

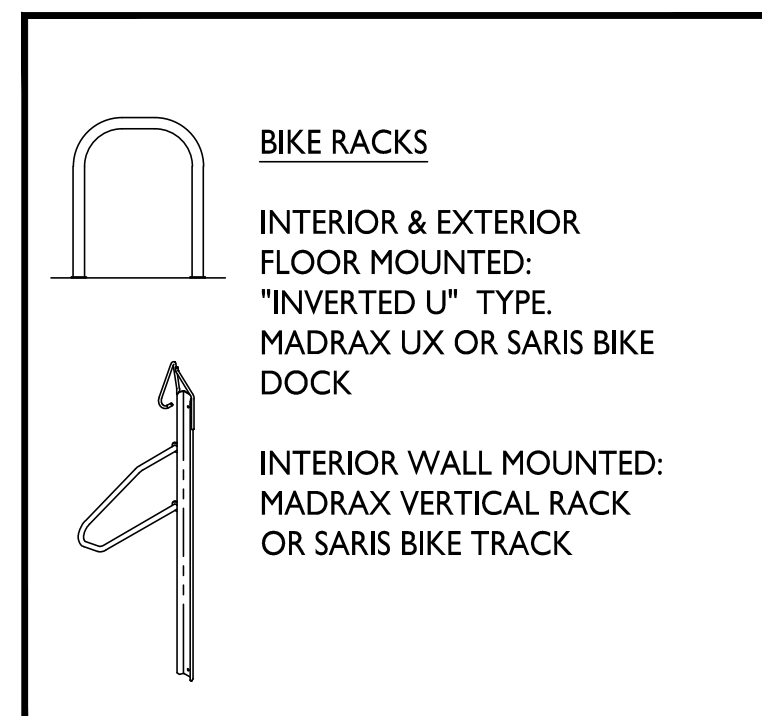


knothe • bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

SHEET INDEX	
SITE	
C-1.1	SITE PLAN
C-1.2	SITE LIGHTING PLAN
C-1.3	FIRE DEPARTMENT ACCESS
C-1.4	LOT COVERAGE
C-1.5	USABLE OPEN SPACE
C1.0	NOTES & LEGENDS
C2.0	DEMOLITION PLAN
C3.0	SITE PLAN
C4.0	GRADING & EROSION PLAN
C4.1	GRADING PLAN - DETAILED
C4.2	GRADING PLAN - DETAILED
C4.3	GRADING PLAN - DETAILED
C5.0	UTILITY PLAN
C5.1	UTILITY PLAN - DETAILED
C6.0	SITE DETAILS
C6.1	UTILITY DETAILS
C6.2	STORMWATER DETAILS
LANDSCAPE PLAN - OVERALL	
L-1.0	LANDSCAPE PLAN - OVERALL
L-1.1	LANDSCAPE PLAN - DETAILED
L-1.2	LANDSCAPE PLAN - DETAILED
L-2.0	LANDSCAPE DETAILS & NOTES
ARCHITECTURAL	
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	ROOF FLOOR PLAN
A-2.1	EXTERIOR ELEVATIONS
A-2.2	EXTERIOR ELEVATIONS
A-2.3	ELEVATIONS COLORED
A-2.4	ELEVATIONS COLORED
	EXTERIOR RENDERINGS

Site Development Data:	
Zoning	SR-V2
Densities:	
Lot Area	232,182 S.F./5.33ACRES
Dwelling Units	20 units
Lot Area / D.U.	11,609 S.F./D.U.
Density	3.75 units/Acre
Lot Coverage	39,473 S.F. (17%)
Usable Open Space	over req'd 4,480 S.F.
Building Gross Area	44,287 S.F.
Building Height	2-3 stories
Dwelling Unit Mix:	
Existing Adult Family Home	1
One Bedroom	7
Two Bedroom	12
Total Dwelling Units	20 D.U.
Vehicle Parking Stalls:	
Underground Garage	26
EV Installed	1
EV Ready	3
Surface	19
Total	45 vehicle stalls
Bicycle Parking:	
Garage (long term)	21
Surface (short term)	6
Total	27 bicycle stalls



GENERAL NOTES:

- THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
- ALL DAMAGE TO THE PAVEMENT ON CITY STREETS, AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
- ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHOSE DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
- SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
- STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
- AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.
- APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (266-4816).
- THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO ITEMS SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANTS EXPENSE UPON NOTIFICATION BY THE CITY.

PROJECT TITLE
**Hope &
A Future III
- New Addition**

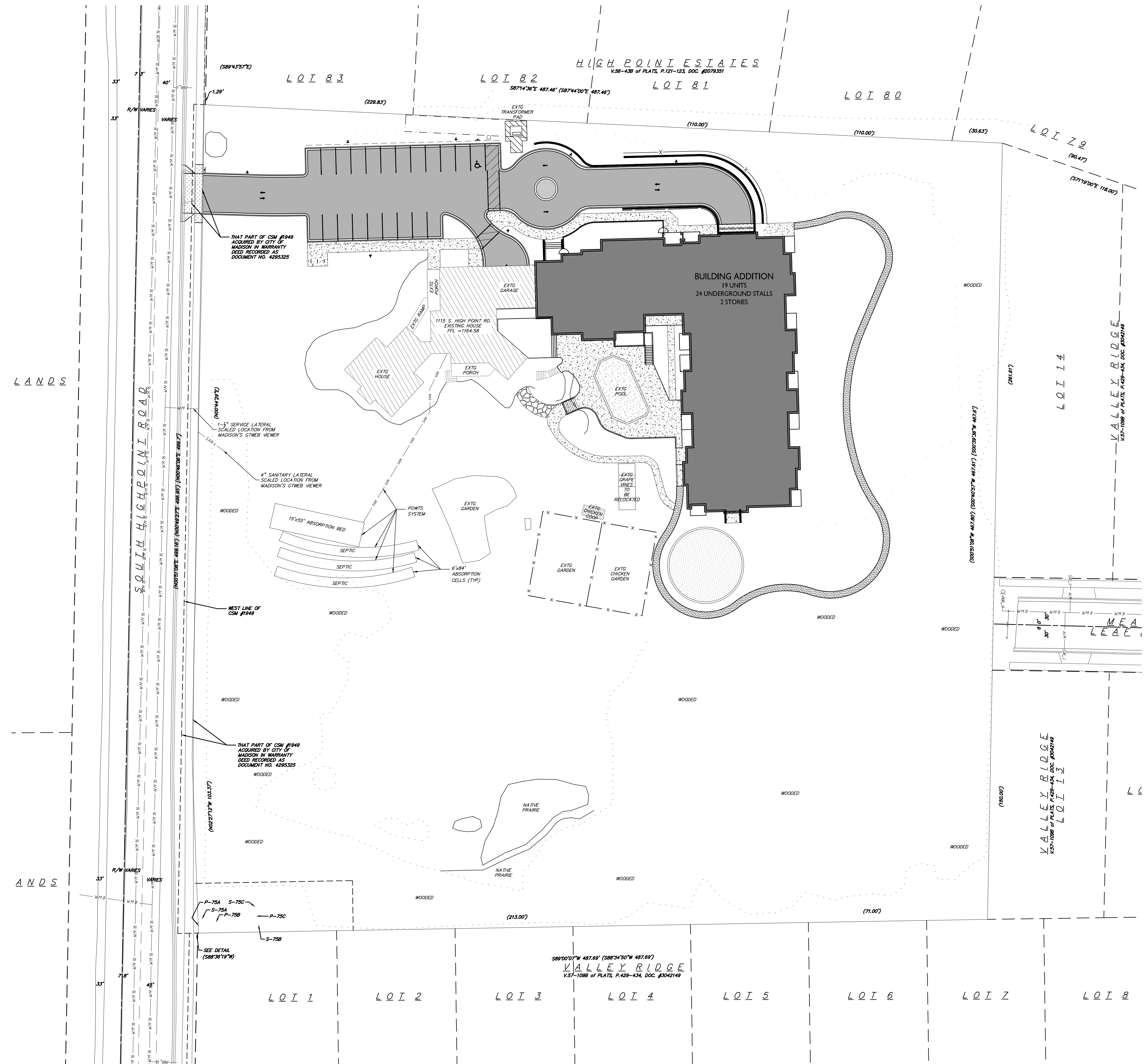
1115 S. Highpoint Road
Madison, WI
SHEET TITLE
Overall Site Plan

SHEET NUMBER

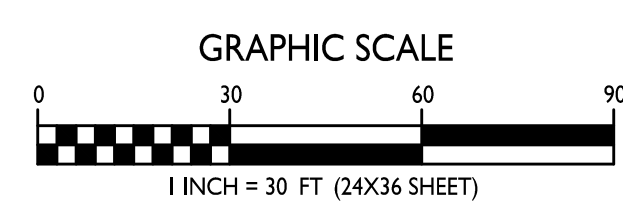
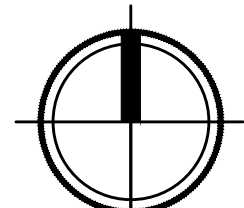
C-1.0

PROJECT NO. **2036**

© Knothe & Bruce Architects, LLC



OVERALL SITE PLAN
C-1.0
1" = 30'-0"





knothe • bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

ISSUED
Issued for Concept Review - May 11, 2023
Issued for Land Use Submittal - May 1, 2023

PROJECT TITLE
**Hope &
A Future III
- New Addition**

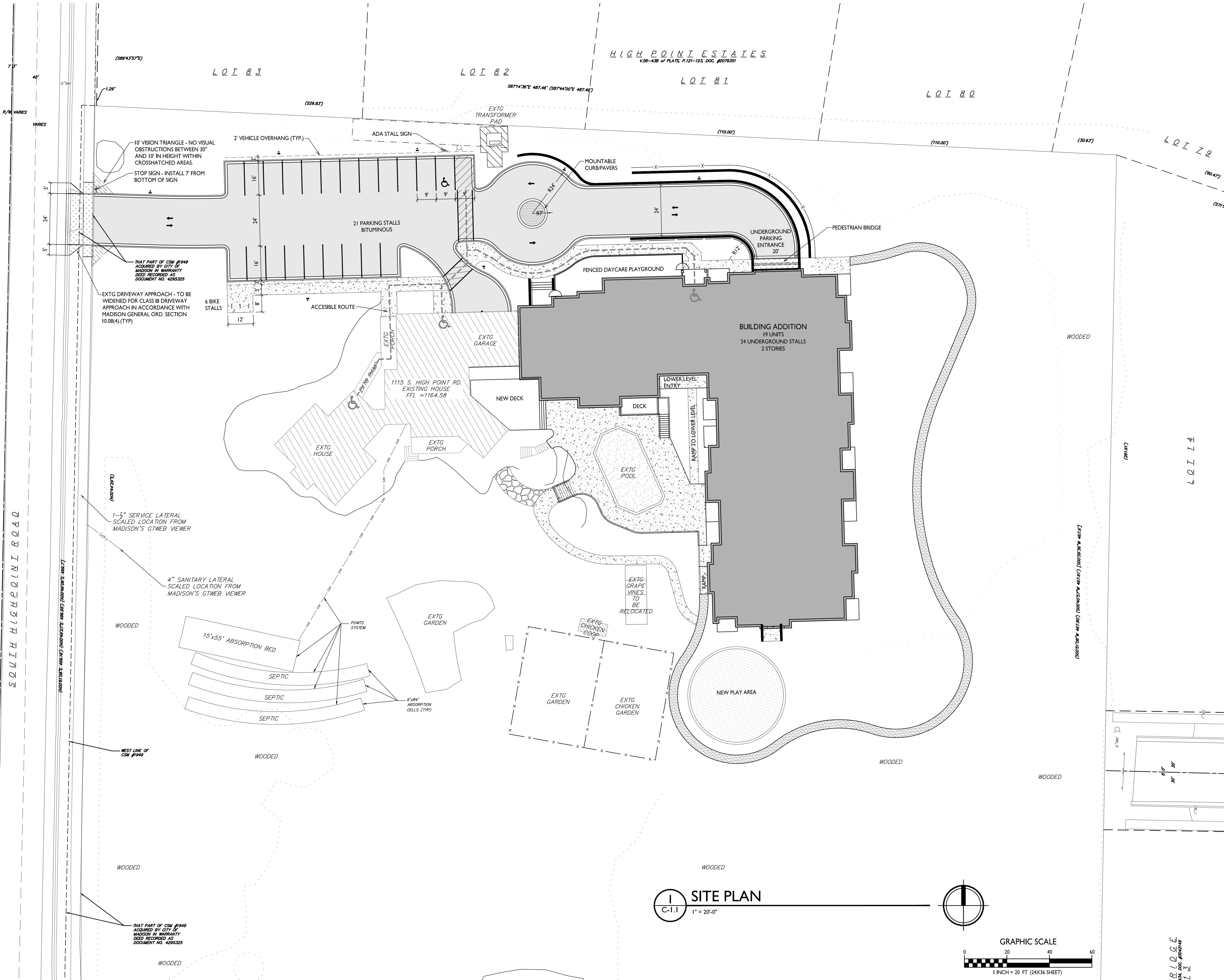
1115 S. Highpoint Road
Madison, WI
SHEET TITLE
Site Plan

SHEET NUMBER

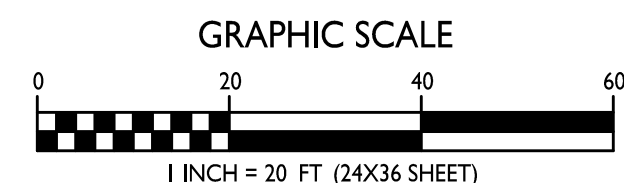
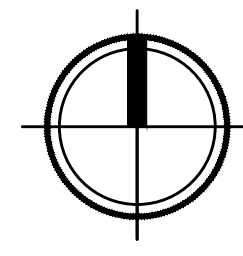
C-1.1

PROJECT NO. **2036**

© Knothe & Bruce Architects, LLC

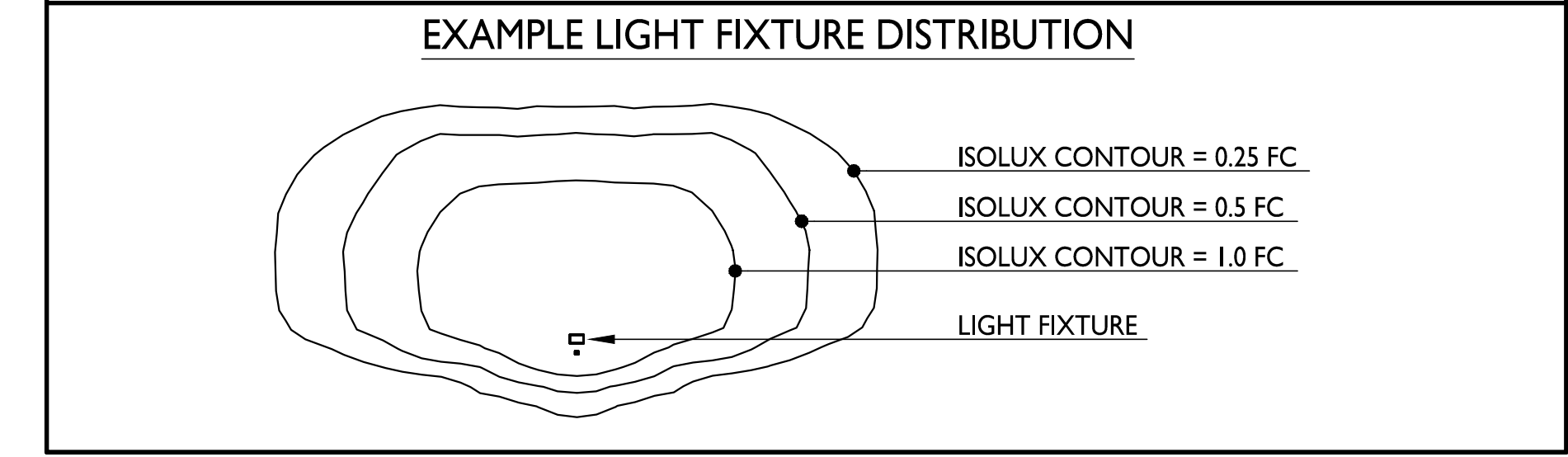


I SITE PLAN
C-1.1 1" = 20'-0"

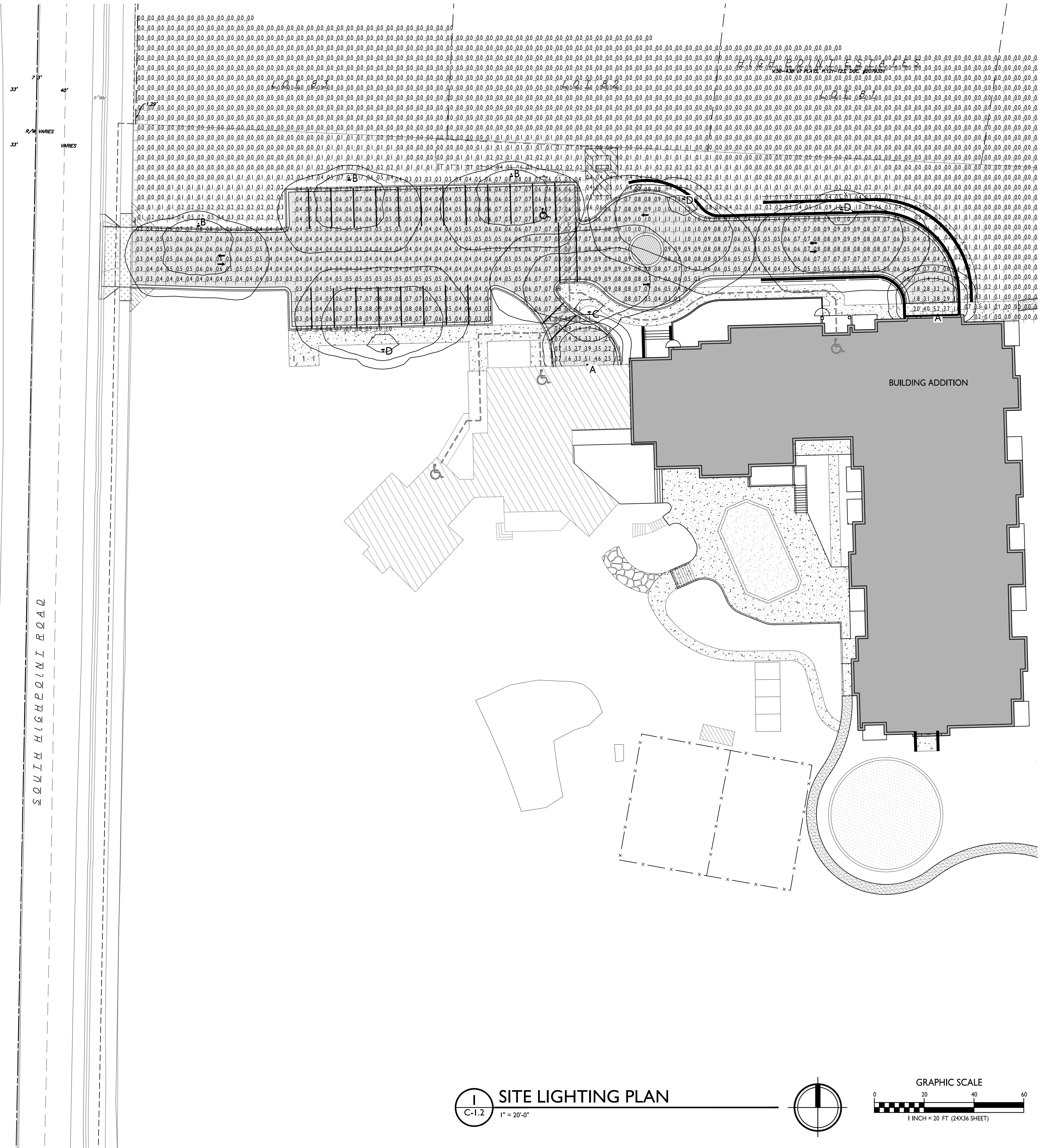


RIDGE
45% DOC. #20231119
1/3

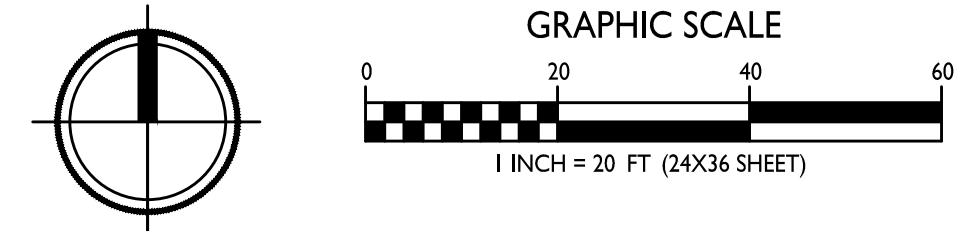
LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE	MOUNTING
	A	2	LITHONIA LIGHTING	WDGEI LED PI 30K 80CRI VF	WDGEI LED WITH PI - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT FORWARD OPTIC	WDGEI_LED_PI_30K_80CRI_VF.ies	10'-0" ABOVE GRADE ON BUILDING
	B	3	LITHONIA LIGHTING	DSXWPM LED 10C 350 30K T3s MVOLT HS	DSXWPM LED WITH (I) 10 LED LIGHT ENGINES, TYPE T3S OPTIC, 3000K AT 350mA, WITH HOUSE SIDE SHIELDS	DSXWPM_LED_10C_350_30K_T3S_MVOLT_HS.ies	14'-0" POLE ON 2'-0" TALL CONC. BASE
	C	1	LITHONIA LIGHTING	DSXWPM LED 10C 530 30K T3S MVOLT	DSXWPM LED WITH (I) 10 LED LIGHT ENGINES, TYPE T3S OPTIC, 3000K AT 530mA	DSXWPM_LED_10C_530_30K_T3S_MVOLT.ies	14'-0" POLE ON 2'-0" TALL CONC. BASE
	D	3	LITHONIA LIGHTING	DSXWPM LED 10C 530 30K T3S MVOLT HS	DSXWPM LED WITH (I) 10 LED LIGHT ENGINES, TYPE T3S OPTIC, 3000K AT 530mA, WITH HOUSE SIDE SHIELDS	DSXWPM_LED_10C_530_30K_T3S_MVOLT_HS.ies	14'-0" POLE ON 2'-0" TALL CONC. BASE



LIGHT LEVEL STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
Parking Lot and Drive Aisle Lighting	+	0.7 fc	5.2 fc	0.3 fc	17.3:1	2.3:1



I SITE LIGHTING PLAN
C-1.2 1" = 20'-0"



SOUTH HIGHPOINT ROAD

33' 40' 6" VARIES

ISSUED
Issued for Land Use Submittal - May 1, 2023

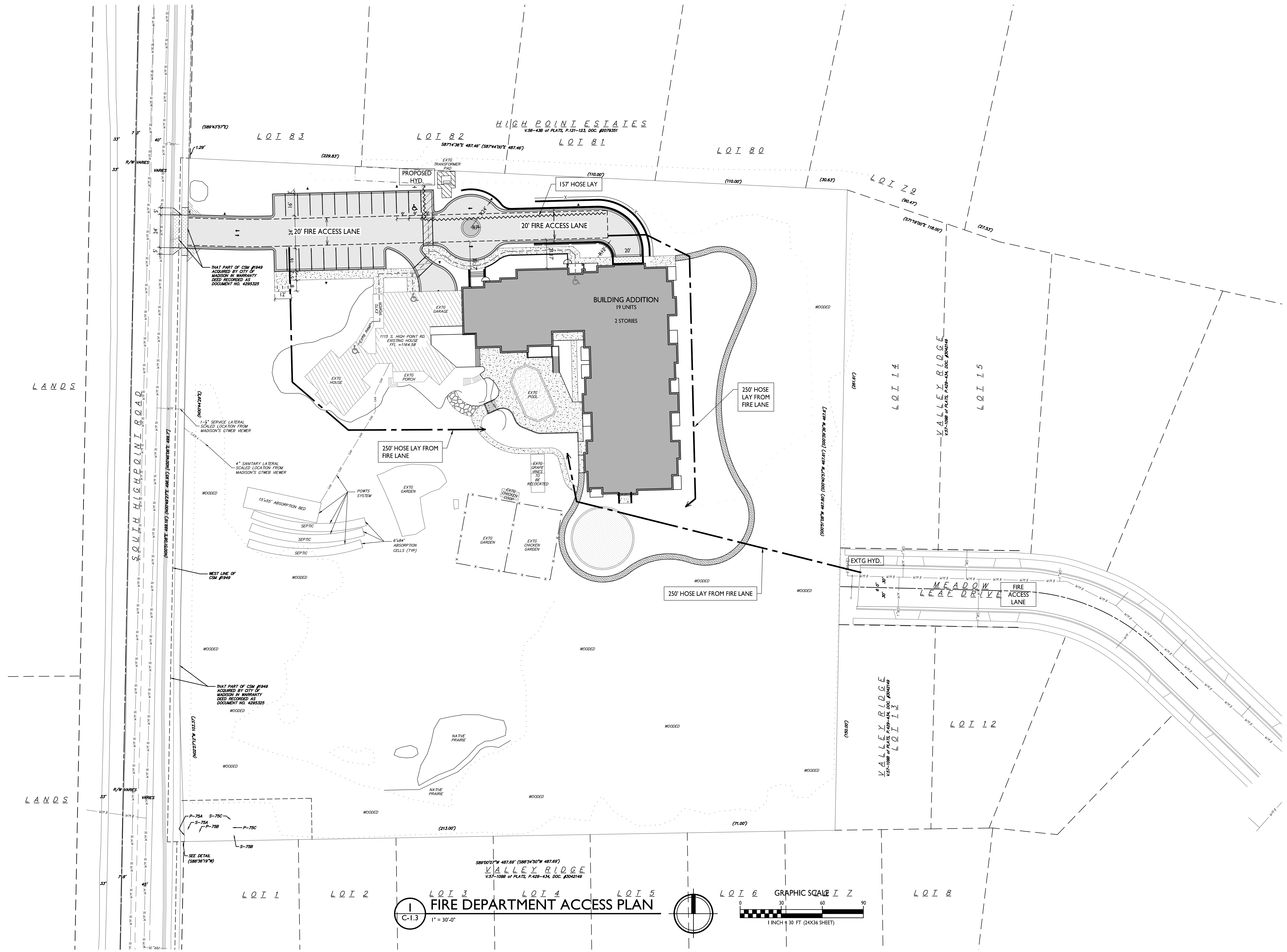
PROJECT TITLE
**Hope &
A Future III
- New Addition**

1115 S. Highpoint Road
Madison, WI
SHEET TITLE
**Fire Department
Access Plan**

SHEET NUMBER

C-1.3

PROJECT NO. **2036**
© Knothe & Bruce Architects, LLC



1
C-1.3
1" = 30'-0"
VALLEY RIDGE
V.57-1098 of PLATS, P.429-434, DOC. #3042149
FIRE DEPARTMENT ACCESS PLAN
GRAPHIC SCALE 1" = 30'-0"
1 INCH = 30 FT (24X36 SHEET)

LANDS

LANDS



knothe + bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

ISSUED
Issued for Land Use Submittal - May 1, 2023

PROJECT TITLE
**Hope &
A Future III
- New Addition**

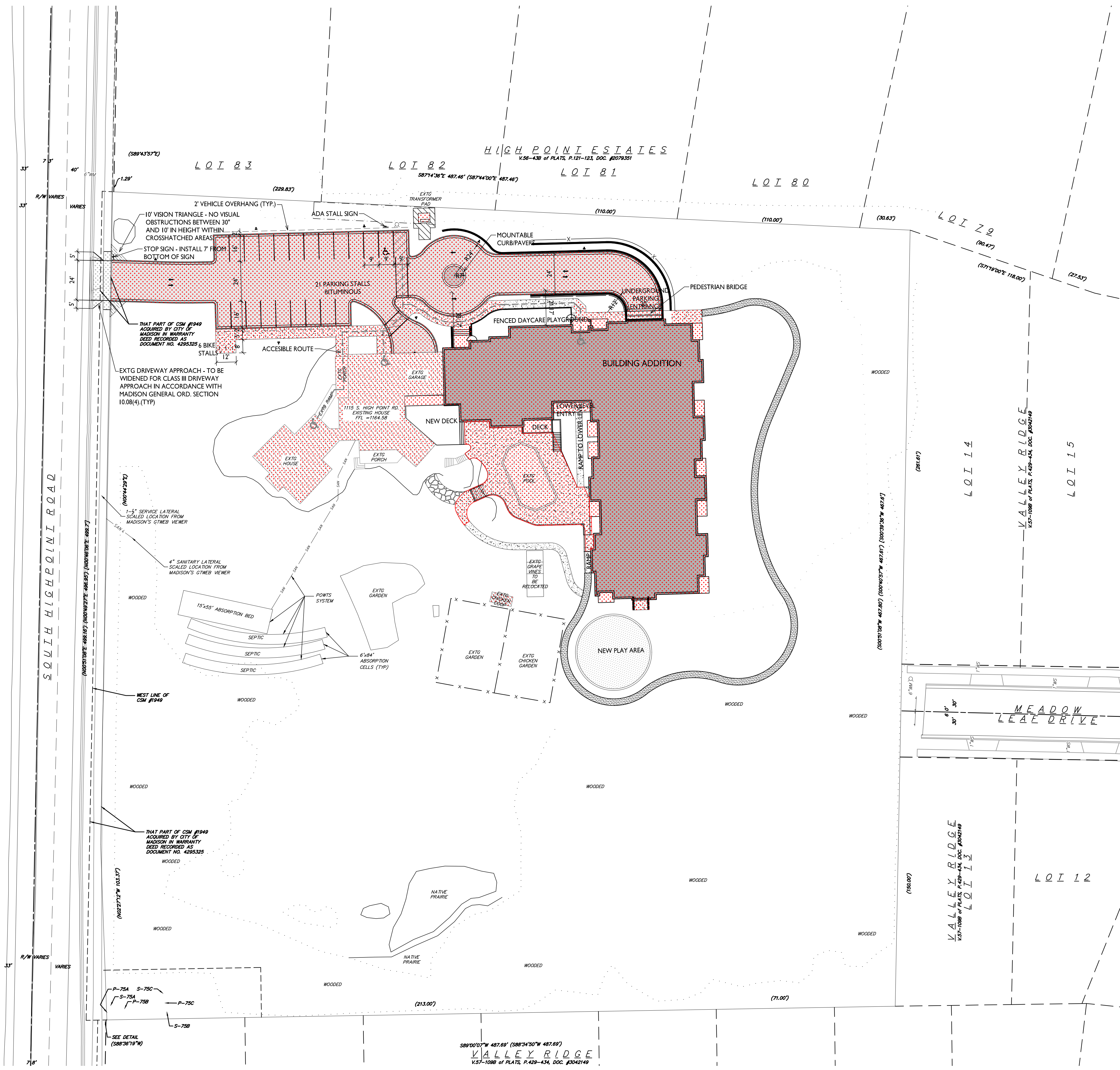
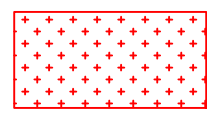
1115 S. Highpoint Road
Madison, WI
SHEET TITLE
Lot Coverage

SHEET NUMBER

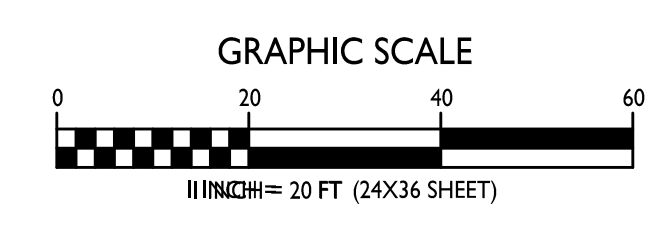
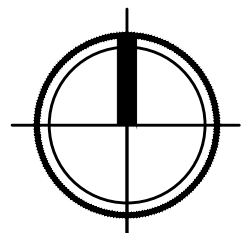
C-1.4

PROJECT NO. **2036**
© Knothe & Bruce Architects, LLC

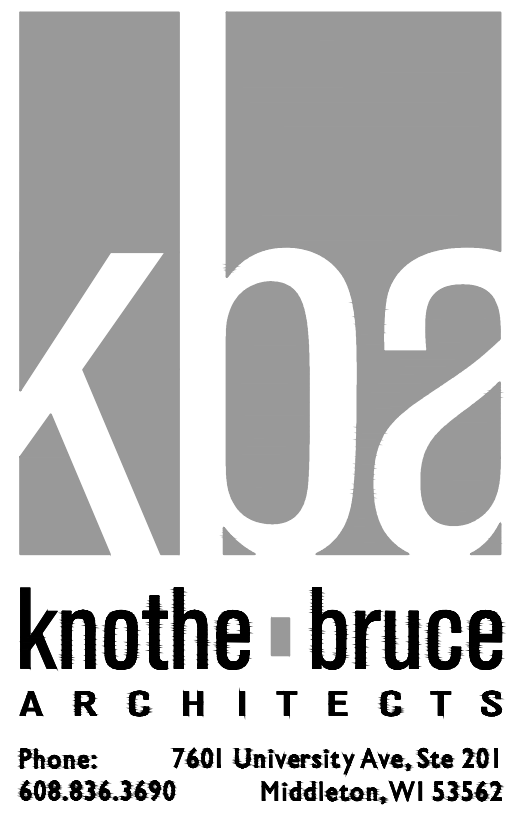
LOT COVERAGE	
ZONING: SR-V2	
MAXIMUM LOT COVERAGE	60%
LOT AREA	232,182 S.F.
PROPOSED COVERAGE	39,473 S.F. (17%)



LOT COVERAGE
1" = 40'-0"



USABLE OPEN SPACE	
ZONING: SR-V2	
REQUIRED OPEN SPACE	160 S.F. / 1 BEDROOM 320 S.F. / 2+ BEDROOM
BEDROOMS	
EXISTING 2+ BEDROOM	1 x 320 S.F. = 640 S.F.
1 BEDROOM	12 x 160 S.F. = 1,920 S.F.
2+ BEDROOM	7 x 320 S.F. = 2,240 S.F.
OPEN SPACE REQUIRED	4,480 S.F.
OPEN SPACE PROVIDED (SURFACE)	GREATER THAN 4,480 S.F.



