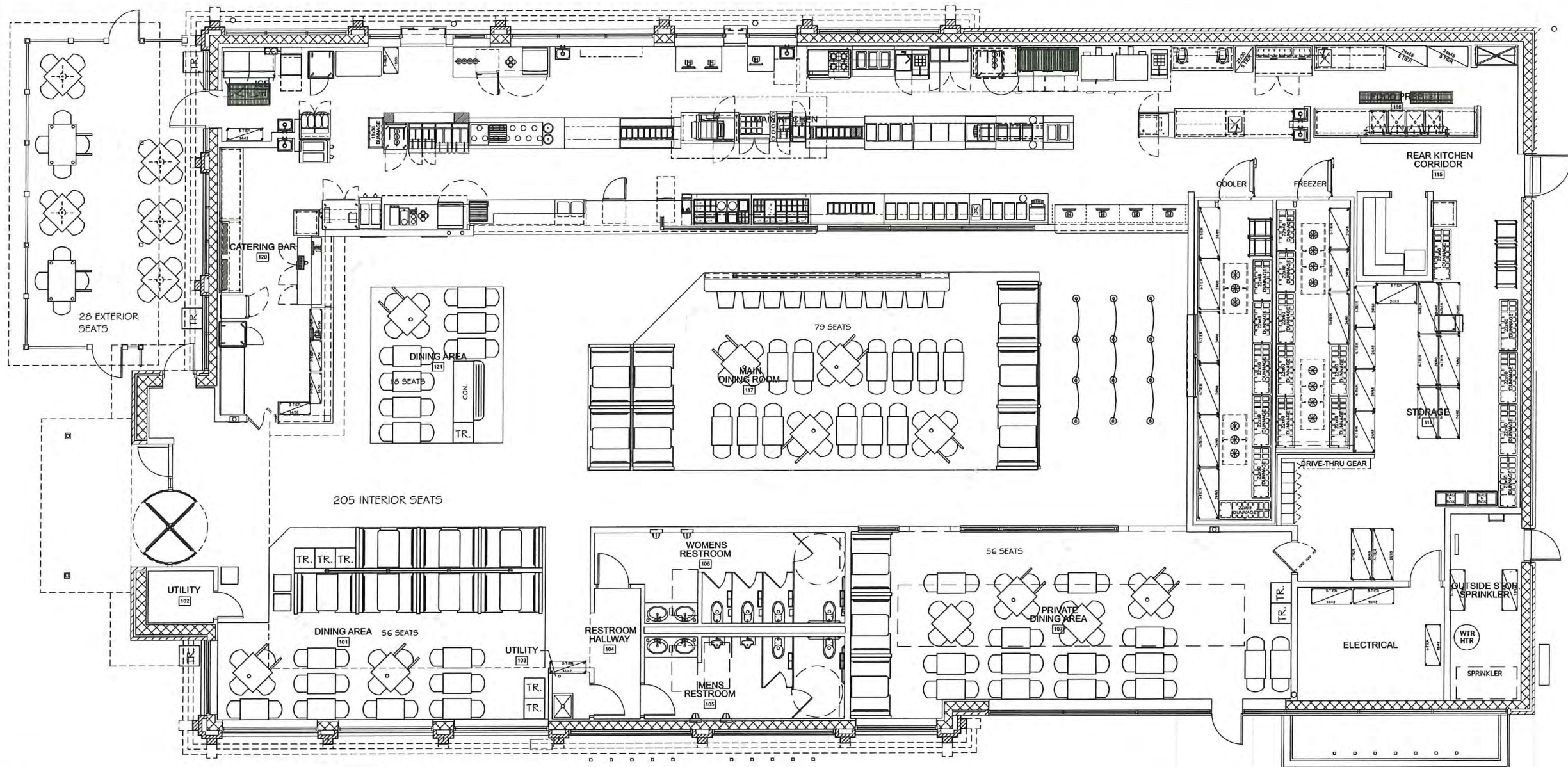
NEW PORTILLO'S RESTAURANT FOR  
**Portillo's Hot Dogs, LLC**  
4505 EAST TOWNE BLVD.  
Madison, WI

SITE PHOTOMETRIC PLAN

REV.	DATE	DESCRIPTION

Drawn: Chkd:  
date: 10.04.17  
filename:  
sheet: **SPH1.1**  
job no. 3197





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NEW PORTILLO'S RESTAURANT FOR  
**Portillo's Hot Dogs, LLC**  
 4505 EAST TOWNE BLVD.  
 Madison, WI 53704

CONCEPT  
 SEATING PLAN

REV.	DATE	DESCRIPTION

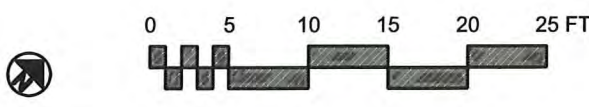
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date: 10.04.17

filename:

