



City of Madison

Proposed Rezoning

Location

130 East Gilman Street

From: DR-1 To: PD(GDP-SIP)

Existing Use

Single-family residence

Proposed Use

Convert single-family residence into eight-room hotel with cafe and event space in Mansion Hill Historic District

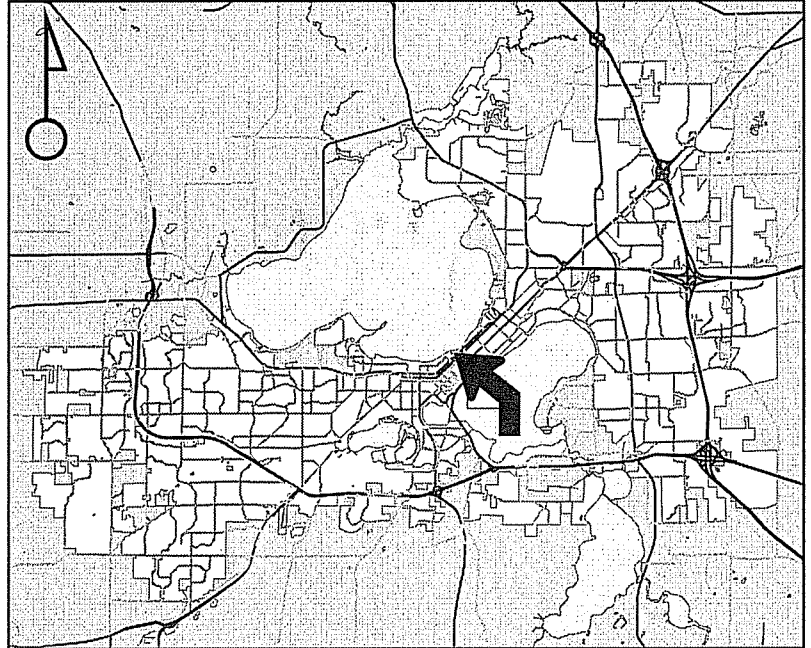
Public Hearing Date

Plan Commission

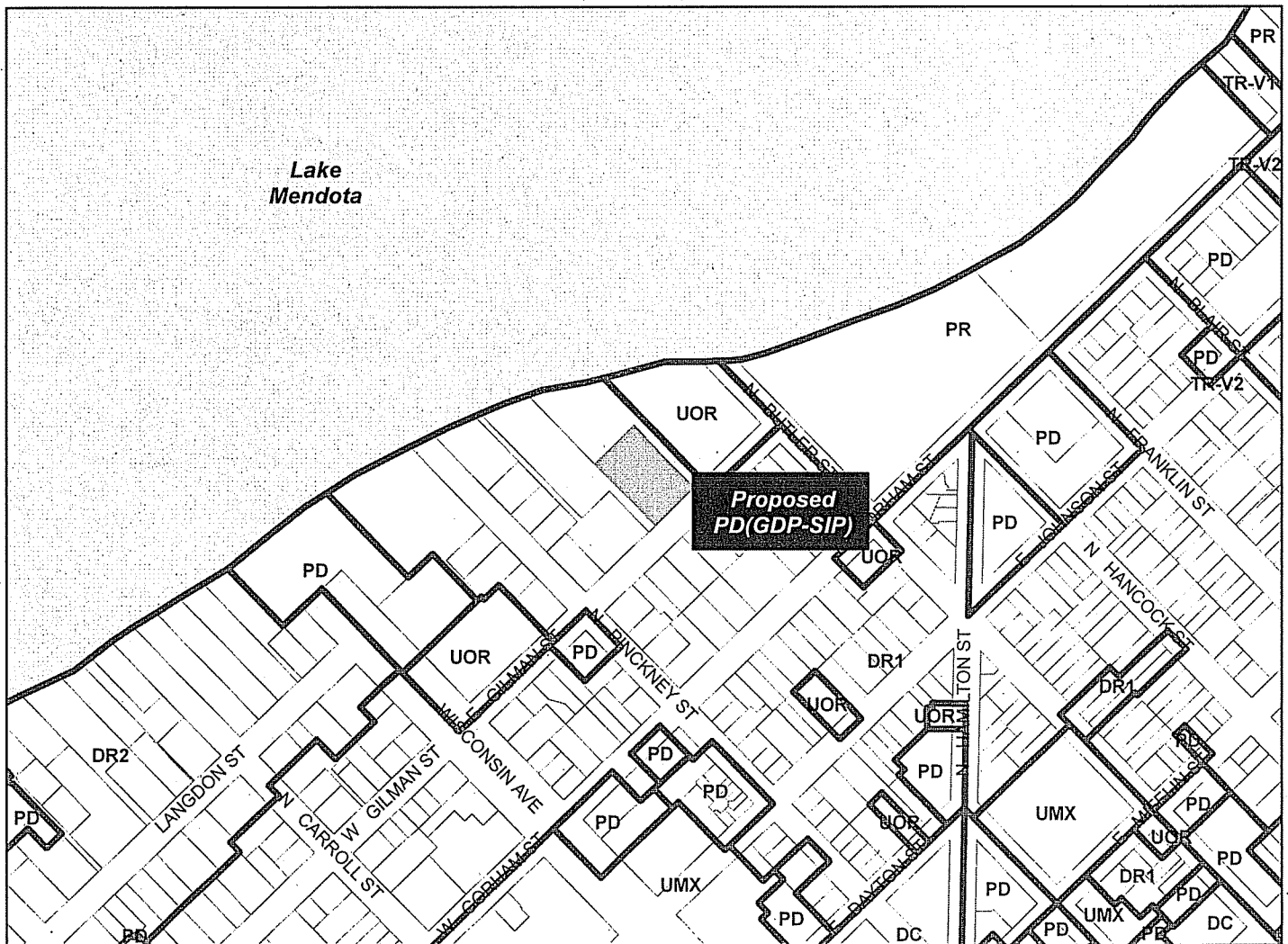
28 August 2017

Common Council

05 September 2017

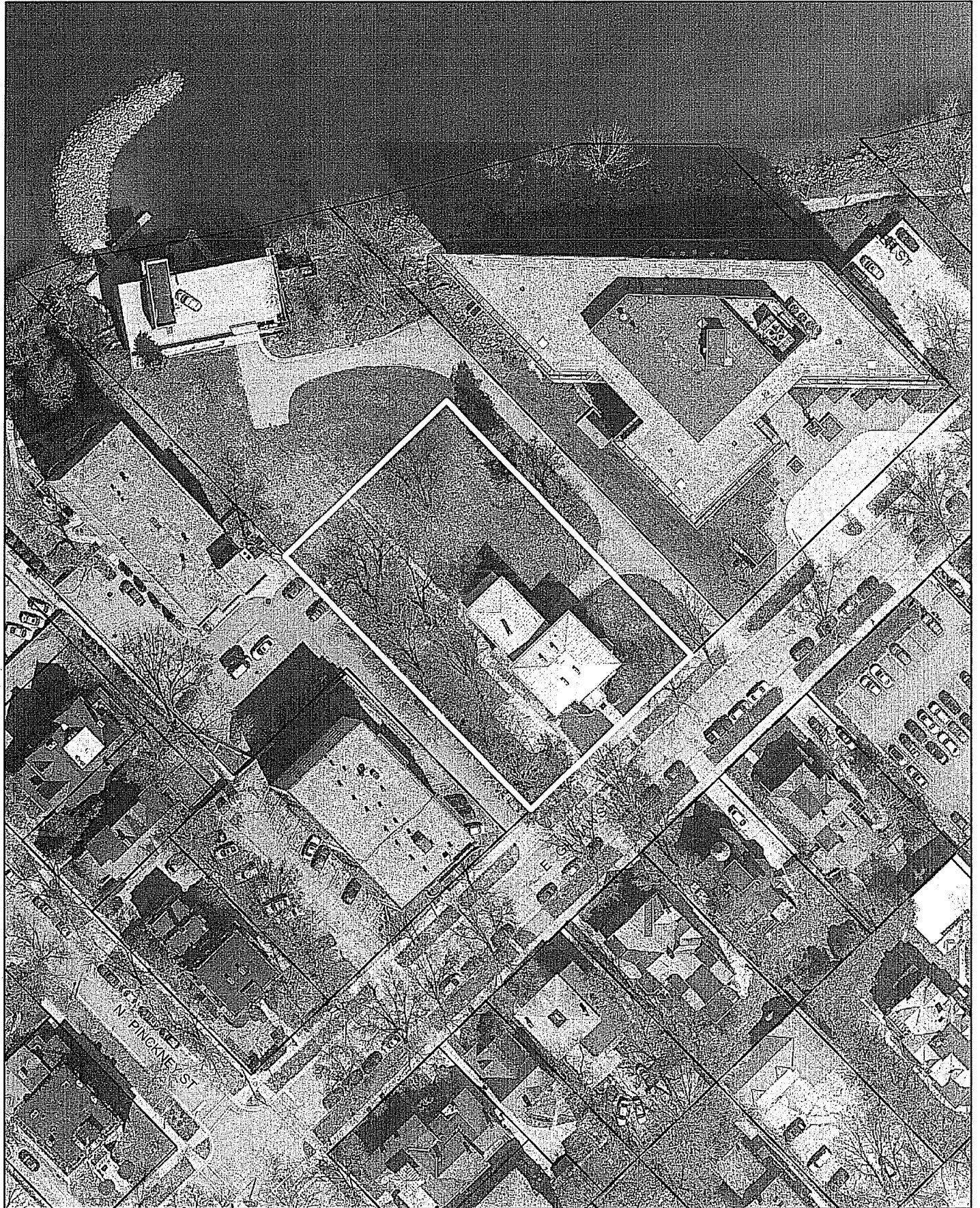


For Questions Contact: Colin Punt at: 243-0455 or cpunt@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : PPE : Date 23 August 2017



LAND USE APPLICATION

LND-B

City of Madison
Planning Division
126 S. Hamilton St.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid 1500 - Receipt # 31908-0008
Date received 6/28/17
Received by MJP
Parcel # 0709-144-0203-0
Aldermanic district 2- Z224805
Zoning district DR-1 ; His-L
Special requirements Nat'l Register; Mansion Hill
Review required by _____
 UDC PC
 Common Council Other _____
Reviewed By _____

All Land Use Applications must be filed with the Zoning Office at the above address.

This completed form is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application found on the City's web site.

1. Project Information

Address: 130 E Gilman St
Title: Governor's Mansion

2. This is an application for (check all that apply)

- Zoning Map Amendment (rezoning) from DR1 to PD
- Major Amendment to an Approved Planned Development-General Development Plan (PD-GDP) Zoning
- Major Amendment to an Approved Planned Development-Specific Implementation Plan (PD-SIP)
- Review of Alteration to Planned Development (PD) (by Plan Commission)
- Conditional Use or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other requests

3. Applicant, Agent and Property Owner Information

Applicant name Robert KLEBBA Company GA
Street address 704 E Gorham St City/State/Zip Madison 53703
Telephone 608 209 8100 Email bob.klebba@gmail.com
Project contact person Same Company _____
Street address _____ City/State/Zip _____
Telephone _____ Email _____
Property owner (if not applicant) same
Street address _____ City/State/Zip _____
Telephone _____ Email _____

4. Project Description

Provide a brief description of the project and all proposed uses of the site:

Conversion of historic house to hotel

Scheduled start date Sept 2017 Planned completion date May 2018

5. Required Submittal Materials

Refer to the Land Use Application Checklist for detailed submittal requirements.