ISSUED
Issued for Land Use Submittal - May 1, 2023

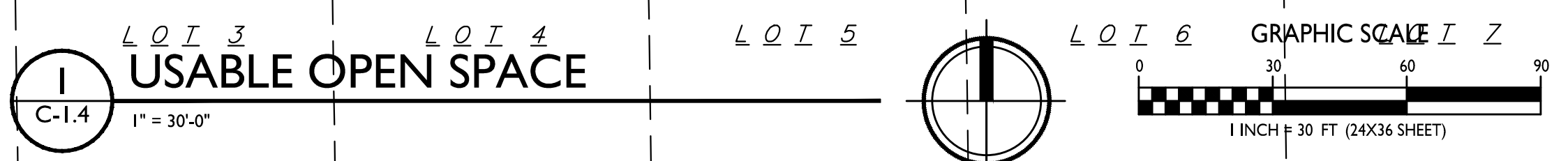
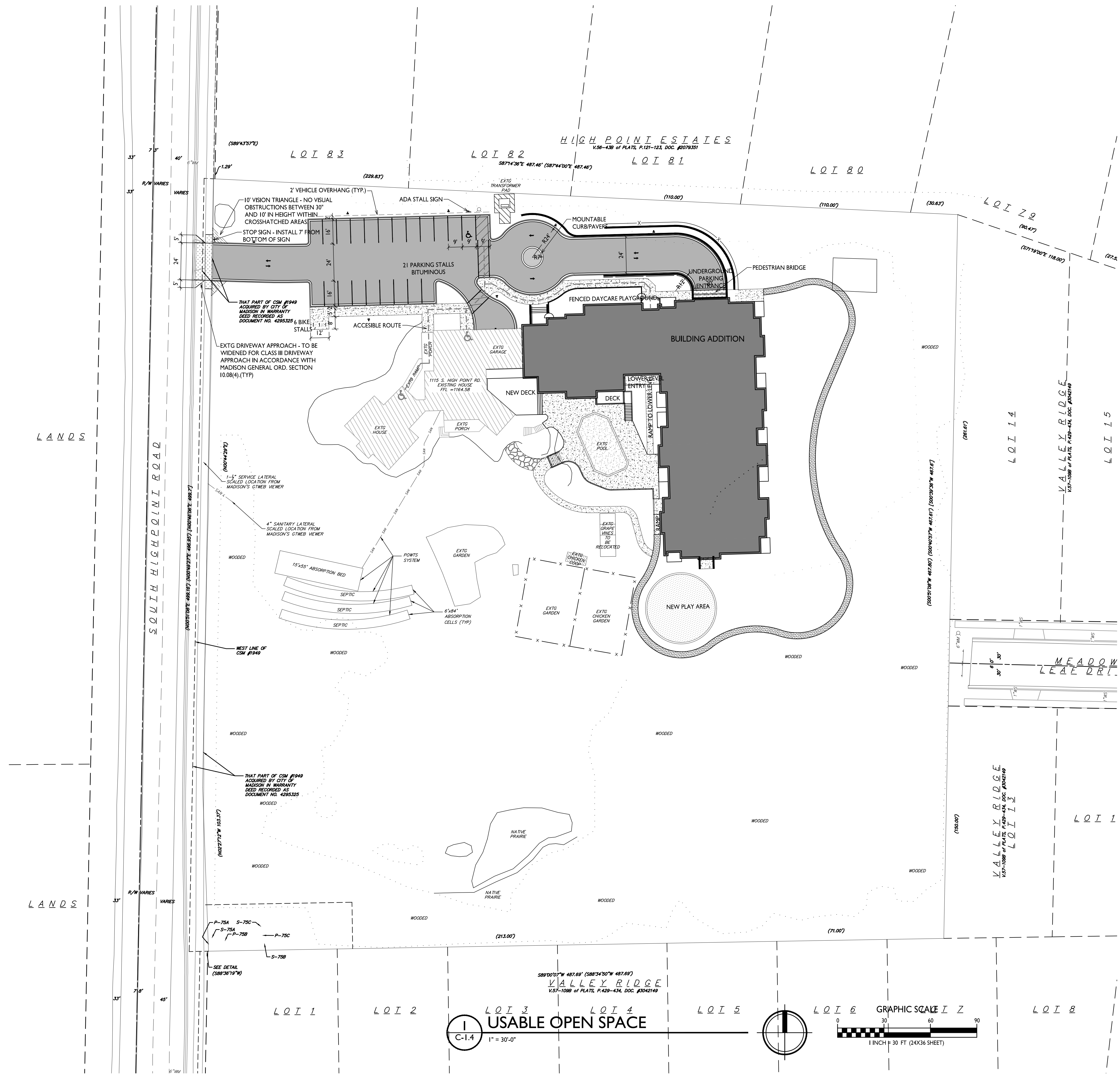
PROJECT TITLE
**Hope &
A Future III
- New Addition**

1115 S. Highpoint Road
Madison, WI
SHEET TITLE
**Usable Open
Space**

SHEET NUMBER

C-1.5

PROJECT NO. **2036**
© Knothe & Bruce Architects, LLC



GENERAL NOTES

- REFER TO THE TOPOGRAPHIC PLAT OF SURVEY PERFORMED BY VIERBICHER ON JUNE 29 & 30 AND JULY 5 & 6, 2017 FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

DEMOLITION NOTES

- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
- ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES, SALVAGE FOR RELOCATION. COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
- ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTOR'S EXPENSE, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
- ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
- ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
- EXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING FIBER OPTIC LINE LOCATION.
- SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.2.4, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND MUNICIPALITY SPECIFICATIONS.
- WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND MUNICIPALITY SPECIFICATIONS.
- ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
- RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.

CONSTRUCTION SEQUENCING

- INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
- STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
- CONDUCT ROUGH GRADING EFFORTS.
- INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
- COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
- PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
- EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

CITY TRAFFIC ENGINEERING NOTES

- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT.

PAVING NOTES

- GENERAL**
 - ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, AND APPLICABLE MUNICIPALITY ORDINANCES.
 - ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
 - SURFACE PREPARATION – NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS.
- ASPHALTIC CONCRETE PAVING SPECIFICATIONS**
 - CODES AND STANDARDS – THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION, HEREAFER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 - WEATHER LIMITATIONS – APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
 - GRADE CONTROL – ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - CRUSHED AGGREGATE BASE COURSE – THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 - BINDER COURSE AGGREGATE – THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
 - SURFACE COURSE AGGREGATE – THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
 - ASPHALTIC MATERIALS – THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
- CONCRETE PAVING SPECIFICATIONS**
 - CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
 - CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS./CUBIC YARD.
 - CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 - CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK–26UV CONCRETE SEALANT.
- PAVEMENT MARKING SPECIFICATIONS**
 - USE 4" WIDE, HIGH VISIBILITY WHITE LATEX PAINT FOR STALL LINES.
 - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UPS ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.
 - 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.

GRADING AND SEEDING NOTES

- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES, WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
- PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
- ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
- CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
- ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- CONTRACTOR SHALL CHISEL-PLow OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
- CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
- ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
- ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND MUNICIPALITY ORDINANCE.

STORMWATER FACILITIES CONSTRUCTION NOTES

- ENGINEER SHALL BE NOTIFIED PRIOR TO INSTALLATION OF STORMWATER MANAGEMENT FACILITIES. CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES SHALL BE OBSERVED AND DOCUMENTED BY THE ENGINEER, OR AN OWNER'S REPRESENTATIVE.
- STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AFTER SUBSTANTIAL COMPLETION OF FINAL SITE GRADING AND SOILS HAVE BEEN STABILIZED.
- AREAS USED FOR TEMPORARY SEDIMENT BASINS SHALL BE REMOVED IN THEIR ENTIRETY AFTER CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES.
- CONSTRUCTION TRAFFIC, HEAVY EQUIPMENT AND SOIL STOCKPILES SHALL NOT BE PLACED IN AREAS WHERE PROPOSED STORMWATER MANAGEMENT FACILITIES ARE LOCATED.
- NATIVE SOIL INFILTRATION RATES BELOW STORMWATER FACILITIES SHALL BE VERIFIED BY THE OWNER'S GEOTECHNICAL ENGINEER PRIOR INSTALLATION OF FACILITIES. NATIVE SOIL INFILTRATION RATES SHALL BE EQUAL TO OR GREATER THAN DESIGN INFILTRATION RATES.
- NATIVE SOILS SHALL BE BLENDED A MINIMUM OF TWO FEET PRIOR TO INSTALLATION OF STORMWATER INFILTRATION FACILITIES TO BREAKUP ANY LOWER PERMEABILITY SEAMS THAT MAY BE PRESENT.
- THICKER SILT OR CLAY LAYERS SHALL BE OVER-EXCAVATED AND BACKFILLED WITH GRANULAR MATERIALS CONFORMING TO SPECIFICATIONS PER WDNR TECH STANDARD 1004.

UTILITY NOTES

- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN – AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS TO INCLUDE AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- SPECIFICATIONS SHALL COMPLY WITH THE MUNICIPALITY SPECIAL PROVISIONS.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- STORM SEWER SPECIFICATIONS –
PIPE – REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C–76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C–443. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M–294 TYPE "S".
INLETS – INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 28 OF THE "STANDARD SPECIFICATIONS", OR APPROVED EQUAL WITH A 1'-8" X 2'-6" MAXIMUM OPENING. CURB FRAME & GATE SHALL BE NEENAH R-308T WITH TYPE R GRATE, OR EQUAL.
BACKFILL AND BEDDING – STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
MANHOLE FRAMES AND COVERS – MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
FIELD TILE CONNECTION – ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. THE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.

- WATER MAIN SPECIFICATIONS –
PIPE – DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 18.10 OF THE "STANDARD SPECIFICATIONS". POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELBOW AND SPOOT JOINTS. NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SFS 382.30(11)(h).
VALVES AND VALVE BOXES – GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
HYDRANTS – HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE MUNICIPALITY. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES (SEE DETAIL).
BEDDING AND COVER MATERIAL – PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
BACKFILL – BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".

- SANITARY SEWER SPECIFICATIONS –
PIPE – SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D–3212.
BEDDING AND COVER MATERIAL – BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
BACKFILL – BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
MANHOLES – MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE MUNICIPALITY.
MANHOLE FRAMES AND COVERS – MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION OF INSULATION SHALL BE CONFORMING WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).

EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND MUNICIPAL OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND MUNICIPALITY ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE MUNICIPALITY PRIOR TO DEVIATION OF THE APPROVED PLAN.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE 5" THICK AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
- PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE MUNICIPALITY.
- INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT TRAP SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER."
- DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DRAINING TECHNICAL STANDARD 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WDOT) APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING. EROSION MATTING AND/OR NETTING USED ON-SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052 AND 1053.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND 90% FOR PAVED AREAS. EROSION CONTROL STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
- CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDNR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
- STABILIZATION PRACTICES:**
 - "STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 - THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED OR PREVIOUS STABILIZATION MEASURES IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - "CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED. (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 - "STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE TO THE FOLLOWING ARE ACCCEPTABLE STABILIZATION MEASURES:
 - PERMANENT SEEDING, IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR ORGAT OR CEREAL RYE (150LBS/ACRE)
 - HYDRO-MULCHING WITH A TACKIFIER
 - GEOTEXTILE EROSION MATTING
 - SODDING

CITY FORESTRY NOTES

- ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS/CFM](https://www.cityofmadison.com/BUSINESS/PW/SPECS/CFM)
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
- SECTION 107.13(0) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOLLS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERRECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE TREE OR THE OUTSIDE EDGE OF THE TERRACE. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
- STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 – PART 1 STANDARDS FOR PRUNING.
- AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	DEMOLITION – REMOVAL OF ONSITE CURB SURFACES AND BASE COURSE
	DEMOLITION – PAVEMENT MILL AND OVERLAY
	DEMOLITION – REMOVAL OF RETAINING WALL
	DEMOLITION – REMOVAL OF ASPHALT SURFACES
	DEMOLITION – REMOVAL OF CONCRETE SURFACES
	DEMOLITION – REMOVAL OF BUILDINGS/STRUCTURES
	DEMOLITION – REMOVAL OF UTILITIES
	DEMOLITION – REMOVAL OF LANDSCAPE BEDDING
	TREE REMOVAL
	SHRUB REMOVAL
	PROTECT EXISTING TREE
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	MOUNTABLE CURB AND GUTTER
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	PLAY SURFACING
	PROPOSED 1 FOOT CONTOUR
	PROPOSED 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR
	DRAINAGE DIRECTION
	GRADE BREAK
	MODULAR BLOCK RETAINING WALL
	SPLIT RAIL FENCE
	GUARDRAIL
	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
	ADA PARKING SIGN
	BOLLARD
	BIKE RACK
	SANITARY SEWER
	WATERMAIN
	STORM SEWER
	SILT FENCE
	CONSTRUCTION ENTRANCE
	SPOT ELEVATION
	FP – EDGE OF PAVEMENT
	FG – FINISH GRADE
	EG – EDGE OF CONCRETE
	BC – BACK OF CURB
	MC – MATCH EXISTING GRADE
	HP – HIGH POINT
	SW – SIDEWALK
	FG:XXX.XX
	INLET PROTECTION

ALL PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY OR CONNECTIONS TO CITY OWNED UTILITIES SHALL BE COMPLETED PER THE CITY ISSUED IMPROVEMENTS PLAN (CONTRACT NO. XXXX, PROJECT NO. XXXX) IMPROVEMENTS PROPOSED WITHIN THE RIGHT-OF-WAY ON THE 3900 MONONA DRIVE PRIVATE DEVELOPMENT PLANS ARE SHOWN FOR REFERENCE ONLY. CITY ISSUED PLANS GOVERN

CREATE THE VISION TELL THE STORY

jsdinc.com

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
**KNOTHE & BRUCE
ARCHITECTS, LLC**

CLIENT ADDRESS:
**3400 UNIVERSITY AVE, SUITE 201
MIDDLETON, WI 53562**

PROJECT:
**HOPE & A FUTURE
EXPANSION**

PROJECT LOCATION:
**3440 SOUTH HIGH POINT RD
MADISON, WI 53719
DANE COUNTY**

#	Date:	Description:
1	05.01.23	LAND USE SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

PLAN MODIFICATIONS:

#	Date:	Description:
1	05.01.23	LAND USE SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

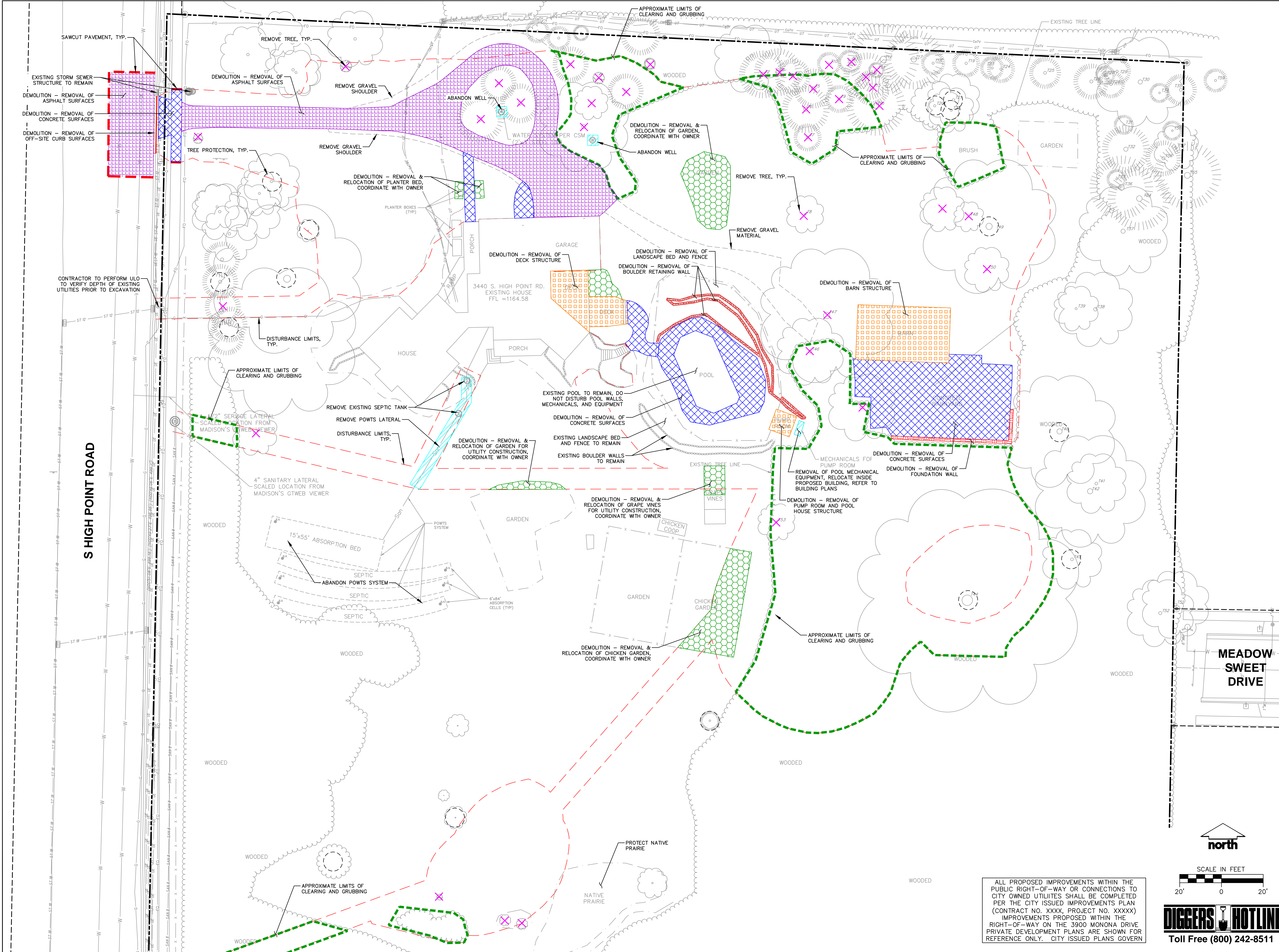
Designed By: MAS
Reviewed By: ACG
Approved By:

SHEET TITLE:
DEMOLITION PLAN

SHEET NUMBER:

C2.0

JSD PROJECT NO: 21-10434



S HIGH POINT ROAD

**MEADOW
SWEET
DRIVE**



ALL PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY OR CONNECTIONS TO CITY OWNED UTILITIES SHALL BE COMPLETED PER THE CITY ISSUED IMPROVEMENTS PLAN (CONTRACT NO. XXXX, PROJECT NO. XXXXX) IMPROVEMENTS PROPOSED WITHIN THE RIGHT-OF-WAY ON THE 3900 MONONA DRIVE PRIVATE DEVELOPMENT PLANS ARE SHOWN FOR REFERENCE ONLY. CITY ISSUED PLANS GOVERN



PLAN MODIFICATIONS:

#	Date	Description
1	05.01.23	LAND USE SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

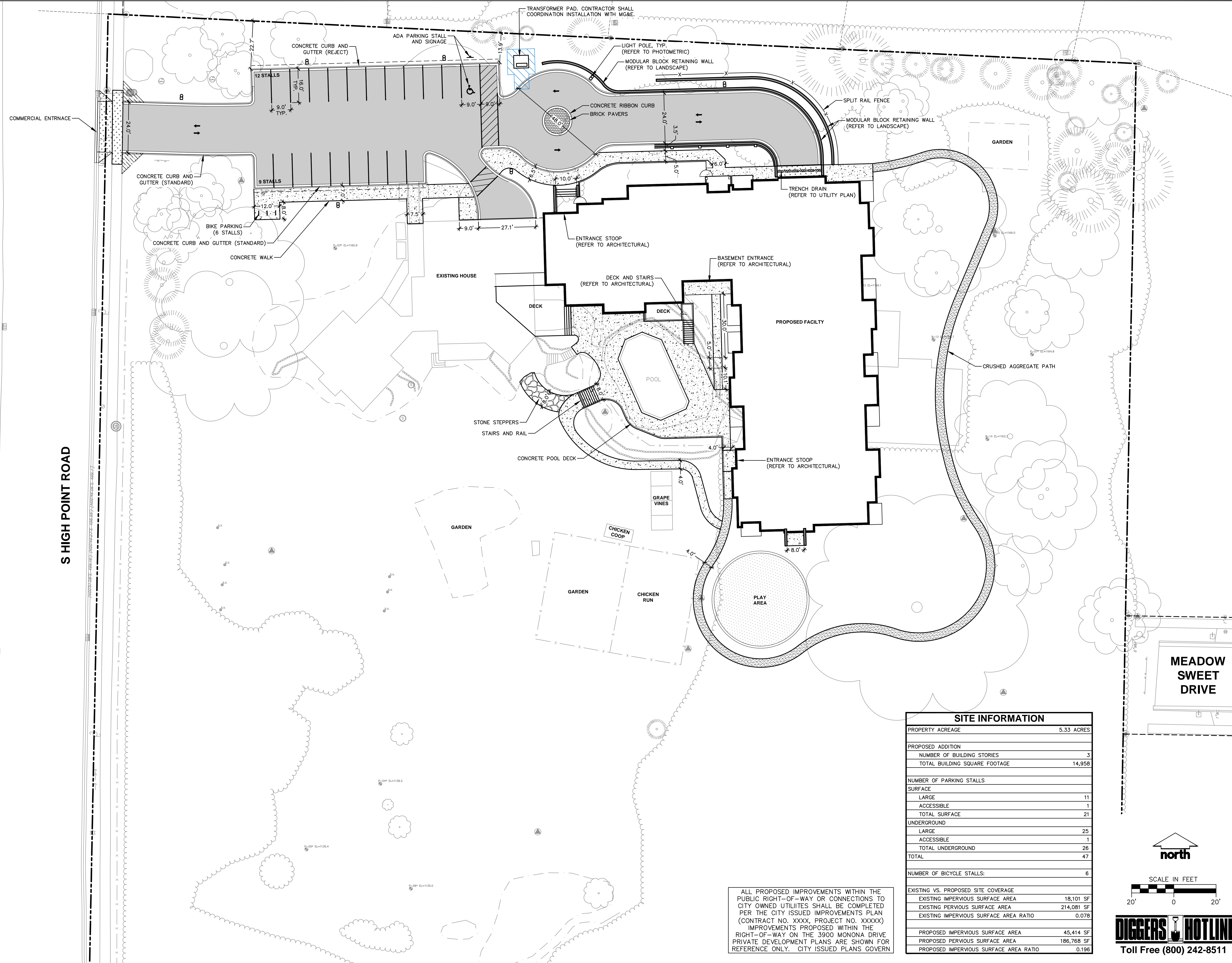
Designed By: MAS
Reviewed By: ACG
Approved By:

**SHEET TITLE:
SITE PLAN**

SHEET NUMBER:

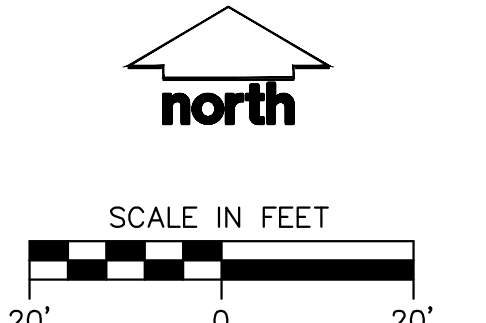
C3.0

JSD PROJECT NO: 21-10434



SITE INFORMATION	
PROPERTY ACREAGE	5.33 ACRES
PROPOSED ADDITION	
NUMBER OF BUILDING STORIES	3
TOTAL BUILDING SQUARE FOOTAGE	14,958
NUMBER OF PARKING STALLS	
SURFACE	
LARGE	11
ACCESSIBLE	1
TOTAL SURFACE	21
UNDERGROUND	
LARGE	25
ACCESSIBLE	1
TOTAL UNDERGROUND	26
TOTAL	47
NUMBER OF BICYCLE STALLS:	
	6
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	18,101 SF
EXISTING PERVIOUS SURFACE AREA	214,081 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.078
PROPOSED IMPERVIOUS SURFACE AREA	
PROPOSED IMPERVIOUS SURFACE AREA	45,414 SF
PROPOSED PERVIOUS SURFACE AREA	186,768 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.196

ALL PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY OR CONNECTIONS TO CITY OWNED UTILITIES SHALL BE COMPLETED PER THE CITY ISSUED IMPROVEMENTS PLAN (CONTRACT NO. XXXX, PROJECT NO. XXXXX) IMPROVEMENTS PROPOSED WITHIN THE RIGHT-OF-WAY ON THE 3900 MONONA DRIVE PRIVATE DEVELOPMENT PLANS ARE SHOWN FOR REFERENCE ONLY. CITY ISSUED PLANS GOVERN

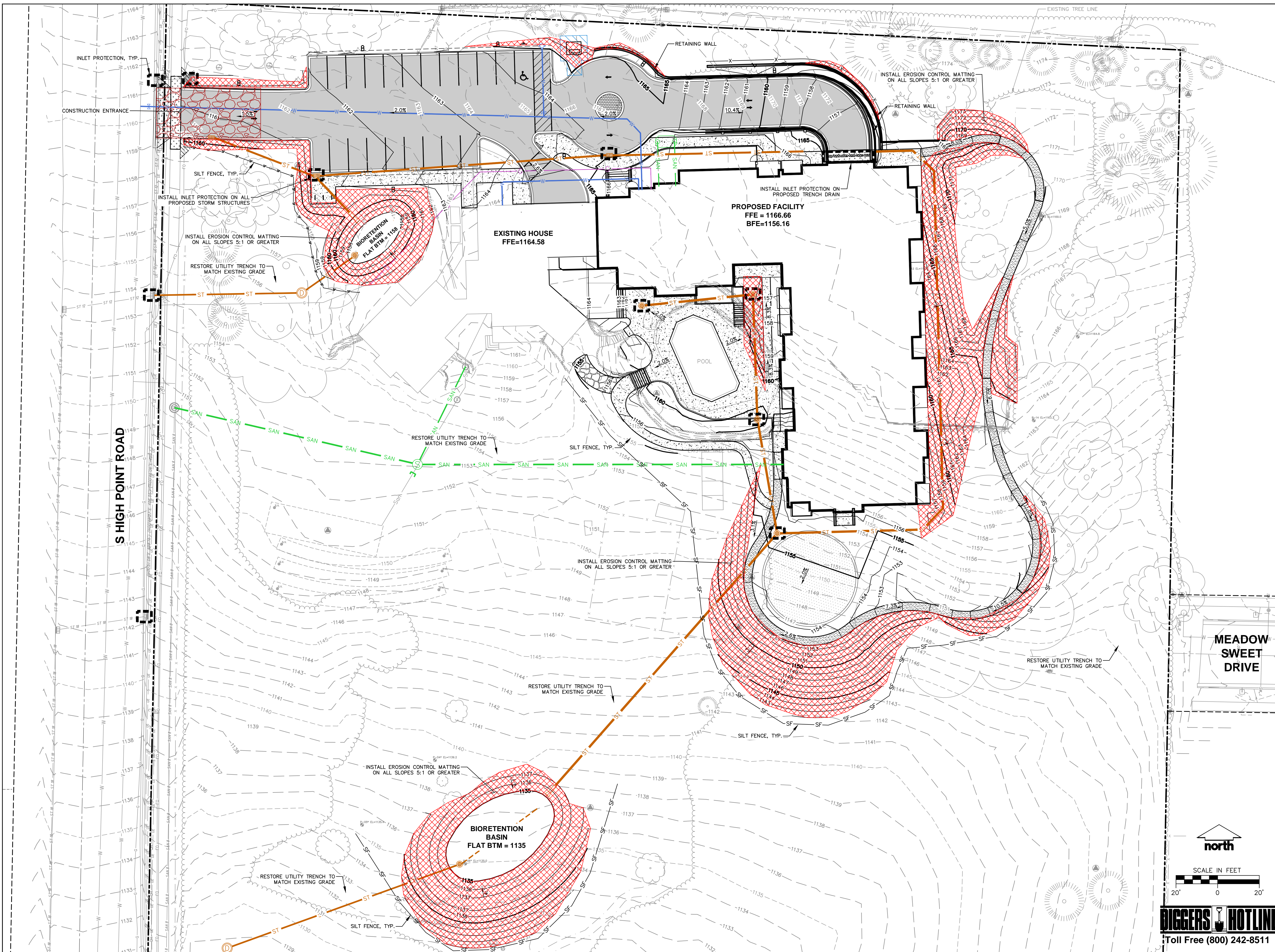


DIGGERS HOTLINE
Toll Free (800) 242-8511

S HIGH POINT ROAD

MEADOW SWEET DRIVE

File: I:\2021\1143\DWG\Civil\Sheets\110434 C4.0 Grading Plan.dwg Layout: C4.0 User: rmaunders Printed: Apr 28, 2023 1:10pm Xref's:



CREATE THE VISION TELL THE STORY

jsdinc.com

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
**KNOTHE & BRUCE
ARCHITECTS, LLC**

CLIENT ADDRESS:
**7601 UNIVERSITY AVE, SUITE 201
MIDDLETON, WI 53562**

PROJECT:
**HOPE & A FUTURE
EXPANSION**

PROJECT LOCATION:
**1115 SOUTH HIGH POINT ROAD
MADISON, WI 53719
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	05.01.23	LAND USE SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

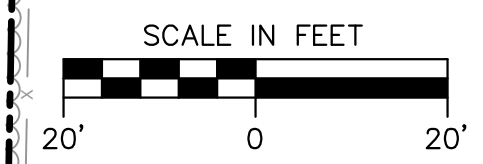
Designed By: MAS
Reviewed By: ACG
Approved By:

SHEET TITLE:
**GRADING AND EROSION
CONTROL PLAN**

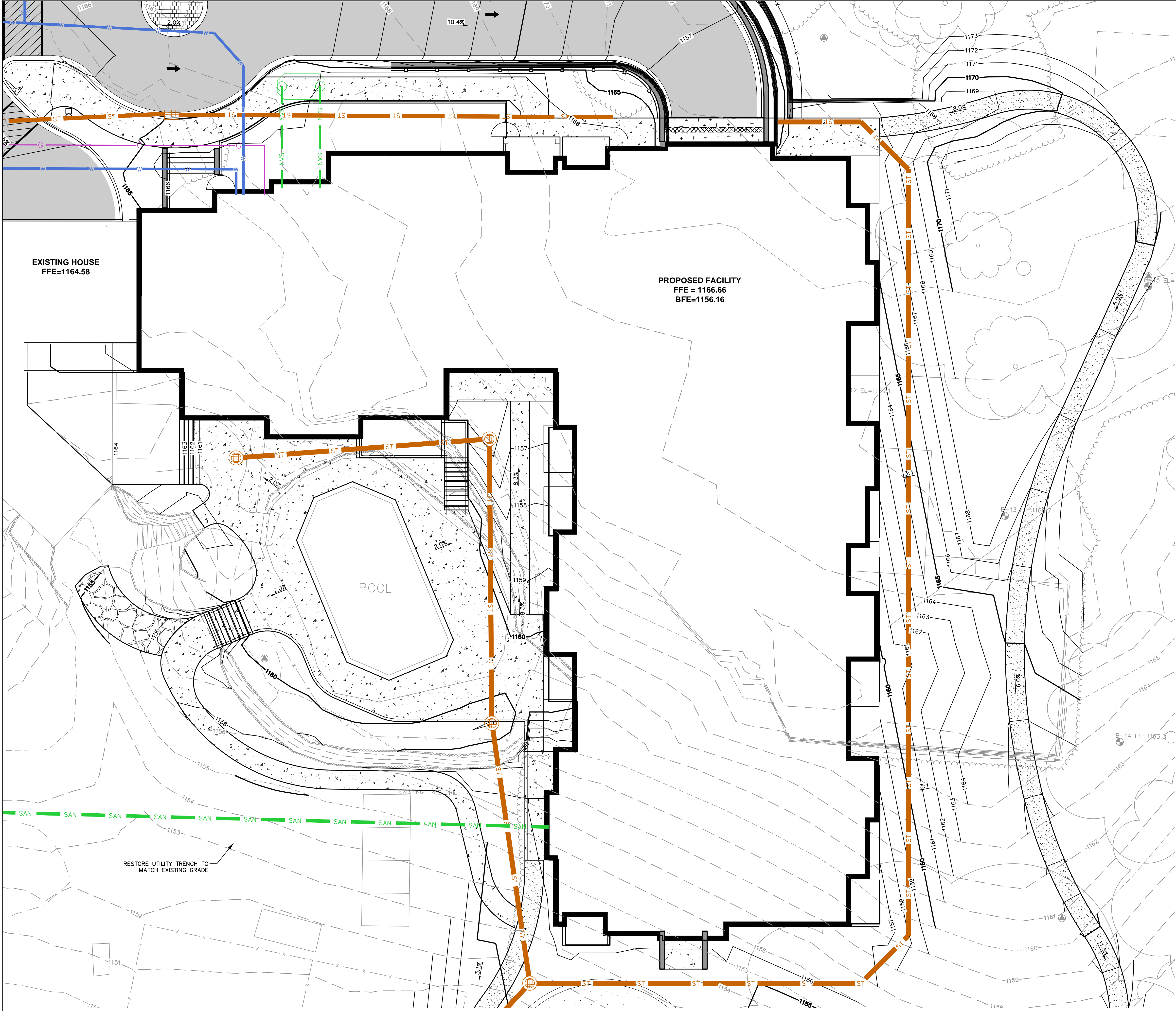
SHEET NUMBER:

C4.0

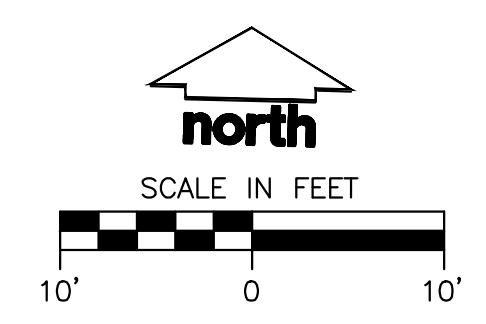
JSD PROJECT NO: 21-10434




THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



1 BUILDING EXPANSION
C4.1



DIGGERS HOTLINE
Toll Free (800) 242-8511



CREATE THE VISION TELL THE STORY

jsdinc.com

MADISON REGIONAL OFFICE
181 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
KNOTHE & BRUCE ARCHITECTS, LLC

CLIENT ADDRESS:
7601 UNIVERSITY AVE, SUITE 201
MIDDLETON, WI 53562

PROJECT:
HOPE & A FUTURE EXPANSION

PROJECT LOCATION:
1115 SOUTH HIGH POINT ROAD
MADISON, WI 53719
DANE COUNTY

#	Date	Description
1	05.01.23	LAND USE SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: MAS
Reviewed By: ACG
Approved By:

SHEET TITLE:
GRADING PLAN - DETAILED

SHEET NUMBER:
C4.1

JSD PROJECT NO: 21-10434

File: I:\2021\1115\DWG\Civil\Sheets\2110434_C4.1_Grading_Plan.dwg Layout: C4.1 User: msaunders Plotted: Apr 28, 2023 - 1:10pm Xref(s):

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

PLAN MODIFICATIONS:

#	Date	Description
1	05.01.23	LAND USE SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: MAS
Reviewed By: ACG

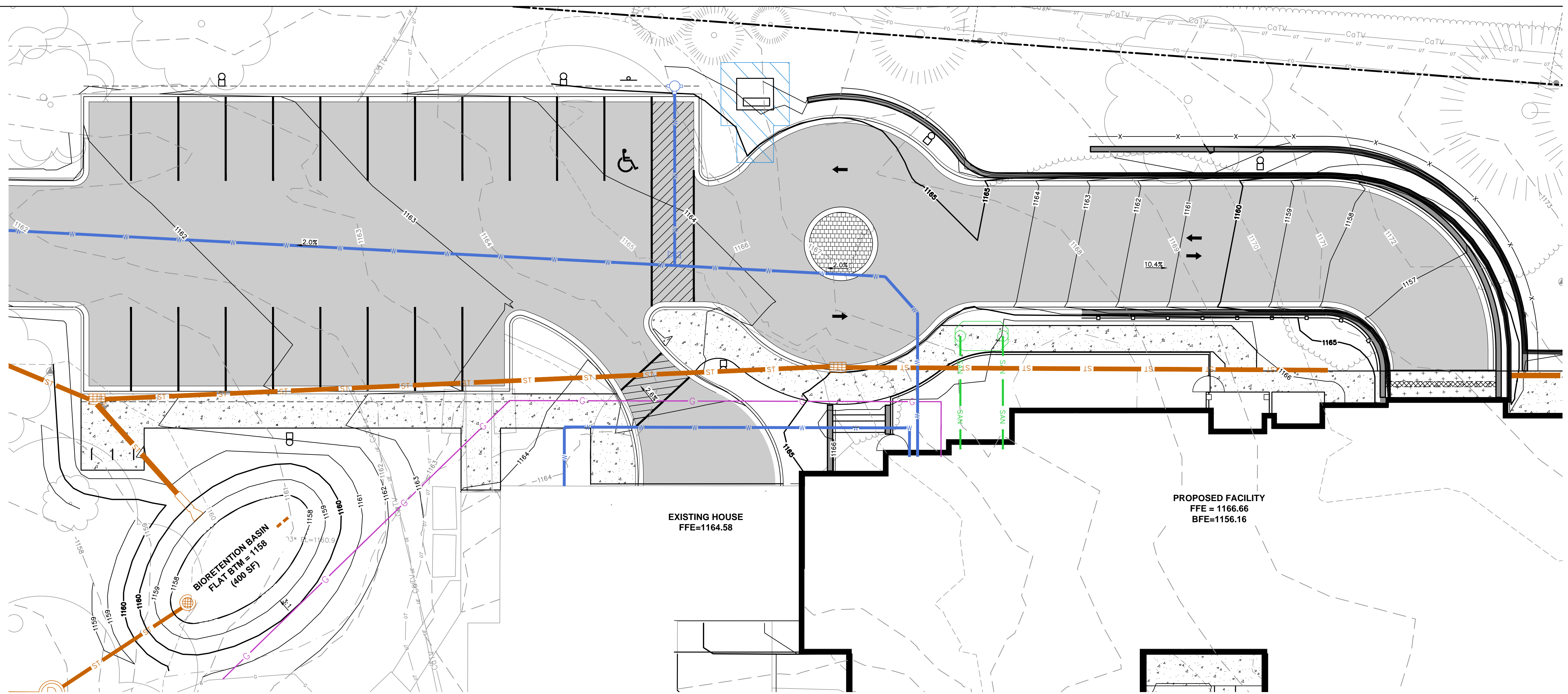
Approved By:

SHEET TITLE:
**GRADING PLAN -
DETAILED**

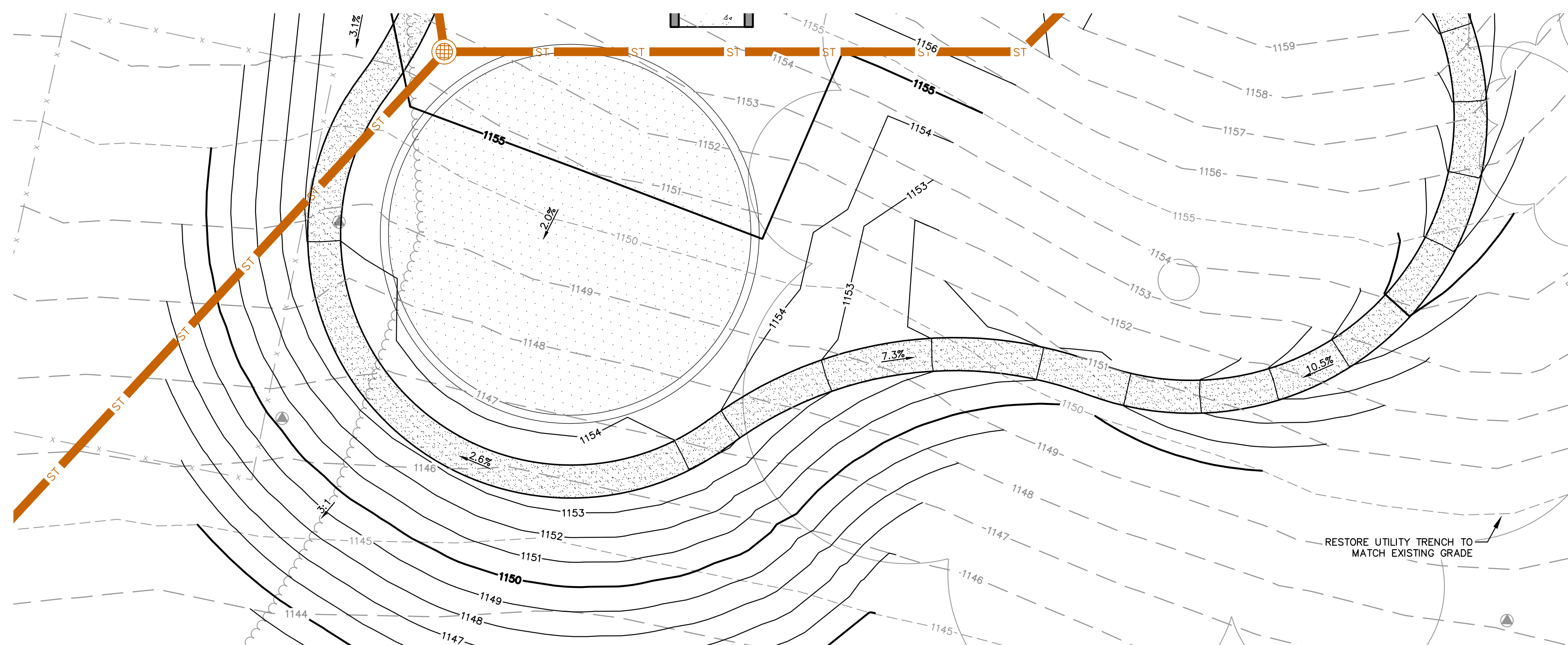
SHEET NUMBER:

C4.2

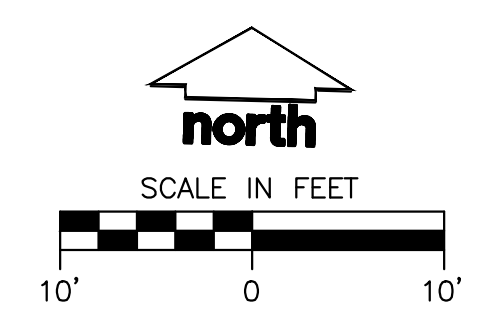
JSD PROJECT NO: 21-10434



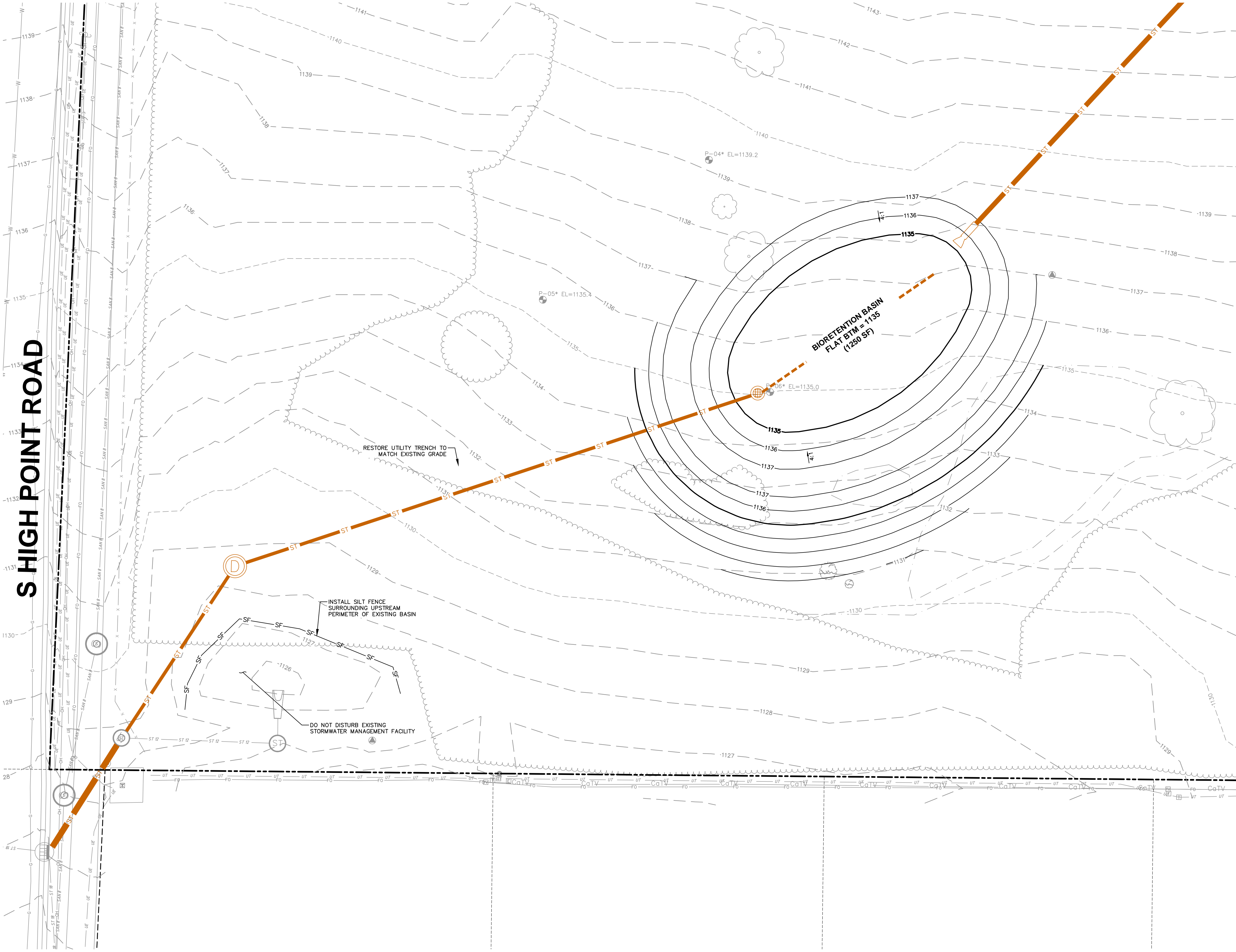
1
C4.2
PARKING LOT



2
C4.2
SOUTH PLAY AREA

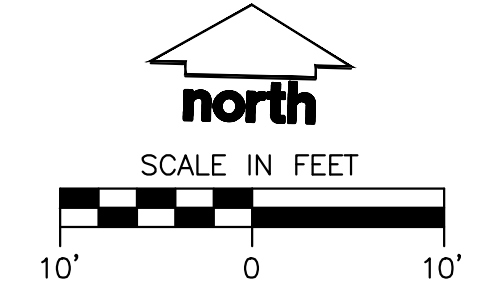


DIGGERS HOTLINE
Toll Free (800) 242-8511



S HIGH POINT ROAD

1
C4.3 SOUTH BIORETENTION BASIN



DIGGERS HOTLINE
Toll Free (800) 242-8511

JSD

CREATE THE VISION TELL THE STORY

jsdinc.com

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
KNOTHE & BRUCE ARCHITECTS, LLC

CLIENT ADDRESS:
**7601 UNIVERSITY AVE, SUITE 201
MIDDLETON, WI 53562**

PROJECT:
HOPE & A FUTURE EXPANSION

PROJECT LOCATION:
**1115 SOUTH HIGH POINT ROAD
MADISON, WI 53719
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	05.01.23	LAND USE SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: MAS
Reviewed By: ACG
Approved By:

SHEET TITLE:
GRADING PLAN - DETAILED

SHEET NUMBER:
C4.3

JSD PROJECT NO: 21-10434

File: I:\2021\21-10434\DWG\Civil\Sheets\21-10434_C4.3_Grading_Plan.dwg Layout: C4.3 User: msaunderes Plotted: Apr 28, 2023 1:11 pm Xref's:

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

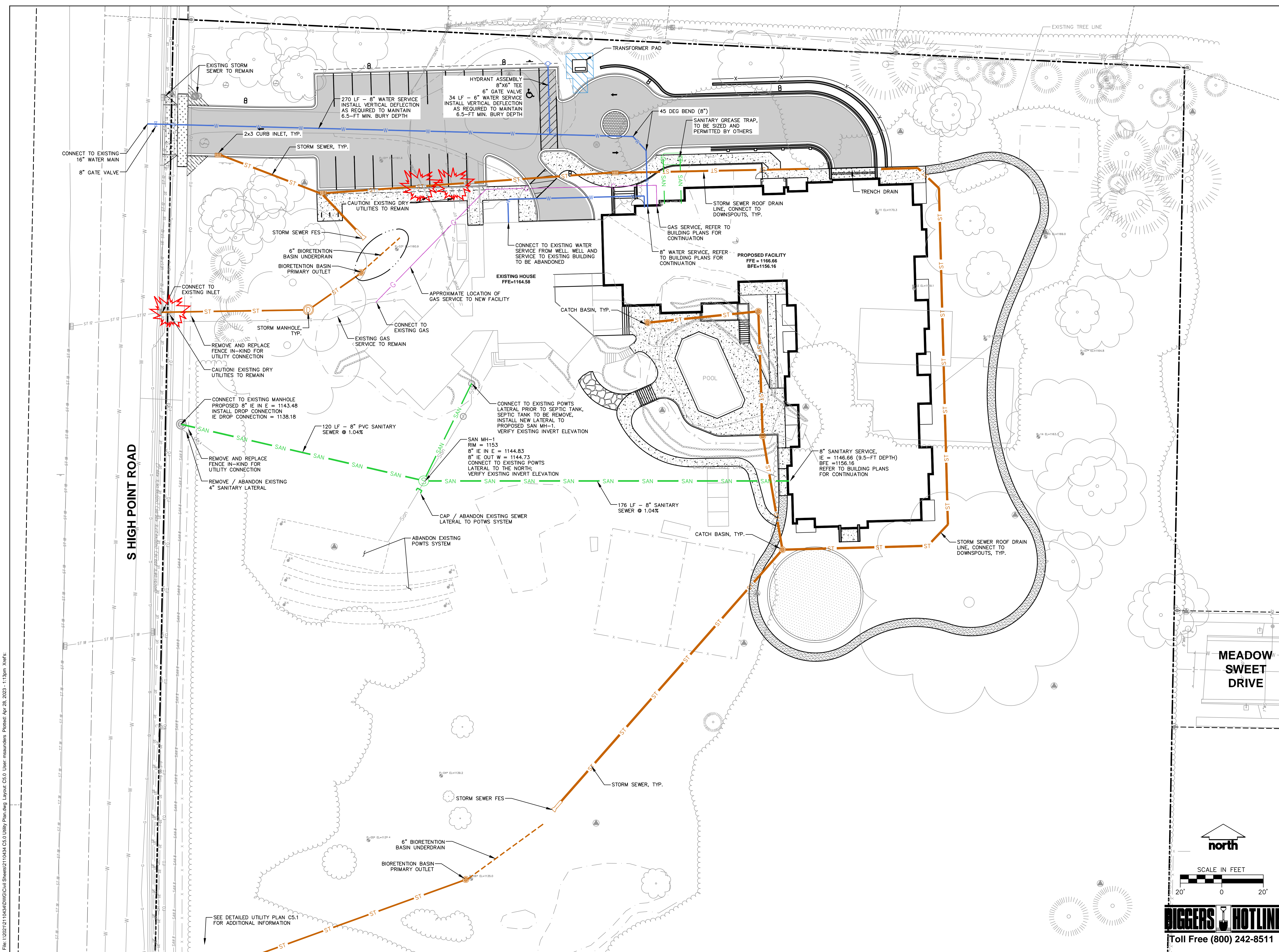
PLAN MODIFICATIONS:

#	Date:	Description:
1	05.01.23	LAND USE SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: MAS
Reviewed By: ACG
Approved By:

SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C5.0



north

SCALE IN FEET

20' 0 20'

DIGGERS HOTLINE
Toll Free (800) 242-8511

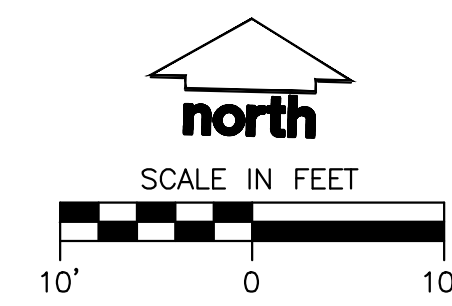
File: I:\2021\1115 South High Point\DWG\Civil\Sheet2110434 C5.0 Utility Plan.dwg Layout: C5.0 User: msaundera Plotted: Apr 28, 2023 - 11:30am Xref:

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

File: I:\2021\21-1043\DWG\Civil\Sheets\21-1043-C5.0-Utility Plan.dwg Layout: C5.1 User: msanderson Plotted: Apr 28, 2025, 1:11pm Xref:



1 SOUTH BIORETENTION BASIN
C4.3



DIGGERS HOTLINE
Toll Free (800) 242-8511



CREATE THE VISION TELL THE STORY

jsdinc.com

MADISON REGIONAL OFFICE
181 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
KNOTHE & BRUCE ARCHITECTS, LLC

CLIENT ADDRESS:
**7601 UNIVERSITY AVE, SUITE 201
MIDDLETON, WI 53562**

PROJECT:
HOPE & A FUTURE EXPANSION

PROJECT LOCATION:
**1115 SOUTH HIGH POINT ROAD
MADISON, WI 53719
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	05.01.23	LAND USE SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: MAS
Reviewed By: ACG
Approved By:

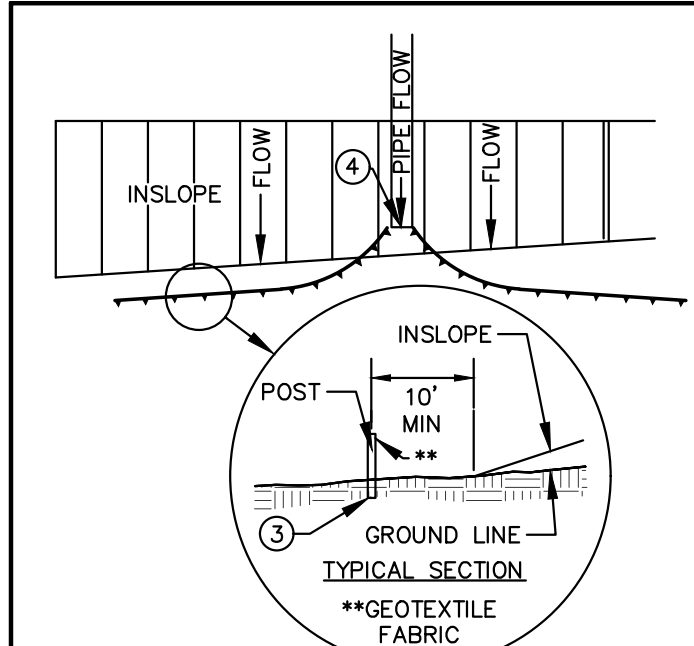
SHEET TITLE:
UTILITY PLAN - DETAILED

SHEET NUMBER:

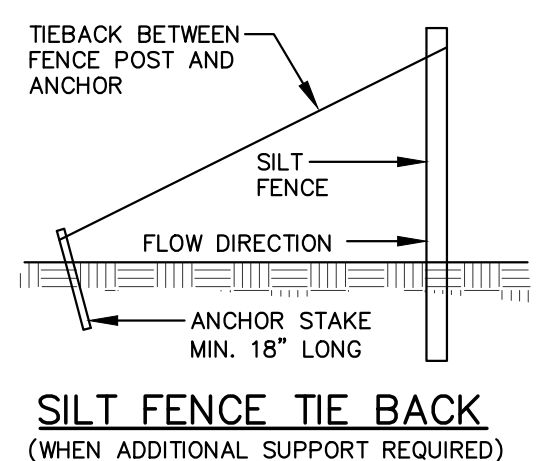
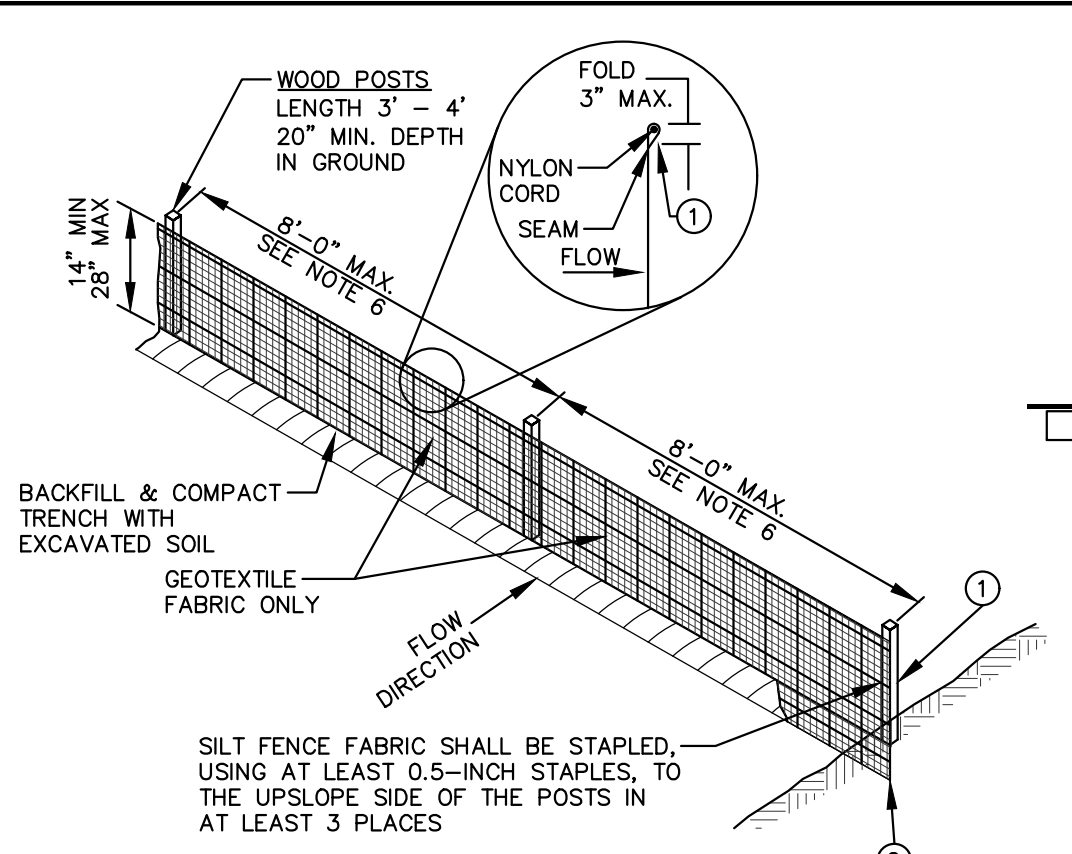
C5.1

JSD PROJECT NO: 21-10434

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



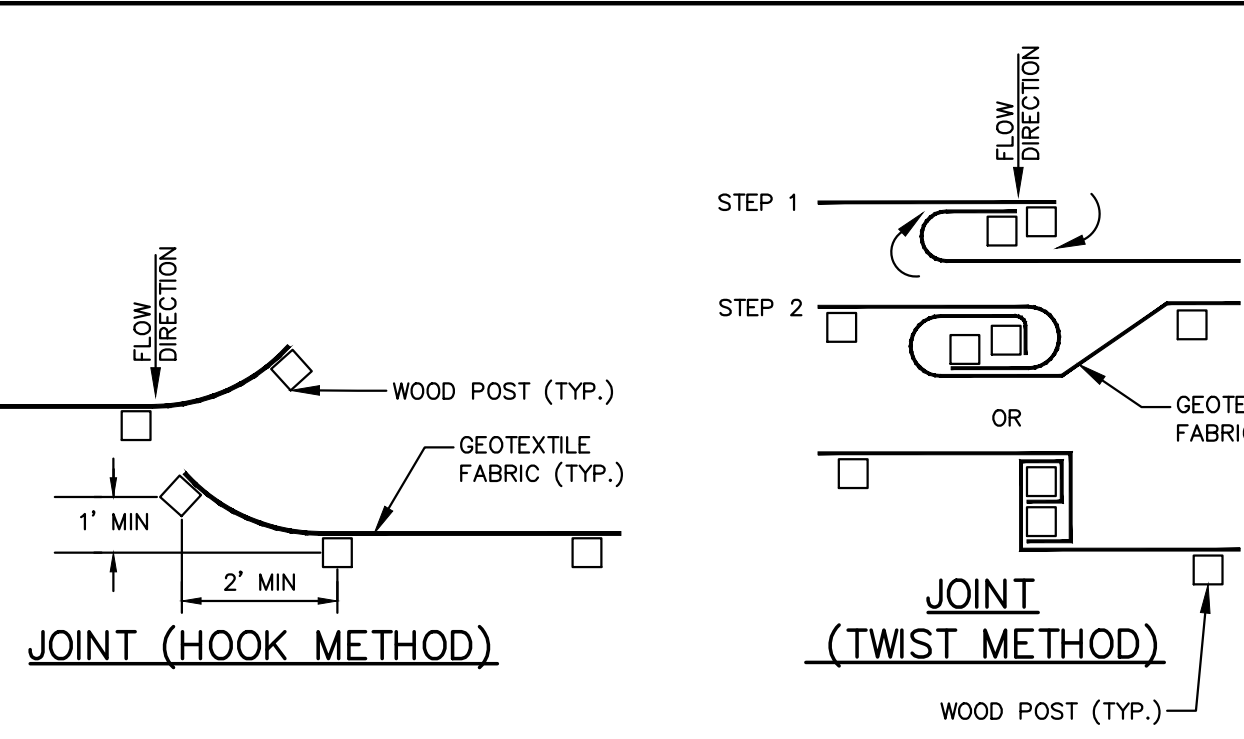
SILT FENCE ALONG SLOPES & OUTFALLS



TRENCH DETAIL

SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT REQUIRED)

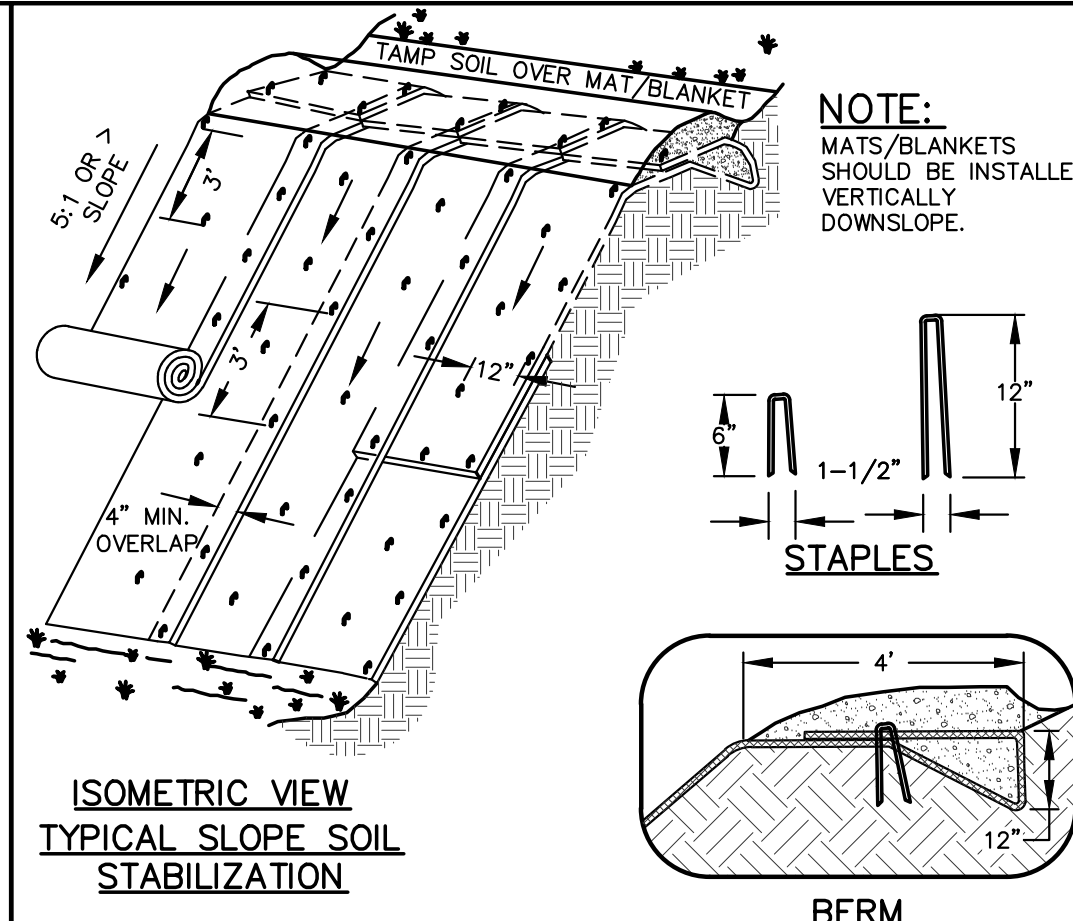
SILT FENCE
N.T.S.



JOINT (HOOK METHOD)
JOINT (TWIST METHOD)

GENERAL NOTES:

- SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8-INCHES OF FABRIC IN A 4-INCH WIDE AND 6-INCH DEEP TRENCH OR 6-INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
- FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125-INCHES x 1.125-INCHES OF DRIED OAK OR HICKORY.
- SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE.
- SILT FENCE CONSTRUCTION AND GEOTEXTILE FABRIC SHALL CONFORM TO WDNR TECHNICAL STANDARD 1055.
- POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8- FEET FOR WOVEN & 3- FEET FOR NON-WOVEN)

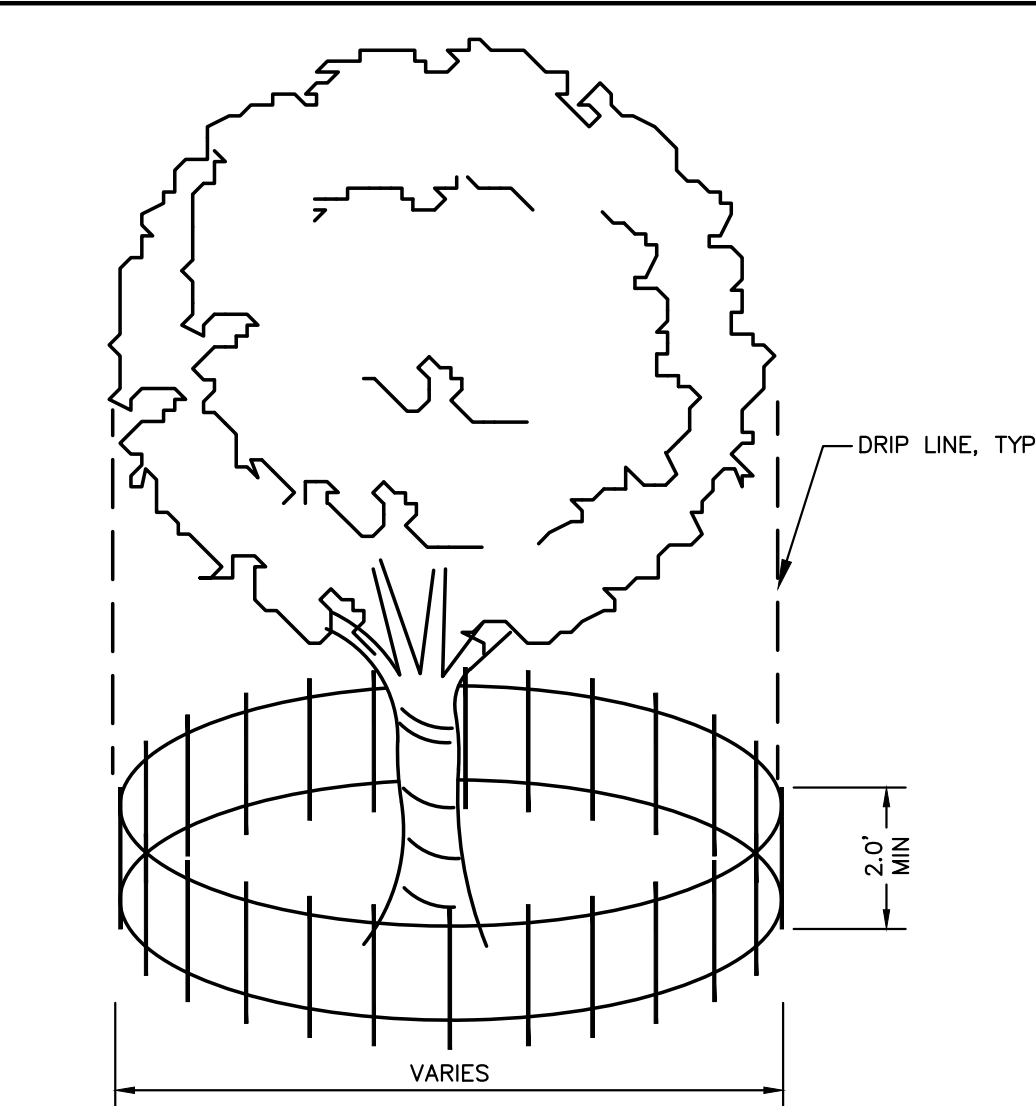


ISOMETRIC VIEW TYPICAL SLOPE SOIL STABILIZATION

GENERAL NOTES:

- EROSION MAT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1052 "NON-CHANNEL EROSION MAT".
- ONLY WSDOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) APPROVED MATS SHALL BE ALLOWED. REFER TO EROSION CONTROL PLAN FOR EXACT MAT CLASSIFICATION.
- APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
- LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
- ONLY WSDOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) APPROVED MATS SHALL BE ALLOWED. REFER TO EROSION CONTROL PLAN FOR EXACT MAT CLASSIFICATION.