sheet: **A-1.0A**

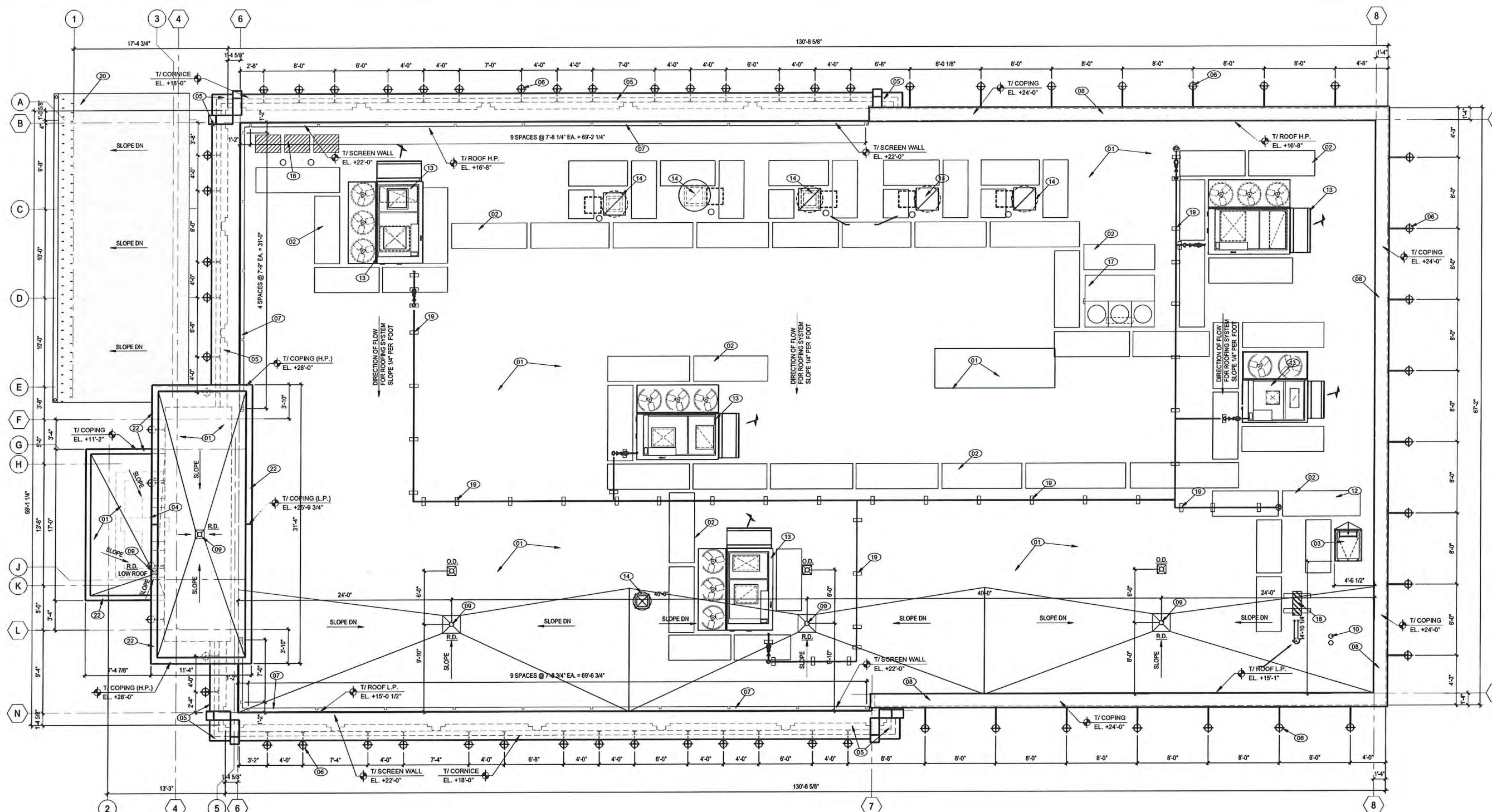
job no. 3137



**PORTILLO'S - MADISON, WI / NEW KITCHEN CONCEPT**

ISSUED TO UDC 11-08-2017





**1 ROOF PLAN**  
 Scale: 3/16" = 1'-0"  
 NORTH

KEYNOTES			
01	60 MIL. FULLY ADHERED WHITE TPO OVER 5.2" OF RIGID INSULATION (MIN. R-30) INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. ALL ROOFING COMPONENTS PER MANUFACTURER'S COMPLETE SYSTEM.	17	ROOF MOUNTED EQUIPMENT RAILS FURNISHED BY REFRIGERATION CONTRACTOR AND INSTALLED BY G.C. SEE SHEETS M-1.0 AND KITCHEN EQUIPMENT DRAWINGS.
02	WALKWAY PADS PROVIDED BY ROOF MEMBRANE MANUFACTURER AND WELDED TO ROOF MEMBRANE.	18	ROOF MOUNTED EQUIPMENT RAILS FURNISHED AND INSTALLED BY HVAC CONTRACTOR. SEE SHEET M-1.0.
03	BILCO 36" x 30" ROOF HATCH. RE: 1/A-3.1	19	GAS PIPING ON SUPPORTS. PAINT ALL EXTERIOR GAS PIPE ON ROOF WITH WEATHER RESISTANT YELLOW PAINT. SEE M-SERIES SHEETS FOR SIZE AND DETAILS. RE: 7/A-3.1
04	ARCHITECTURAL FEATURE FURN. & INSTALLED BY SIGN CONTR.	20	CORRUGATED GALVALUME METAL ROOF. SEE EXTERIOR BUILDING ELEVATIONS FOR FINISHES.
05	BUILT UP PRE-FIN METAL CLAD STEPPED CORNICE AND PIERS. SEE DETAIL DRAWINGS AS.0	21	PRE-FINISHED METAL GUTTER/DOWNSPOUT. SEE DRAWING A3.0 AND EXTERIOR BUILDING ELEVATIONS FOR FINISHES.
06	GOOSE NECK LIGHT FIXTURES - SEE ELECTRICAL DRAWINGS AND EXTERIOR ELEVATIONS.	22	PRE-FINISHED METAL COPING, SEE DETAIL DRAWINGS AS.0
07	SCREEN WALL - REFER TO A-SERIES AND S-SERIES SHEETS FOR DETAILS.	23	SNOW CLEATS FOR CORRUGATED ROOF SYSTEM BY "SNO-DEM" COLOR TO MATCH ROOF. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CONTACT RICK AT (615) 477-4367.
08	CAST STONE COPING. REFER TO BUILDING ELEVATIONS FOR COLOR. AS SERIES DRAWINGS FOR DETAILS.		
09	ROOF DRAINS. SEE P-SERIES SHEETS FOR SIZE AND PIPING. RE: 8/A-3.1		
10	WATER HEATER INTAKE AND EXHAUST PIPING - SEE P-SERIES SHEETS. RE: 4/A-3.1		
11	ROOF HYDRANT - SEE P-SERIES SHEETS.		
12	VENT THRU ROOF - SEE P-SERIES SHEETS FOR SIZE AND LOCATIONS. SEE DTL. 2/A-3.1		
13	ROOF TOP UNITS - SEE HVAC DRAWINGS, & DTLs. 5/A-3.1 & 8/A-3.1		
14	EXHAUST FANS - SEE HVAC DRAWINGS, & DTLs. 5/A-3.1 & 8/A-3.1		
15	SIGNAGE - FURNISHED AND INSTALLED BY SIGN CONTRACTOR.		
16	ROOF MOUNTED EQUIPMENT RAILS BY OTHERS FOR ICE MACHINE. INSTALLED BY G.C. SEE SHEETS M-1.0 AND KITCHEN EQUIPMENT DRAWINGS.		