- Filing fee
- Land Use Application
- Letter of intent ?
- Legal description of CSM ?
- Pre-application notification
- Vicinity map Google
- Survey or existing conditions site plan Burse
- Development plans ?
- Land Use Application Checklist (LND-C)
- Supplemental Requirements ?
- Electronic Submittal*

*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to pcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

For concurrent UDC applications a separate pre-application meeting with the UDC Secretary is required prior to submittal. Following the pre-application meeting, a complete UDC Application form and all other submittal requirements must be submitted to the UDC Secretary. An electronic submittal, as noted above, is required. Electronic submittals should be compiled on a CD or flash drive, or sent via email to udcappplications@cityofmadison.com.

6. Applicant Declarations

- Pre-application meeting with staff. Prior to preparation of this application, the applicant is strongly encouraged to discuss the proposed development and review process with Zoning and Planning Division staff. Note staff persons and date.

Planning staff Kevin Firchow Date 28 Jun 17

Zoning staff Matt Tucker Date 24 May 17 ?

- Demolition Listserv
- Public subsidy is being requested (indicate in letter of intent)
- Pre-application notification: The zoning code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), business association(s), AND the dates you sent the notices:

26 May 17

The alderperson and the Director of Planning & Community & Economic Development may reduce the 30-day requirement or waive the pre-application notification requirement altogether. Evidence of the pre-application notification is required as part of the application materials. A copy of the notification letters or any correspondence granting a waiver is required as part of the application materials.

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of applicant Robt KLEBBA Relationship to property owner

Authorizing signature of property owner [Signature] Date 28 Jun 17

Governor's Mansion Inn

Letter of Intent

Governor's Mansion Inn

130 E Gilman St

Bob Klebba and David Waugh

28 June 2017

Overview

We propose to convert the former Governor's Mansion/Executive Residence at 130 E Gilman St to an 8-room hotel with an event space and café. The building was most recently used as the Knapp House, a graduate student residential scholarship program, and is being sold after being vacant for the past 4 years. It will be exciting to reopen the grand Victorian spaces on the first floor to the public. The building is registered as a national historic landmark and is the location for many significant developments in Madison's and Wisconsin's history.

We have over 4 years' experience operating the Mendota Lake House B&B in the historic Wm & Dora Collins House at 704 E Gorham St. Our business model focuses on exploring the historic nature of the building in its neighborhood, all while providing a range of room rates. We feel strongly that everyone should be able to enjoy our local historic buildings such as hipsters enjoying the local music scene to tourists from overseas travelling in the Midwest to scholars visiting the University of Wisconsin.

The current layout of the Governor's Mansion suits our proposed use well. Our collaboration with the Wisconsin State Historical Society will allow us to bring the building up to code and preserve the look and the feel of the former Governor's Mansion. We intend to decorate it as a house museum, celebrating its history including the birth of the Wisconsin Idea with Robert La Follette up to the Knapp House scholar program.

Our proposal conforms to the City of Madison Downtown Plan. "Objective 7.1: Preserve historic buildings and groupings of buildings that contribute to the essential character of Downtown and its neighborhoods." Not only will important interior features of the house be maintained and restored, but the exterior and the surrounding landscape will be preserved.

Review of Changes

Conversion to hotel

The layout for hotel accommodations is well defined on the second floor with 7 existing bedrooms. The eighth bedroom on the first floor will be accessible. 5 guest bathrooms will need to be added. 2 additional restrooms will be added to accommodate events. Other remodeling includes changing the kitchen space for a café business and adding an accessible access on the west side of the building.

Mechanicals

Structurally, the building is sound and has been well maintained by the University for the past 50 years

Governor's Mansion Inn

and by the State for the previous 80. Our proposed commercial use will require some major mechanical changes. A sprinkler system and zoned air conditioning will be installed throughout. The 125A electrical service will need updating and plumbing will be added for the new bathrooms.

Accessibility

A sidewalk will be added from the accessible parking on the southwest side of the building to allow access from the southwest entrance. From this point access can be made to the event space in the front of the building and to the accessible guest room in the rear.

Historic preservation – Interior

None of the key remaining architectural features will be changed. The kitchen/service area on the first floor will be completely remodeled; however the dining room, parlor and living room will be restored to their original use. On the second floor, 2 bedrooms will be slightly reconfigured to add bathrooms, and a short hallway will be moved to add 2 more. The grand staircase will be preserved.

On-site Parking

We will be adding 7 car parking spaces to the existing 3 on site. There is an existing 2-space parking lot on the southwest side of the building and the northeast side has a driveway with one parking spot. The southwest parking lot will have one accessible parking spot. We intend to install a 10 unit bike rack on the southwest side of the building. Fiore Companies will make their surface parking lot at 139 E Gilman St available after business hours for events at the Governor's Mansion.

Café

Along with the kitchen remodel, we will be adding a small café to accommodate guests and the general public. The café space will be in the dining room, behind the parlor and living room. The café will serve non-alcoholic beverages and local bakery items and will be open from 6:30 am to 2:00 pm, seven days a week. Most café patrons will be expected to arrive on foot or bike. Patrons in cars will park in the street, bikers will use the provided bike parking.

Longer term lodging

We expect to accommodate guests longer than 30 days in December through March. Otherwise most rooms will be rented on a nightly basis with an average occupancy of 2 days.

Caretaker's quarters

Caretaker's quarters will be constructed in an exposed basement room. The room has an outside door and will be completely separated from the hotel and café operation.

Existing Site Conditions

The Governor's Mansion is located in the Mansion Hill Local Historic District. The street view shows an Italianate Victorian mansion, one of only two remaining on northwest side of the street in the 100 block of E Gilman. To the southwest are Haase Towers (116 E Gilman), a 7-story apartment building and Lakeshore Apartments (122 E Gilman), an 8-story apartment building. To the northeast is the Verex Building (150 E Gilman), a 7-story office building. Behind the site, is the University Lifesaving Station (144 E Gilman). The driveway on the northeast side of the building serves both this property and the Governor's Mansion.

Size of existing structure

The Governor's Mansion is a 2-story building with a full unfinished basement. There is a partial unfinished attic. The first floor is 277.6 sqm / 2988 sqft, the second floor is 269.5 sqm / 2901 sqft. The total finished space is 547.1 sqm / 5889 sqft.

Project Schedule

- Sept 2017 - City approval
- Sept 2017 – April 2018 - Interior construction/remodeling
- Oct/Nov 2017 - parking and accessible entrance
- May 2018 – open hotel
- June 2018 – finish caretaker's quarters

Phasing plan

All work will be completed in one phase.

Proposed uses

- Hotel
 - 8 rooms
 - Open 24/7/365
 - All rooms *en suite*
- Extended stay
 - Accommodation of guests for more than 30 days in December through March
- Café
 - Open every day, 6:30 am to 2:00 pm
 - Some food preparation on site
- Event space
 - Maximum 100 attendees
 - Primarily tied to hotel guests (e.g. weddings)
 - Outdoor events with tents such as wedding ceremonies limited to 12:00 – 4:00 pm
 - Maximum 12 events per year up to 100 attendees

Governor's Mansion Inn

- Maximum 25 events per year up to 40 attendees
- Total 37 events per year
- Caretaker's Quarters
 - A one-bedroom apartment located in the basement, with an exterior entrance.

Zoning Text

See attached

Vicinity Map

See attached

Economic impacts to the community

There should be no additional impacts to municipal services other than the upgrading of the water supply to accommodate the sprinkler system. The hotel use will generate City of Madison room tax in excess of \$25,000 when operating at normal occupancy.

Proof of financing capability

See attached

Public Subsidy

No subsidies from the City are requested. The redevelopment of this nationally registered historic site will qualify the owners for historic preservation tax credits.

Project Team

- Developers – Bob Klebba and David Waugh
- General Contractor – R M Glover Construction Services
- Architect – Glueck Architects
- Civil Engineer – Burse Surveying and Engineering
- Financing – McFarland State Bank

Site Plan

See attached site plan

Grading Plan

Grading changes will be required to accommodate parking on the northeast side of the building, see attached site plan. Additional parking on the southwest side of the building will cause very little or no change in grading.

Utility Plan

Governor's Mansion Inn

The Governor's Mansion is already served with electricity, telephone, water and sewer. The water service will need to be upgraded to support the sprinkler installation. Cable service will be added.

Landscape Plan, Landscape Worksheet

See attached.

Building Elevations

No changes will be made to the exterior of the building. Photos of the elevations are provided.

Floor Plans

See attached.

Fire Access Plan

East Gilman St will serve as the fire lane for this existing structure.

The nearest fire hydrant is at 150 E Gilman, 60 m /200 ft northeast from the site

The second closest fire hydrant is at 104 E Gilman, 100 m / 320 ft southwest from the site

The distance along a walkable path to the rear of the existing structure from the curb is 45 m / 150 ft. The rear of the building is the farthest access point.

Legal Description

Lot One (1), Certified Survey Map No. 14376 recorded in the Office of the Register of Deeds for Dane County, Wisconsin on November 1, 2016, in Volume 98 of Certified Survey Maps, Pages 186-189, as Document No. 5280981, located in the City of Madison, Dane County, Wisconsin. Parcel number 070914402030.

The size of the site is 29,104 sq ft. It is currently zoned DR-1 and the proposed zoning district is PD

Proof of pre-application notification

See attached copy of the email sent 26 May 17 to the District 2 alder, president and vice-president of Capital Neighborhoods, Inc. and City of Madison Planning.

Vicinity Map

See attached

Survey

See attached site map

Modification to Parking Requirements

We will be adding 7 car parking spaces to the existing 3 on site. There is an existing 2-space parking lot on the southwest side of the building and the east side has a driveway with one parking spot. The southwest parking lot will have one accessible parking spot. We intend to install a 10 unit bike rack on the southwest side of the building.

The driveway for the existing southwest parking area is 10 ft wide. Because this is an historic site, we are requesting from Traffic Engineering a parking driveway variance to maintain this width (see MGO 10.08). An increase in the width of paving in the front plane of the building would impinge on the historic landscape.

Transportation Plan for Governor's Mansion Inn

The off-street parking will serve the hotel guests on a daily basis. 95% of our guests will arrive by private motorized vehicle, the remainder by taxi, bus, or bike. Hotel guests expect on-site parking and the 9 conventional and 1 accessible spaces will meet the needs of the guests and our live-in caretaker.

There can be up to 12 large events per year. We have arranged for parking in the Fiore Companies' 38-space surface parking lot across the street from the Governor's Mansion for these large events. Because some of the attendees will be hotel guests, up to 90 attendees will be coming from elsewhere. Cars will have more than one person, so the surface lot will accommodate most of the event attendees. The remaining attendees will be encouraged to park at the nearby parking garages and discouraged from using private off-street parking.

Smaller events will include catered luncheons and dinners. With no more than 40 people at these events, most of the attendees arriving by motorized vehicle will be encouraged to find parking in a nearby parking garage. These events will have an impact on local free street parking, however they will not last more than 2-3 hours.

Large Events - Events up to 100 people will be required to include the following text with directions to the site

**Arrival at the Governor's Mansion Inn
130 E Gilman St, Madison WI 53703**

By car: event attendees are welcome to use the Verex Plaza surface parking lot across the street from the Governor's Mansion Inn at 139 E Gilman St. The code for entering and exiting the lot is _____. If the surface lot is full, the Capitol Square North parking garage is 3 blocks away on N Butler St between E Johnson St and E Mifflin St. Public parking is also available at the Edgewater Hotel at 666 Wisconsin Ave. Street parking is limited, has a 2-hour limit during the day, and is difficult to find in the evening. Please do not use any private parking in any of the adjacent apartment buildings.