EROSION MATTING
N.T.S.

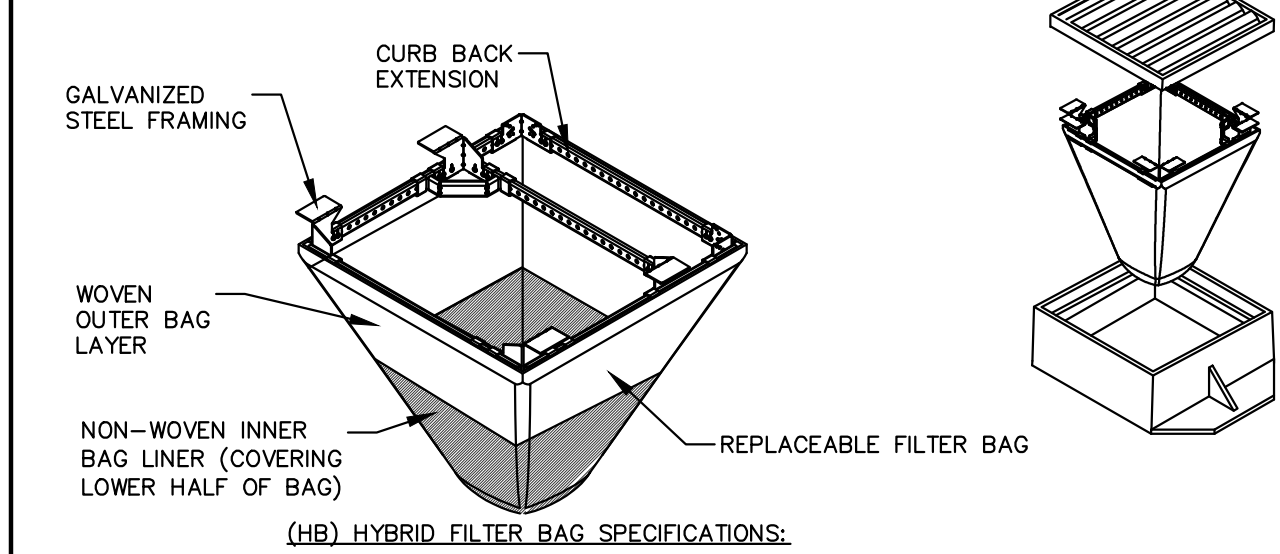


TREE PROTECTION
N.T.S.

NOTE:

FENCE TO BE INSTALLED TO PROTECT EXISTING TREE(S) DURING CONSTRUCTION. CONTRACTOR TO COORDINATE FENCE LOCATION WITH OWNER PRIOR TO INSTALLATION. SILT FENCE MATERIAL OR OTHER APPROVED BARRIER MATERIAL MAY BE USED.

FLEXSTORM INLET FILTERS TO MEET DANE COUNTY EROSION CONTROL STANDARDS



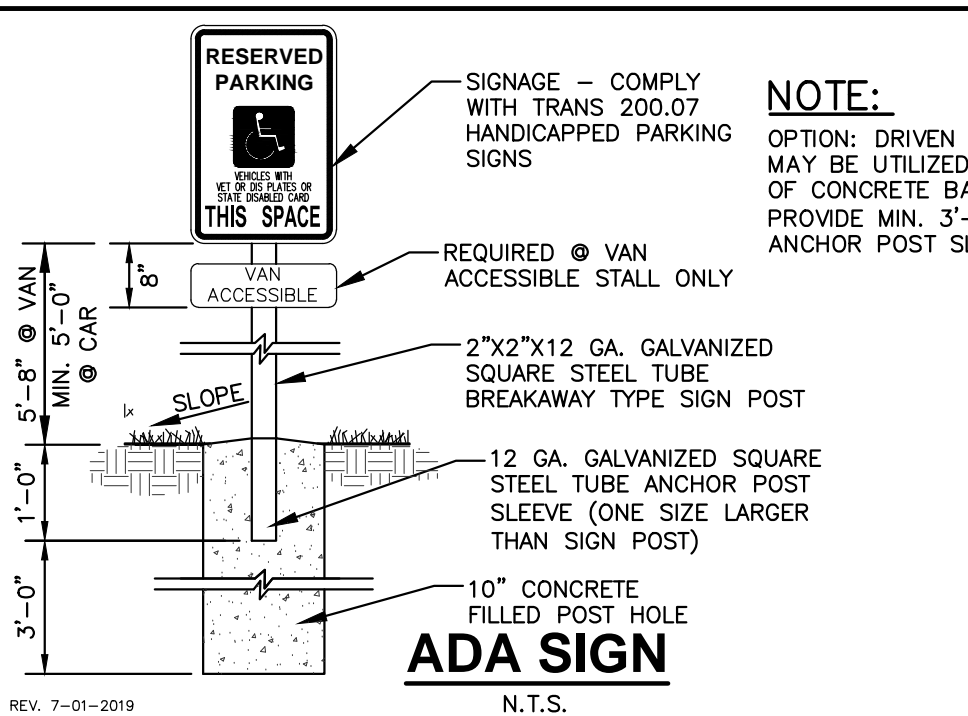
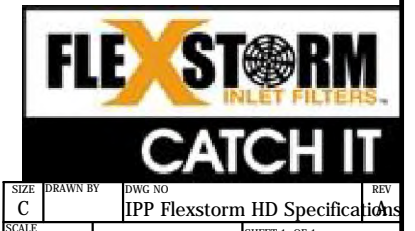
- INSTALLATION INSTRUCTIONS:**
- REMOVE GRATE FROM THE DRAINAGE STRUCTURE
 - CLEAN STONE AND DIRT FROM LEDGE (LIP) OF DRAINAGE STRUCTURE
 - DROP THE INLET FILTER THROUGH THE CLEAR OPENING SUCH THAT THE HANGERS REST FIRMLY ON THE LIP OF THE STRUCTURE
 - REPLACE THE GRATE AND CONFIRM IT IS NOT ELEVATED MORE THAN 1/8"
- MAINTENANCE GUIDELINES:**
- EMPTY THE SEDIMENT BAG IF MORE THAN HALF FILLED WITH SEDIMENT AND DEBRIS
 - REMOVE THE GRATE, ENGAGE THE LIFTING POINTS, AND LIFT FILTER FROM THE DRAINAGE STRUCTURE.
 - DISPOSE OF SEDIMENT AND DEBRIS BY THE ENGINEERING OR MAINTENANCE CONTRACT 4. ALTERNATIVELY, AN INDUSTRIAL VACUUM CAN BE USED TO COLLECT SEDIMENT FROM THE FILTER BAG

Neenah Casting	Inlet Type	Grate Size	Opening Size	Bag Cap (ft)	Flow Ratings (CFS)		ADS P/N
					HB (Hybrid Bag)	Bypass	
3067	Curb Box	35.25 x 17.75	33.0 x 15.0	4.4	2.0	5.8	62LCBEXTHB
3246A	Curb Box	35.75 x 23.875	33.5 x 21.0	4.2	1.1	3.3	62LCB3624HB
3030	Square/Rect (SQ)	23 x 16	20.5 x 13.5	1.6	0.7	2.2	62MCR2316HB
3067-C	Square/Rect (SQ)	35.25 x 17.75	33 x 15	3.2	1.0	5.2	62LSC3618HB
R-2501	Round (RD)	-26	-24	2.3	0.8	5.2	62MRD26HB
R-1772/2560	Round (RD)	22.25-23.5	20.5-21	1.5	0.6	4.6	62MRD22HB

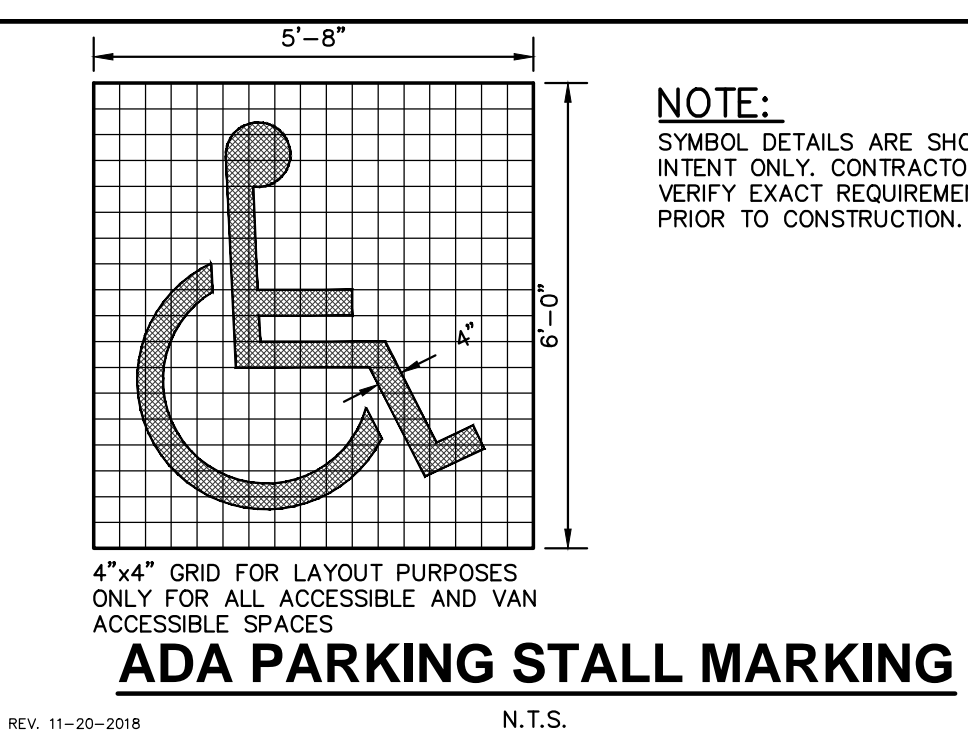
PROPERTY	TEST METHOD	WOVEN (OUTER)	NON-WOVEN (INNER)
TENSILE STRENGTH	ASTM D4832	350 x 225 lbf	300 lbf
TENSILE ELONGATION	ASTM D4832	20% x 15%	5%
PERMEABILITY	ASTM D4831	1000 lbf	65 lbf
TENSILE TENSILE TEAR	ASTM D4833	1.5 x 75 lbf	45 lbf
TENSILE TENSILE TENSILE	ASTM D4835	90%	70%
OPENING SIZE (A55)	ASTM D4715	20/45/5/10/15/20	40/10/5/10/15/20
THERMAL STABILITY	ASTM D4831	1.5 Sec	2.5 Sec
WATER FLOW RATE	ASTM D4849	200 gal 2" x 1/2"	140 gal 2" x 1/2"
VOLUMETRIC FILTER BAG VOLUME		3 Cu. Ft	

TEMPORARY FRAMED INLET PROTECTION
N.T.S.

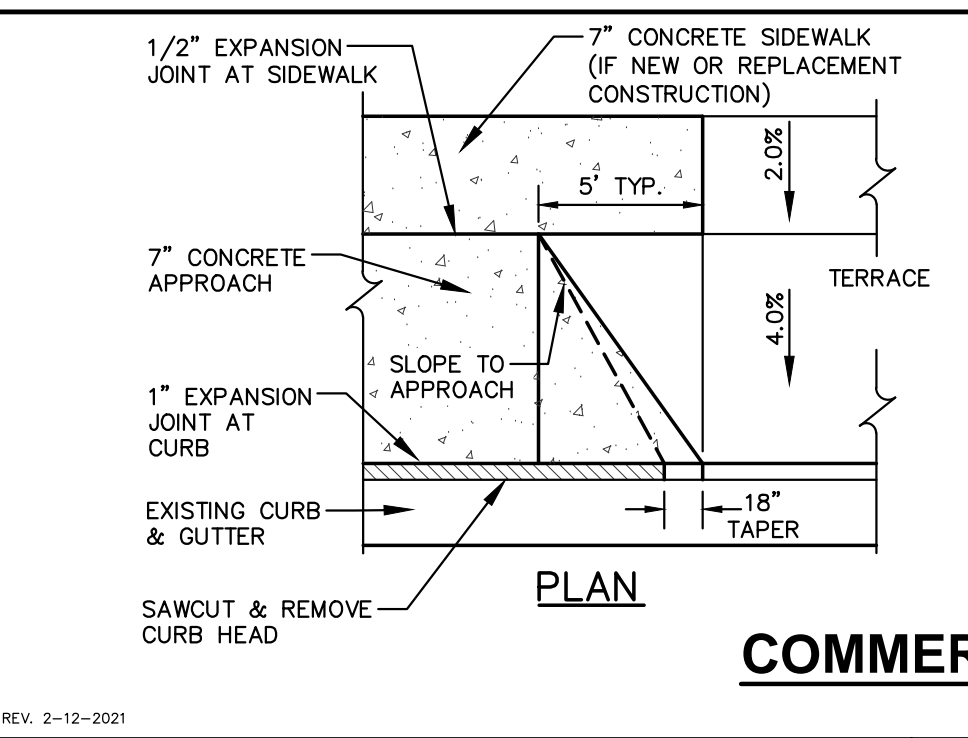
REV. 7-01-2019



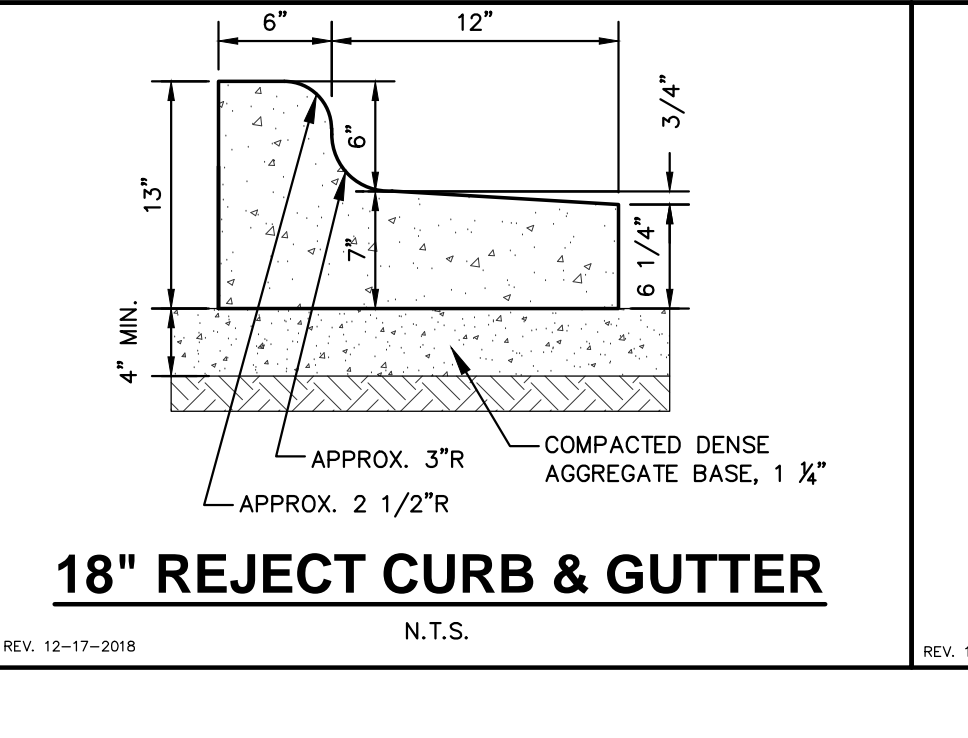
ADA SIGN
N.T.S.



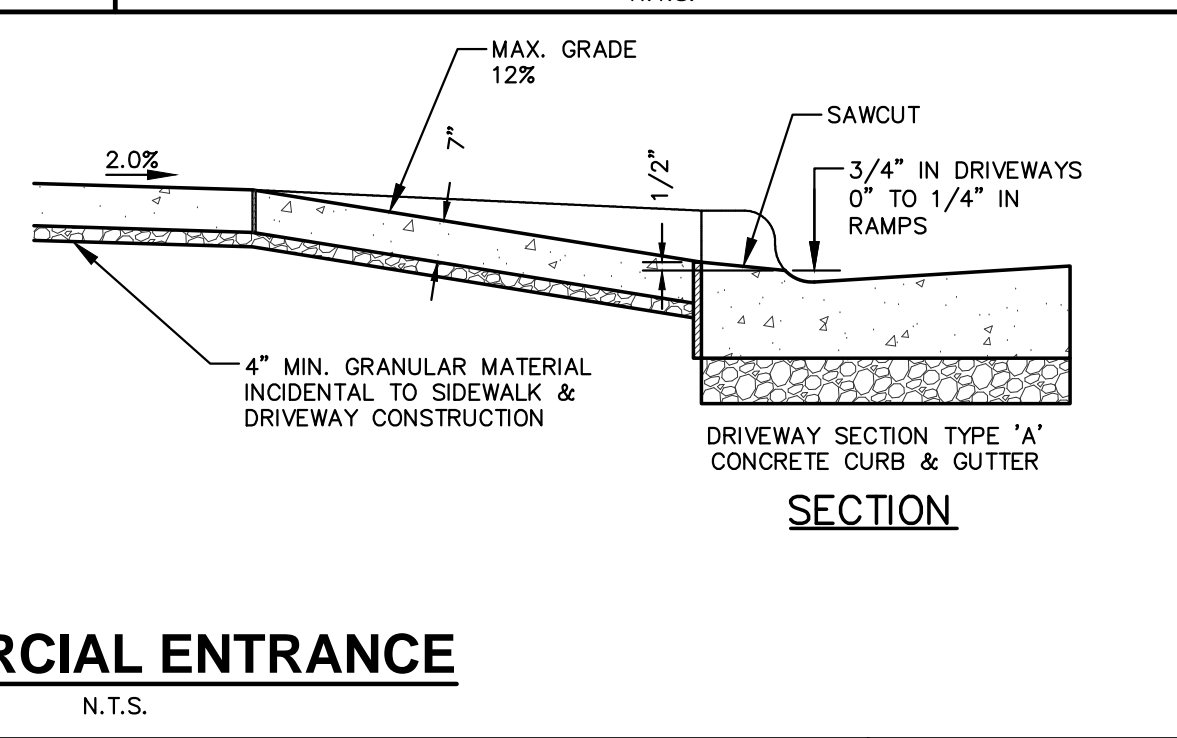
ADA ACCESSIBLE RAMP - FLUSH
N.T.S.



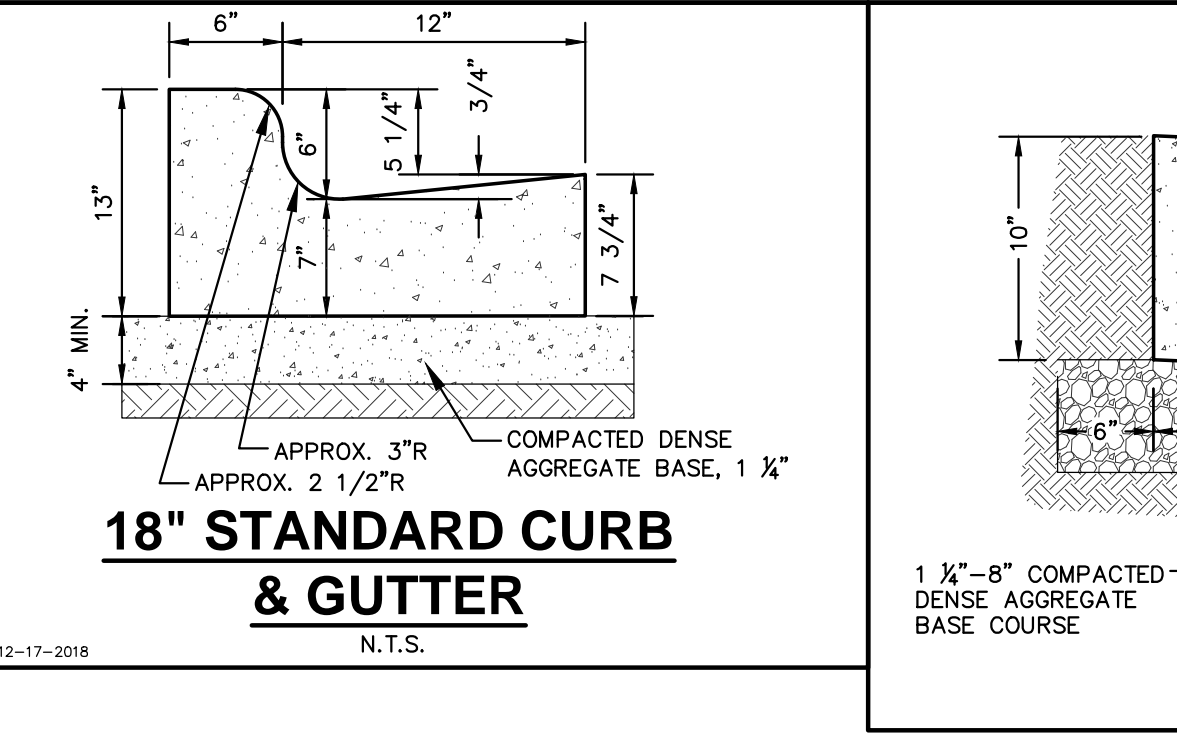
COMMERCIAL ENTRANCE
N.T.S.



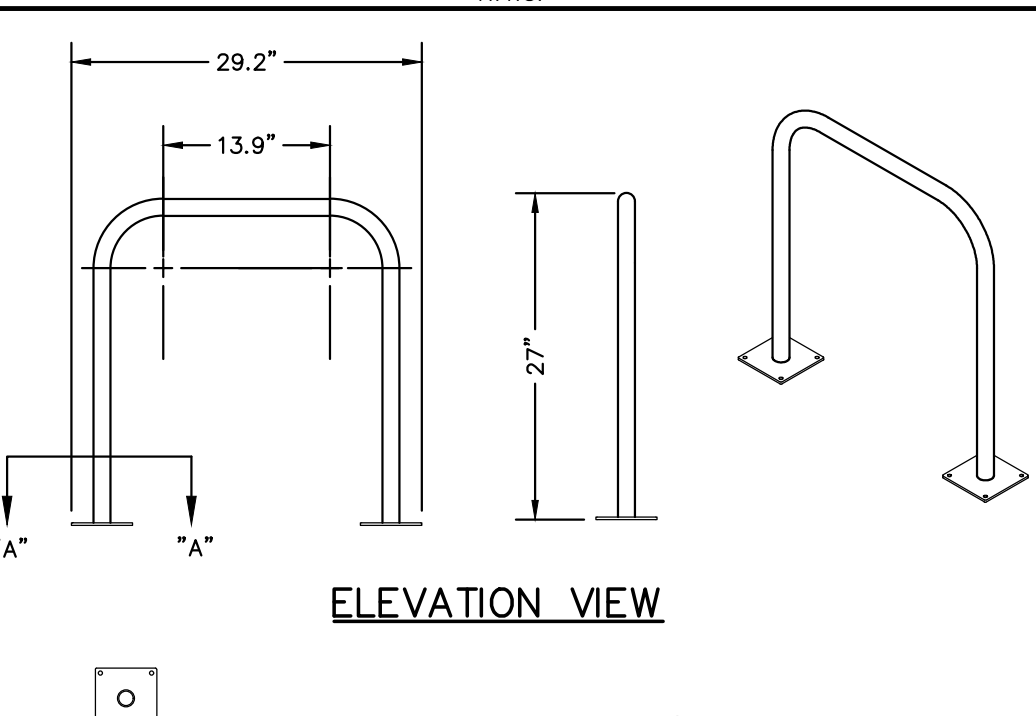
18" REJECT CURB & GUTTER
N.T.S.



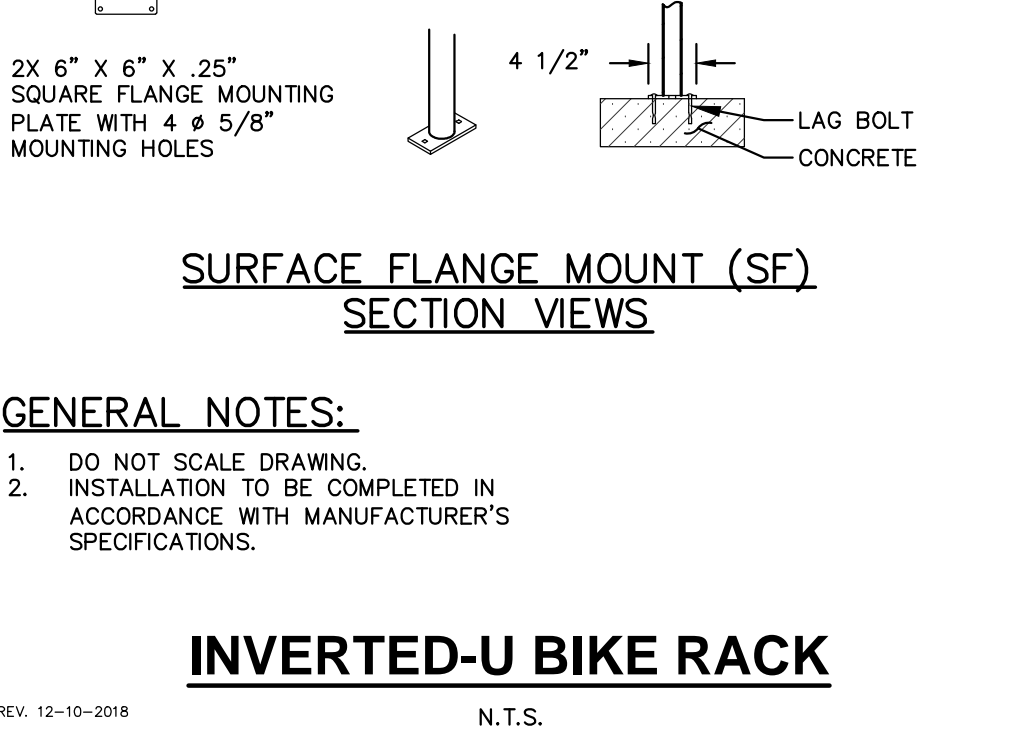
CONCRETE INLET COLLAR
N.T.S.



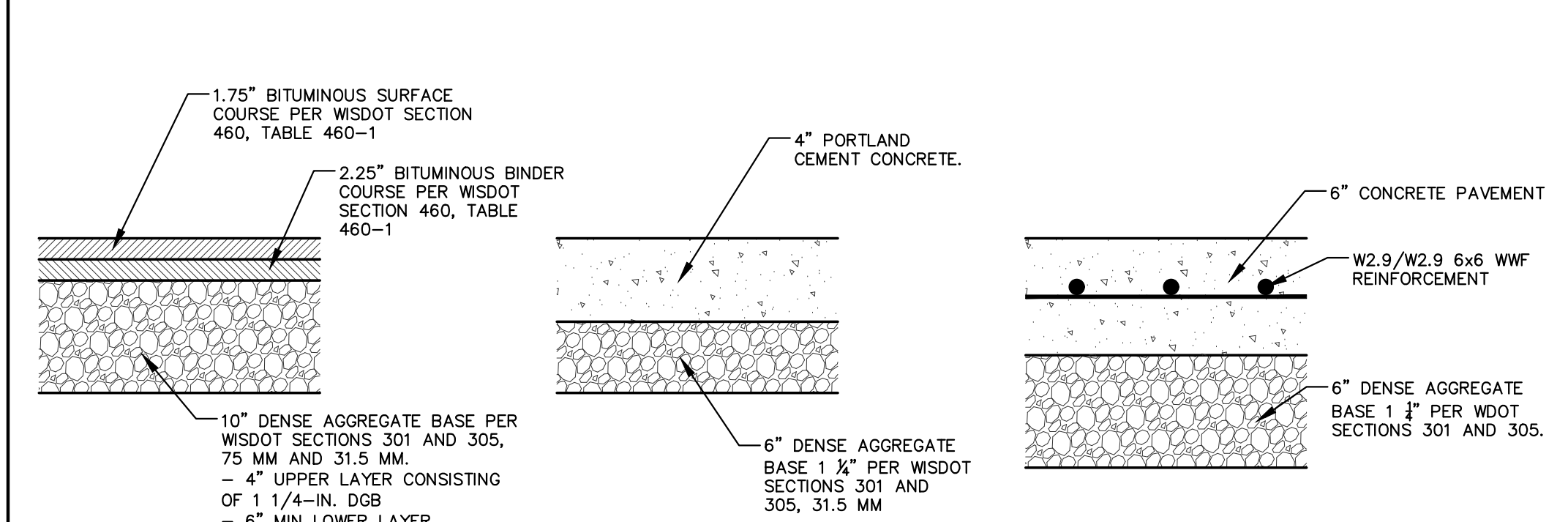
18" STANDARD CURB & GUTTER
N.T.S.



CONSTRUCTION ENTRANCE
N.T.S.



INVERTED-U BIKE RACK
N.T.S.



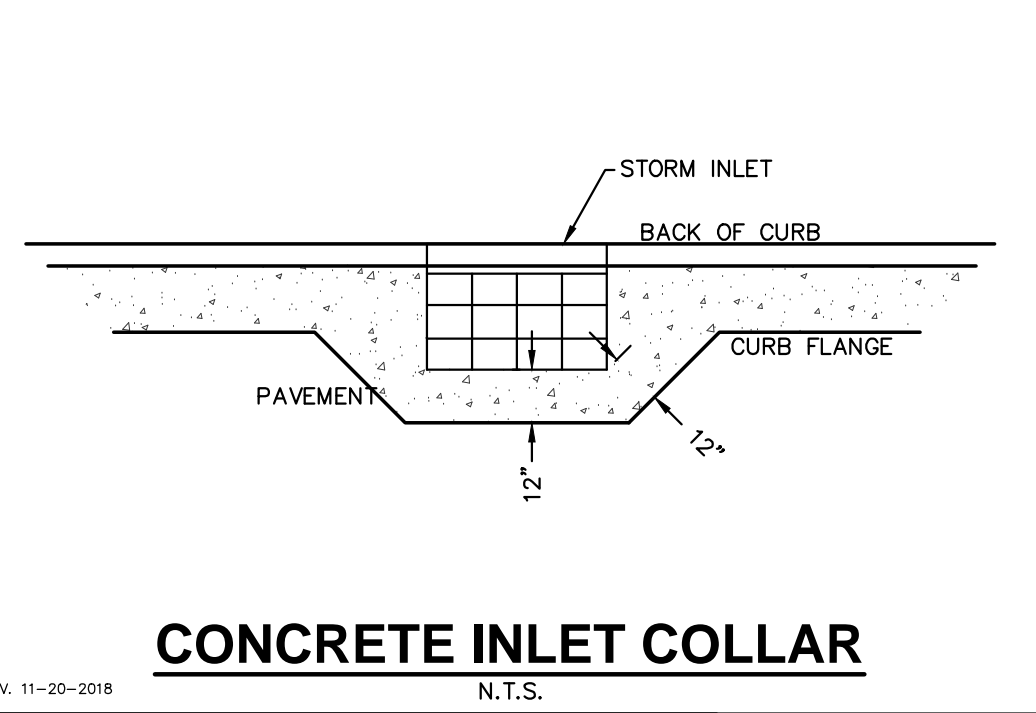
ASPHALT PAVEMENT SECTION
CONCRETE SIDEWALK SECTION
HEAVY DUTY CONCRETE PAVEMENT SECTION

GENERAL NOTES:

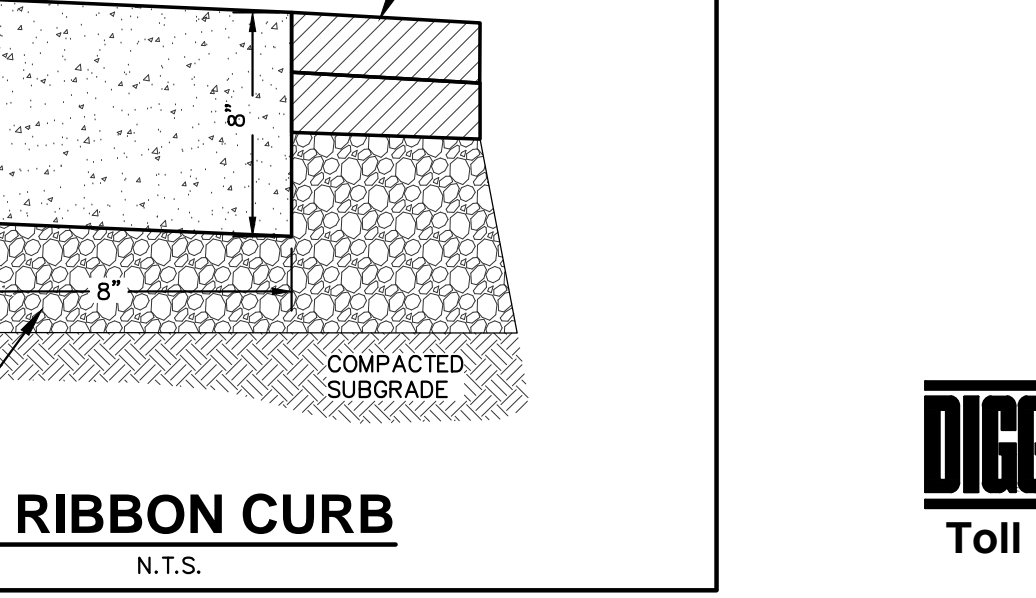
- REFER TO PAVEMENT RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT, PREPARED BY CGC TITLED "GEOTECHNICAL EXPLORATION REPORT PROPOSED HOPE & A FUTURE" PROJECT NUMBER C18067 DATED MARCH 21, 2018. IF THERE ARE ANY DISCREPANCIES BETWEEN THIS DETAIL AND THE PAVEMENT RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL INVESTIGATION REPORT, THE GEOTECHNICAL REPORT SHALL GOVERN.
- WSDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, COMPACTION REQUIREMENTS: - BITUMINOUS CONCRETE: REFER TO SECTION 460-3. - BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION.
- CONCRETE EQUIPMENT PADS SHALL HAVE A MINIMUM 6" THICK PORTLAND CEMENTER CONCRETE OVER COMPACTED 6" THICK DENSE GRADED BASE WITH REINFORCEMENT FOR CRACK CONTROL.