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NEW PORTILLO'S RESTAURANT FOR  
**Portillo's Hot Dogs, LLC**  
 4505 EAST TOWNE BLVD.  
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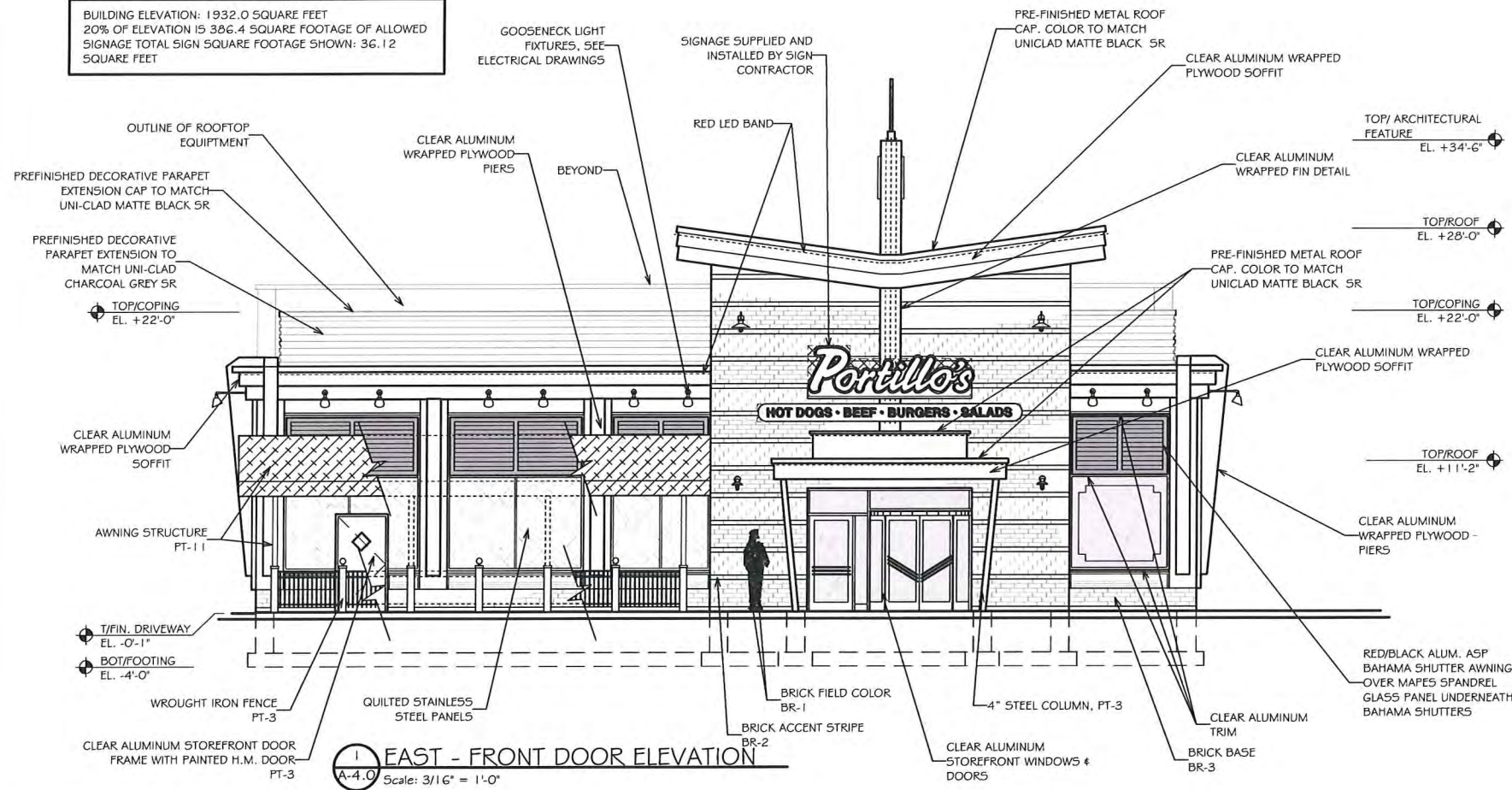
**ROOF PLAN**

REV.	DATE	DESCRIPTION

Drawn: WJB  
 Checked: JJJ  
 Date: 10.04.17  
 Filename: 3137.16-A3.0.dwg  
 Sheet: **A3.0**  
 Job no. 3137



BUILDING ELEVATION: 1,932.0 SQUARE FEET  
 20% OF ELEVATION IS 386.4 SQUARE FOOTAGE OF ALLOWED  
 SIGNAGE TOTAL SIGN SQUARE FOOTAGE SHOWN: 36.12  
 SQUARE FEET



**1 EAST - FRONT DOOR ELEVATION**  
 A-4.0 Scale: 3/16" = 1'-0"

BR-1  
 SIOUX CITY BRICK - CINNAMON IRONSPOT  
 SMOOTH

BR-2  
 SIOUX CITY BRICK - BROWN SMOOTH

BR-3  
 SIOUX CITY BRICK - EBONITE SMOOTH

\* ALL BRICKS ARE 12" UTILITY (3 5/8 x 3 5/8 x 1 1/2)

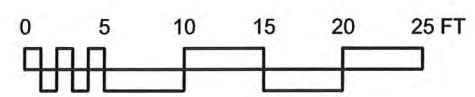
PT-3  
 SHERWIN WILLIAMS #5W6991, BLACK MAGIC