By bike: Bike racks are provided on the southwest (left) side of the building. BCycle kiosks are located at Mansion Hill Inn, 424 N Pinckney St and James Madison Park, 472 E Gorham St.

Governor's Mansion Inn

By bus: The closest bus stop is on N Hamilton St at E Gorham St. Routes 2 and 5 stop here weekdays and weekends. Be aware that east-bound buses stop at N Hamilton St just south of E Johnson St. On weekdays, routes 10, 27 and 28 stop on E Gorham St and E Johnson St at N Pinkney St. Otherwise, many more bus routes can be accessed from the capitol square only 4 blocks away (520 m / 1700 ft).

By foot: We are located about 600 m (2000 ft) from the Wisconsin State Capitol or 750 m (2500 ft) from State St. The University of Wisconsin Memorial Union is a 16 minute walk (1300 m / 0.8 mile)

Small Events -Events up to 40 people will be required to include the following text with directions to the site

Arrival at the Governor's Mansion Inn 130 E Gilman St, Madison WI 53703

By car: Street parking is limited, has a 2-hour limit during the day, and is difficult to find in the evening. The Capitol Square North parking garage is 3 blocks away on N Butler St between E Johnson St and E Mifflin St. Public parking is also available at the Edgewater Hotel at 666 Wisconsin Ave. Please do not use any private parking in any of the adjacent apartment buildings.

By bike: Bike racks are provided on the southwest (left) side of the building. BCycle kiosks are located at Mansion Hill Inn, 424 N Pinckney St and James Madison Park, 472 E Gorham St.

By bus: The closest bus stop is on N Hamilton St at E Gorham St. Routes 2 and 5 stop here weekdays and weekends. Be aware that east-bound buses stop at N Hamilton St just south of E Johnson St. On weekdays, routes 10, 27 and 28 stop on E Gorham St and E Johnson St at N Pinkney St. Otherwise, many more bus routes can be accessed from the capitol square only 4 blocks away (520 m / 1700 ft).

By foot: We are located about 600 m (2000 ft) from the Wisconsin State Capitol or 750 m (2500 ft) from State St. The University of Wisconsin Memorial Union is a 16 minute walk (1300 m or 0.8 mile)

Zoning Text
Governor's Mansion Inn
130 E. Gilman St.
August 28, 2017

Legal Description: Lot 1 of Certified Survey Map No. 14376 as Recorded in Dane County Register of Deeds in Vol. 98 Page 186 Of Certified Surveys.

- A. **Statement of Purpose:** The purpose of this Planned Development district is to create a regulatory framework to allow for the conversion of an existing structure to an 8-room hotel, restaurant, and event space, with a caretaker's dwelling.
- B. **Permitted Uses, as otherwise defined in Sec 28.211:**
1. Hotel,
 2. Allow for extended-stay occupancy of a tourist or transient guest to exceed the 30-day limit of occupying a hotel room,
 3. Restaurant,
 4. Caretaker's Dwelling, and
 5. Activities in the Outdoor Event Space, to be allowed per the approved Event Management Plan and subject to the Plan Commission's continuing jurisdiction over Conditional Uses, per Sec 28.183(9)(d).
- C. **Lot Area, Yard Requirements, Landscaping, Lighting, Parking and Loading:** As shown on approved plans.
- D. **Signage:** Signage will be allowed as per Chapter 31 of the Madison General Ordinances, as compared to the UOR district.
- E. **Family Definition:** The definition of family for this PD district shall coincide with the definition in Chapter 28.211 of the Madison General Ordinances for the SR-C1 zoning district.
- F. **Alterations and Revisions:** No alteration or revision of this planned unit development shall be permitted unless approved per Sec 28.098(6).

Event Management Plan
Governor's Mansion Inn
130 E. Gilman St.
August 28, 2017

Event Types & Frequency

1. Two types of events will be permitted at the Governor's Mansion Inn:
 - a. Large-Outdoor Events will include hotel guests and thus the hotel operation. Up to 12 Large-Outdoor Events will be permitted per year.
 - b. Small-Indoor Events may not necessarily include hotel guests and may not necessarily be accessory to the hotel operation. Up to 25 Small-Indoor Events will be permitted per year
 - c. Governor's Mansion Inn owners or staff will have a registry available on-site for inspection, indicating the dates and times of events, number of attendees. The registry shall include all event information from the current registry year and the year immediately prior.

Hours of Operation

1. Large-Outdoor Events: permitted outdoors during the hours of 12:00 p.m. and 4:00 p.m. Events are permitted to occur or continue inside the Governor's Mansion Inn building during the hours of 12:00 p.m. and 11:00 p.m.
2. Small-Indoor Events: permitted between the hours of 8:00 a.m. and 11:00 p.m.

Location

1. Large-Outdoor Events may occur outside between 12:00 p.m. and 4:00 p.m. behind the rear plane of the Governor's Mansion Inn building. Large-Outdoor must occur or be moved indoors after 4:00 p.m.
 - a. If a Large-Outdoor Event is to be held within a tent, tent placement must be within the permitted tent location area indicated on the approved Tent Site Plan.
 - b. Tents and other outdoor amenities associated with the outdoor events may be erected no earlier than 48 hours before the event begins and must be removed with 48 hours of the event's completion. Tent erection and removal must occur between 7:00 a.m. and 7:00 p.m.
 - c. Final tent location and setup must be approved by the Fire Department.
 - d. The Inn's caretaker, staff, or a contracted security firm shall provide regular surveillance of the tent site while an event tent is erected.

Event Capacity

1. The total number of event attendees shall be limited to 100 persons for Large-Outdoor events and 40 persons for Small-Indoor events, or as further limited by building and fire codes.
2. To ensure compliance with guest number limitations, Governor's Mansion Inn owners or staff will communicate the maximum number of attendees to the event organizer/customer when the event is initially planned.

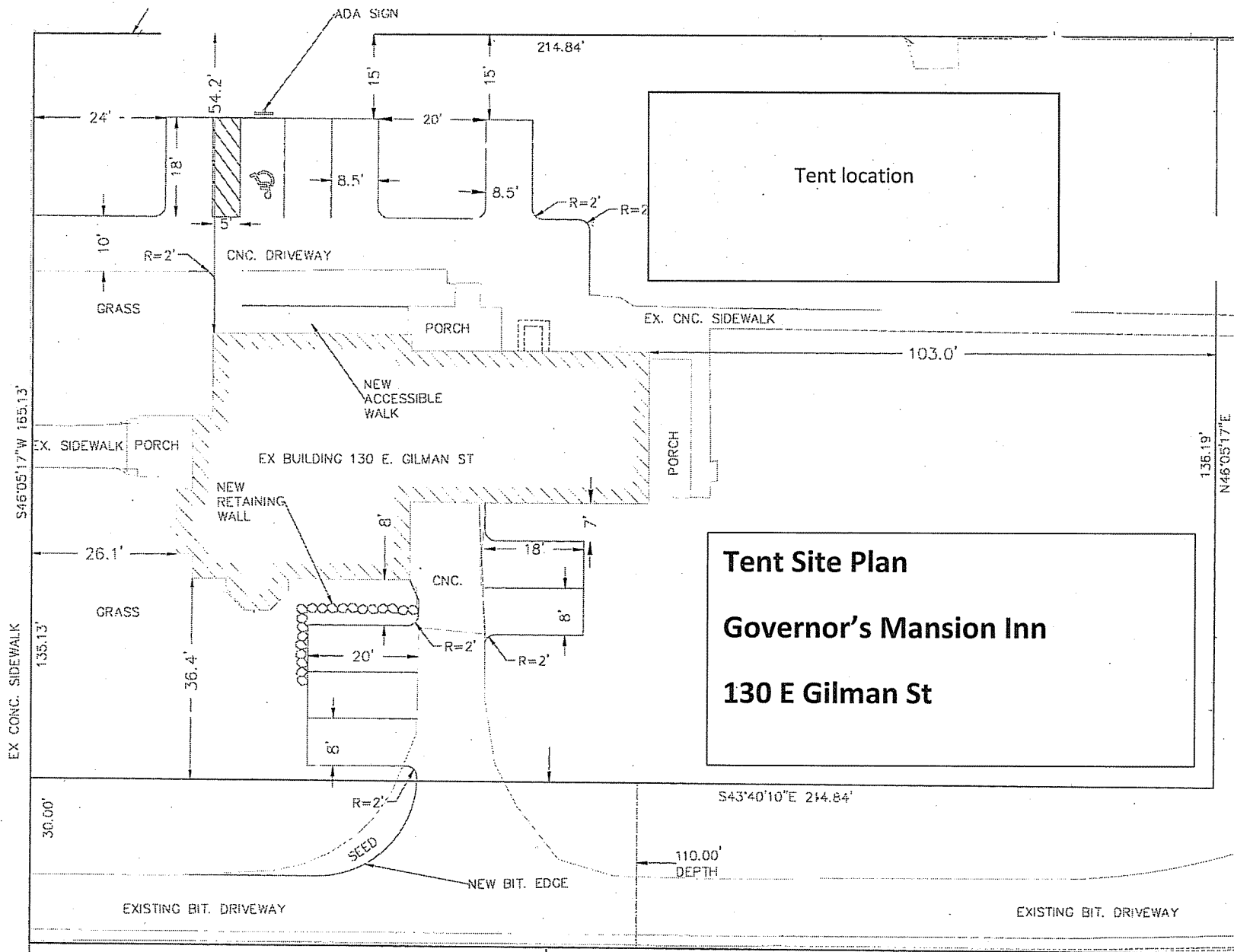
Noise

Outdoor acoustic music is allowed associated with the outdoor events. Amplified sound or music will not be allowed outdoors.

Parking

1. For the (up to) twelve (12) Large-Outdoor Events, the Governor's Mansion Inn will contract with the Fiore Companies for use of the 38-space surface parking lot at 139 E. Gilman Street or provide sufficient off-street parking in another location and provide shuttle service if necessary. Any remaining attendees arriving by private vehicle after the parking lot is full will be encouraged to park at the nearby parking garages and discouraged from using private off-street parking facilities.
 - a. The hotel owner shall prepare and provide alternative parking and transportation instructions for the events, which shall include the following:
 1. Attendees arriving by personal vehicle for the (up to) twenty-five (25) Small-Indoor Events will be encouraged to find parking in a nearby public parking garage.
 2. Include information regarding availability of Verex lot, parking garages at Capitol Square North and Edgewater and other public off-street parking facilities that become available in the area over time.
 3. Indicate prohibition against parking in private lots and will discourage use of on-street parking.
 4. Note location of bus stops and provide information about bus routes.
 5. Note walking distances from nearby spots (such as Capitol, parking garages, Overture, etc.)
 6. Provide information on Bicycle Sharing stations.