PAVEMENT SECTIONS
N.T.S.

REV. 7-01-2019



8" RIBBON CURB
N.T.S.



8" RIBBON CURB
N.T.S.

JSD
CREATE THE VISION TELL THE STORY
jrdinc.com
MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
KNOTHE & BRUCE ARCHITECTS, LLC
CLIENT ADDRESS:
7601 UNIVERSITY AVE, SUITE 201 MIDDLETON, WI 53562

PROJECT:
HOPE & A FUTURE EXPANSION
PROJECT LOCATION:
1115 SOUTH HIGH POINT ROAD MADISON, WI 53719 DANE COUNTY

PLAN MODIFICATIONS:

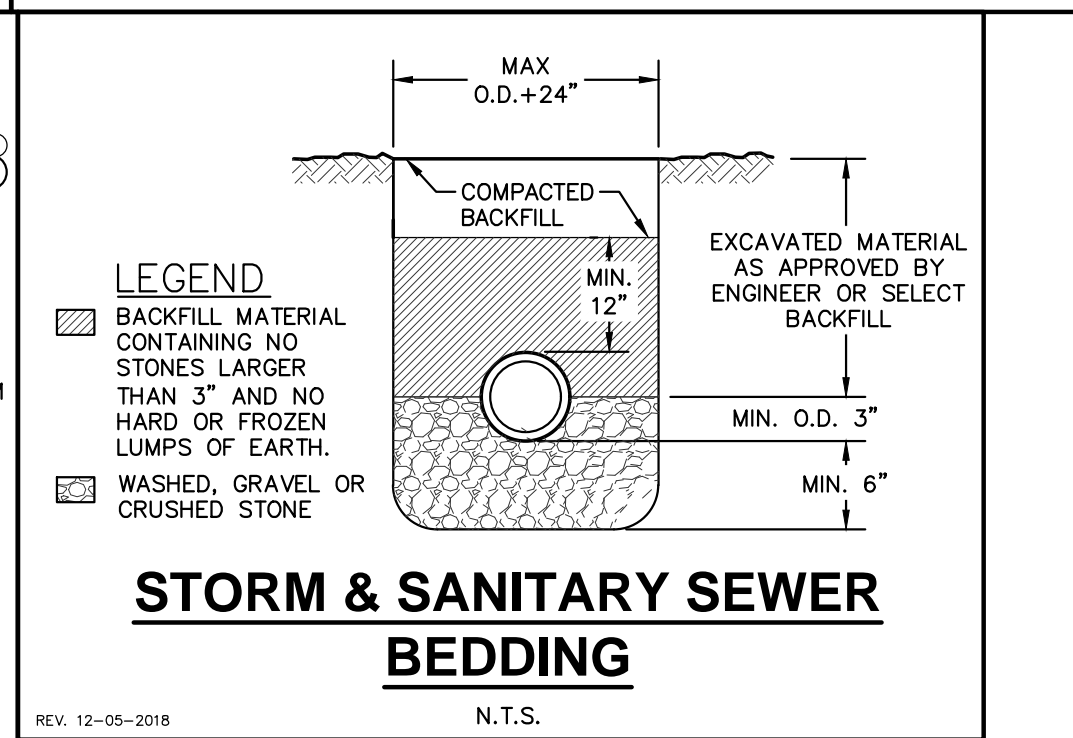
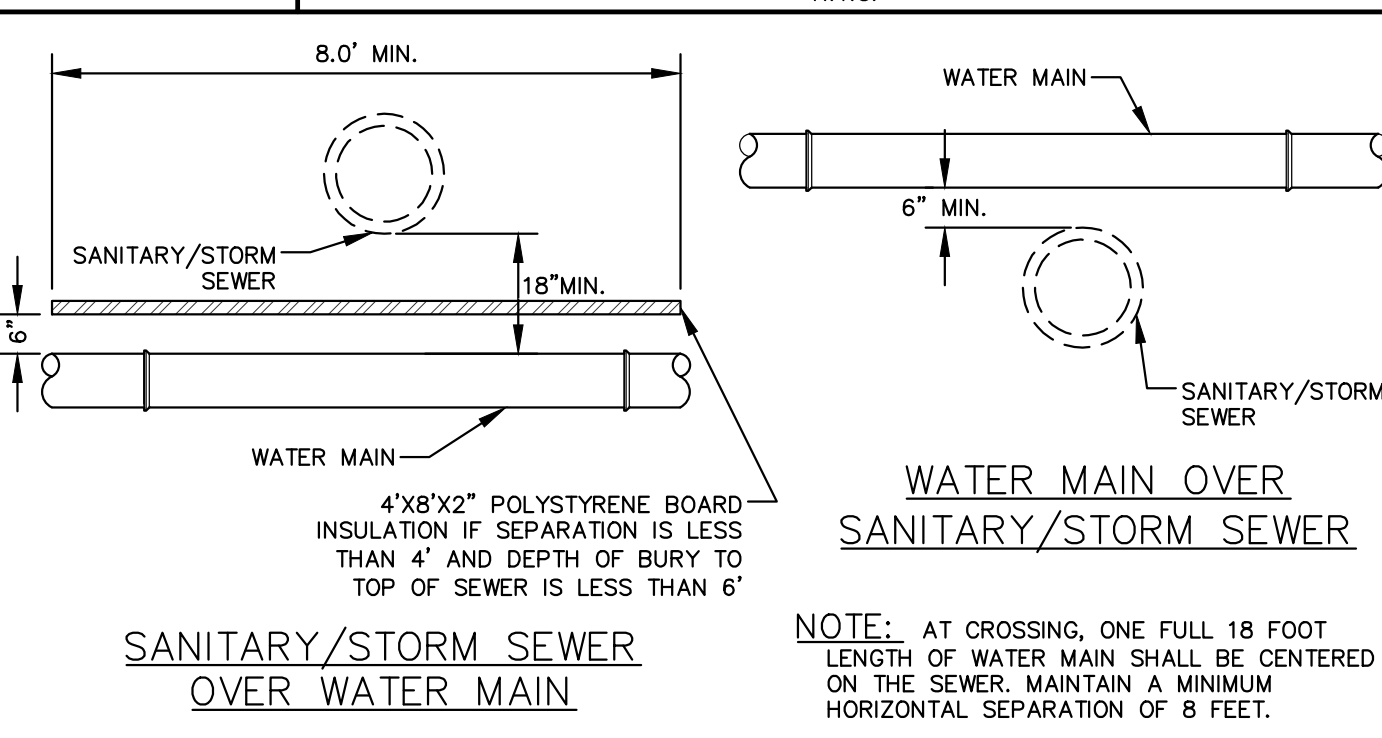
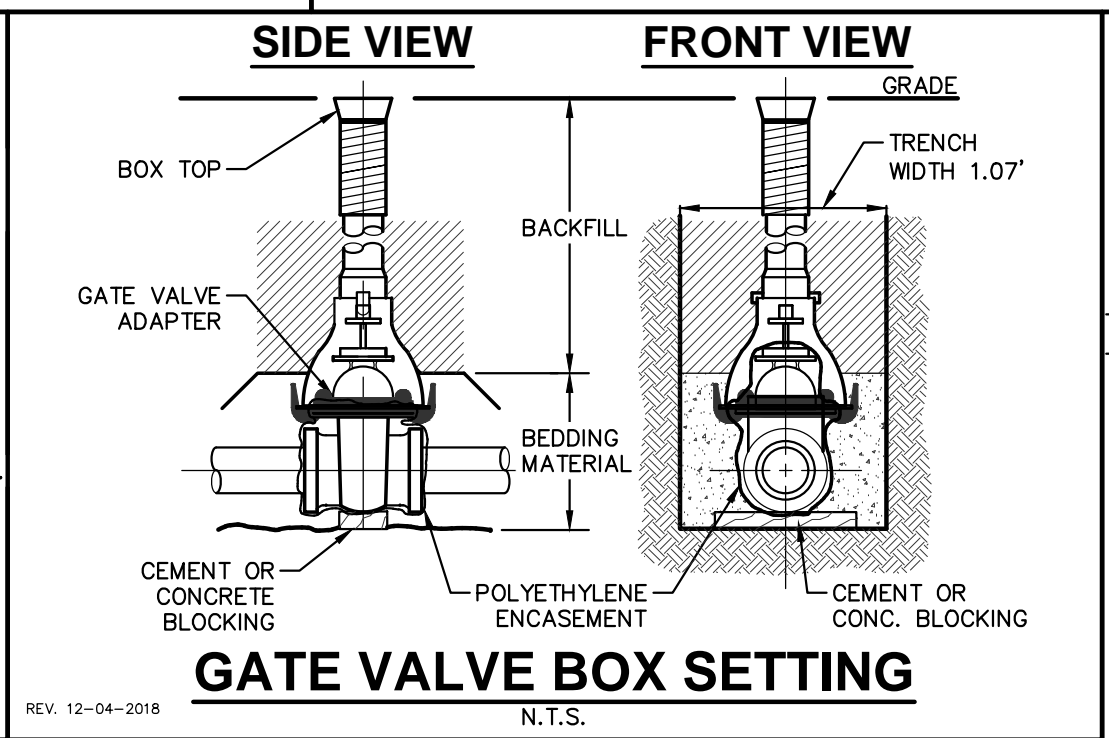
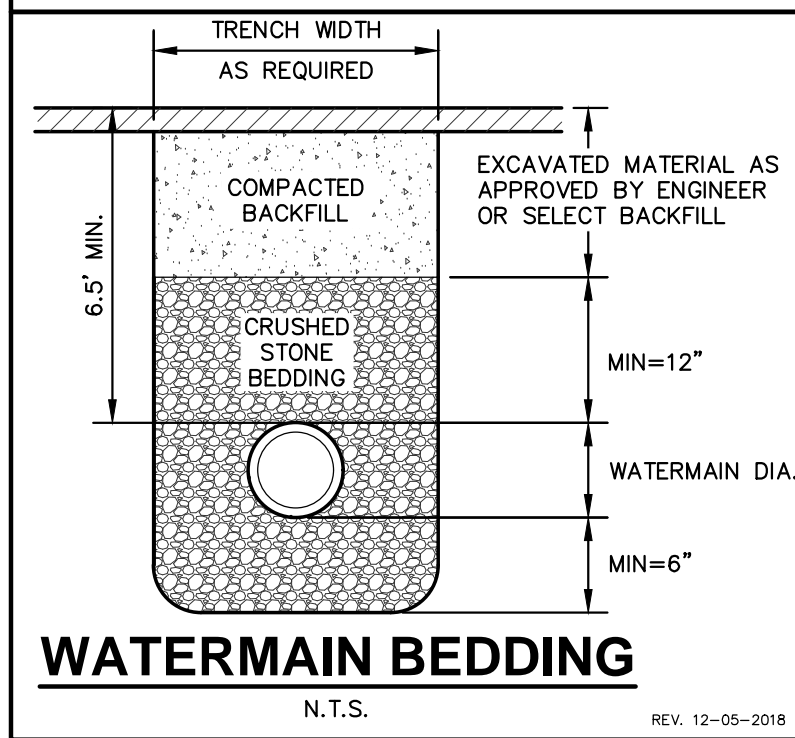
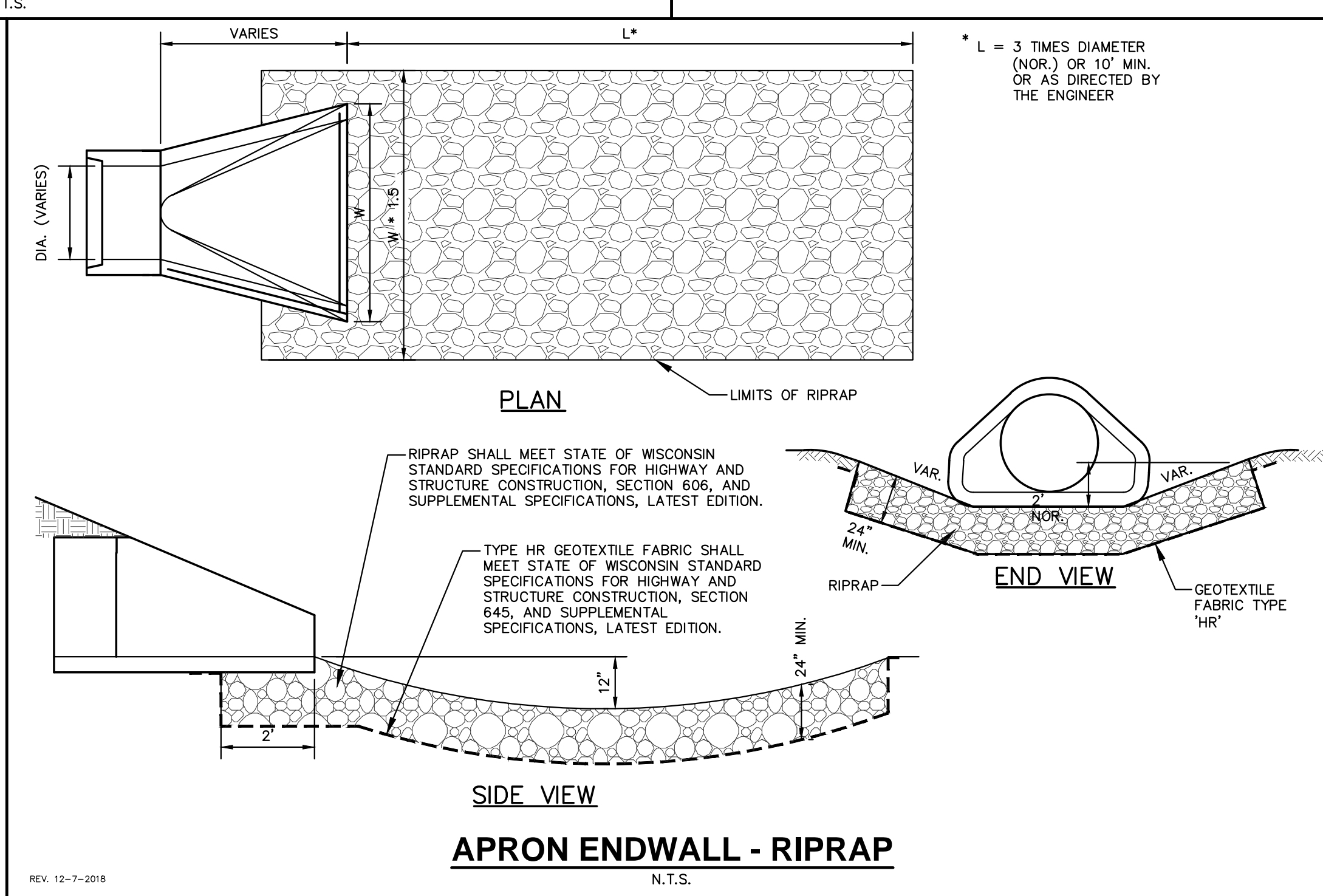
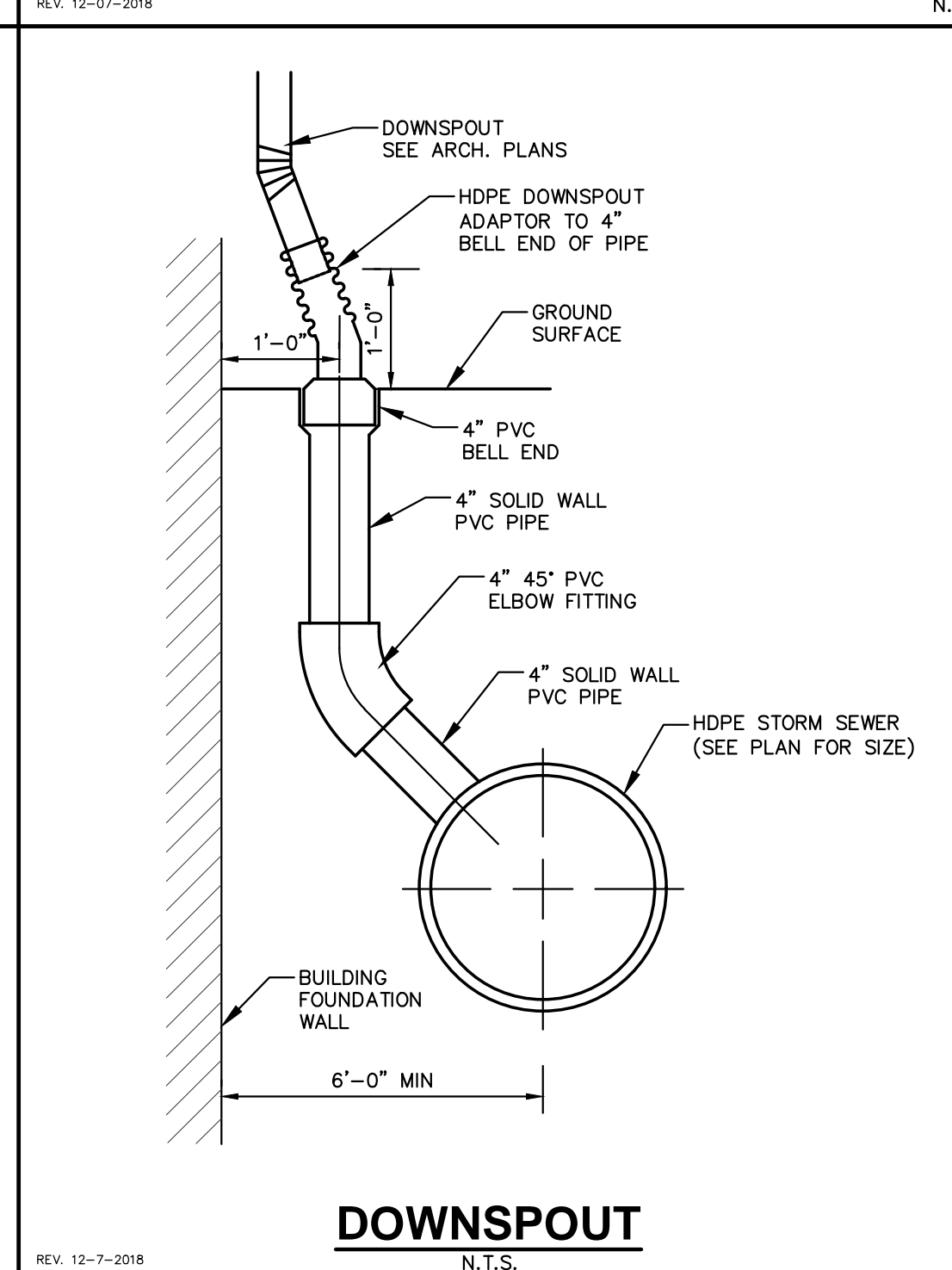
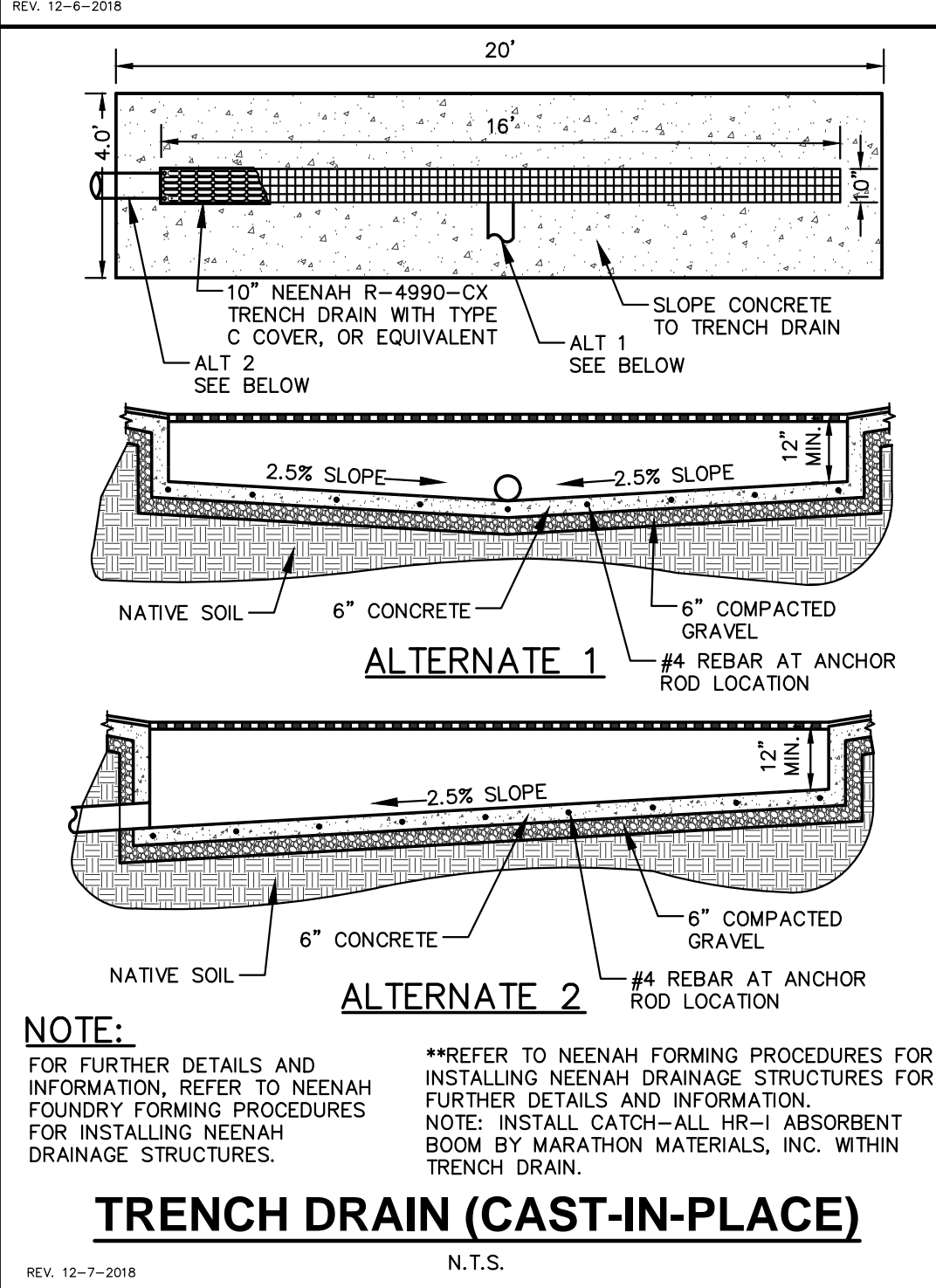
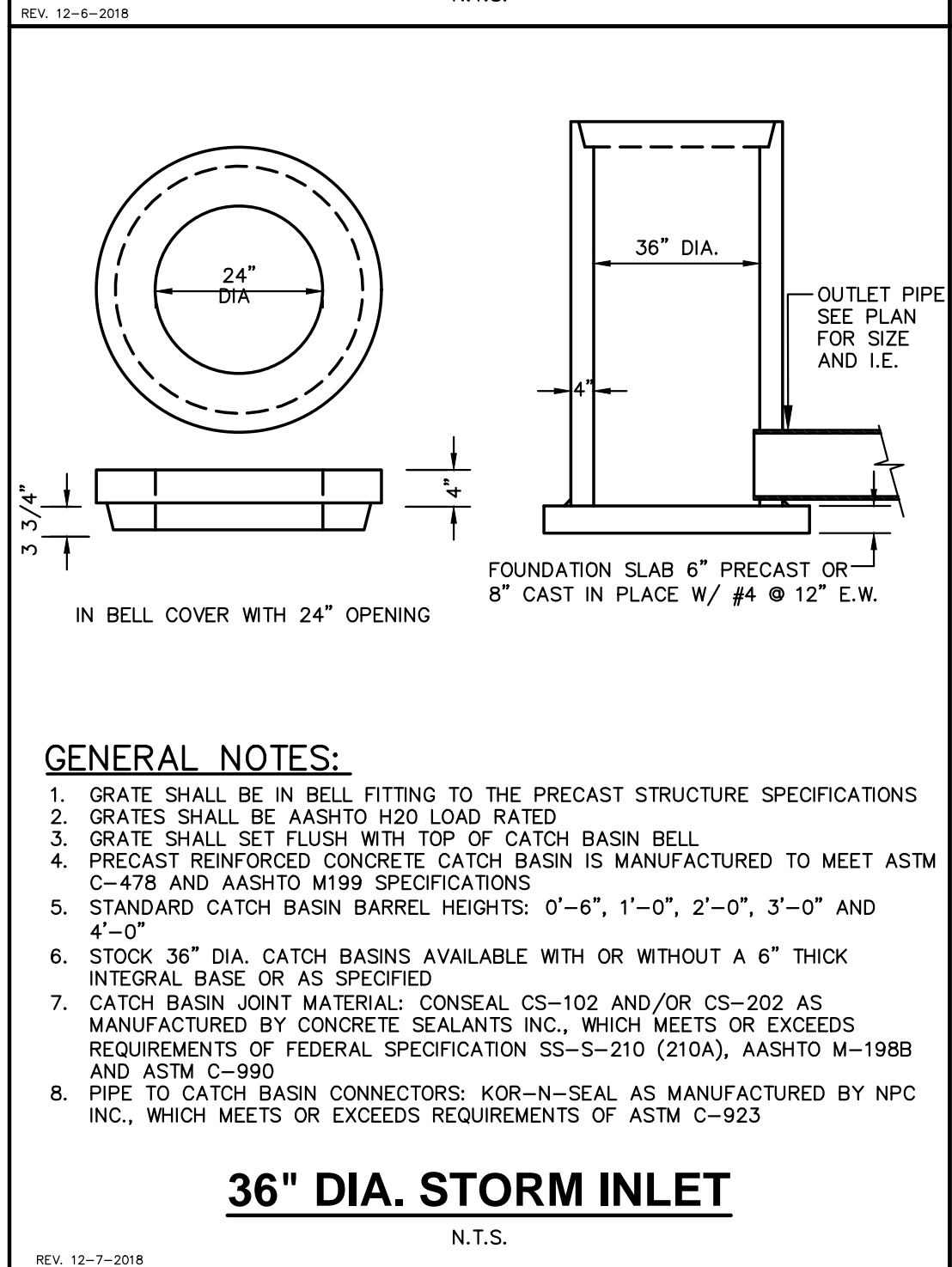
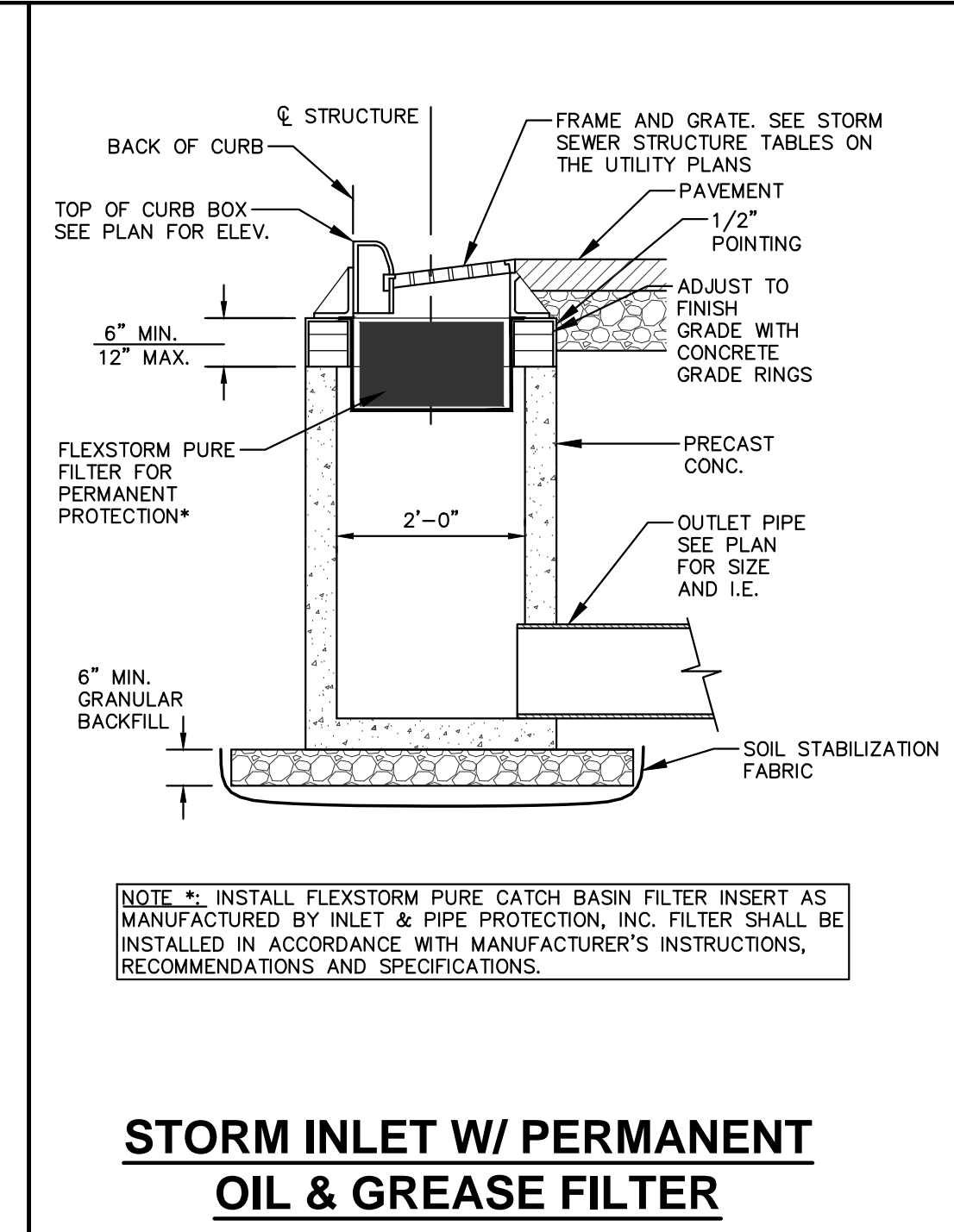
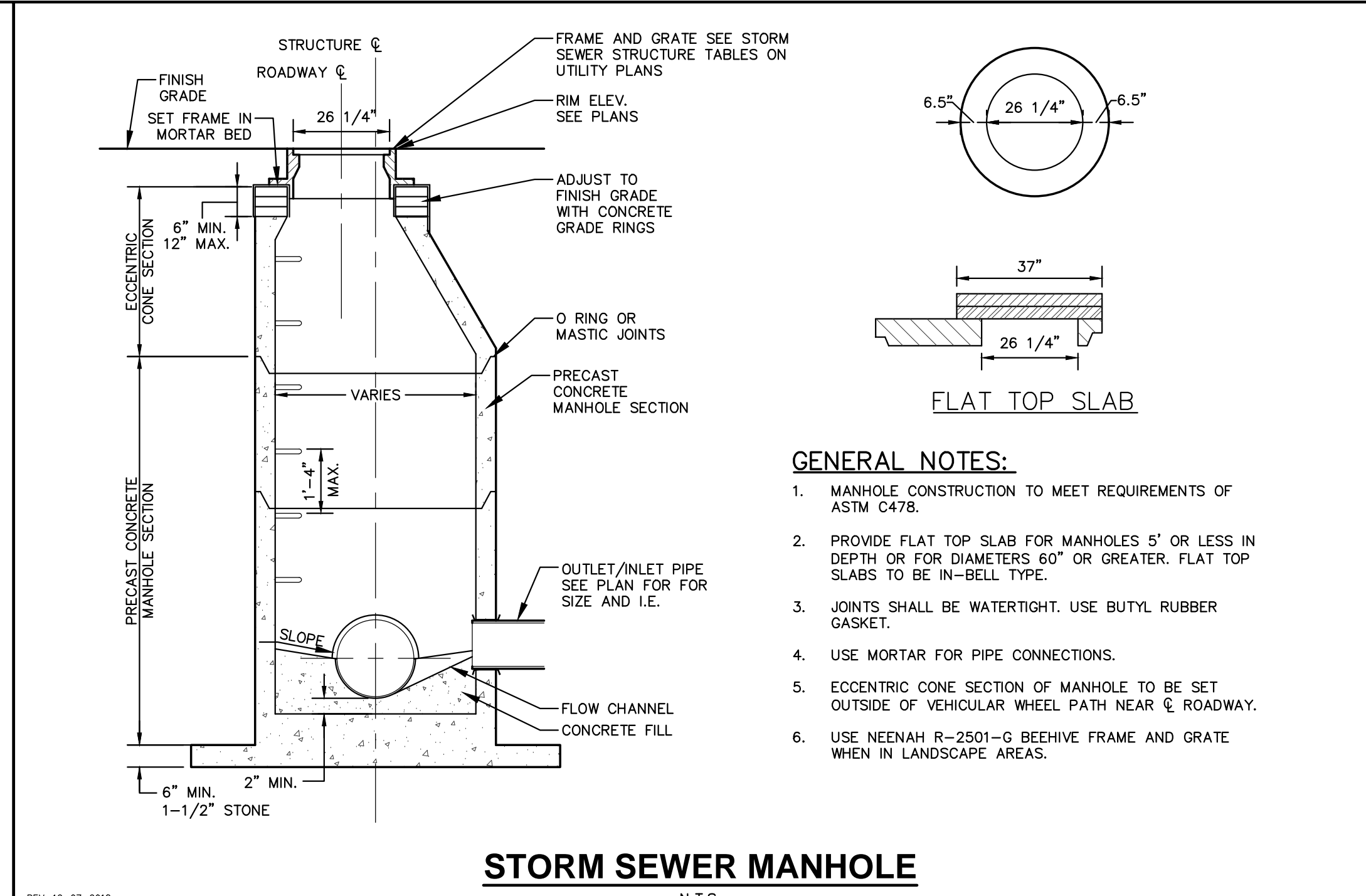
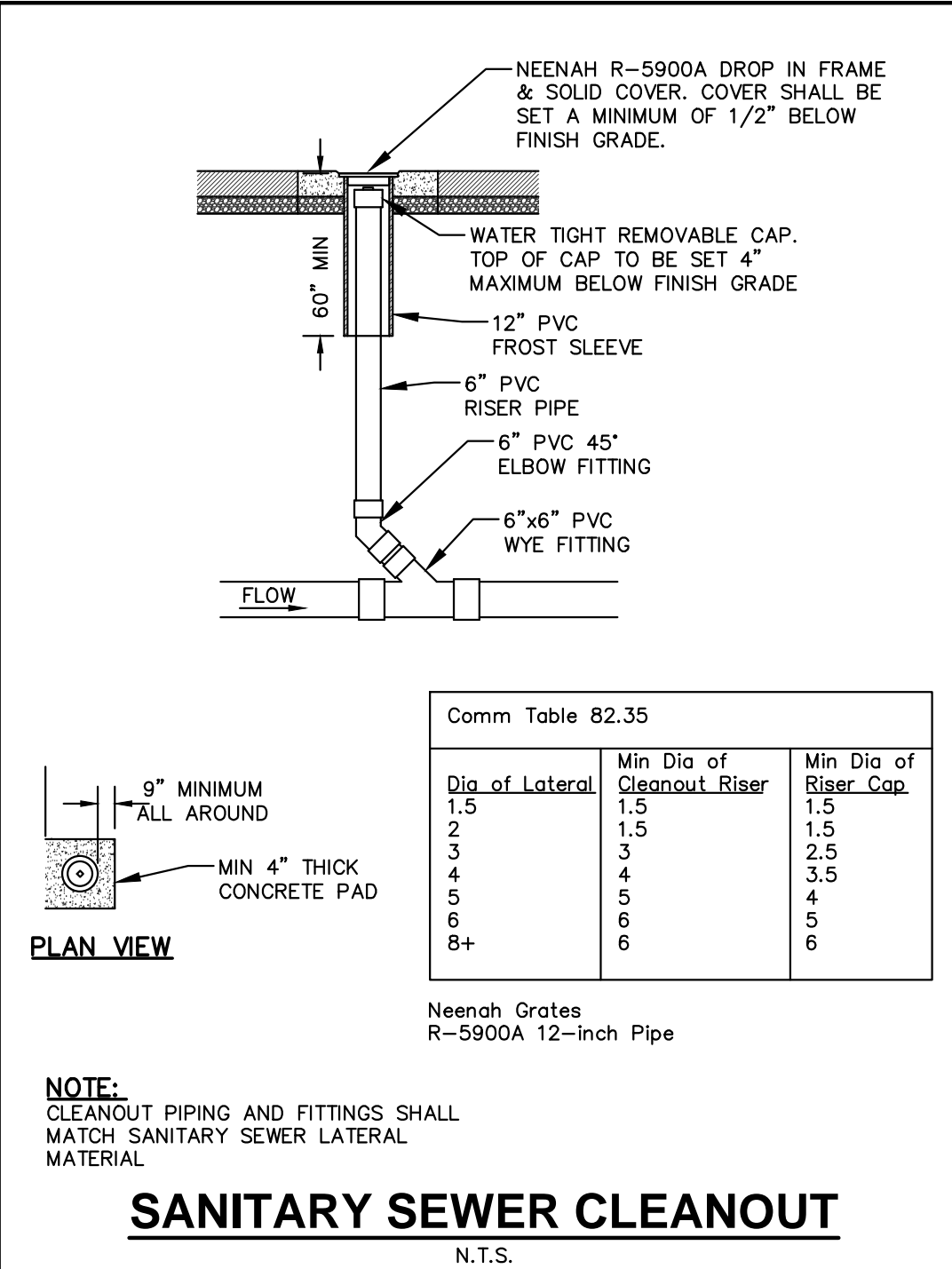
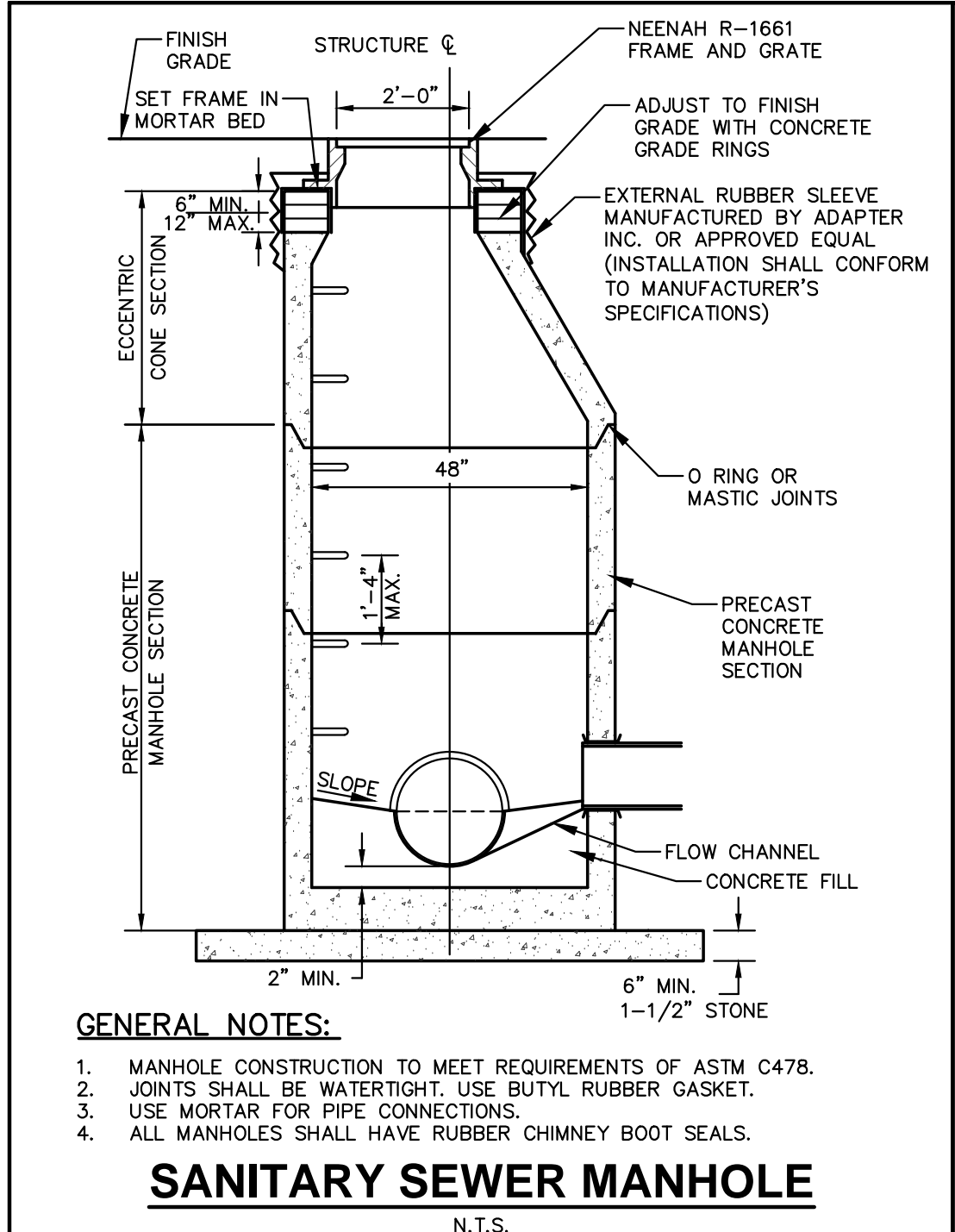
#	Date:	Description:
1	05.01.23	LAND USE SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: MAS
Reviewed By: ACG
Approved By:
SHEET TITLE:
SITE DETAILS
SHEET NUMBER:
C6.0
JSD PROJECT NO: 21-10434