PT-9  
 SHERWIN WILLIAMS #6179, ARTICHOKE

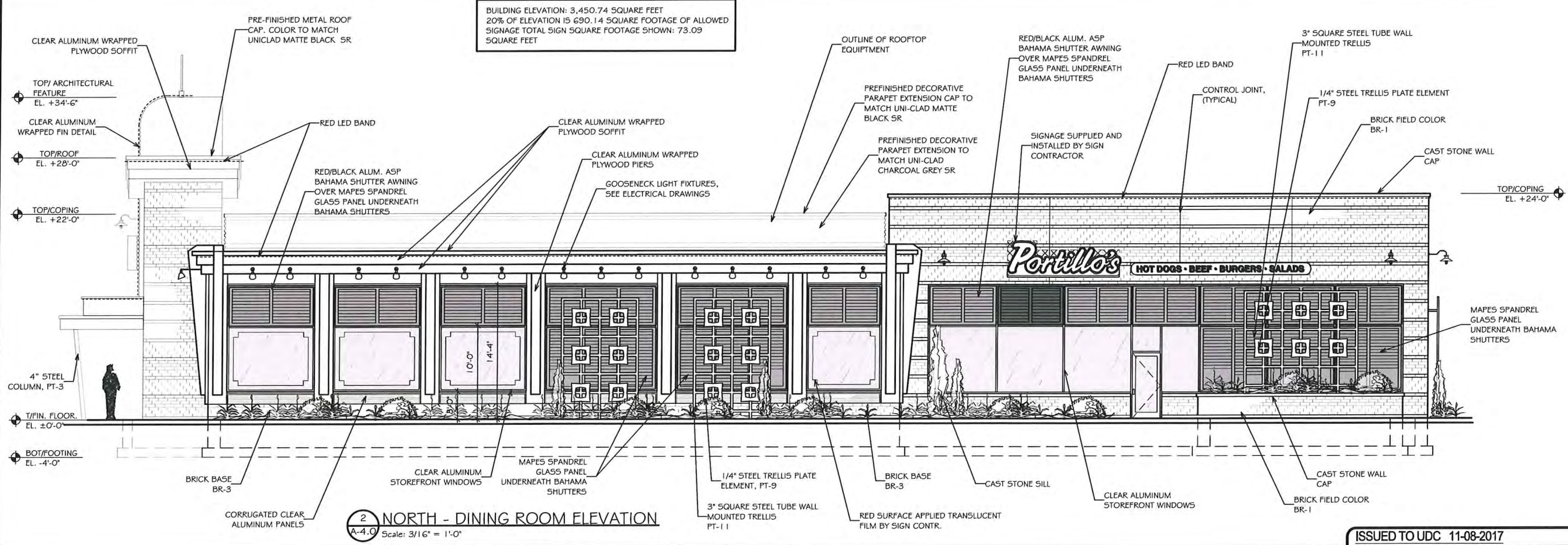
PT-11  
 SHERWIN WILLIAMS #6461, ISLE OF PINE

\* BUILDING SIGNAGE IS TO BE SUBMITTED AND APPROVED UNDER SEPARATE SIGN PERMIT DRAWINGS.

\* GHOST SIGNAGE IS TO BE SUBMITTED AND REVIEWED AS PART OF THE ARCHITECTURAL REVIEW APPROVAL PROCESS.



BUILDING ELEVATION: 3,450.74 SQUARE FEET  
 20% OF ELEVATION IS 690.14 SQUARE FOOTAGE OF ALLOWED  
 SIGNAGE TOTAL SIGN SQUARE FOOTAGE SHOWN: 73.09  
 SQUARE FEET



**2 NORTH - DINING ROOM ELEVATION**  
 A-4.0 Scale: 3/16" = 1'-0"

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NEW PORTILLO'S RESTAURANT FOR  
**Portillo's Hot Dogs, LLC**  
 4595 EAST TOWNE BLVD.  
 Madison, WI 53704

CONCEPT  
 ELEVATIONS

REV.	DATE	DESCRIPTION

Drawn: **Chd**

date: **10.04.17**

filename:

sheet: **A-4.0**

job no.: **3137**

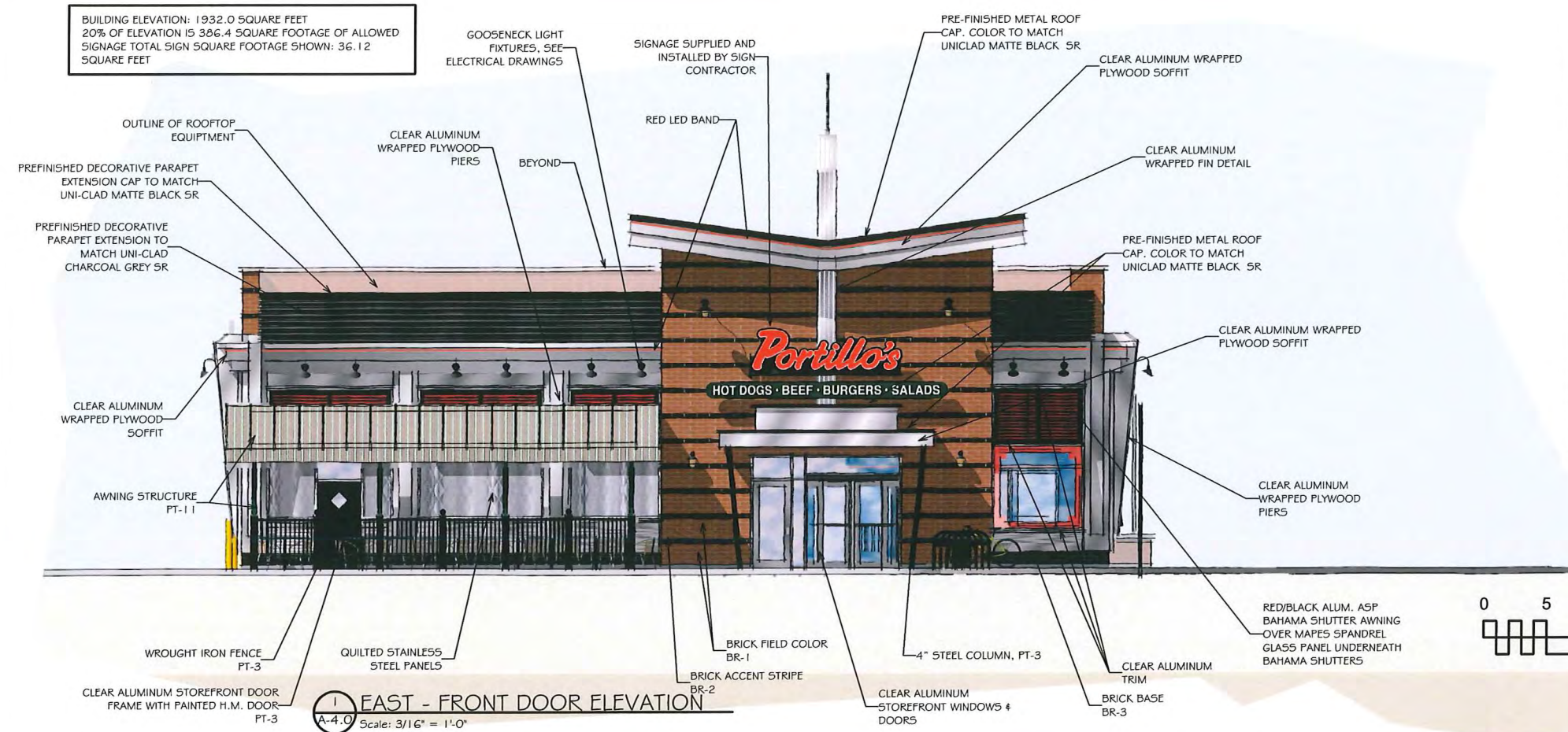
ISSUED TO UDC 11-08-2017







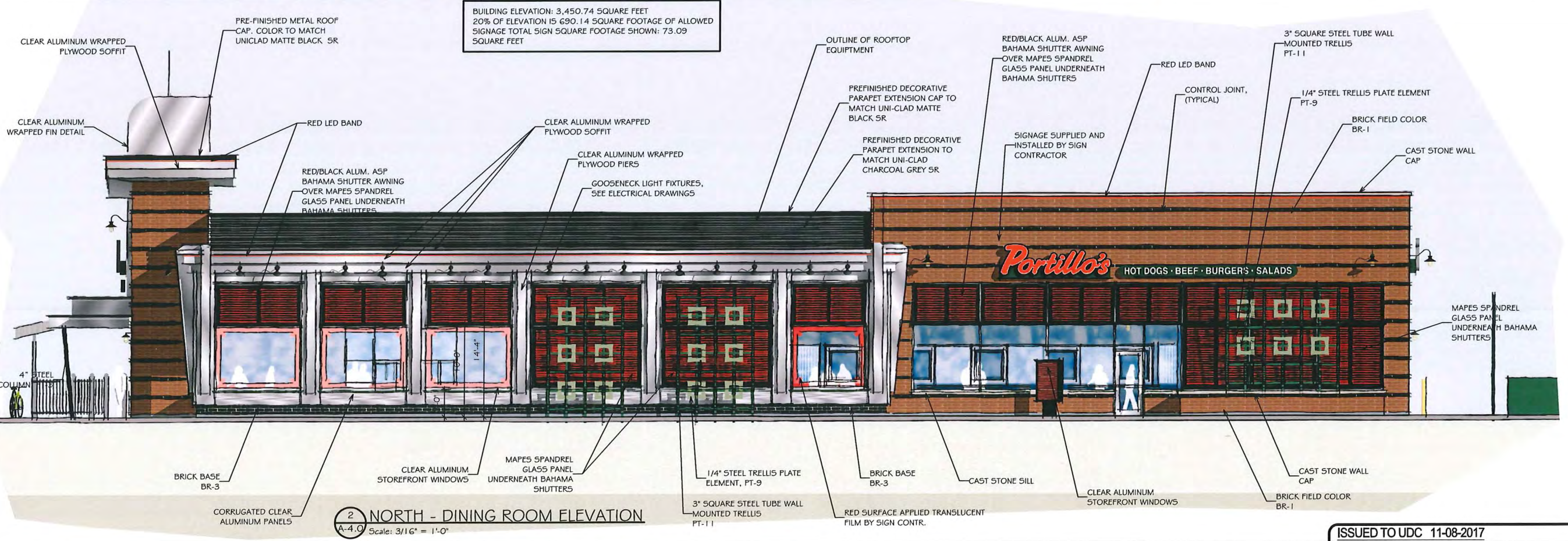
BUILDING ELEVATION: 1,932.0 SQUARE FEET  
20% OF ELEVATION IS 386.4 SQUARE FOOTAGE OF ALLOWED SIGNAGE TOTAL SIGN SQUARE FOOTAGE SHOWN: 36.12 SQUARE FEET



1 EAST - FRONT DOOR ELEVATION  
A-4.0 Scale: 3/16" = 1'-0"

- BR-1  
SIOUX CITY BRICK - CINNAMON IRONSPOT SMOOTH
- BR-2  
SIOUX CITY BRICK - BROWN SMOOTH
- BR-3  
SIOUX CITY BRICK - EBONITE SMOOTH
- \* ALL BRICKS ARE 12" UTILITY (3 5/8 x 3 5/8 x 1 1/2)
- PT-3  
SHERWIN WILLIAMS #5W6991, BLACK MAGIC
- PT-9  
SHERWIN WILLIAMS #G179, ARTICHOKE
- PT-11  
SHERWIN WILLIAMS #6461, ISLE OF PINE
- \* BUILDING SIGNAGE IS TO BE SUBMITTED AND APPROVED UNDER SEPARATE SIGN PERMIT DRAWINGS.
- \* GHOST SIGNAGE IS TO BE SUBMITTED AND REVIEWED AS PART OF THE ARCHITECTURAL REVIEW APPROVAL PROCESS.

BUILDING ELEVATION: 3,450.74 SQUARE FEET  
20% OF ELEVATION IS 690.14 SQUARE FOOTAGE OF ALLOWED SIGNAGE TOTAL SIGN SQUARE FOOTAGE SHOWN: 73.09 SQUARE FEET