81



Lake Mendota

Governor's Mansion Inn, 130 E Gilman St

Univesity
Lifesaving Station
144 E Gilman

James Madison Park

Verex Plaza
150 E Gilman

Lakeshore Apartments
122 E Gilman

Governor's
Mansion Inn
130 E Gilman

* fire hydrant

Verex
Plaza
Parking Lot
139 E Gilman St

Haase Towers
116 E Gilman

* fire hydrant

N Pinckney St

E Gilman St

N Pine

E Gilman St

E Gilman St

N Butler St

E Gorham St

E Gorham St

Bmc

Gates of He

6/22/2017

Governor's Mansion Inn, 130 E Gilman St
Gmail - 130 E Gilman St, 30-day preapplication notification



Bob Klebba <bob.klebba@gmail.com>

130 E Gilman St, 30-day preapplication notification

1 message

Bob Klebba <bob.klebba@gmail.com>

Fri, May 26, 2017 at 12:07 PM

To: "Zellers, Ledell" <district2@cityofmadison.com>, president@capitolneighborhoods.org, snegrin212@gmail.com, "Tucker, Matthew" <MTucker@cityofmadison.com>, "Firchow, Kevin" <KFirchow@cityofmadison.com>

Cc: David Waugh <dpwaugh@gmail.com>, Jim Glueck <glueckarch@sbcglobal.net>

to: Alder Zellers, CNI, Planning staff

We intend to apply for a zoning map amendment to the PD district (from DR-1). We will be converting the Governor's Mansion, previously the residence of the Knapp House scholars, to a small hotel.

Our land use application will be submitted by 28 June.

Bob Klebba & David Waugh

--

Bob Klebba
704 E Gorham St
Madison WI 53703-1522
608-209-8100
www.morningwoodfarm.com
www.mendotalakehouse.com



June 26, 2017

Mr. Bob Klebba
704 E. Gilman St.
Madison, WI 53703

RE: 130 East Gilman Street – Parking Issues

Dear Bob,

Please allow this letter to serve as verification of our recent discussion regarding special event parking for the hotel you are planning at 130 East Gilman Street. As you know, we own the surface lot at 139 East Gilman, in addition to the Verex Plaza building at 150 East Gilman. While our surface parking stalls are leased to tenants for their exclusive use, we do believe that we can provide assistance to your operation for a small number of special events. Specifically, we have discussed the following:

- Controlled access to the surface lot at 139 East Gilman for up to 12 events per year. Use is limited to times and days outside of normal business hours and must be approved in advance. Approval will be dependent upon tenant demand and our business needs during that same time period.
- Each event would be assigned a unique access code to be used to gain access to the lot. This code would expire after the event to maintain control over access.
- A per event usage fee of \$500 will be payable in advance of the event.

As you approach the opening of the property in mid-2018, we can work on a simple license agreement to be used for each event, which will indicate date, time, fee, access code and liability limitations.

We wish you the best of luck as you move forward with this exciting project. We look forward to having you as a neighbor.

Sincerely,

WEST WASHINGTON ASSOCIATES LLC
By: Fiore Companies, Inc., Management Agent

A handwritten signature in black ink that reads "Stacy M. Nemeth". The signature is written in a cursive, flowing style.

Stacy M. Nemeth
Chief Operating Officer

150 East-Gilman Street
Suite 1600
Madison, WI 53703

phone: 608-255-5060
fax: 608-255-8780
www.fiorecompanies.com



Community Banking Since 1904

June 21st, 2017

Governors Mansion LLC
Robert Klebba
704 E Gorham St
Madison, WI 53703

Re: Construction financing for 130 E. Gilman St., Madison, WI f/k/a "The Old Governors Mansion"

Dear Mr. Klebba,

McFarland State Bank ("the Bank") is pleased to express its interest in the loan transaction described in this letter. This letter is not intended to be a commitment to lend on the Bank's part, but is intended to serve as a pre-qualification of financing for the transaction described above based on preliminary analysis performed by the Bank related to construction budget, equity capacity of borrowers and property information provided. Full due diligence underwriting, final budget review and City approvals will be considered prior to the Bank determining whether to issue a commitment to lend.

If you have any questions, please call me at 608-838-5040. We appreciate the opportunity and look forward to proceeding with further loan due diligence.

Sincerely,

A handwritten signature in black ink, appearing to read "Dan Carey", is written over a light blue horizontal line.

Dan Carey
Assistant Vice President Commercial Lending
McFarland State Bank
608-838-5040



www.msbonline.com

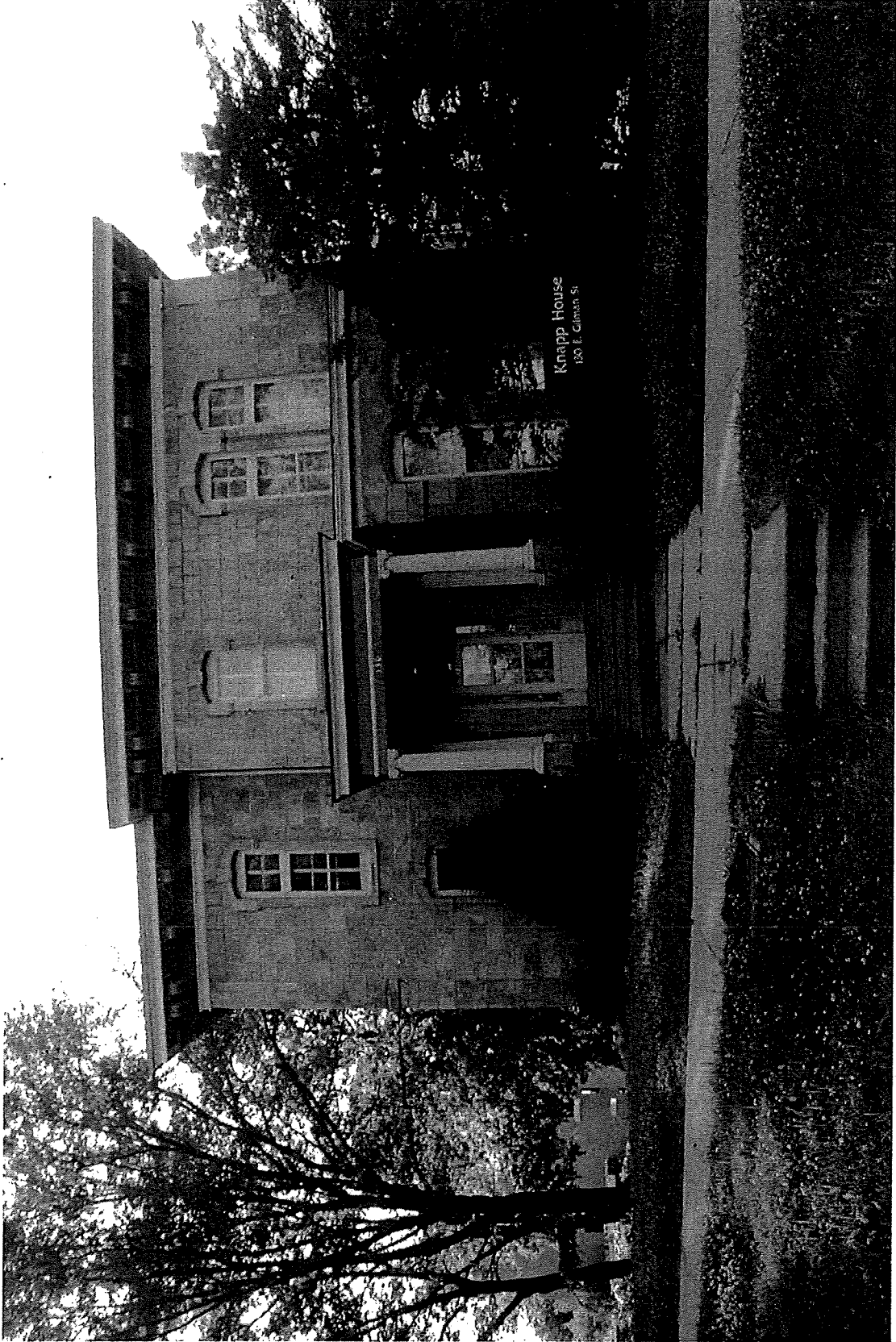


McFarland
5990 U.S. Highway 51
McFarland, WI 53558
Office: 608.838.3141
Fax: 608.838.4450

Stoughton/Downtown
207 South Forrest Street
Stoughton, WI 53589
Office: 608.873.6681
Fax: 608.873.6920

Stoughton/Lake Kegonsa
3162 County Road B
Stoughton, WI 53589
Office: 608.873.2010
Fax: 608.873.0527

Sun Prairie
2580 Ironwood Drive
Sun Prairie, WI 53590
Office: 608.837.2911
Fax: 608.837.2924