DIGGERS HOTLINE
Toll Free (800) 242-8511

File: I:\2021\11\10434\DWG\Civil\Sheet2110434_C6.0_Details.dwg Layout: C6.0 User: msamundra Plotted: Apr 28, 2024 8:18am Xref:

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



CREATE THE VISION TELL THE STORY

jsdinc.com

MADISON REGIONAL OFFICE
181 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
KNOTHE & BRUCE ARCHITECTS, LLC

PROJECT:
HOPE & A FUTURE EXPANSION

PROJECT LOCATION:
**1115 SOUTH HIGH POINT ROAD
MADISON, WI 53719
DANE COUNTY**

PLANNING MODIFICATIONS:

#	Date:	Description:
1	05.01.23	LAND USE SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: MAS
Reviewed By: ACG
Approved By:

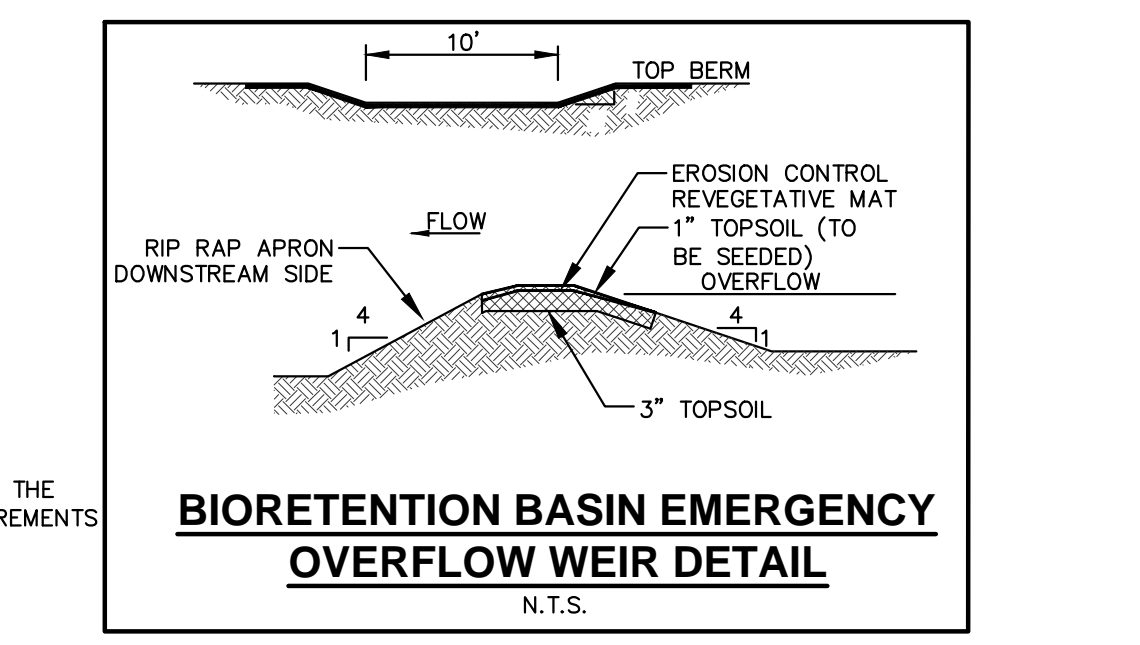
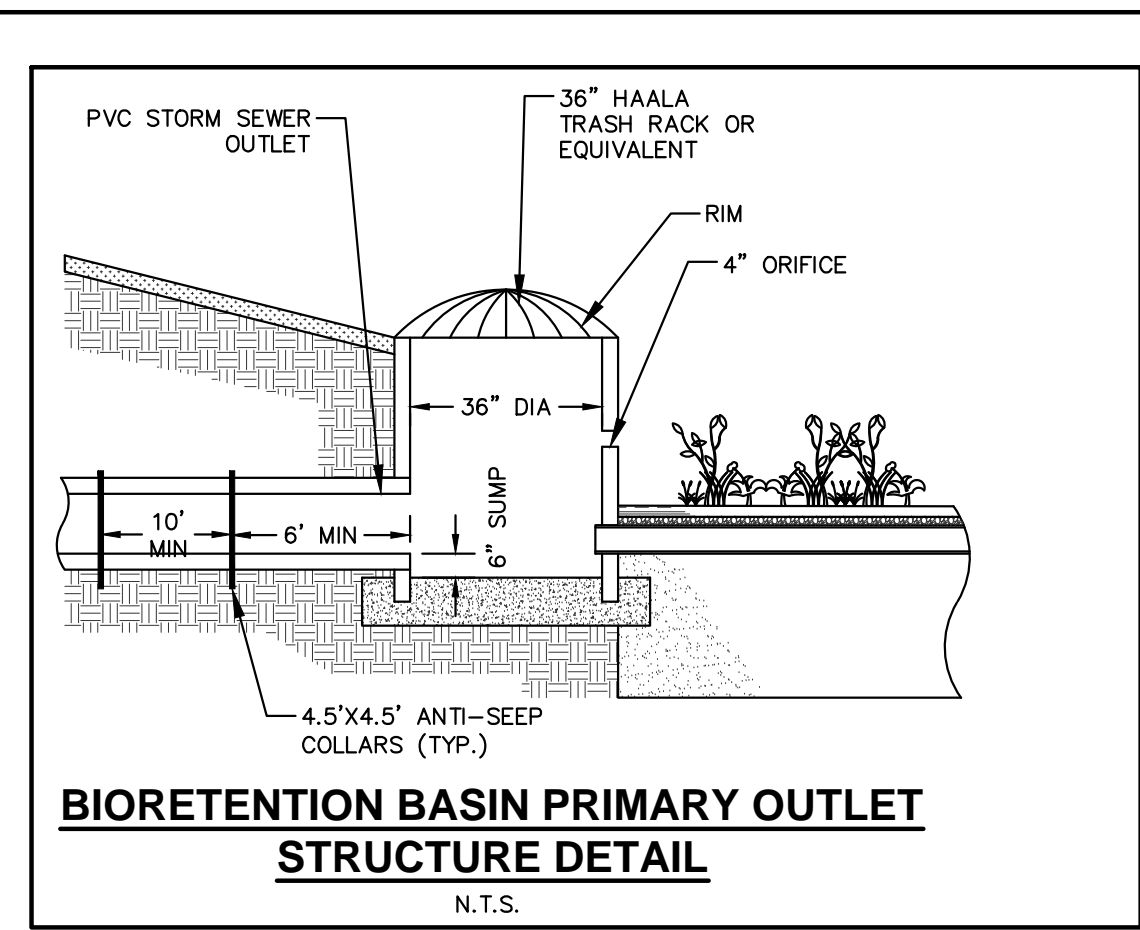
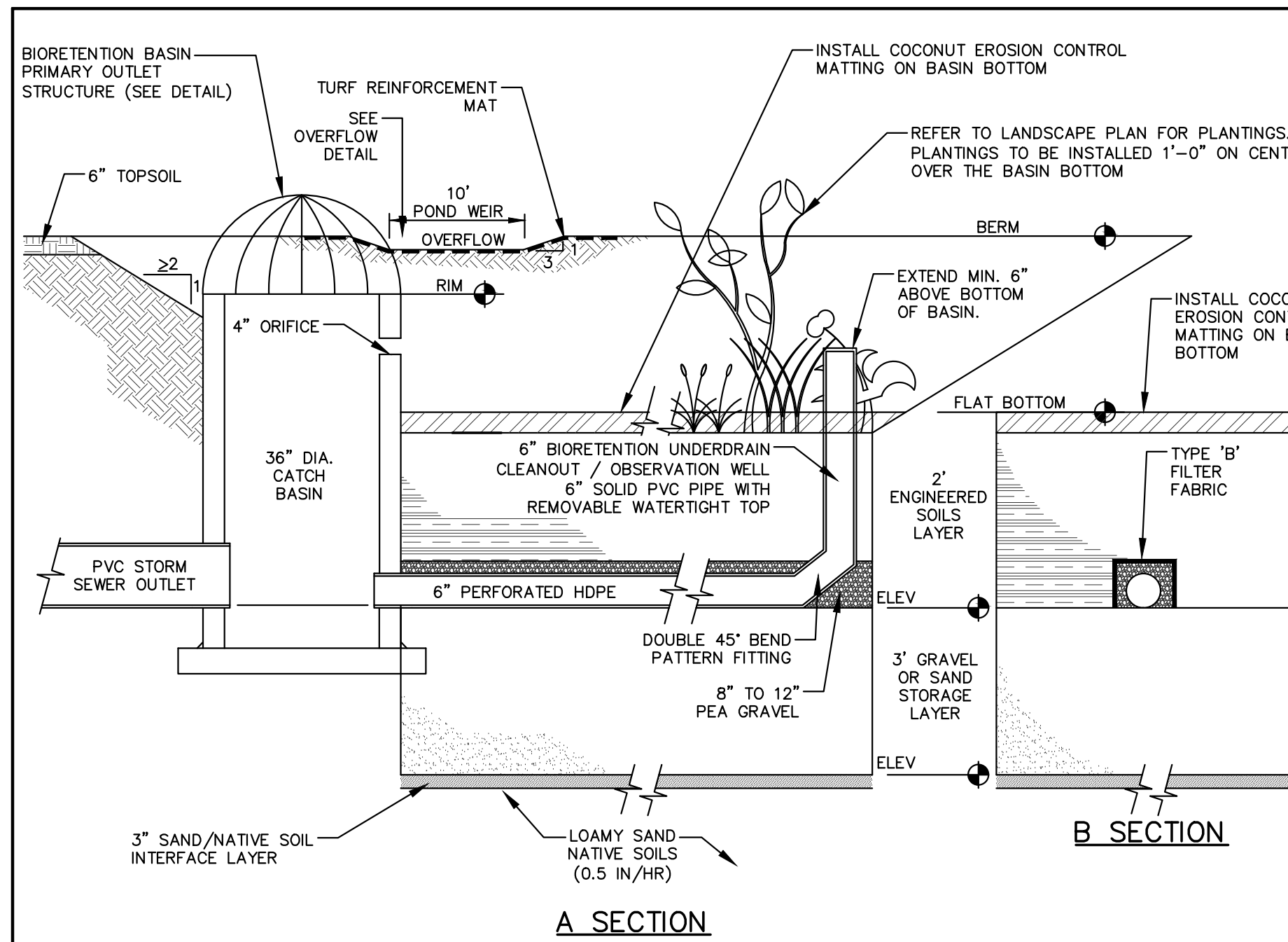
SHEET TITLE:
UTILITY DETAILS

SHEET NUMBER:
C6.1

JSD PROJECT NO: 21-10434

File: I:\2021\2110434\DWG\Civil\Sheets\2110434_C6.dwg Layout: C61 User: msandrine Plotted: Apr 28, 2024 8:18am Xref:

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



GENERAL NOTES:

- ALL CONSTRUCTION PRACTICES SHALL MEET THE SPECIFICATIONS OF THE WDNR TECHNICAL STANDARD 1004 – BIORETENTION FOR INFILTRATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THIS STANDARD AND CONSTRUCT THE BIORETENTION DEVICE IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED THEREIN.
- CONTRACTOR SHALL INSTALL 24" OF ENGINEERED SOIL CONSISTING OF: 85% ASTM C33 SAND, 15% CERTIFIED COMPOST (SEE GENERAL NOTE 3).
- CERTIFIED COMPOST SHALL CONSIST OF: >40% ORGANIC MATTER, <60% ASH CONTENT, pH OF 6-8, AND MOISTURE CONTENT OF 35-50% BY WEIGHT.
- SAND/GRAVEL STORAGE LAYER SHALL CONSIST OF SAND OR GRAVEL MATERIAL MEETING THE SPECIFICATIONS IN SECTION V.B.7 OF WDNR TECHNICAL STANDARD 1004.
- SAND/NATIVE SOIL INFILTRATION LAYER SHALL BE FORMED BY A LAYER OF SAND 3 INCHES DEEP, WHICH IS VERTICALLY MIXED WITH THE NATIVE SOIL TO A DEPTH OF 2-4 INCHES.
- CONFIRM WITH GEOTECHNICAL ENGINEER THAT THE SILT LOAM SOIL PROFILE HAS BEEN REACHED PRIOR TO BACKFILLING THE BIORETENTION BASIN. DEEP TILL MINIMUM 2 FEET OF NATIVE SOIL TO PROMOTE INFILTRATION.
- IF ADDITIONAL EXCAVATION IS REQUIRED BELOW THE SAND SOIL PROFILE TO REACH THE LISTED NATIVE SOIL LAYER, THE BACKFILL USED TO RETURN THE BOTTOM OF THE BIORETENTION SYSTEM TO THE BOTTOM OF THE SAND LAYER ELEVATION MUST HAVE AN EQUAL OR HIGHER INFILTRATION RATE THAN THE LISTED NATIVE SOIL LAYER AS CONFIRMED BY A GEOTECHNICAL ENGINEER.
- FILTER FABRIC SHALL BE PLACED ABOVE AND ON THE SIDES OF THE PERFORATED PIPE, BETWEEN THE PEA GRAVEL AND THE ENGINEERED SOIL, A WIDTH OF 4 FEET CENTERED OVER THE FLOW LINE OF THE PIPE.
- ANNUAL RYE GRASS SHALL BE SEED AT 40 LB/ACRE WITH THE SEED MIX IN THE AREAS SURROUNDING THE BASIN, ON SIDE SLOPES, AND OVER ANY LAND THAT DISCHARGES INTO THE BASIN FOR EROSION CONTROL WHEN BASIN IS BROUGHT ON-LINE. ROOTSTOP AND PLUGS ARE REQUIRED TO ESTABLISH VEGETATION AT THE INVERT OF THE BASIN.
- RUNOFF MUST INFILTRATE WITHIN 24-HOURS. BASINS UNABLE TO MAINTAIN THESE RATES MUST BE DEEP TILLED, REGRADED, AND IF NECESSARY REPLANTED TO RESTORE ORIGINAL INFILTRATION RATES.
- ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, REGIONAL, AND STATE STORMWATER STANDARDS FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER.
- SEE LANDSCAPING PLAN AND CONSULT WITH LANDSCAPE ARCHITECT OR ECOLOGICAL PLANTING AGENCY FOR APPROPRIATE SEED MIX, PLANTS AND PLANTING CONFIGURATIONS.

NOTE:
INFILTRATION DEVICES ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR), COUNTY, MUNICIPALITY, AND ENGINEERING STANDARD OF CARE. ALL DESIGNATED INFILTRATION AREAS (e.g. RAIN GARDENS, INFILTRATION BASINS, BIORETENTION DEVICES) SHALL BE FENCED PRIOR TO CONSTRUCTION AND REMAIN UNDISTURBED AND PROTECTED DURING THE CONSTRUCTION OF PROPOSED SITE IMPROVEMENTS. PROPOSED BIORETENTION DEVICES SHALL NOT BE CONSTRUCTED UNTIL THE DEVICE'S CONTRIBUTING WATERSHED AREA MEETS ESTABLISHED VEGETATION REQUIREMENTS SET FORTH WITHIN THE RESPECTIVE WDNR TECHNICAL STANDARDS. IF THE LOCATION OF THE INFILTRATION AREA CONFLICTS WITH CONSTRUCTION STAGING AND/OR CONSTRUCTION TRAFFIC AND IS DISTURBED, COMPACTION MITIGATION WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR IS REQUIRED TO PROVIDE QUALIFIED STAFF FOR INSPECTION AND OBSERVATION OF THE CONSTRUCTION ACTIVITIES RELATING TO ALL JOB SITE REGULATORY COMPLIANCE INCLUDING THE PROTECTION AND CONSTRUCTION OF ALL STORMWATER MANAGEMENT FEATURES. ANY OBSERVATION OF PLAN OR SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

BIORETENTION DEVICE
N.T.S.

REV. 12-7-2018

THE STORMWATER MANAGEMENT FEATURES CONTAINED WITHIN THIS PLAN SET HAVE BEEN DESIGNED IN ACCORDANCE WITH APPLICABLE STANDARDS SET FORTH IN WISCONSIN DNR NR151 AND LOCAL ORDINANCES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER CONSTRUCTION PRACTICES HAVE BEEN UTILIZED AND THAT STORMWATER MANAGEMENT FEATURES HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH APPROVED DESIGN PLANS. JSD PROFESSIONAL SERVICES, INC. (JSD) SHALL NOT BE LIABLE FOR ANY CONSTRUCTION PRACTICES OR INSTALLATION WHICH DEVIATES FROM THE APPROVED PLAN SET. ONCE THE OWNER HAS PROVIDED FINAL APPROVAL TO THE WORK PERFORMED BY THE CONTRACTOR AND ENSURED COMPLIANCE WITH THE PLAN, IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN STORMWATER MANAGEMENT FEATURES IN ACCORDANCE WITH THE RECORDED MAINTENANCE AGREEMENT. PROPER OPERATION IS DEPENDENT ON A MULTITUDE OF VARIABLES INCLUDING WEATHER. THESE COMPONENTS REQUIRE ONGOING MAINTENANCE FOR WHICH THE OWNER IS RESPONSIBLE. JSD TAKES NO RESPONSIBILITY FOR PROPER OPERATION OF THE WATER QUALITY COMPONENTS.

ENGINEERED SOIL LAYER: MATERIAL SHALL MEET THE WDNR TECHNICAL STANDARD 1004. ENGINEERED SOILS SHALL CONSIST OF A MIXTURE OF THE FOLLOWING PERCENTAGES BY VOLUME: 70 TO 85% SAND AND 15 TO 30% CERTIFIED COMPOST. CERTIFIED COMPOST SHALL MEET WDNR SPECIFICATIONS S100 AND SAND MATERIALS SHALL MEET ONE OF THE FOLLOWING GRADING REQUIREMENTS: USDA COARSE SAND (0.02 TO 0.04 INCHES), ASTM C33 (FINE AGGREGATE CONCRETE SAND), OR WISDOT FINE AGGREGATE SAND (PER WISDOT SPECIFICATION 501.2.5.3.4)

SAND STORAGE LAYER: IF NATIVE SOIL INFILTRATION RATES ARE GREATER THAN OR EQUAL TO THE DESIGN SAND LAYER (3.6 IN/HR), NATIVE SOILS MAY BE USED. GEOTECHNICAL CONSULTANT SHALL PROVIDE THIS INFORMATION IN WRITTEN DOCUMENTATION FOR VERIFICATION PRIOR TO CONSTRUCTION.

AS-BUILT SURVEY AND CERTIFICATION: UPON CONSTRUCTION COMPLETION AND STABILIZATION, AN AS-BUILT SURVEY IS TO BE CONDUCTED FOR BASIN AND CERTIFIED BY THE ISSUING ENGINEER. SURVEYOR IS TO CONFIRM THE TEMPORARY 3" ORIFICE IN THE BIORETENTION BASIN OUTLET HAS BEEN PLUGGED AND SEALED. AS-BUILT PLANS ARE TO BE SUBMITTED TO MUNICIPALITY FOR FINAL APPROVAL.

FLEXSTORM PURE FILTERS FOR PERMANENT INLET PROTECTION
PRODUCT SELECTION AND SPECIFICATION DRAWING

WISCONSIN

Neenah Casting	Inlet Type	Grate Size	Opening Size	Bag Cap (ft²)	Flow Ratings (CFS)			Part Number					
					FX/FX+	PC/PC+	Bypass	FX	FX+	PC	PC+	FXO	
1040/1042/1733	Round	26	24	1.9	1.5	1.1	5.7	62MHR24FX	62MHR24FXP	62MHR24PC	62MHR24PCP	62MHR24FXO	
3067 (EXT)	Curb Box (CB)	35.25 x 17.75	33.0 x 15.0	4.4	2.3	1.9	5.8	62LHDXCBFX	62LHDXCBFXP	62LHDXCBPC	62LHDXCBPCP	62LHDXCBFXO	
3246A	Curb Box (CB)	35.75 x 23.875	33.5 x 21.0	3.6	2.6	1.8	3.6	62LHDCB36FX	62LHDCB36FXP	62LHDCB36PC	62LHDCB36PCP	62LHDCB36FXO	
3030	Square/Rect (SQ)	23 x 16	45.5 x 30	1.6	1.4	1.8	2.6	62MHD30FX	62MHD30FXP	62MHD30PC	62MHD30PCP	62MHD30FXO	
3067-C	Square/Rect (SQ)	35.25 x 17.75	33.0 x 15.0	3.2	2.3	1.9	5.8	62LHD3618FX	62LHD3618FXP	62LHD3618PC	62LHD3618PCP	62LHD3618FXO	
R-2504	Round (RD)	22.25-23.5	~20.5	1.5	1.2	0.7	4.6	62MHRDFX	62MHRDFXP	62MHRDPC	62MHRDPCP	62MHRDFXO	

NOTE: FLOW RATINGS SHOWN ARE 50% MAXIMUM

INSTALLATION:

- REMOVE GRATE
- DROP FLEXSTORM INLET FILTER DOWD LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
- REPLACE GRATE

ALL PRODUCTS MANUFACTURED BY INLET & PIPE PROTECTION, INC A DIVISION OF ADS, INC. WWW.INLETFILTERS.COM (866) 287-8655 PH (630) 355-3477 FX INFO@INLETFILTERS.COM

SCALE: C SHEET 1 OF 1

JSD

CREATE THE VISION TELL THE STORY

jsdinc.com

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
KNOTHE & BRUCE ARCHITECTS, LLC

CLIENT ADDRESS:
7601 UNIVERSITY AVE, SUITE 201 MIDDLETON, WI 53562

PROJECT:
HOPE & A FUTURE EXPANSION

PROJECT LOCATION:
1115 SOUTH HIGH POINT ROAD MADISON, WI 53719 DANE COUNTY

PLAN MODIFICATIONS:

#	Date:	Description:
1	05.01.23	LAND USE SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: MAS
Reviewed By: ACG
Approved By:

SHEET TITLE:
STORMWATER MANAGEMENT DETAILS

SHEET NUMBER:
C6.2

DIGGERS HOTLINE
Toll Free (800) 242-8511

JSD PROJECT NO: 21-10434

PLAN MODIFICATIONS:

#	Date	Description
1	05.01.23	LAND USE SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: **MWS**
Reviewed By: **KJY**

Approved By:

SHEET TITLE:
**LANDSCAPE PLAN -
OVERALL**

SHEET NUMBER:
L1.0

JSD PROJECT NO: 21-10434

LANDSCAPE CALCULATIONS AND DISTRIBUTIONS
Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

(A) For all lots except those described in (B) and (C) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area:
 Total square footage of developed area: _____
 Total landscape points required: _____

(B) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.
 Total square footage of developed area: _____
 First five (5) developed acres = 15,695 SF
 Remainder of developed area: 0
 Total landscape points required: 262 POINTS

(C) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area:
 Total square footage of developed area: _____
 Total landscape points required: _____

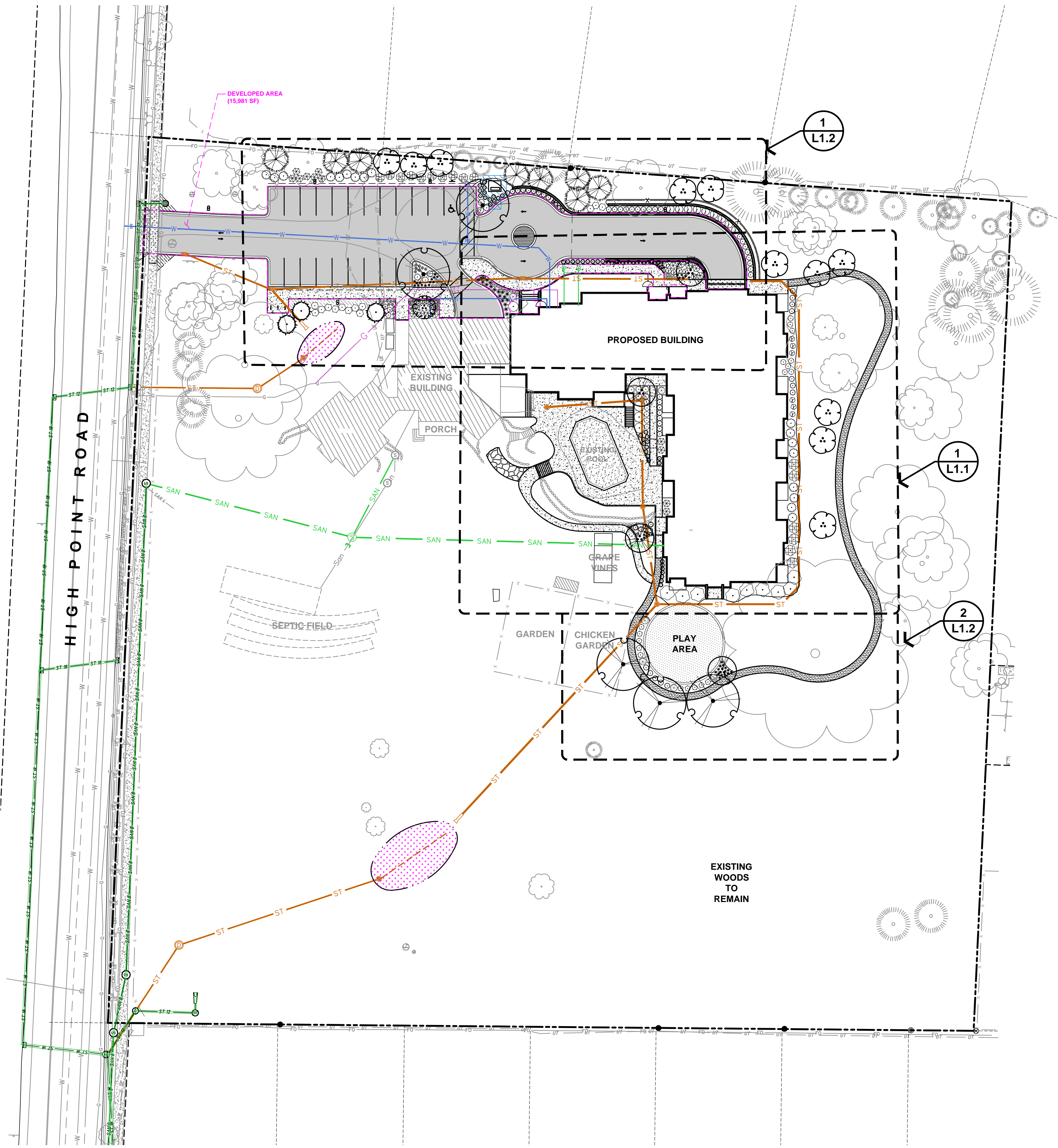
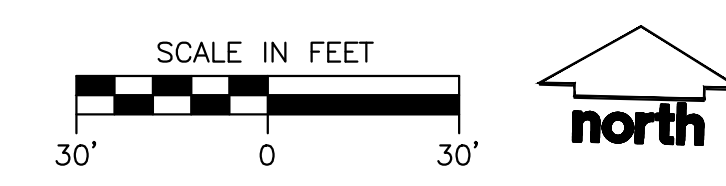
TABULATION OF LANDSCAPE CREDITS AND POINTS