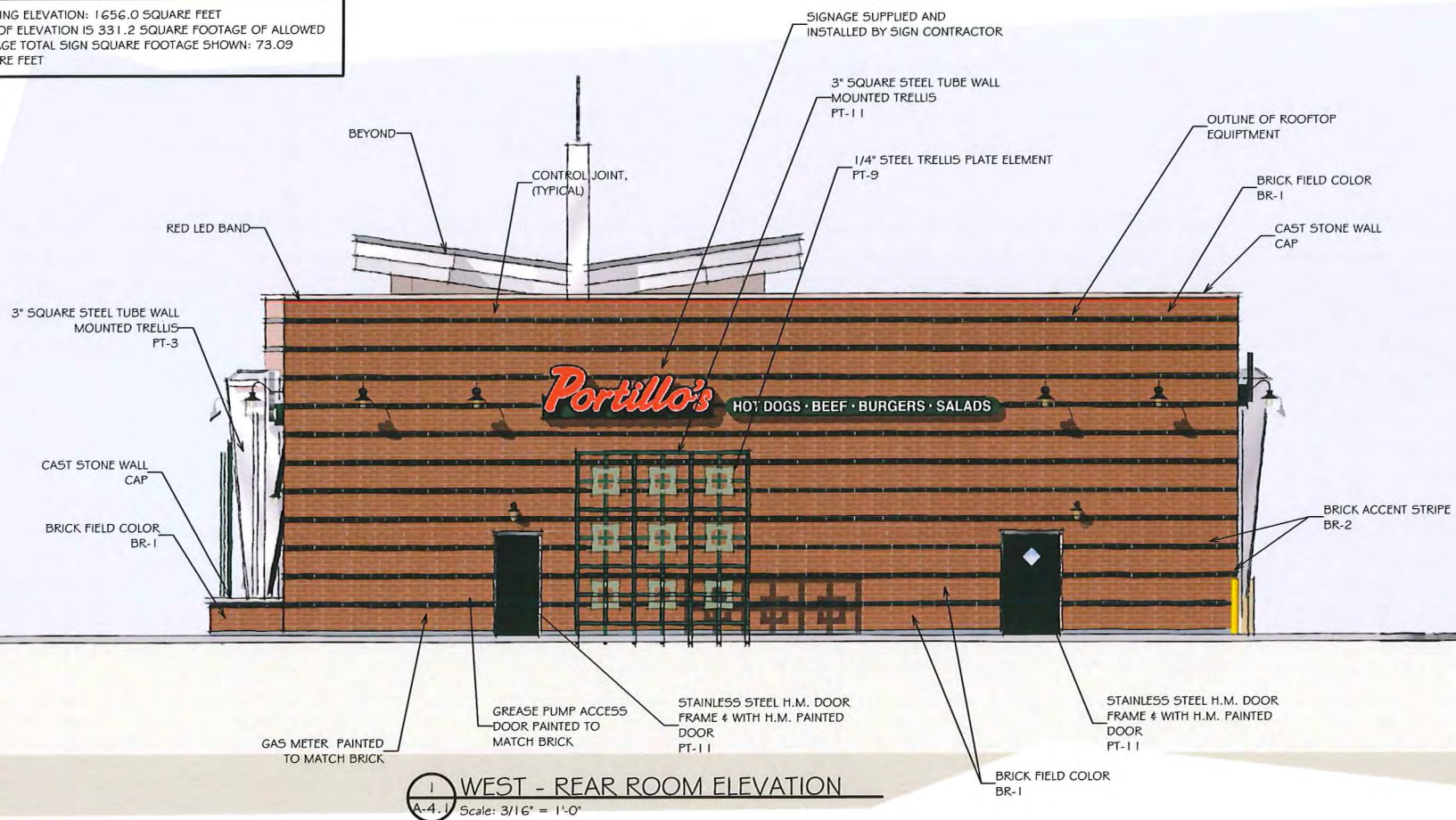


2 NORTH - DINING ROOM ELEVATION  
A-4.0 Scale: 3/16" = 1'-0"

REV.	DATE	DESCRIPTION



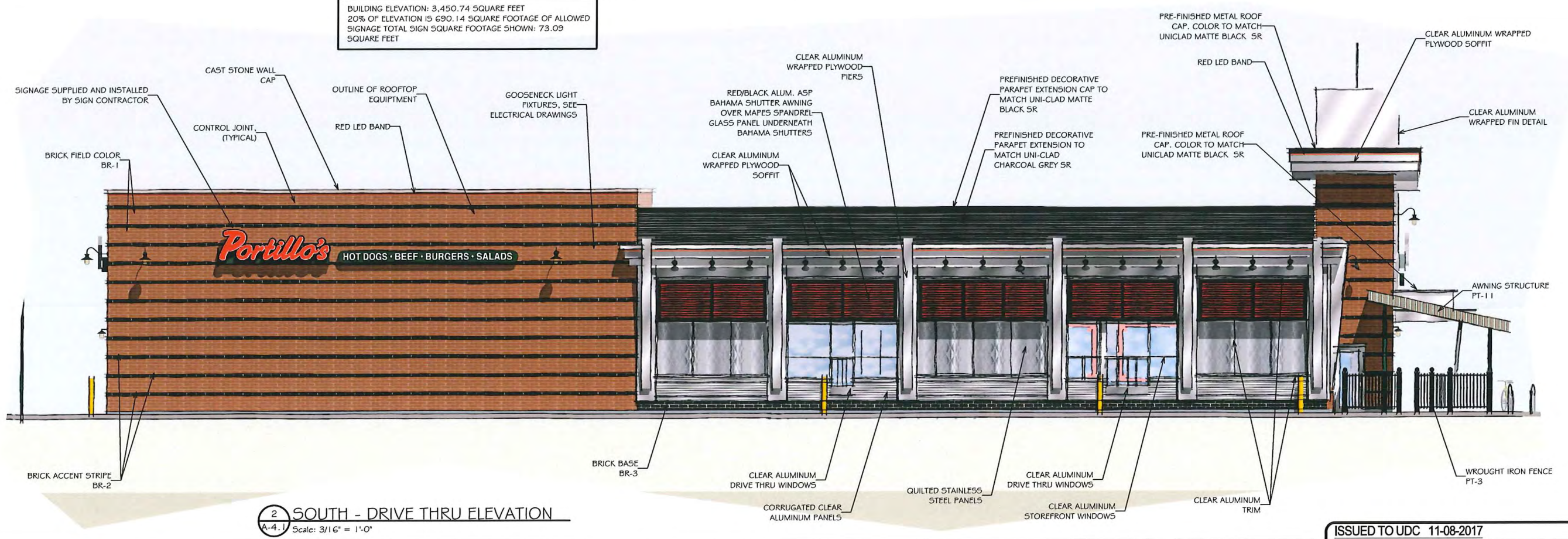
BUILDING ELEVATION: 1,656.0 SQUARE FEET  
 20% OF ELEVATION IS 331.2 SQUARE FOOTAGE OF ALLOWED SIGNAGE  
 TOTAL SIGN SQUARE FOOTAGE SHOWN: 73.09 SQUARE FEET



1 WEST - REAR ROOM ELEVATION  
 A-4.1 Scale: 3/16" = 1'-0"

- BR-1 SIOUX CITY BRICK - CINNAMON IRONSPOT SMOOTH
  - BR-2 SIOUX CITY BRICK - BROWN SMOOTH
  - BR-3 SIOUX CITY BRICK - EBONITE SMOOTH
  - \* ALL BRICKS ARE 12" UTILITY (3 5/8 x 3 5/8 x 1 1/2)
  - PT-3 SHERWIN WILLIAMS #5WG991, BLACK MAGIC
  - PT-9 SHERWIN WILLIAMS #G179, ARTICHOKE
  - PT-11 SHERWIN WILLIAMS #G4G1, ISLE OF PINE
- \* BUILDING SIGNAGE IS TO BE SUBMITTED AND APPROVED UNDER SEPARATE SIGN PERMIT DRAWINGS.
- \* GHOST SIGNAGE IS TO BE SUBMITTED AND REVIEWED AS PART OF THE ARCHITECTURAL REVIEW APPROVAL PROCESS.