Southeast elevation



Northeast elevation left

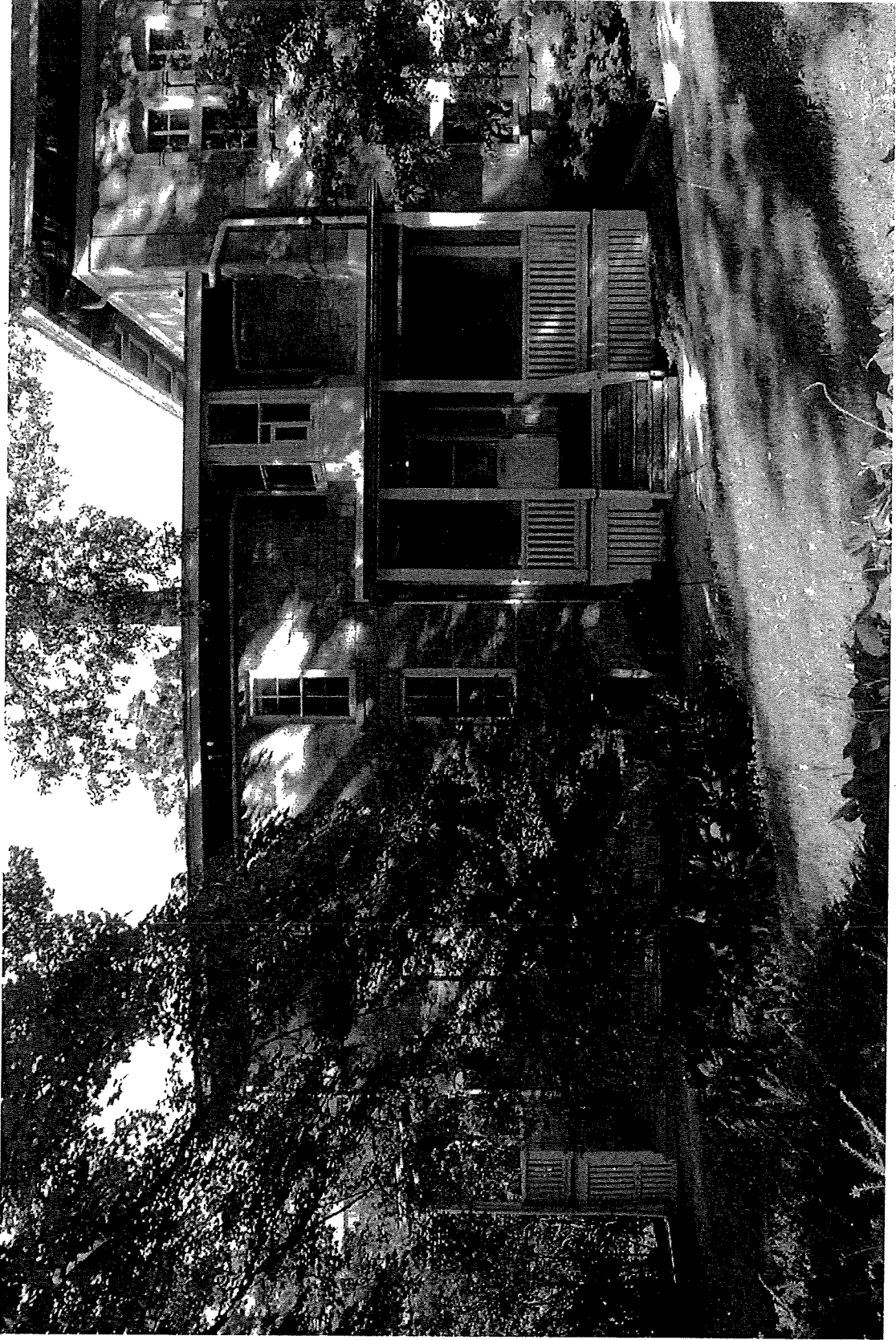
Governor's Mansion Inn, 130 E Gilman St



Northeast elevation right



Northwest elevation



Southwest elevation left



Southwest elevation right

Landscaping Schedule – Governor’s Mansion, 130 E Mifflin St

		points
Adding		1110
1	PoS Picea omorika ‘Skylands’ #10	15
9	Pv Panicum virgatum #1	2
1	Cj Cercidiphyllum japonicum ‘Rotfuchs’ #10	15
1	xAp Acer platanoides existing	100
5	TC Taxus cuspidata ‘Capitata’ #5	10
1	xUp Ulmus pumila existing	100
3	xQr Quercus rubra existing	160
1	xAs Acer saccharum existing	160
1	xEa Euonymous alata existing	3
5	SbT Spiraea betulifolia ‘Tor’ #3	3
10	HSS Hosta ‘Sum and Substance’ #1	2
3	BGV Buxus ‘Green Valley’ #3	3
4	Hal Hydrangea aborescens ‘Incrediball’ #1	2
2	Ad Aruncus dioicus #1	2
1	BGM Buxus ‘Green Mountain’ #3	3
2	xSv Syringa vulgaris existing	3
2	xSp Syringa patula ‘Miss Kim’ existing	3
2	xT Taxus low growing existing	3
1	xTc Taxus cuspidate ‘Capitata’ existing	4
1	MRJ Malus ‘Red Jade’ #7	15
1	xHv Hamamelis virginiana existing	3
2	xPm Pseudotsuga menziesii existing	35
Removing		-423
-1	Cotoneaster	3 parking
-1	Hamamelis virginiana	15 parking
-1	Acer saccharinum	160 weed tree
-1	Cornus mas	15 parking
-3	Taxus	20 end of life issues
-1	Acer platanoides	160 significant inclusion, hazardous
-2	Thuja occidentalis	10 replaced with Taxus cuspidata ‘Capitata’
1	Juniperus chinensis	10 accessible walk
total		687
points required, 29104 sq ft		485

**Amendments to Letter of Intent
Governor's Mansion Inn
130 E Gilman St**

14 August 2017

Parking change

At the 7 June UDC meeting, we discussed the location of the parking lot. Commissioners expressed concern about removing an elm tree with the proposed parking lot configuration. In our Land Use Application submitted 28 June, we put the last parking space on the other side of the elm tree. After having spent some time in the property, we are less concerned about this elm's contribution to the tree canopy given the proximity of mature red oaks, sugar and Norway maples.

Furthermore, we are embarrassed to acknowledge that in early June, we mistook this Siberian elm for an American elm (*Ulmus americana*). Bob has served on a Species Assessment Group in the last round of evaluations required by the NR 40 rule and we are both dedicated to controlling invasive plants where possible. The Siberian elm is "restricted" in Wisconsin, which means that no part of the species can be sold, planted or transported here. Descriptions of the Siberian elm from the Missouri Botanical Garden and the Wisconsin Department of Natural Resources are included in this Amendment.

Because of the less awkward parking configuration and the control of an undesirable invasive species, we are now proposing to remove the Siberian elm (*U. pumila*)

More information on accessible walk

The berm on the SW side of the house will extend 10' from the house to the parking area. We are still researching the right geotextiles and their placement to protect the sandstone foundation from the concrete walk and from trapped moisture in the berm. The three downspouts will be drained underground and away from the house.

Another issue is the interface between the walk and the porch. We will need to wrap the berm retaining wall toward the house and against the southeast part of the porch. We have not decided whether we bring the wood porch floor surface out over the retaining wall or extend the concrete walk over the retaining wall at this point. The current porch railing will be opened to provide access to the walk. Because there will be 4.5' of landscaping between the walk and the retaining wall on the parking side, we will not need to add railing along accessible walk.

Changes to SW porch

As indicated in the Land Use Application, the SW porch floor will be reconstructed to allow for an accessible entrance. The floor will be raised approximately 8" and the deteriorating stairs and floor will be replaced. Some structural changes may be required for the accessible walk berm interface but will not be visible. The current paint colors will be maintained (blue and cream).

Webpage on Siberian Elm from Missouri Botanical Garden website:

<http://www.missouribotanicalgarden.org/PlantFinder/PlantFinderDetails.aspx?kempercode=a925>

This plant is listed as an exotic invasive species to Missouri and the Midwest by the Midwest Invasive Plant Network. The species should not be planted in the Midwest.

Culture

Grow in average, dry to medium, well-drained soils in full sun. Tolerant of light shade. Prefers rich, moist loams. Adapts to both wet and dry sites. Tolerant of poor soils. Generally tolerant of urban conditions. Freely self-seeds.

Noteworthy Characteristics

Ulmus pumila, commonly called Siberian elm, is a fast-growing, weak-wooded, deciduous tree that typically grows to 50-70' tall with broad upright habit. In the wild, it is sometimes seen in a shrubby form. It is primarily found in moist soils along streams from eastern Siberia to China. It was once widely planted in the U. S. because of its toughness, rapid growth, ability to thrive under arduous growing conditions and resistance to Dutch elm disease. Insignificant small reddish flowers appear in spring before the foliage emerges. Flowers give way to single-seeded wafer-like samaras (each tiny seed is surrounded by a flattened circular papery wing). Seeds mature in April-May as the leaves reach full size. Elliptic to oblong leaves (to 2-3" long) are smooth dark green above and glabrous beneath, with acuminate tips, serrate margins and nearly symmetrical bases. Leaves typically turn an undistinguished dull yellow in fall.

Genus name comes from the Latin name.

Specific epithet means dwarf in reference to the small leaves and sometimes small shrubby habit.

Problems

Branches are weak-wooded, brittle and easily damaged by strong winds and winter ice/snow. Resistant but not immune to Dutch elm disease and phloem necrosis. Various wilts, rots, cankers and leaf spots may occur. Elm leaf beetles may significantly damage the foliage. Other insect visitors include borers, leaf miner, beetles, mealy bugs, caterpillars and scale.

Garden Uses

Siberian elm is not recommended for landscape use today because of its weak, easily damaged limbs and branches, its susceptibility to numerous insect and disease pests, and its general lack of ornamental interest. It could be effectively grown in poor soils, as a windbreak, or along slopes for erosion control where ornamental features are not an issue.

Webpage from Wisconsin DNR website:

<http://dnr.wi.gov/topic/Invasives/fact/SiberianElm.html>

Siberian elm (*Ulmus pumila*)

A fast growing tree that grows to be 50-70' tall. The bark is gray-brown bark with furrows at maturity. Twigs and leaves are nearly hairless, with black hairs on the bud scales.



This species is Restricted (Orange counties)

Other names for this plant include:

- Common names: littleleaf elm, dwarf elm
- Scientific names: *Ulmus campestris* var. *pumila*; *U. manshurica*; *U. turkestanica*

Ecological threat:

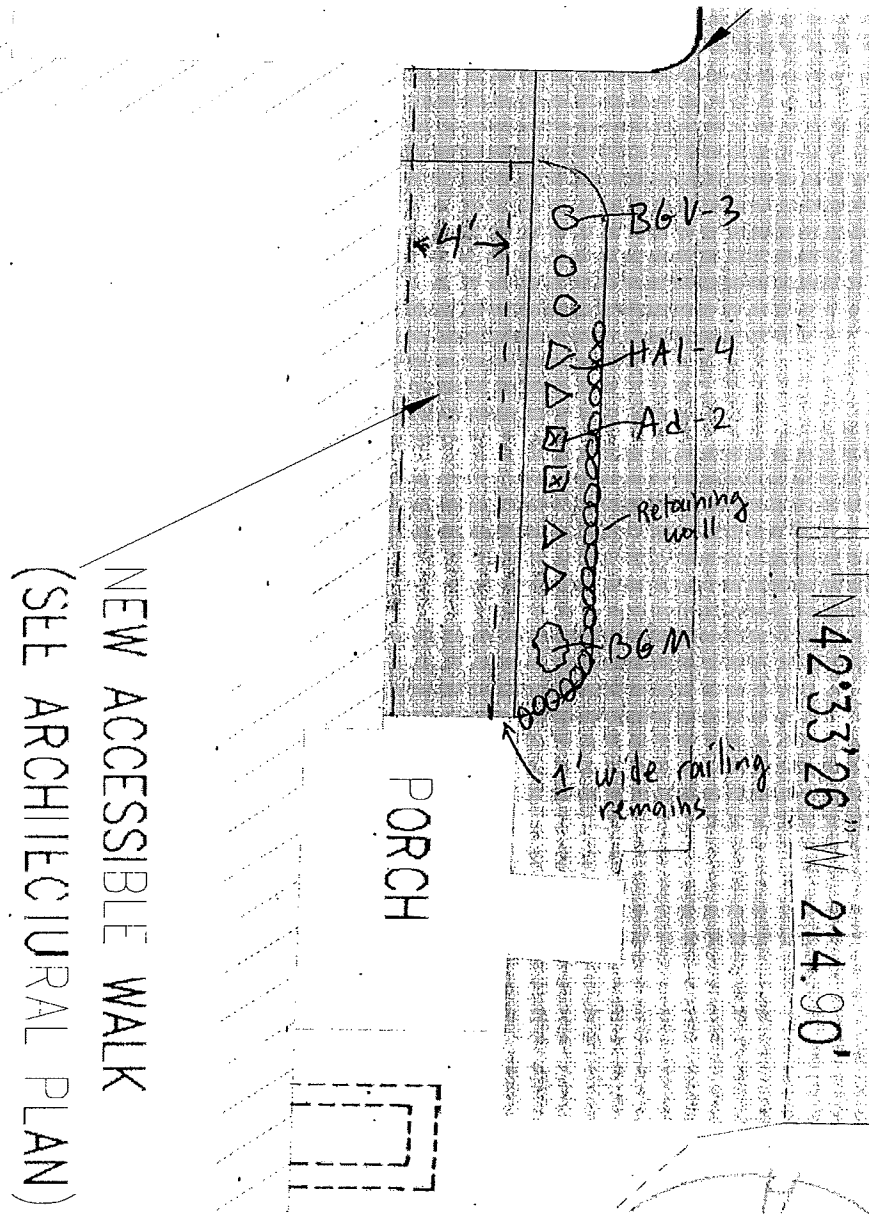
- Tolerates a wide variety of growing conditions including extreme temperatures, nutrient-poor soils and low moisture.
- Can be found along roadsides, in pastures and grasslands, stream banks, and prairies.
- Due to fast development and germination of seeds, dense thickets form rapidly, displacing native vegetation and reducing forage for native fauna.

Classification in Wisconsin: Restricted (hybrids and individuals used as rootstock are exempt)

Species Assessment Groups (SAG) were assembled to recommend a legal classification for each species considered for NR 40. The recommendation for Siberian elm was based upon this literature review developed by the department.