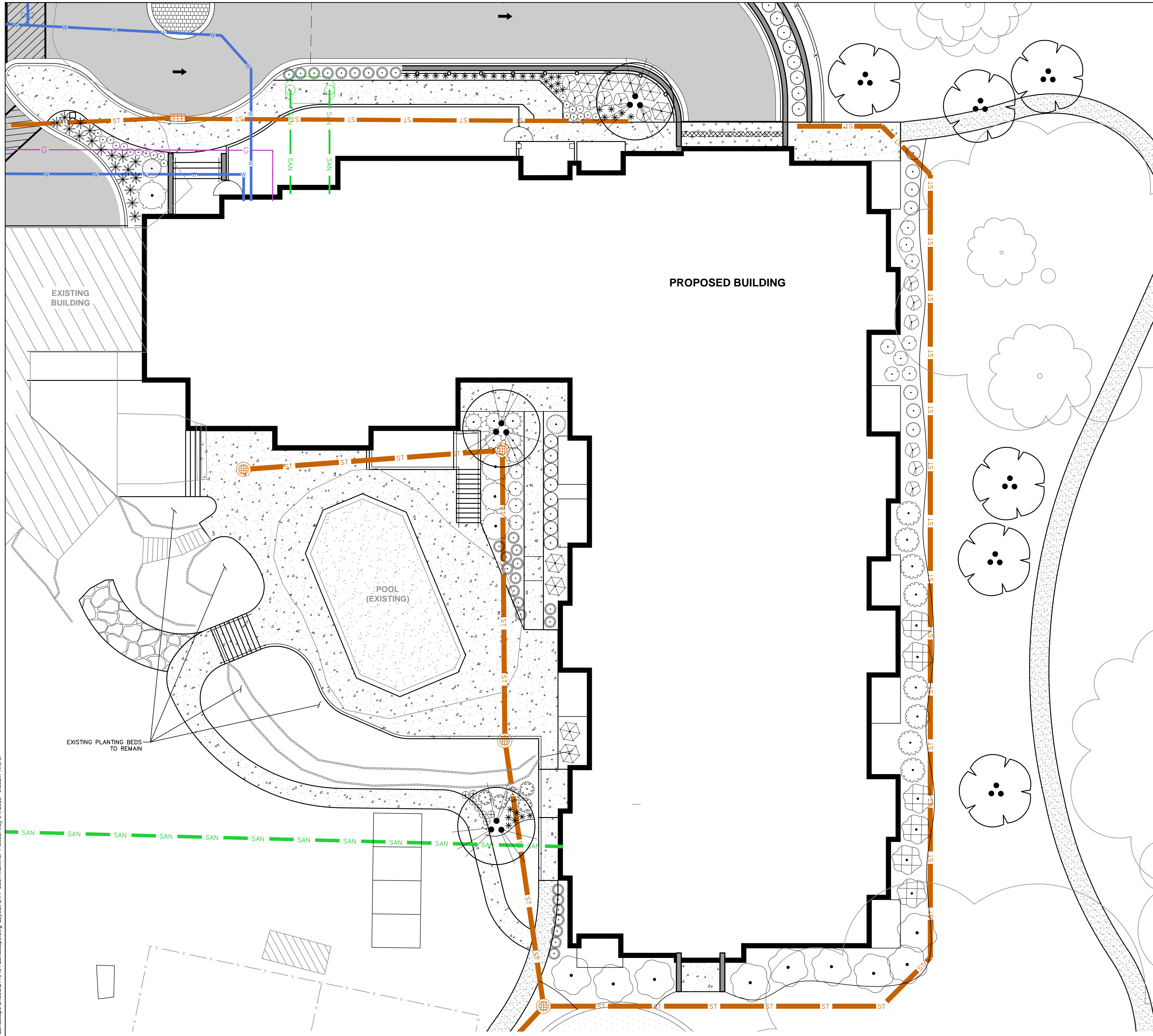
PLANT TYPE/ELEMENT	MINIMUM INSTALLATION SIZE	POINTS	CREDITS / EXISTING LANDSCAPING		NEW / PROPOSED LANDSCAPING	
			QUANTITY	POINTS ACHIEVED	QUANTITY	POINTS ACHIEVED
OVERSTORY DECIDUOUS TREE	2.5" CAL MIN.	35	0	0	5	175
TALL EVERGREEN TREE	5-6' TALL MIN.	35	0	0	10	350
ORNAMENTAL TREE	1.5" CAL MIN.	15	0	0	16	240
UPRIGHT EVERGREEN SHRUB	3-4" TALL MIN.	10	0	0	0	0
SHRUB, DECIDUOUS	#3 CONT., MIN. 12"-24"	3	0	0	144	432
SHRUB, EVERGREEN	#3 CONT., MIN. 12"-24"	4	0	0	58	232
ORNAMENTAL GRASS & PERENNIAL	#1 CONT., MIN. 8"-18"	2	0	0	194	388
ORNAMENTAL / DECORATIVE FENCING OR WALL	4 POINTS / 10 LF	.4	0	0	0	0
EXISTING SIGNIFICANT SPECIMAN TREE	14 POINTS / CAL. (MAXIMUM 200 POINTS PER TREE)	14	0	0	0	0
LANDSCAPE FURNITURE	5 POINTS PER SEAT (WITHIN PUBLICLY ACCESSIBLE DEVELOPED AREA. CANNOT COMPRISE MORE THAN 5% OF TOTAL REQUIRED POINTS)	5	0	0	0	0
SUBTOTAL			0	0	1,817	1,817
TOTAL NUMBER OF POINTS PROVIDED			1,817			

- GENERAL NOTES**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
 - THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
 - REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
 - CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
 - DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE

LEGEND

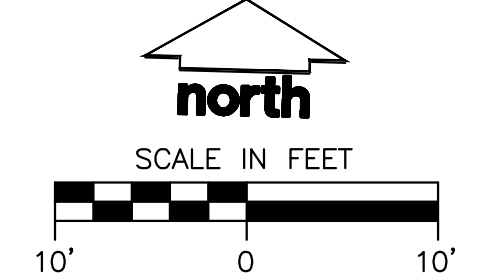
	PROPERTY LINE		CONCRETE PAVEMENT
	RIGHT-OF-WAY		DECORATIVE STONE MULCH
	BUILDING OUTLINE		PROPOSED 1 FOOT CONTOUR
	BUILDING OVERHANG		PROPOSED 5 FOOT CONTOUR
	EDGE OF PAVEMENT		EXISTING 1 FOOT CONTOUR
	STANDARD CURB AND GUTTER		EXISTING 5 FOOT CONTOUR
	REJECT CURB AND GUTTER		ALUMINUM EDGING
	MOUNTABLE CURB AND GUTTER		NATIVE VEGETATIVE MAT (NWM)
	ASPHALT PAVEMENT		DEVELOPED AREA
	SEGMENTAL RETAINING WALL		





PLANT LIST		
EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME
	TM2	<i>Taxodium distichum</i> "Mickelson" TM / Shawnee Brave Bald Cypress
	TC	<i>Tsuga canadensis</i> / Eastern Hemlock
ORNAMENTAL TREES		
	AG	<i>Amelanchier x grandiflora</i> "Autumn Brilliance" (MS) / Autumn Brilliance Serviceberry (MS)
	CC	<i>Cercis canadensis</i> "Columbus" (MS) / Columbus Strain Eastern Redbud (MS)
	CA	<i>Cornus alternifolia</i> (MS) / Pagoda Dogwood (MS)
CANOPY TREE		
	GS	<i>Gleditsia triacanthos inermis</i> "Shademaster" TM / Shademaster Locust
DECIDUOUS SHRUBS		
	AB	<i>Aronia melanocarpa</i> "Morton" TM / Iroquois Beauty Black Chokeberry
	CR2	<i>Cornus sericea</i> / Red Twig Dogwood
	CF	<i>Cornus stolonifera</i> "Farrow" TM / Arctic Fire Red Twig Dogwood
	DC	<i>Diervilla sessilifolia</i> "Cool Splash" / Cool Splash False Honeysuckle
	HI	<i>Hydrangea arborescens</i> "Incrediball" / Incrediball White Hydrangea
	HL	<i>Hydrangea paniculata</i> "Little Lime" / Little Lime Hydrangea
	HD	<i>Hydrangea paniculata</i> "Dvp Pinky" TM / Pinky Winky Panicle Hydrangea
	PC	<i>Physocarpus opulifolius</i> "Center Glow" / Center Glow Ninebark
	RR	<i>Rosa x "Radko"</i> TM / Double Knock Out Red Rose
	SP	<i>Spiraea japonica</i> "SMNSJMPF" TM / Double Play Pink Spiraea
	SV	<i>Syringa vulgaris</i> / Common Lilac
	VJ	<i>Viburnum x juddii</i> / Judd Viburnum
EVERGREEN SHRUBS		
	BG	<i>Buxus x "Green Velvet"</i> / Green Velvet Boxwood
	BG2	<i>Buxus x "Green Mountain"</i> / Green Mountain Boxwood
	JUCHK	<i>Juniperus chinensis</i> "Pfitzerana Kallays Compacta" / Kally Pfitzer Compact Juniper
	TM	<i>Taxus x media</i> "Everlow" / Everlow Yew
	TMT	<i>Taxus x media</i> "Tauntonii" / Taunton Yew
PERENNIALS & GRASSES		
	AP	<i>Astilbe chinensis</i> "Vision in Pink" / Vision in Pink Chinese Astilbe
	CK	<i>Calamagrostis x acutiflora</i> "Karl Foerster" / Karl Foerster Feather Reed Grass
	EP	<i>Echinacea x "CBG Cone 2"</i> TM / Pixie Meadowbrite Purple Coneflower
	GC	<i>Geranium x cantabrigiense</i> "Blokovo" / Blokovo Cranesbill
	PV	<i>Panicum virgatum</i> "Shenandoah" / Shenandoah Switch Grass
	SH	<i>Sporobolus heterolepis</i> "Tara" / Prairie Dropseed
GROUND COVERS		
	CP	<i>Carex pensylvanica</i> / Pennsylvania Sedge

1 FOUNDATION
L1.1



DIGGERS HOTLINE
Toll Free (800) 242-8511



CREATE THE VISION TELL THE STORY

jsdinc.com

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
KNOTHE & BRUCE ARCHITECTS, LLC

CLIENT ADDRESS:
**7601 UNIVERSITY AVE, SUITE 201
MIDDLETON, WI 53562**

PROJECT:
HOPE & A FUTURE EXPANSION

PROJECT LOCATION:
**1115 SOUTH HIGH POINT ROAD
MADISON, WI 53719
DANE COUNTY**

PLAN MODIFICATIONS:	
#	Description:
1	05.01.23 LAND USE SUBMITTAL
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	

Designed By: MWS
Reviewed By: KJY
Approved By:

SHEET TITLE:
LANDSCAPE PLAN - DETAILED

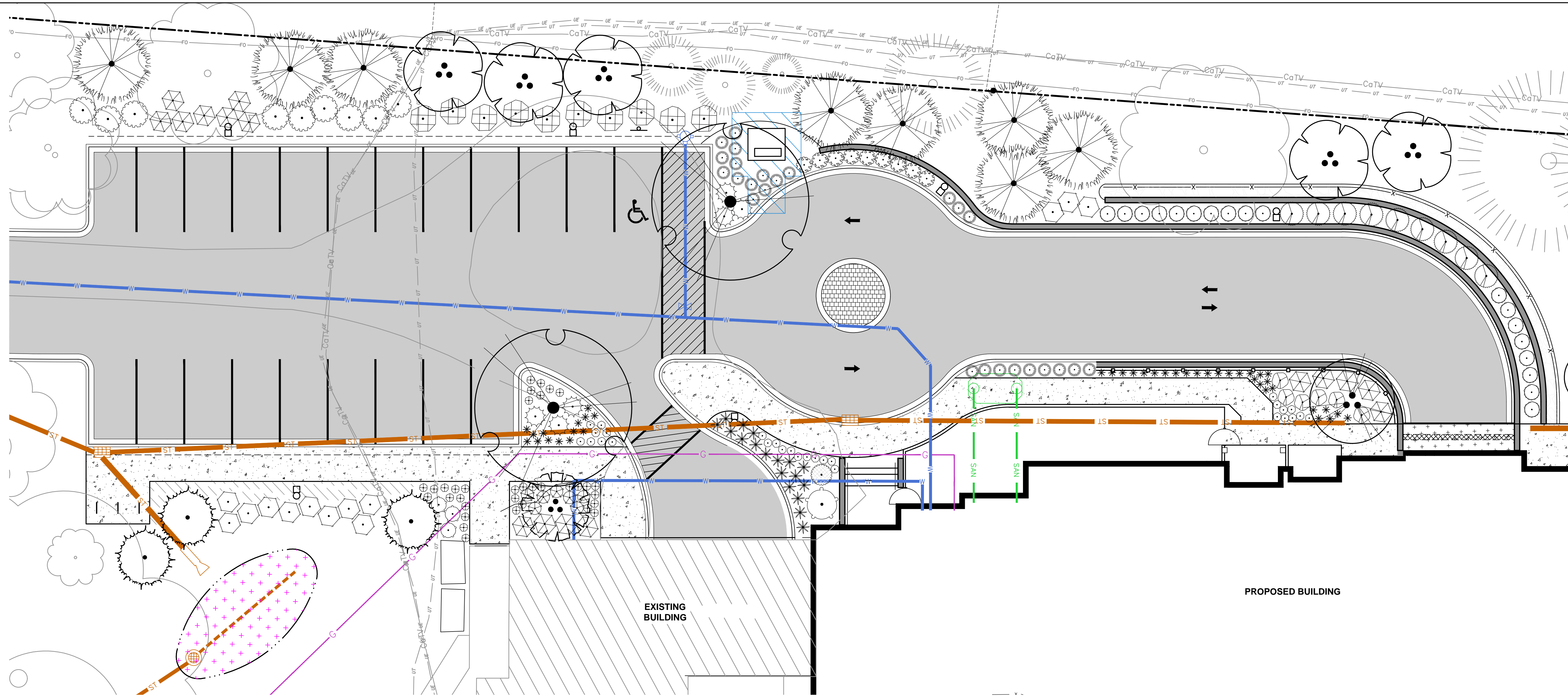
SHEET NUMBER:
L1.1

JSD PROJECT NO: 21-10434

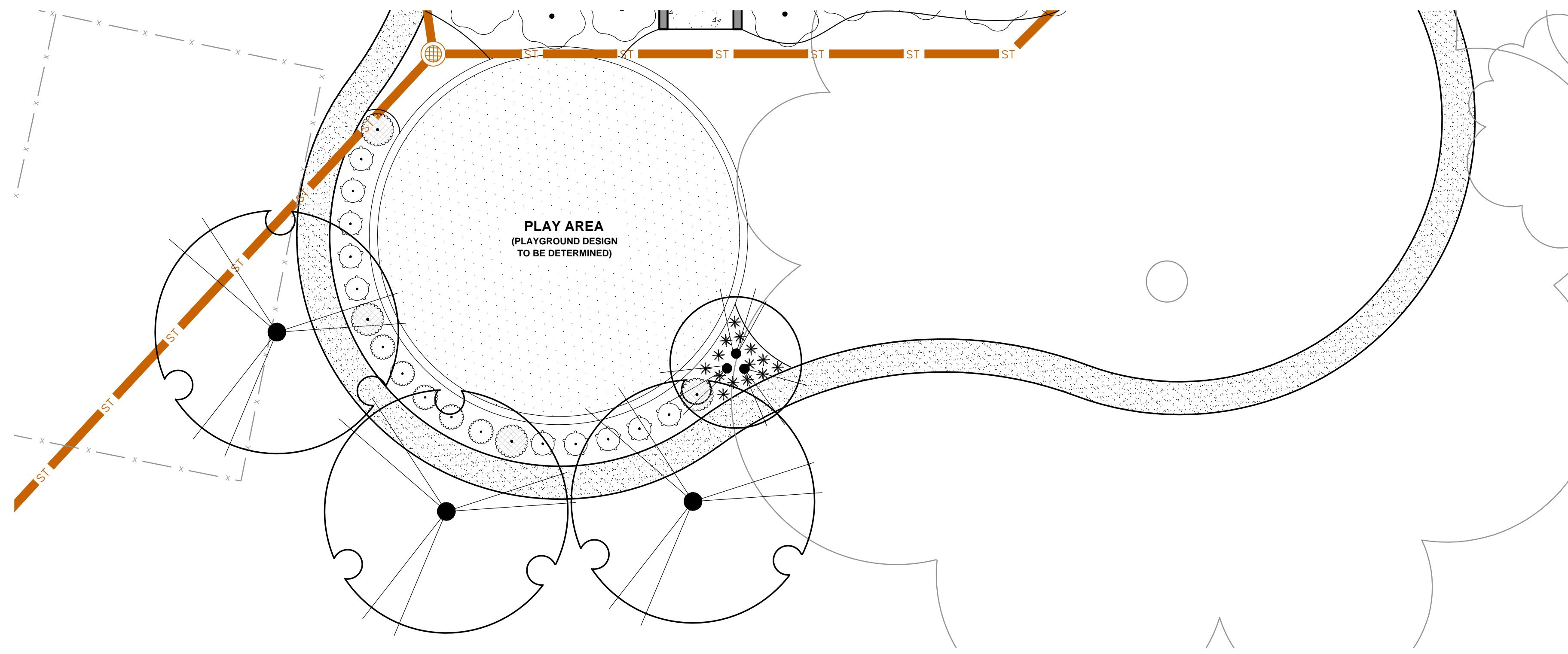
File: I:\2021\2110434\DWG\Landscape Sheets\2110434 Landscape.dwg Layout: L1.1 User: mammel Plotter: May 01, 2023 - 9:53am Xref:

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

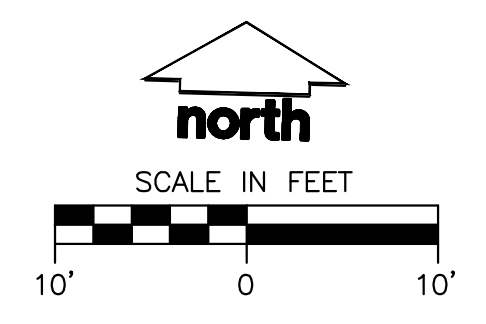
File: I:\2021\2110434\DWG\Landscape\Sheet\2110434 Landscape.dwg Layout: L1.2 User: mammel Plotter: May 01, 2023 - 9:53am Xref's:




1 PARKING LOT
L1.2



2 SOUTH PLAY AREA
L1.2



DIGGERS HOTLINE
Toll Free (800) 242-8511



CREATE THE VISION TELL THE STORY

jsdinc.com

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
KNOTHE & BRUCE ARCHITECTS, LLC

CLIENT ADDRESS:
**7601 UNIVERSITY AVE, SUITE 201
MIDDLETON, WI 53562**

PROJECT:
HOPE & A FUTURE EXPANSION

PROJECT LOCATION:
**1115 SOUTH HIGH POINT ROAD
MADISON, WI 53719
DANE COUNTY**

PLAN MODIFICATIONS:	
#	Description:
1	05.01.23 LAND USE SUBMITTAL
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	

Designed By: **MWS**
Reviewed By: **KJY**
Approved By:

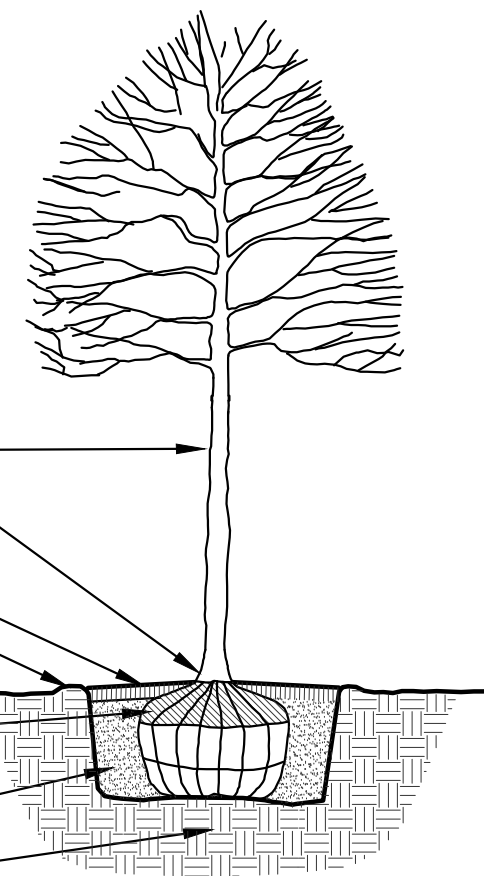
SHEET TITLE:
LANDSCAPE PLAN - DETAILED

SHEET NUMBER:
L1.2

JSD PROJECT NO: 21-10434

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

- NOTE:**
- DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE. ROOT BALL TO BE SET ON UNDISTURBED SOIL UNLESS COMPACTED AGGREGATE STONE REMAINS FROM SITE EXCAVATOR. REMOVE REMAINING AGGREGATE STONE UNTIL SOIL LAYER IS REACHED.
 - TREE PIT DIAMETER SHALL BE AT LEAST TWO-TIMES ROOT BALL DIAMETER IN ALL DIRECTIONS. SLOPE SIDES OF TREE PIT FROM PROPOSED GRADE TO BOTTOM OF ROOT BALL IN ALL DIRECTIONS.



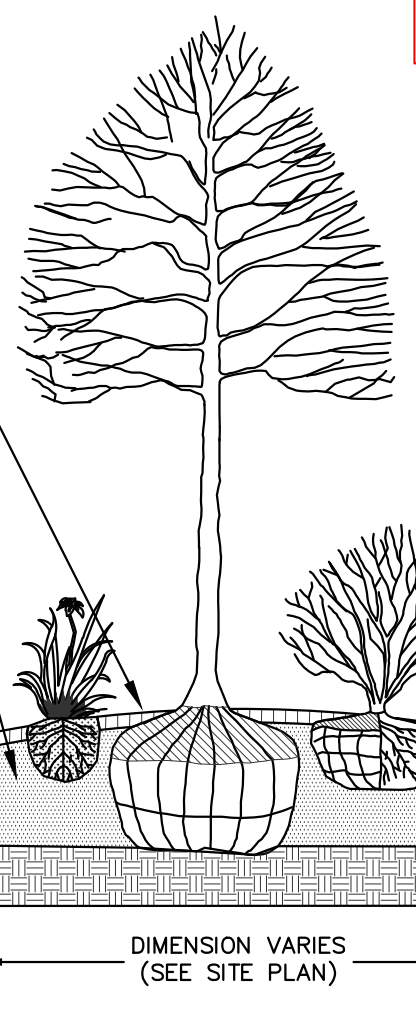
- SET TREE PLUMB
- ROOT FLARE SHALL BE EXPOSED
- SEE NOTES FOR MULCH SPECIFICATIONS
- INSTALL 3" WATERING SAUCER
- PROPOSED GRADE
- REMOVE BURLAP, TWINE, AND WIRE FROM UPPER HALF OF BALL
- PLANTING MIXTURE (WATER TAMP TO REMOVE AIR POCKETS)
- UNDISTURBED GROUND

DECIDUOUS TREE PLANTING DETAIL

N.T.S.

REV. 10-28-2021

- MOUND TOPSOIL 12" ABOVE CURB WITH TOPSOIL PLANT MIX OR AMENDED NATIVE SOILS
- PARKING ISLAND TO BE DUG FREE OF AGGREGATE TO A MINIMUM DEPTH OF 24" AND PREPARED FOR PLANTINGS AFTER INSTALLATION OF CURB AND GUTTER

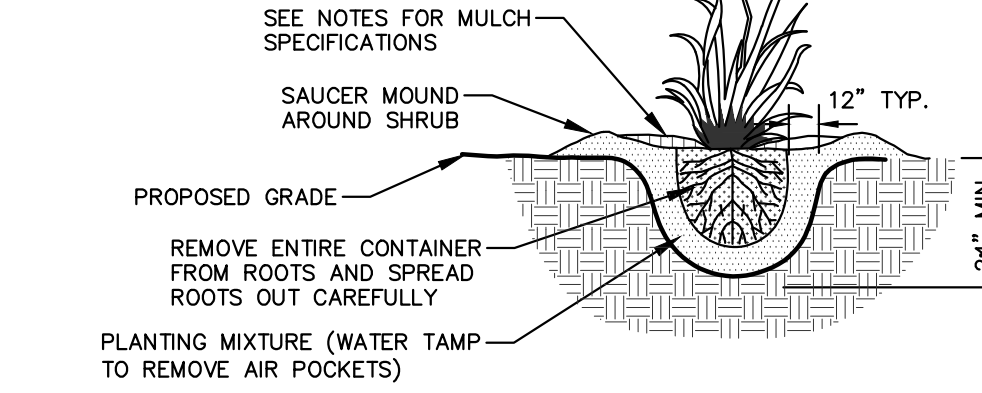


- SEE NOTES FOR MULCH SPECIFICATIONS
- PLANTING MIXTURE (WATER AND TAMP TO REMOVE AIR POCKETS)
- EXISTING/INSTALLED CURB AND GUTTER
- EXISTING/INSTALLED AGGREGATE
- 24" MIN.
- DIMENSION VARIES (SEE SITE PLAN)

PARKING ISLAND LANDSCAPE DETAIL

N.T.S.

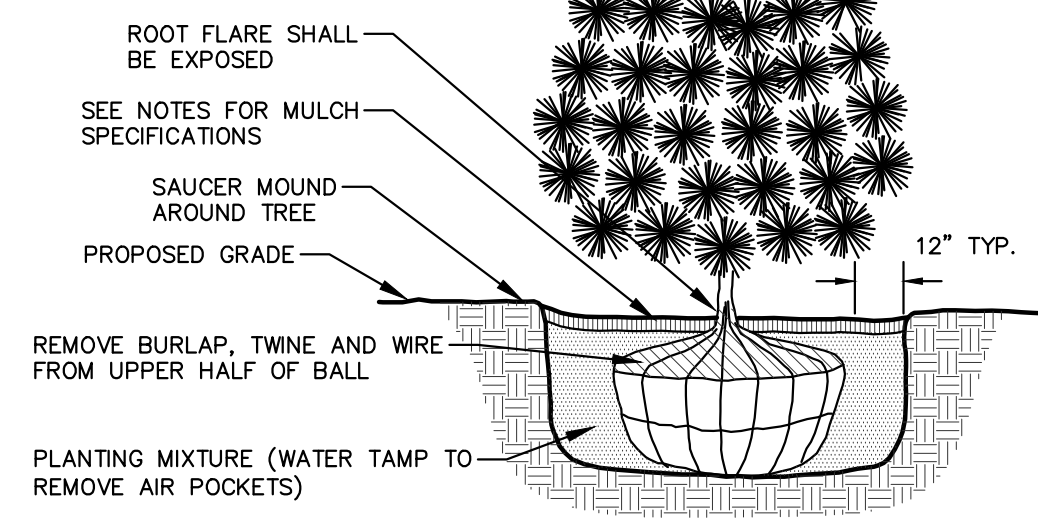
REV. 01-03-2019



- SEE NOTES FOR MULCH SPECIFICATIONS
- SAUCER MOUND AROUND SHRUB
- PROPOSED GRADE
- REMOVE ENTIRE CONTAINER FROM ROOTS AND SPREAD ROOTS OUT CAREFULLY
- PLANTING MIXTURE (WATER TAMP TO REMOVE AIR POCKETS)
- 24" MIN.
1. ROOT FLARE TO BE EXPOSED

PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL

N.T.S.



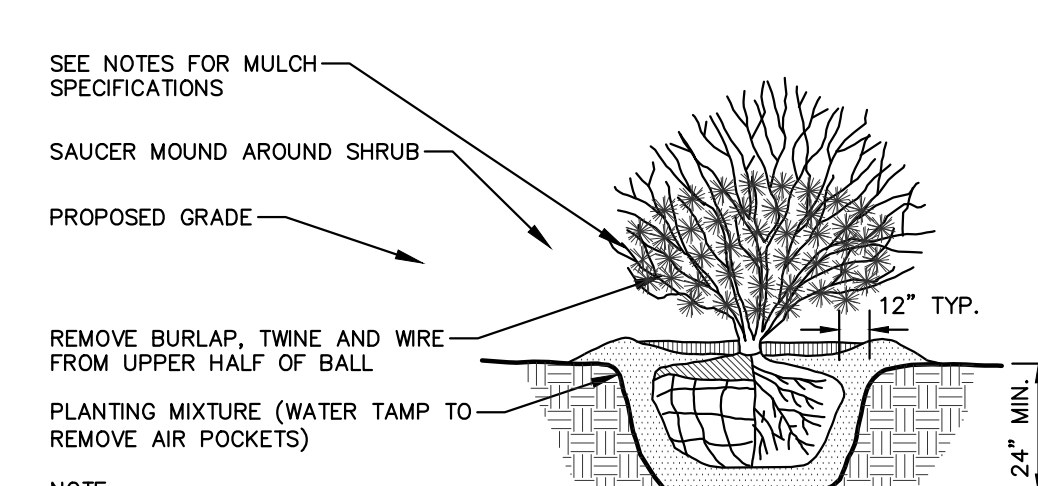
- ROOT FLARE SHALL BE EXPOSED
- SEE NOTES FOR MULCH SPECIFICATIONS
- SAUCER MOUND AROUND TREE
- PROPOSED GRADE
- REMOVE BURLAP, TWINE AND WIRE FROM UPPER HALF OF BALL
- PLANTING MIXTURE (WATER TAMP TO REMOVE AIR POCKETS)
- 12" TYP.

- NOTE:**
- DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE. ROOT BALL TO BE SET ON UNDISTURBED SOIL UNLESS COMPACTED AGGREGATE STONE REMAINS FROM SITE EXCAVATOR. REMOVE REMAINING AGGREGATE STONE UNTIL SOIL LAYER IS REACHED

EVERGREEN TREE PLANTING DETAIL

N.T.S.

REV. 01-03-2019



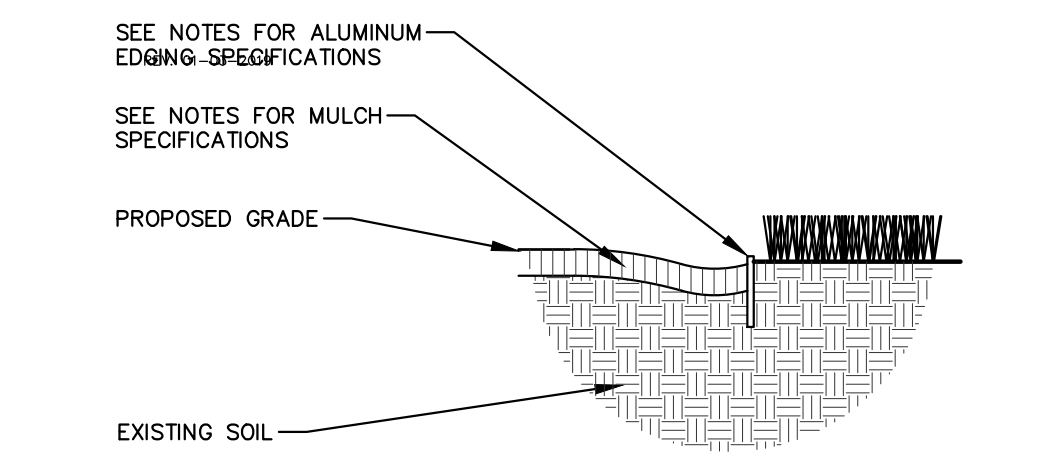
- SEE NOTES FOR MULCH SPECIFICATIONS
- SAUCER MOUND AROUND SHRUB
- PROPOSED GRADE
- REMOVE BURLAP, TWINE AND WIRE FROM UPPER HALF OF BALL
- PLANTING MIXTURE (WATER TAMP TO REMOVE AIR POCKETS)
- 12" TYP.
- 24" MIN.

- NOTE:**
- ROOT FLARE TO BE EXPOSED.

SHRUB PLANTING DETAIL

N.T.S.