BUILDING ELEVATION: 3,450.74 SQUARE FEET  
 20% OF ELEVATION IS 690.14 SQUARE FOOTAGE OF ALLOWED SIGNAGE  
 TOTAL SIGN SQUARE FOOTAGE SHOWN: 73.09 SQUARE FEET



2 SOUTH - DRIVE THRU ELEVATION  
 A-4.1 Scale: 3/16" = 1'-0"

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REV.	DATE	DESCRIPTION





PAC-CLAD  
"MATTE BLACK"

METAL SHUTTER



PAC-CLAD  
"CARDINAL RED"

METAL SHUTTER



(PT-3)  
SWG991 "BLACK MAGIC"

WROUGHT IRON



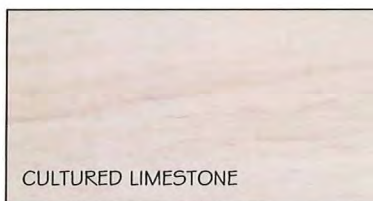
(PT-9)  
SWG979 "ARTICHOKE"

ACCENT PAINT



(PT-11)  
SWG979 "ARTICHOKE"

ACCENT PAINT



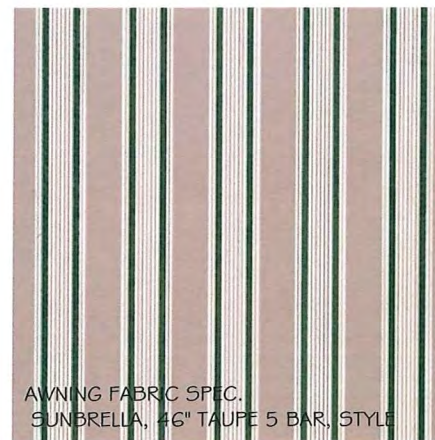
CULTURED LIMESTONE



UNI-CLAD  
MATTE BLACK SR  
ALUM. BREAK METAL



UNI-CLAD  
CHARCOAL GREY SR  
ALUM. BREAK METAL



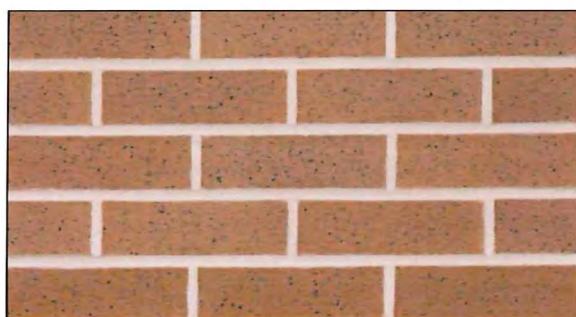
AWNING FABRIC SPEC.  
SUNBRELLA, 46" TAUPE 5 BAR, STYLE



BLACK POWDER COATED  
BLACK ALUMINUM TABLE BASE



ALUMINUM FRAME WITH  
PVC WRAP CHAIR



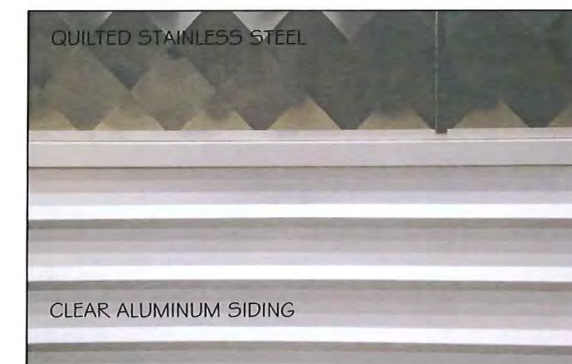
BR-1  
SIOUX CITY BRICK - CINNAMON  
IRONSPOT SMOOTH



BR-2  
SIOUX CITY BRICK - BROWN  
SMOOTH



BR-3  
SIOUX CITY BRICK - EBONITE  
SMOOTH



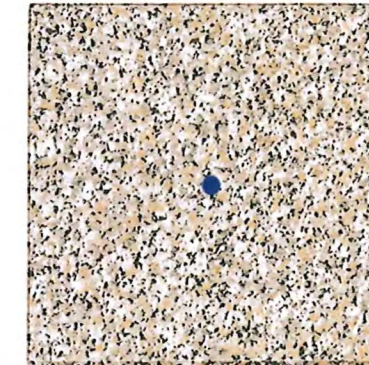
QUILTED STAINLESS STEEL

CLEAR ALUMINUM SIDING

# Portillo's

## MADISON, WI

### EXTERIOR FINISHES



RESIN TABLE TOP

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NEW PORTILLO'S RESTAURANT FOR  
Portillo's Hot Dogs, LLC  
4505 EAST TOWNE BLVD.  
Madison, WI 53704

MATERIAL  
BOARD

no.	date	description
1	10.04.17	J.J.S. & R.S.

Drawn: Chk:

date 10.04.17

filename

sheet

MAT-1

job no. 3137

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CYCLE RACKS

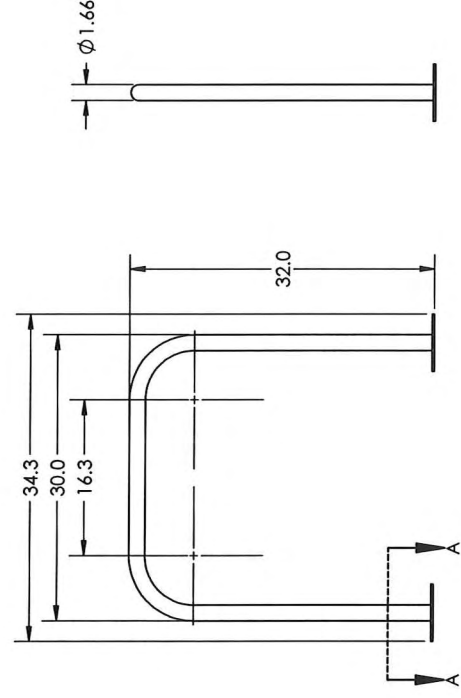
SARIS

## BIKE DOCK

The bike dock is a simple and intuitive design that provides space efficient, high security bike parking. The bike dock accommodates two bikes, supporting them at two points and allowing for u-lock compatibility of both the wheel and bike frame.