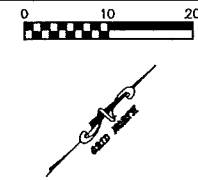
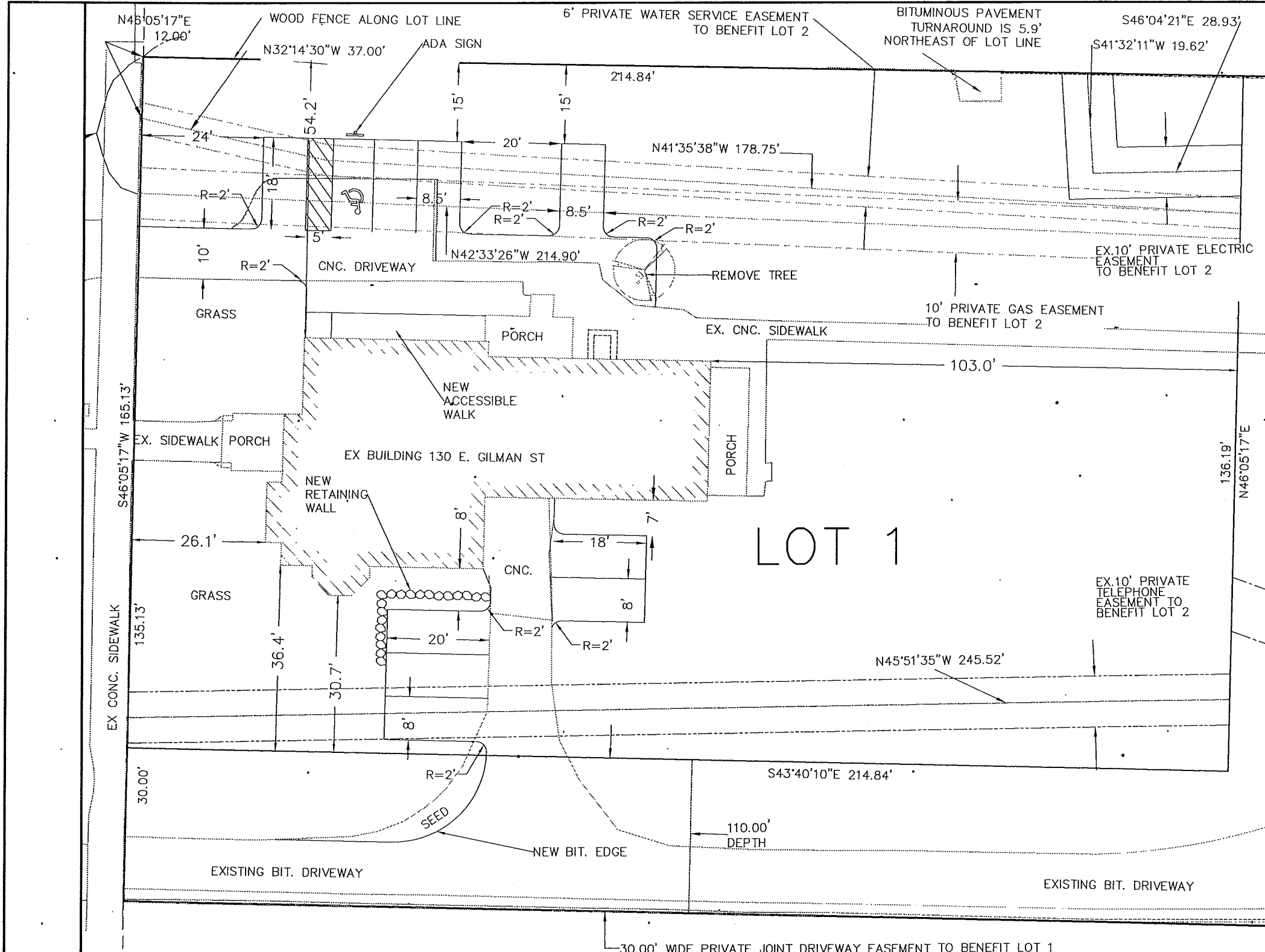
Accessible walk detail

130 E Gilman St



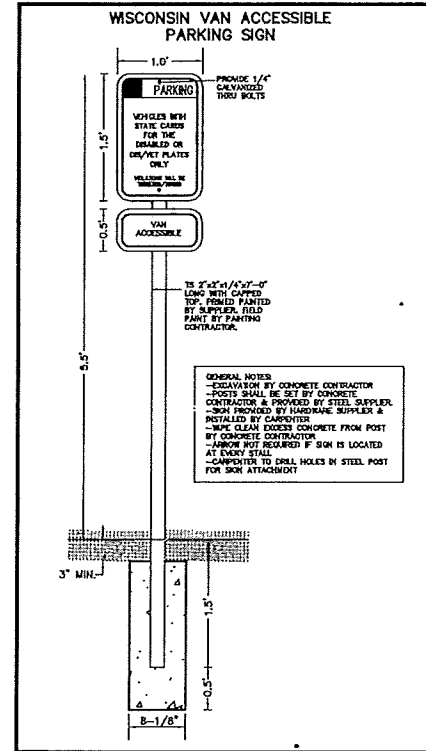
Landscaping Schedule – Governor’s Mansion, 130 E Mifflin St
 amended 16 Aug 17

		points
Adding		172
1	PoS Picea omorika ‘Skylands’ #10	15
9	Pv Panicum virgatum #1	2
1	Cj Cercidiphyllum japonicum ‘Rotfuchs’ #10	15
5	TC Taxus cuspidata ‘Capitata’ #5	10
5	SbT Spiraea betulifolia ‘Tor’ #3	3
10	HSS Hosta ‘Sum and Substance’ #1	2
3	BGV Buxus ‘Green Valley’ #3	3
4	Hal Hydrangea aborescens ‘Incrediball’ #1	2
2	Ad Aruncus dioicus #1	2
1	BGM Buxus ‘Green Mountain’ #3	3
1	MRJ Malus ‘Red Jade’ #7	15
Existing		998
1	exAp Acer platanoides existing	100
1	exHv Hamamelis virginiana existing	3
2	exPm Pseudotsuga menziesii existing	35
4	exQr Quercus rubra existing	160
1	exAs Acer saccharum existing	160
1	exEa Euonymus alata existing	3
2	exSv Syringa vulgaris existing	3
2	exSp Syringa patula ‘Miss Kim’ existing	3
2	exT Taxus low growing existing	3
1	exTc Taxus cuspidata ‘Capitata’ existing	4
Removing		-543
-1	Cotoneaster	3 parking
-1	Hamamelis virginiana	15 parking
-1	Acer saccharinum	160 weed tree on sanitary lateral
-1	Cornus mas	15 parking
-1	Ulmus pumila existing	100 invasive weed tree/parking
-3	Taxus	20 end of life issues
-1	Acer platanoides	160 significant inclusion, hazardous
-2	Thuja occidentalis	10 replaced with Taxus cuspidata ‘Capitata’
-1	Juniperus chinensis	10 accessible walk
total		627
points required, 29104 sq ft		485



GENERAL NOTES:

1. PAVEMENT MARKINGS AND SIGNAGE PERTAINING TO ACCESSIBLE PARKING STALLS AND ROUTES SHALL CONFORM TO CURRENT ADA REGULATIONS
2. PAVEMENT DESIGN SHALL BE PER THE RECOMMENDATION OF THE SOILS CONSULTANT
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
4. ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON'S STANDARD SPECIFICATION.
5. ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY APPROVED CONTRACTOR.



GOVERNOR'S MANSION,
 130 E. GILMAN STREET
 MADISON, WI 53703
BOB KLEBBA
 704 E. Gorham Street
 Madison, WI 53707-1522

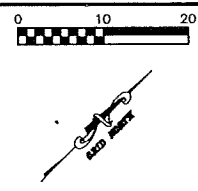
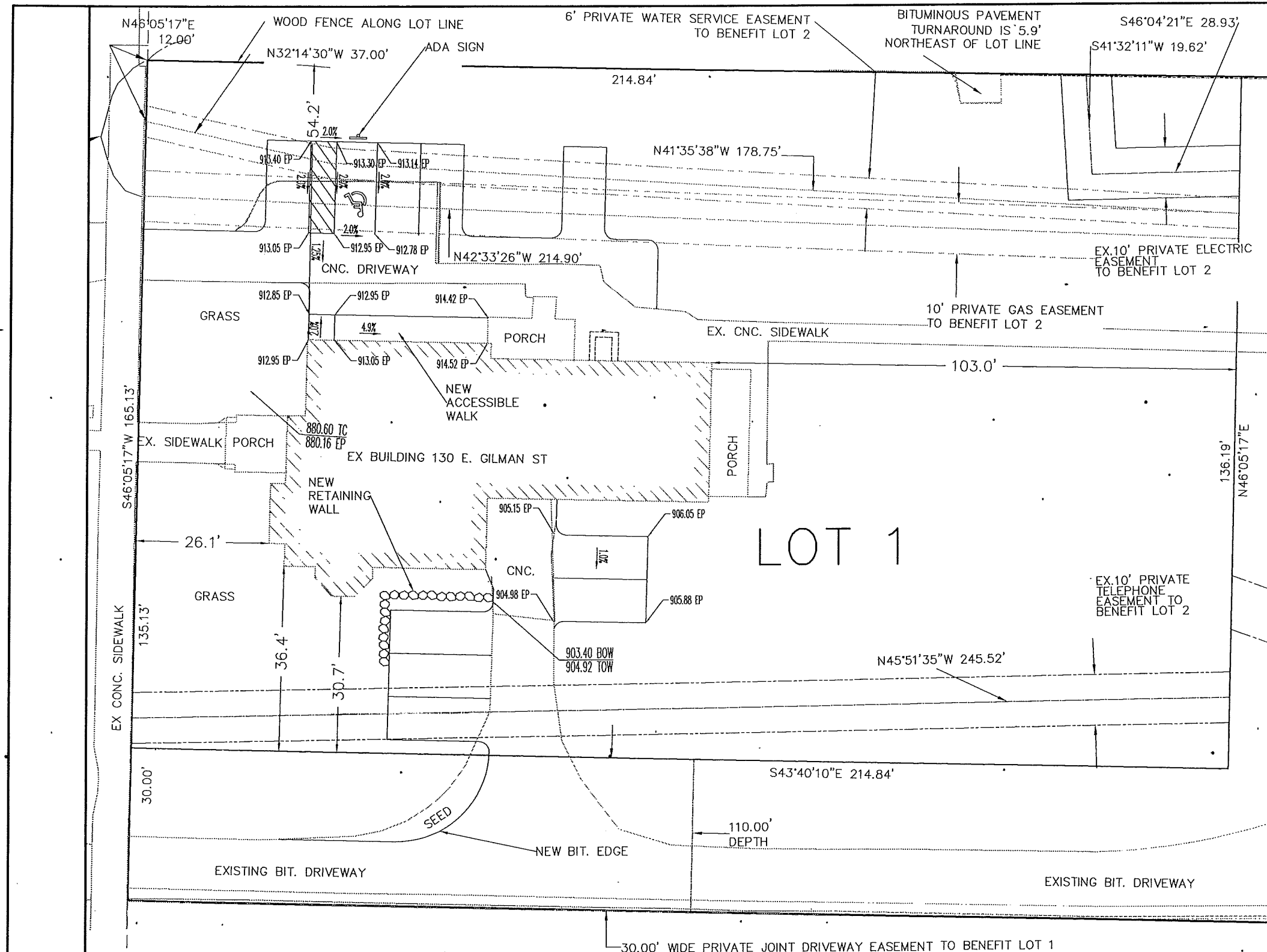
PROJECT #:	BSE 1625
PLOT DATE:	06/28/2017
REVISION DATES:	
ISSUE DATES:	06/28/2017

CIVIL SITE PLAN

This document contains confidential or proprietary information of Burse Surveying and Engineering, Inc. If the information herein is to be reproduced, it is to be done so without the written consent of Burse Surveying and Engineering, Inc.