REV. 01-03-2019

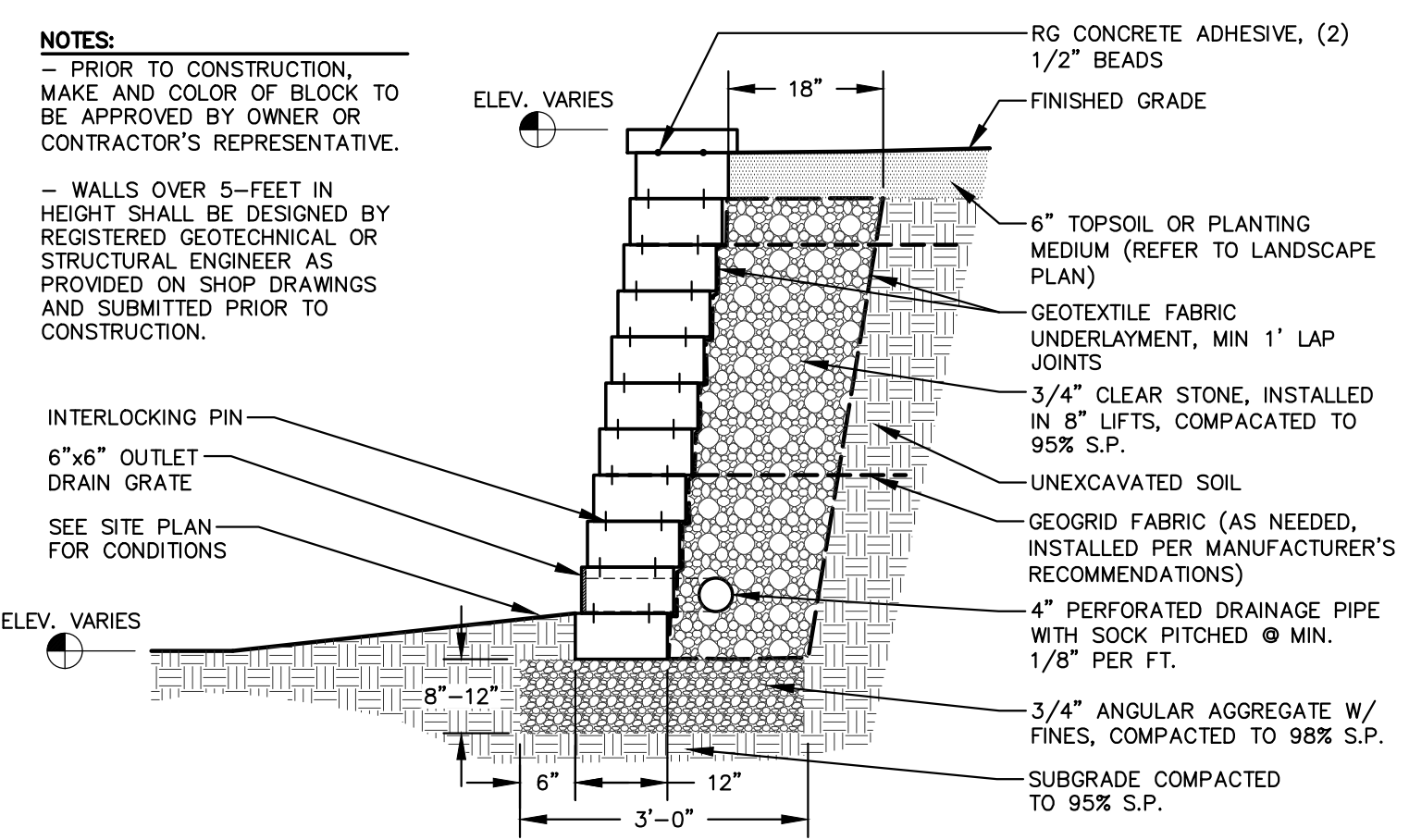


- SEE NOTES FOR ALUMINUM EDGING SPECIFICATIONS
- SEE NOTES FOR MULCH SPECIFICATIONS
- PROPOSED GRADE
- EXISTING SOIL

ALUMINUM LANDSCAPE EDGING DETAIL

N.T.S.

REV. 01-03-2019



- NOTES:**
- PRIOR TO CONSTRUCTION, MAKE AND COLOR OF BLOCK TO BE APPROVED BY OWNER OR CONTRACTOR'S REPRESENTATIVE.
- WALLS OVER 5- FEET IN HEIGHT SHALL BE DESIGNED BY REGISTERED GEOTECHNICAL OR STRUCTURAL ENGINEER AS PROVIDED ON SHOP DRAWINGS AND SUBMITTED PRIOR TO CONSTRUCTION.
- INTERLOCKING PIN
- 6"x6" OUTLET DRAIN GRATE
- SEE SITE PLAN FOR CONDITIONS
- ELEV. VARIES
- 18"
- FINISHED GRADE
- 6" TOPSOIL OR PLANTING MEDIUM (REFER TO LANDSCAPE PLAN)
- GEOTEXTILE FABRIC UNDERLAYMENT, MIN 1' LAP JOINTS
- 3/4" CLEAR STONE, INSTALLED IN 8" LIFTS, COMPACTED TO 95% S.P.
- UNEXCAVATED SOIL
- GEOGRID FABRIC (AS NEEDED, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS)
- 4" PERFORATED DRAINAGE PIPE WITH SOCK PITCHED @ MIN. 1/8" PER FT.
- 3/4" ANGULAR AGGREGATE W/ FINES, COMPACTED TO 98% S.P.
- SUBGRADE COMPACTED TO 95% S.P.

SEGMENTAL RETAINING WALL

N.T.S.

REV. 07-16-2019

COMPREHENSIVE PLANT SCHEDULE

EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	TM2	<i>Taxodium distichum</i> 'Mickelson' TM / Shawnee Brave Bald Cypress	B & B	Min. 6' Ht.	3
	TC	<i>Tsuga canadensis</i> / Eastern Hemlock	B & B	Min. 6' Ht.	8
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	AG	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' (MS) / Autumn Brilliance Serviceberry (MS)	B & B	Min. 6' Ht.	11
	CC	<i>Cercis canadensis</i> 'Columbus' (MS) / Columbus Strain Eastern Redbud (MS)	B & B	Min. 6' Ht.	4
	CA	<i>Cornus alternifolia</i> (MS) / Pagoda Dogwood (MS)	B & B	Min. 6' Ht.	1
CANOPY TREE	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	GS	<i>Gleditsia triacanthos inermis</i> 'Shademaster' TM / Shademaster Locust	B & B	2" Cal	5
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	AB	<i>Aronia melanocarpa</i> 'Morton' TM / Iroquois Beauty Black Chokeberry	#3	Min. 12"-24"	13
	CR2	<i>Cornus sericea</i> / Red Twig Dogwood	#3	Min. 24" Ht.	6
	CF	<i>Cornus stolonifera</i> 'Farrow' TM / Arctic Fire Red Twig Dogwood	#3	Min. 12"-24"	13
	DC	<i>Diervilla sessilifolia</i> 'Cool Splash' / Cool Splash False Honeysuckle	#3	Min. 12"-24"	12
	HI	<i>Hydrangea arborescens</i> 'Incrediball' / Incrediball White Hydrangea	#3	Min. 12"-24"	7
	HL	<i>Hydrangea paniculata</i> 'Little Lime' / Little Lime Hydrangea	#3	Min. 12"-24"	13
	HD	<i>Hydrangea paniculata</i> 'Dvp Pinky' TM / Pinky Winky Panicle Hydrangea	#3	Min. 18"-24" Ht.	4
	PC	<i>Physocarpus opulifolius</i> 'Center Glow' / Center Glow Ninebark	B & B	Min. 24-36" Ht.	18
	RR	<i>Rosa x 'Radtok'</i> TM / Double Knock Out Red Rose	#3	Min. 12"-24"	14
	SP	<i>Spiraea japonica</i> 'SMNSJMF' TM / Double Play Pink Spiraea	#3	Min. 12"-24"	26
	SV	<i>Syringa vulgaris</i> / Common Lilac	#5	Min. 36" Ht.	9
	VJ	<i>Viburnum x juddii</i> / Judd Viburnum	#5	Min. 36" Ht.	17
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	BG	<i>Buxus x 'Green Velvet'</i> / Green Velvet Boxwood	3 gal	Min. 12"-24"	12
	BG2	<i>Buxus x 'Green Mountain'</i> / Green Mountain Boxwood	B & B	Min. 36" Ht.	6
	JUCHK	<i>Juniperus chinensis</i> 'Pfitzerana Kallays Compacta' / Kally Pfitzer Compact Juniper	B & B	Min. 12" Wide	9
	TM	<i>Taxus x media</i> 'Everlow' / Everlow Yew	B & B	Min. 24" Ht.	11
	TMT	<i>Taxus x media</i> 'Tautonii' / Tauton Yew	B & B	Min. 24" Ht.	28
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	CK	<i>Calamagrostis x acutiflora</i> 'Karl Foerster' / Karl Foerster Feather Reed Grass	#1	Min. 8"-18"	18
	EP	<i>Echinacea x 'CBG Cone 2'</i> TM / Pixie Meadowbrite Purple Coneflower	#1	Min. 8"-18"	28
	GC	<i>Geranium x cantabrigiense</i> 'Blokova' / Blokova Cranesbill	#1	Min. 8"-18"	41
	PV	<i>Panicum virgatum</i> 'Shenandoah' / Shenandoah Switch Grass	#1	Min. 8"-18"	44
	SH	<i>Sporobolus heterolepis</i> 'Tara' / Prairie Dropseed	#1	Min. 8"-18"	63
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	CP	<i>Carex pensylvanica</i> / Pennsylvania Sedge			

GENERAL NOTES

- GENERAL: ALL WORK IN THE R-0-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JOB SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. DO NOT PRUNE AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACCEPTED PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPLEXION AND SYMMETRY. PLANTS SHALL BE SE SUPERIORLY HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS HEALTHY GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES, BIND AND WRAP THESE MATERIALS. ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

LANDSCAPE MATERIAL NOTES

- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. MULCH SHALL BE APPLIED IN A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4" DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- MATERIALS - ALUMINUM EDGING: EDGING SHALL BE 1/8" X 4", ALUMINUM EDGING, MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

SEEDING AND POND VEGETATION NOTES

- MATERIALS - TURFGRASS SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND EARTH CARPET'S "MADISON PARKS" GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED-FREE.
- MATERIALS - WOODLAND SEED MIX: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE BROADCAST SEEDING WITH "WOODLAND" SEED MIX, AS PROVIDED BY AGRECOL, 10101 NORTH CASEY ROAD, EVANSVILLE, WISCONSIN, 53536, TEL. 608-223-3571 (OR APPROVED EQUIVALENT). INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.
- MATERIALS - BIORETENTION BASIN NATIVE VEGETATIVE MAT (NVM): AREAS SPECIFIED ON PLANS SHALL RECEIVE AGRECOL "RAINWATER RENEWAL" NATIVE VEGETATIVE MAT, DEGRADABLE CORE. CONTRACTOR SHALL CONTACT AGRECOL NATIVE NURSERY 16 WEEKS IN ADVANCE OF INSTALLATION FOR PROPER GROWING LEAD TIME. CONTRACTOR SHALL ASSUME AVAILABLE DELIVERY DATE TO BE BETWEEN MID-JUNE THROUGH THE END OF OCTOBER DUE TO THE NVM GROWING SEASON. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION PROCEDURES.

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.**
- MAINTENANCE:** (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS AND SHARING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MAINTAINED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE:** (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



CREATE THE VISION TELL THE STORY

jsdinc.com

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
KNOTHE & BRUCE ARCHITECTS, LLC

CLIENT ADDRESS:
7601 UNIVERSITY AVE, SUITE 201 MIDDLETON, WI 53562

PROJECT:
HOPE & A FUTURE EXPANSION

PROJECT LOCATION:
1115 SOUTH HIGH POINT ROAD MADISON, WI 53719 DANE COUNTY

PLAN MODIFICATIONS:

#	Date:	Description:
1	05.01.23	LAND USE SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: MWS
Reviewed By: KJY
Approved By:

LANDSCAPE DETAILS & NOTES

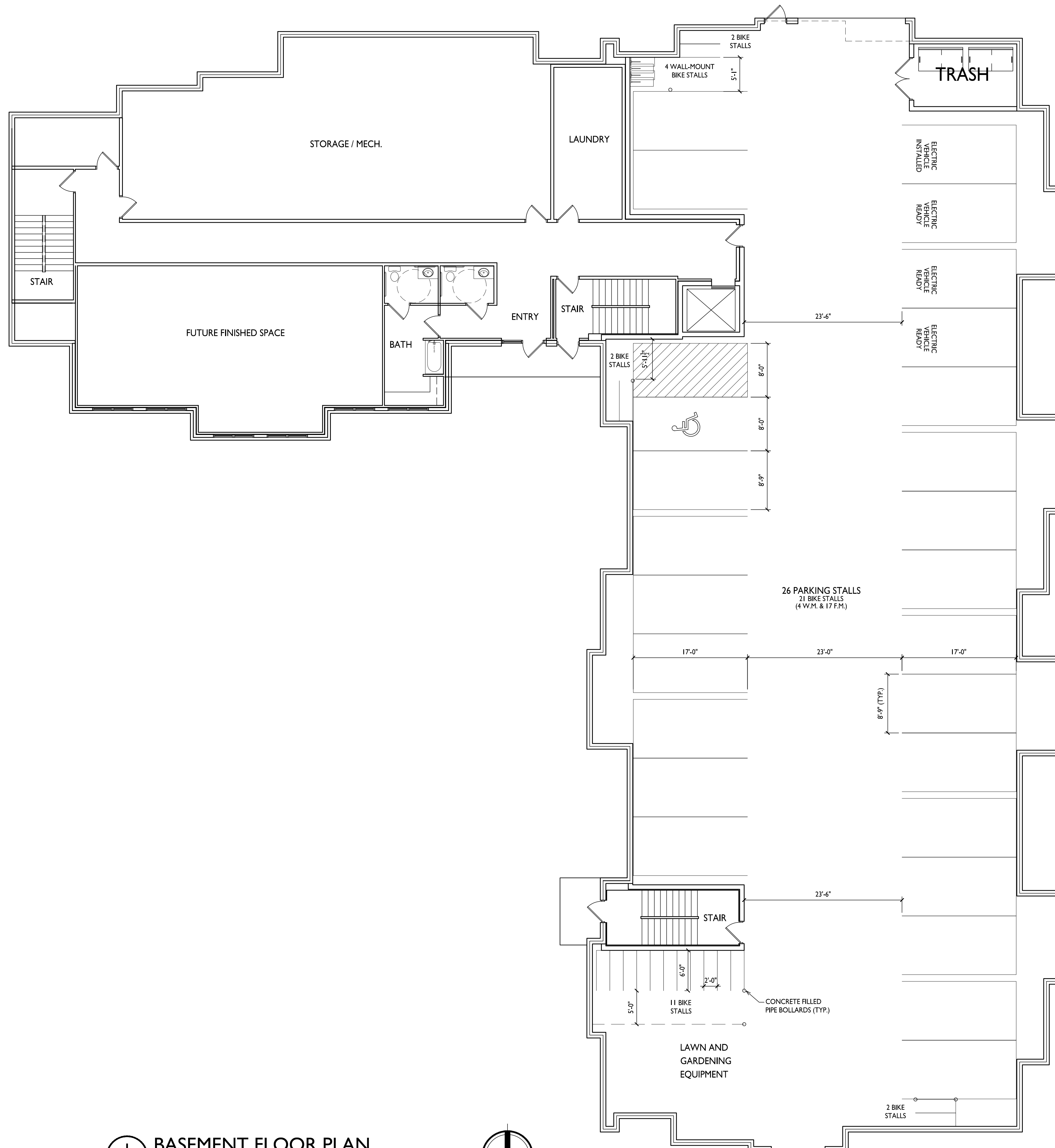
SHEET NUMBER:

L2.0

JSD PROJECT NO: 21-10434



Toll Free (800) 242-8511



1 BASEMENT FLOOR PLAN
 A-1.0 1/8" = 1'-0"

ISSUED
 Issued for LUA Submittal - May 1, 2023

PROJECT TITLE
**Hope &
 A Future III
 - New Addition**

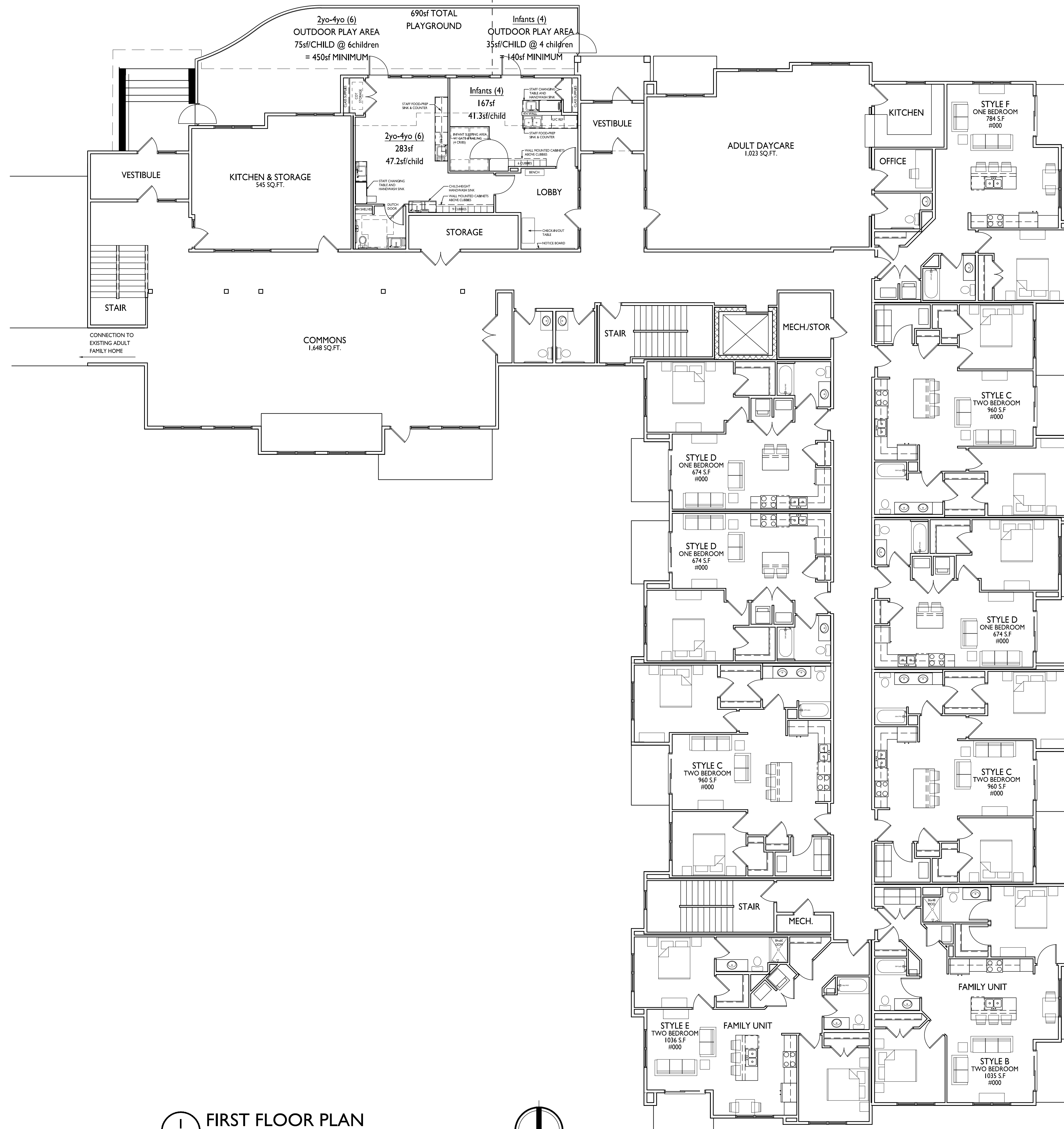
1115 S. Highpoint Road
 Madison, WI
 SHEET TITLE
**Basement Floor
 Plan**

SHEET NUMBER

A-1.0

PROJECT NO. **2036**
 © Knothe & Bruce Architects, LLC

15,127 SQ.FT.



FIRST FLOOR PLAN
A-1.1 1/8" = 1'-0"

ISSUED
Issued for LUA Submittal - May 1, 2023

PROJECT TITLE
**Hope &
A Future III
- New Addition**

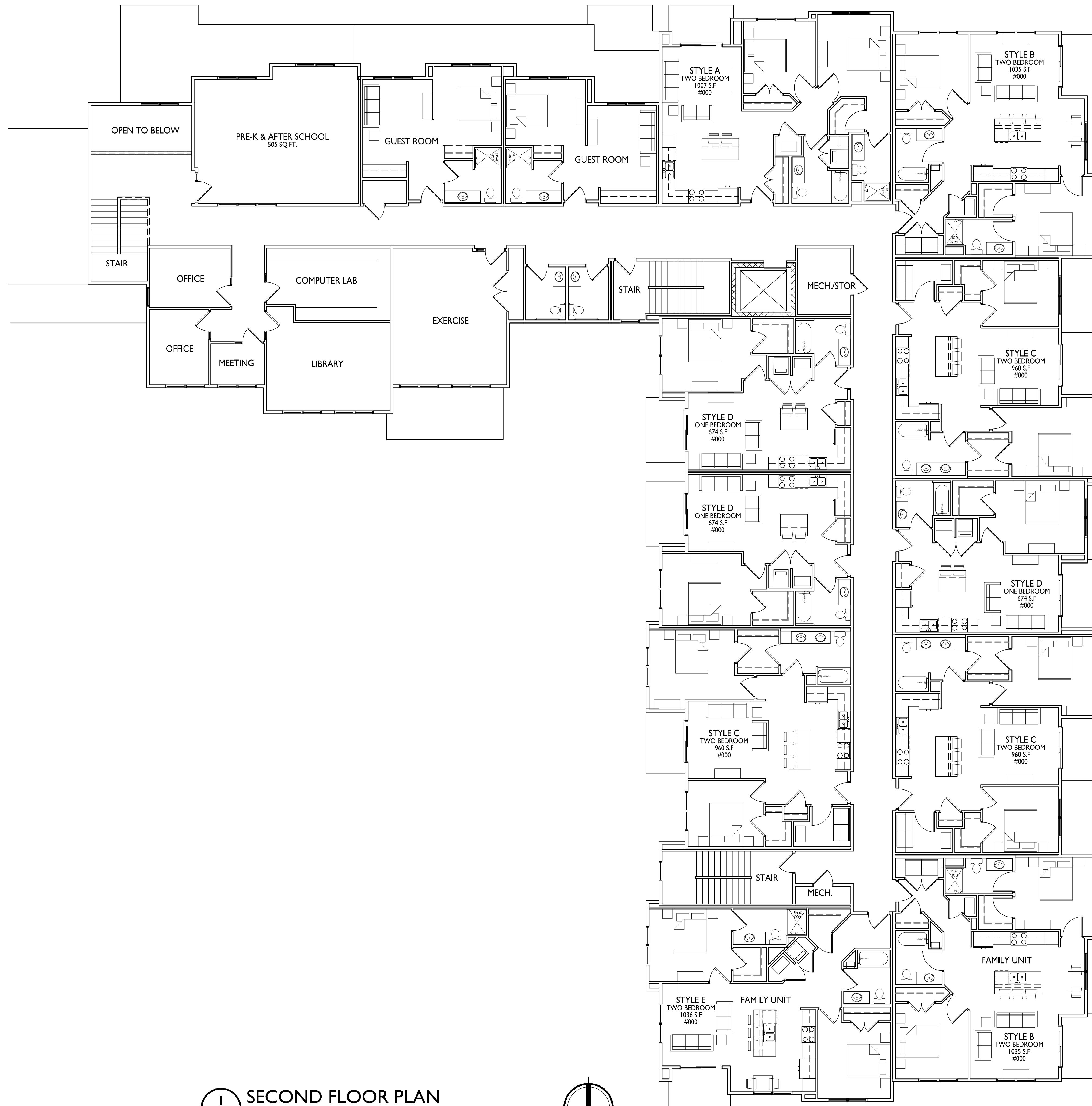
1115 S. Highpoint Road
Madison, WI
SHEET TITLE
First Floor Plan

SHEET NUMBER

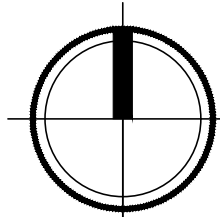
A-1.1

PROJECT NO. **2036**
© Knothe & Bruce Architects, LLC

14,783 SQ.FT.



1 SECOND FLOOR PLAN
A-1.2 1/8" = 1'-0"



knothe • bruce
ARCHITECTS

Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562

ISSUED
Issued for LUA Submittal - May 1, 2023

PROJECT TITLE
**Hope &
A Future III
- New Addition**

1115 S. Highpoint Road
Madison, WI
SHEET TITLE
Second Floor Plan

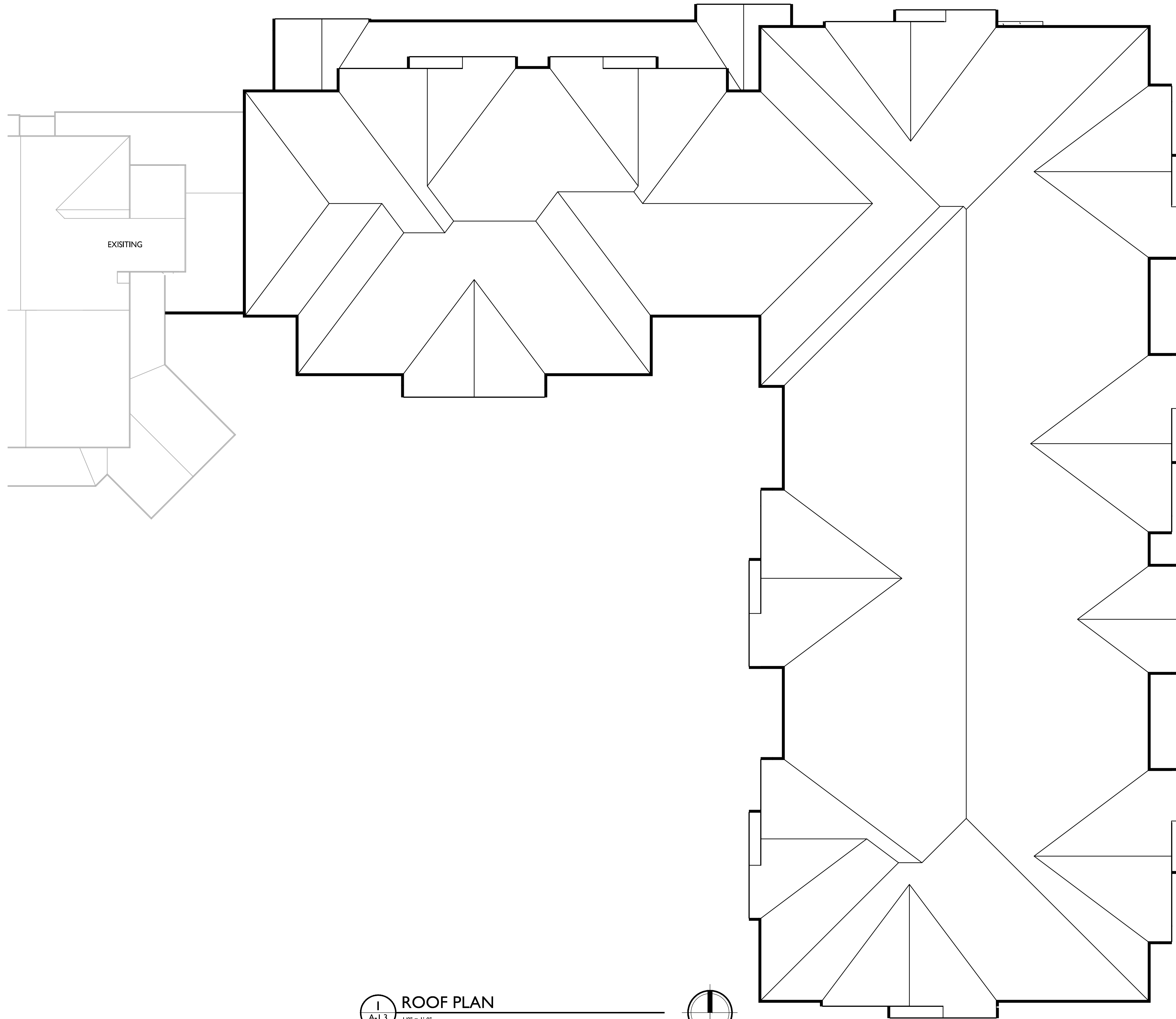
SHEET NUMBER

A-1.2

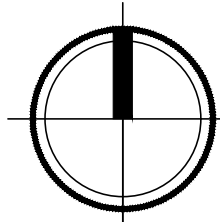
14,377 SQ.FT.

PROJECT NO. **2036**

© Knothe & Bruce Architects, LLC



1 ROOF PLAN
A-1.3 1/8" = 1'-0"



knothe • bruce
ARCHITECTS

Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562

ISSUED
Issued for LUA Submittal - May 1, 2023

PROJECT TITLE
**Hope &
A Future III
- New Addition**

1115 S. Highpoint Road
Madison, WI
SHEET TITLE
Roof Plan

SHEET NUMBER

A-1.3

PROJECT NO. **2036**

© Knothe & Bruce Architects, LLC



1 ELEVATION - NORTH
A-2.1 1/8" = 1'-0"

ISSUED
Issued for Concept Review - May 11, 2022
Issued for LUA Submittal - May 1, 2023

PROJECT TITLE
**Hope & A Future
New Addition**

1115 S. High Point
Road, Madison, WI

SHEET TITLE
**EXTERIOR
ELEVATIONS**

SHEET NUMBER

A-2.1

PROJECT NUMBER **2036**

© Knothe & Bruce Architects, LLC



2 ELEVATION - EAST
A-2.1 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
BUILDING ELEMENT	
(#1) - COMPOSITE LAP SIDING	
(#2) - COMPOSITE SHAKE PANEL	
COMPOSITE TRIM	
(#5) - BRICK VENEER	
(#8) - COMPOSITE WINDOWS	
(#10) - INSULATED METAL DOORS/FRAMES	
CANOPY & BAY SOFFITS	
(#12) - RAILINGS & HANDRAILS	
TREATED-EXPOSED DECK BEAMS	



ISSUED
Issued for Concept Review - May 11, 2022
Issued for LUA Submittal - May 1, 2023

PROJECT TITLE
**Hope & A Future
New Addition**

1115 S. High Point
Road, Madison, WI

SHEET TITLE
**EXTERIOR
ELEVATIONS**

SHEET NUMBER

A-2.2

PROJECT NUMBER **2036**

© Knothe & Bruce Architects, LLC

1 ELEVATION - SOUTH
A-2.2 1/8" = 1'-0"



2 ELEVATION - WEST
A-2.2 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
BUILDING ELEMENT	
(#1) - COMPOSITE LAP SIDING	
(#2) - COMPOSITE SHAKE PANEL	
COMPOSITE TRIM	
(#5) - BRICK VENEER	
(#8) - COMPOSITE WINDOWS	
(#10) - INSULATED METAL DOORS/FRAMES	
CANOPY & BAY SOFFITS	
(#12) - RAILINGS & HANDRAILS	
TREATED-EXPOSED DECK BEAMS	



1 ELEVATION - NORTH COLOR
A-2.3 1/8" = 1'-0"

ISSUED
Issued for Concept Review - May 11, 2022
Issued for LUA Submittal - May 1, 2023

PROJECT TITLE
Hope & A Future
New Addition

1115 S. High Point
Road, Madison, WI

SHEET TITLE
EXTERIOR
ELEVATIONS
COLOR

SHEET NUMBER

A-2.3

PROJECT NUMBER 2036

© Knothe & Bruce Architects, LLC



2 ELEVATION - EAST COLOR
A-2.3 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
BUILDING ELEMENT	
(#1) - COMPOSITE LAP SIDING	
(#2) - COMPOSITE SHAKE PANEL	
COMPOSITE TRIM	
(#5) - BRICK VENEER	
(#8) - COMPOSITE WINDOWS	
(#10) - INSULATED METAL DOORS/FRAMES	
CANOPY & BAY SOFFITS	
(#12) - RAILINGS & HANDRAILS	
TREATED-EXPOSED DECK BEAMS	



1 ELEVATION - SOUTH COLOR
A-2.4 1/8" = 1'-0"



2 ELEVATION - WEST COLOR
A-2.4 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
BUILDING ELEMENT	
(#1) - COMPOSITE LAP SIDING	
(#2) - COMPOSITE SHAKE PANEL	
COMPOSITE TRIM	
(#5) - BRICK VENEER	
(#8) - COMPOSITE WINDOWS	
(#10) - INSULATED METAL DOORS/FRAMES	
CANOPY & BAY SOFFITS	
(#12) - RAILINGS & HANDRAILS	
TREATED-EXPOSED DECK BEAMS	



Hope & A Future Expansion

1115 S. High Point Road, Madison, WI

RENDER IMAGE 10

X910





Hope & A Future Expansion

1115 S. High Point Road, Madison, WI

RENDER IMAGE 11

X911





Hope & A Future Expansion

1115 S. High Point Road, Madison, WI

RENDER IMAGE 12

X912





Hope & A Future Expansion

1115 S. High Point Road, Madison, WI

RENDER IMAGE 13

X913





Hope & A Future Expansion

1115 S. High Point Road, Madison, WI

RENDER IMAGE 14

X914





Hope & A Future Expansion

1115 S. High Point Road, Madison, WI

RENDER IMAGE 15

X915





Hope & A Future Expansion

1115 S. High Point Road, Madison, WI

RENDER IMAGE 16

X916





Hope & A Future Expansion

1115 S. High Point Road, Madison, WI

RENDER IMAGE 17

X917





Hope & A Future Expansion

1115 S. High Point Road, Madison, WI

RENDER IMAGE 18

X918





Hope & A Future Expansion

1115 S. High Point Road, Madison, WI

RENDER IMAGE 19

X919





City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506
 Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 1115 S High Point Rd, Madison, WI

Contact Name & Phone #: Kevin Burow 608-836-3690

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.