6903



6903 Shown

Specifications - 1.66" electrowelded steel tubing, 12 gauge						
Model #	# Bikes	Type of mount	weight	length	height	Space Requirement
6902	2	below grade	17 lbs.	30"	32"	68" x 110"
6903	2	flange mount	19 lbs.	34.3"	32"	68" x 110"

Specifications - 2 3/8" schedule 40 steel pipe, 9 gauge						
Model #	# Bikes	Type of mount	weight	length	height	Space Requirement
2112	2	below grade	31 lbs.	30"	32"	68" x 110"
2113	2	flange mount	30 lbs.	33.6"	32"	68" x 110"

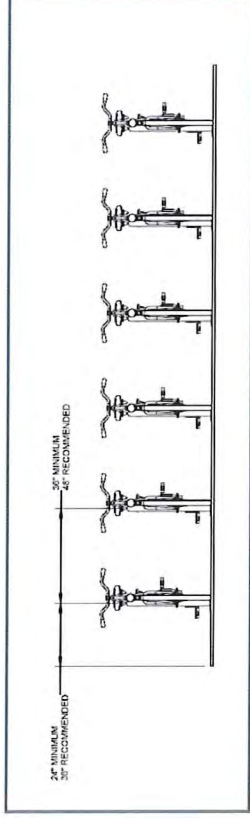
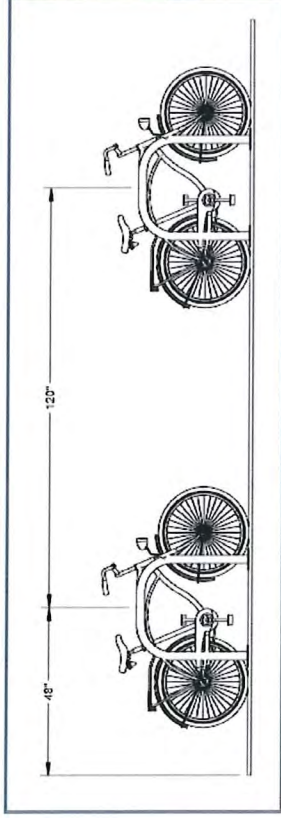
Specifications - 2" X 2" X 3/16" square tubing, 7 gauge						
Model #	# Bikes	Type of mount	weight	length	height	Space Requirement
2212	2	below grade	38 lbs.	30"	32"	68" x 110"
2213	2	flange mount	34 lbs.	34"	32"	68" x 110"

**Note: Saris Parking Systems representatives can assist with custom layout and spacing to meet your room dimensions and desired bike capacity.**



# Bike Dock

## Recommended Spacing



## Product Details

- 1.66", 12 gauge schedule 40 pipe -- most affordable solution
- 2 3/8", 9 gauge schedule 40 pipe -- larger diameter pipe leaves less space between the lock and rack, which provides better security
- 2" square, 7 gauge schedule 40 pipe -- square tubing resists efforts from thieves using pipe cutters
- Offers 2 points of contact for bike stability
- Meets APBP guidelines

Saris Bike Dock as manufactured by Saris

2 bikes per rack

1.66", 12 gauge  
2 3/8", 9 gauge  
2" Square, 7 gauge

Powder Coat  
Galvanized  
Stainless Steel  
Thermoplastic

Flange Mount recommended anchor:  
Temporary Mount: #6263  
Permanent Mount: #6260

48" recommended between perpendicular racks  
120" recommended between racks (center to center)

Anchors must be purchased separately



Product Information



# of Bikes



Materials



Finish



Hardware



Spacing



Flange Mount

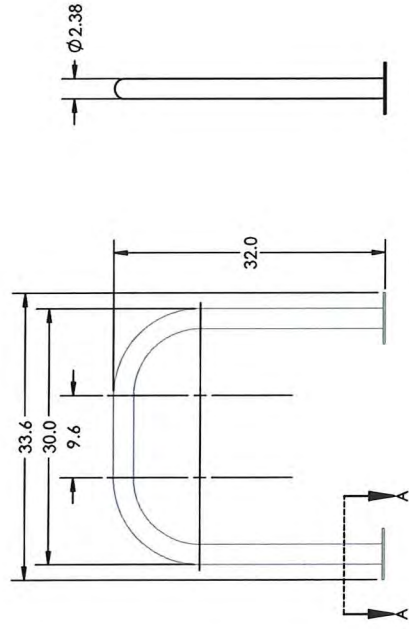


Below Grade Mount



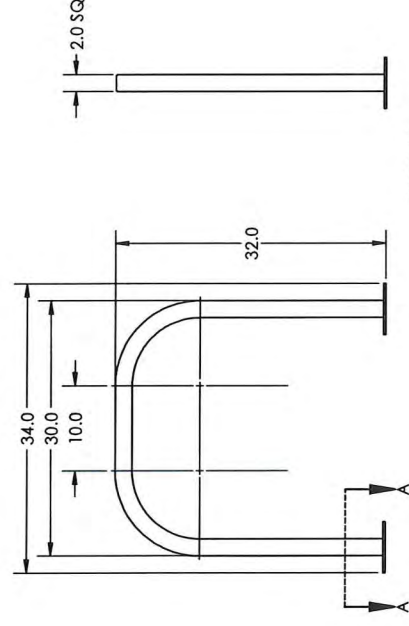
Standard Colors

2113



2113 Shown

2213



2213 Shown

Downloadable product resources available online:







**NEW PORTILLO'S RESTAURANT FOR**  
**Portillo's Hot Dogs, LLC**  
 4505 EAST TOWNE BLVD.  
 Madison, WI 53704

CONCEPT  
 PERSPECTIVE

no.	date	description

Drawn: CH&J

date 10.04.17

filename

sheet

PER-1

job no. 3137





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NEW PORTILLO'S RESTAURANT FOR  
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 4505 EAST TOWNE BLVD.  
 Madison, WI 53704

COLOR CONCEPT  
 PERSPECTIVE

REV.	DATE	DESCRIPTION

Drawn:    Chkd:

date: 10.04.17

filename:

sheet:

PER-2

job no. 3137

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**Portillo's Hot Dogs, LLC**  
 4505 EAST TOWNE BLVD.  
 Madison, WI 53704

COLOR CONCEPT  
 PERSPECTIVE

no.	date	description

Drawn: CM&E

date: 10.04.17

filename

sheet  
**PER-3**

job no.  
 3137

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 4505 EAST TOWNE BLVD.  
 Madison, WI 53704

COLOR CONCEPT  
 PERSPECTIVE

no.	date	description

Drawn:  Chief

date: 10.04.17

filename:

sheet  
**PER-4**

job no.  
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Madison, WI 53704

COLOR CONCEPT  
PERSPECTIVE

no.	date	description

Drawn:    Chkd:

date  
10.04.17

filename

sheet  
**PER-5**

job no.  
3137

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