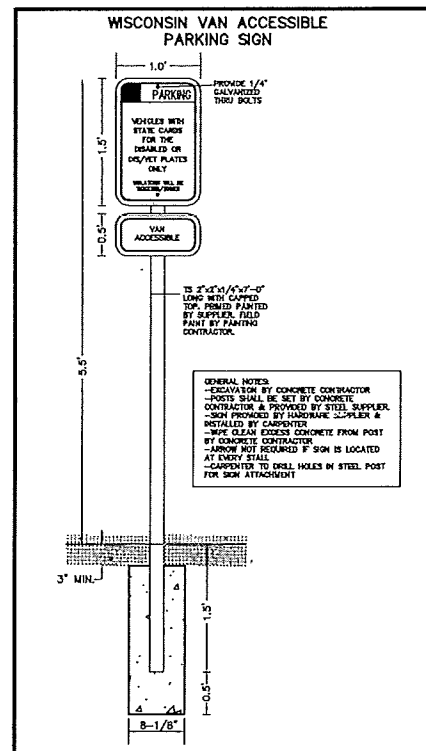
DRAWING NUMBER
C-200

Dial **811** or (800) 242-8511
 www.DiggersHotline.com



GENERAL NOTES:

1. Pavement markings and signage pertaining to accessible parking stalls and routes shall conform to current ADA regulations.
2. Pavement design shall be per the recommendation of the soils consultant.
3. It is the contractor's responsibility to verify the location of underground utilities. Utilities were located by observed evidence, markings provided by digger's hotline, and record drawings from city of Madison.
4. Any sidewalk, curb, or other public property damaged as part of the construction of the utilities and parking lots shall be replaced in kind per the city of Madison's standard specification.
5. All work in public right-of-way shall be performed by a city approved contractor.



Burse
 Surveying and Engineering, Inc.
 2201 International Lane, Suite 101
 Madison, WI 53704
 Phone: 608-250-9263
 Fax: 608-250-9266
 e-mail: kb@bse.com
 www.bursesurveying.com

GOVERNOR'S MANSION
 130 E. GILMAN STREET
 MADISON, WI 53703
BOB KLEBBA
 704 E. Gorham Street
 Madison, WI 5307-1622

PROJECT #: BSE 1625
 PLOT DATE: 06/28/2017

REVISION DATES:

ISSUE DATES:

06/28/2017

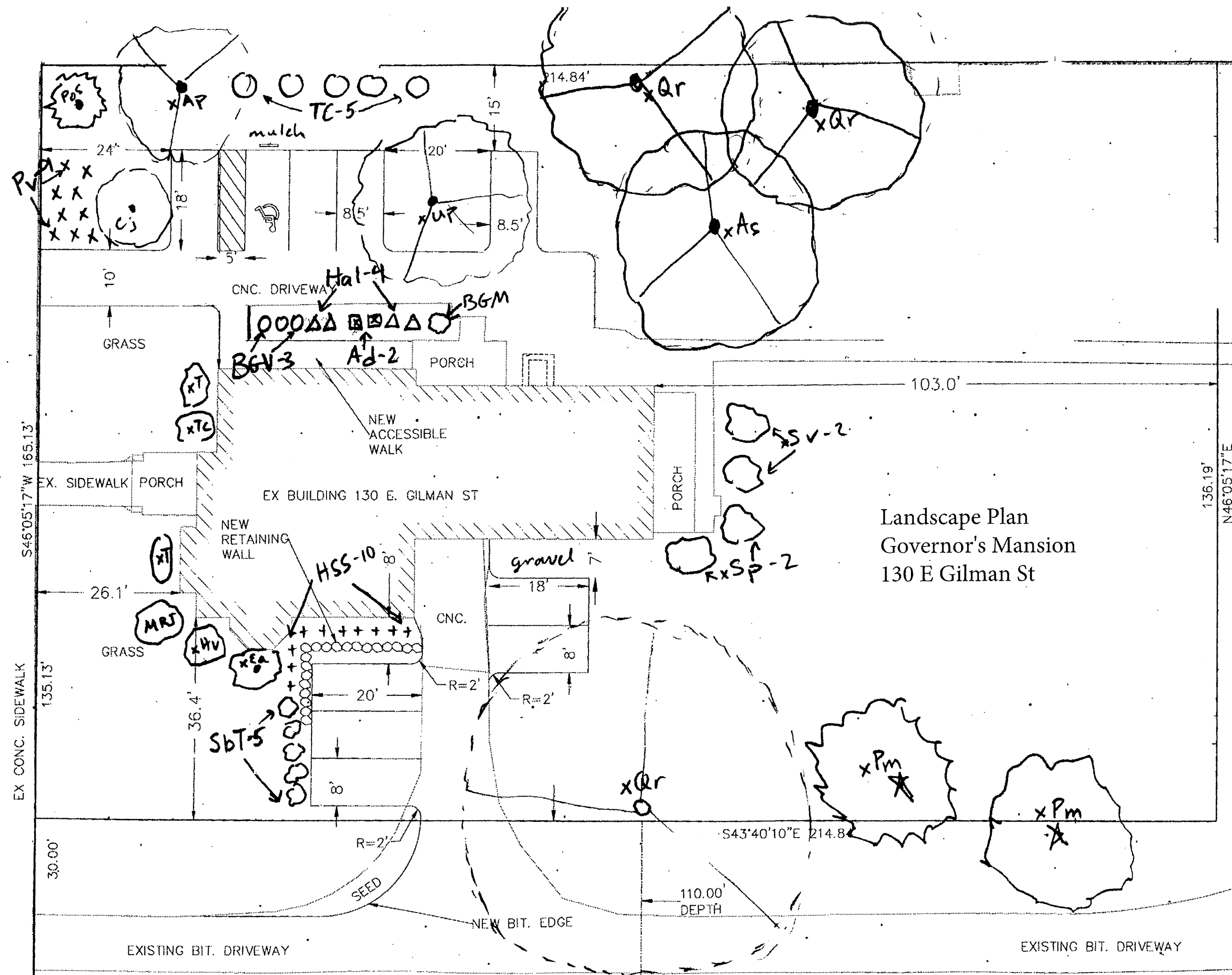
GRADING PLAN

Burse
 Surveying and Engineering, Inc.

This document contains confidential or proprietary information of Burse Surveying and Engineering, Inc. No part of this document nor the information herein is to be reproduced, distributed, used or disclosed, either in whole or in part, except as specifically authorized by Burse Surveying and Engineering, Inc.

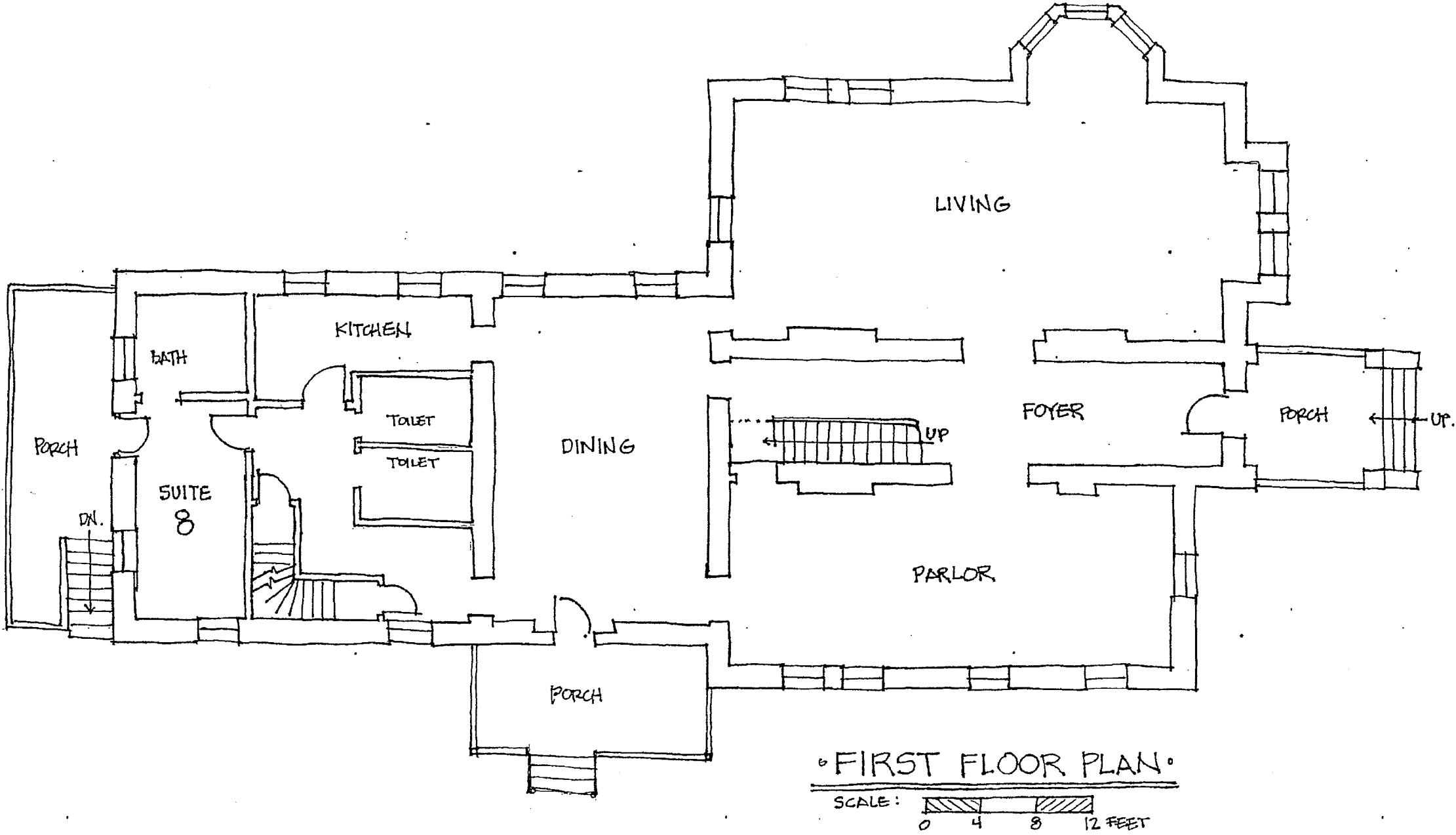
DRAWING NUMBER
C-200

DIGGERS HOTLINE
 Dial 811 or (800) 242-8511
 www.DiggersHotline.com

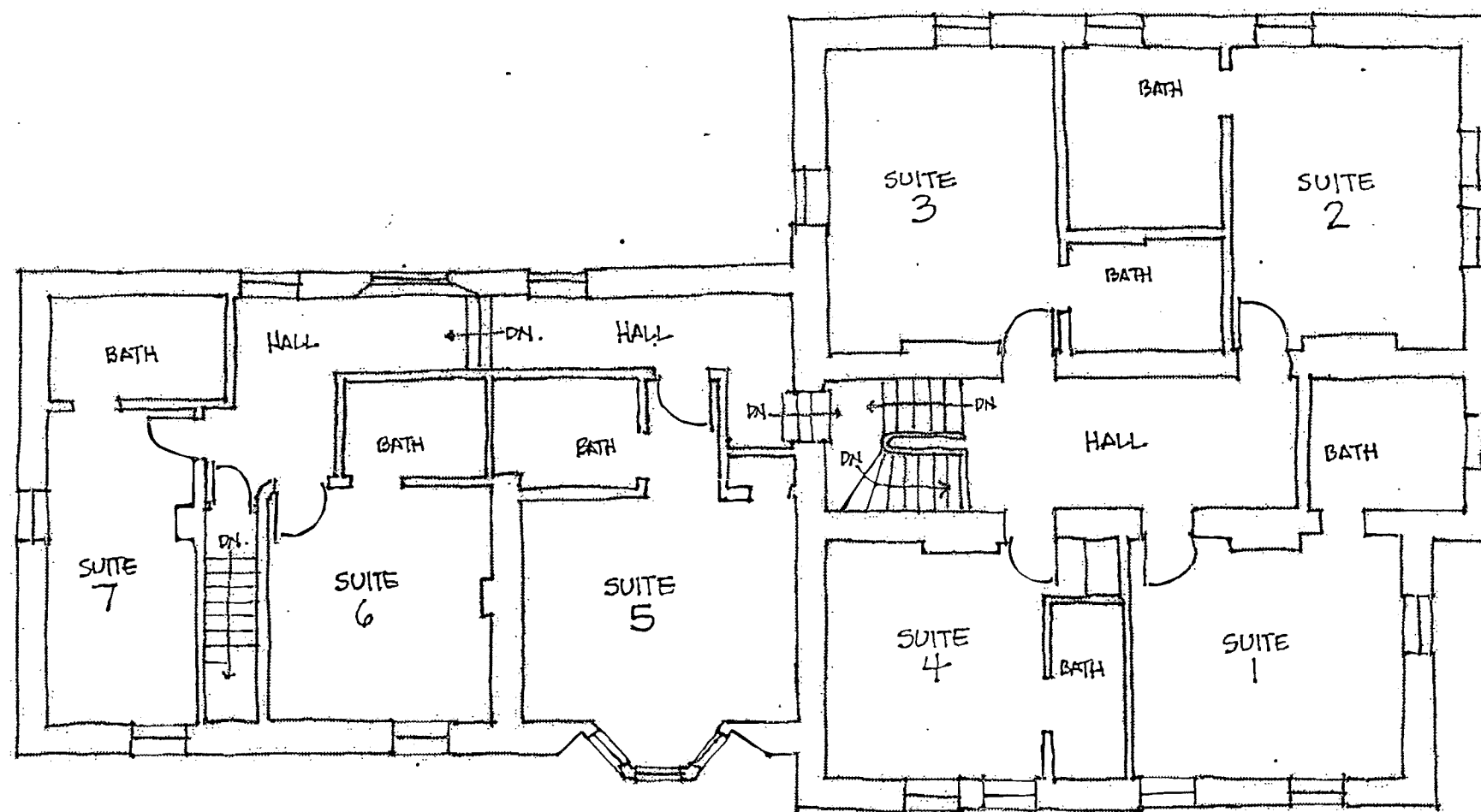


Landscape Plan
 Governor's Mansion
 130 E Gilman St

Governor's Mansion Inn, 130 E Gilman St



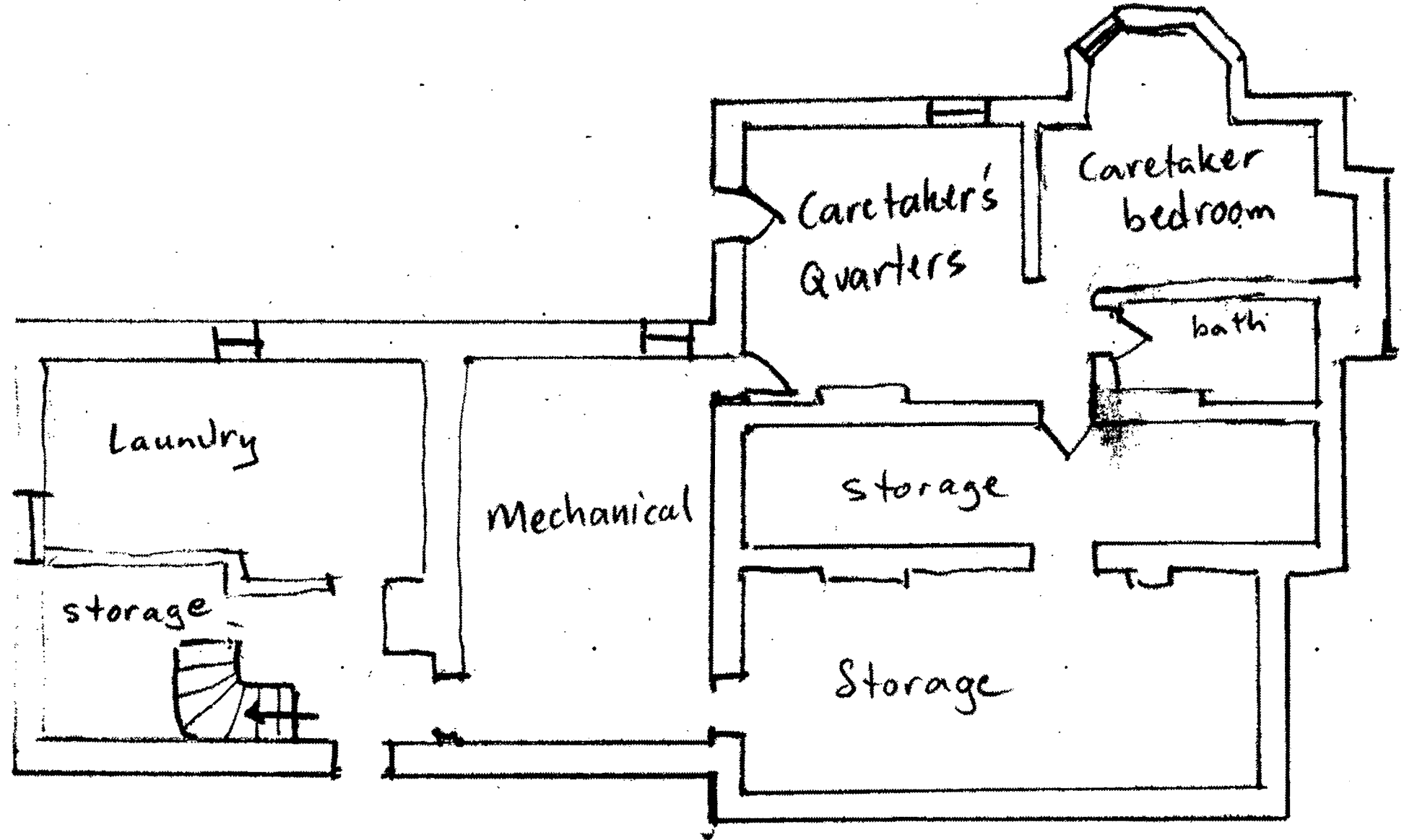
Governor's Mansion Inn, 130 E Gilman St



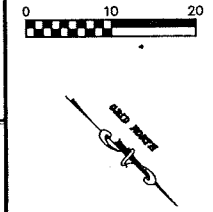
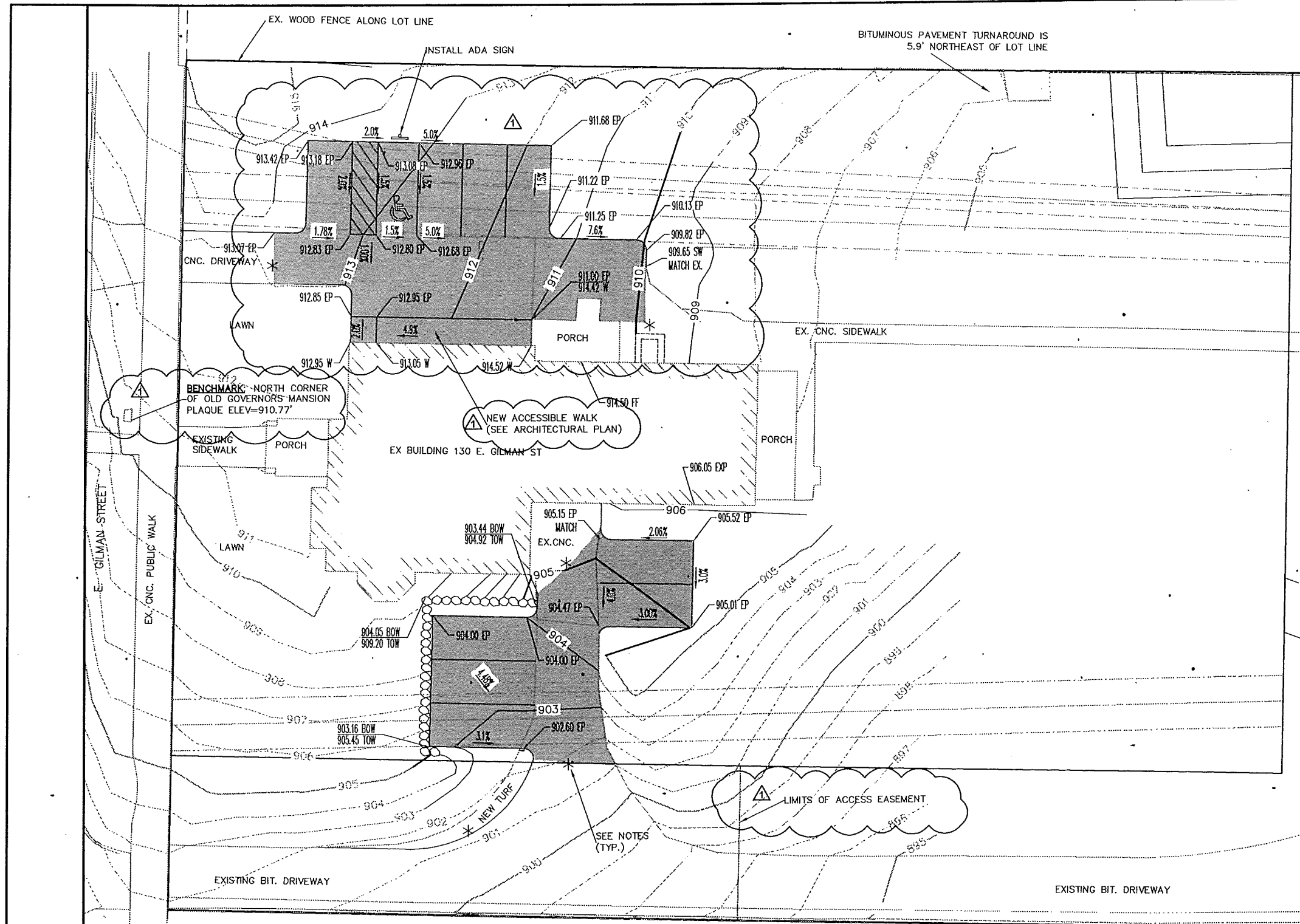
• SECOND FLOOR PLAN •

SCALE: 0 4 8 12 FEET

Governor's Mansion Inn, 130 E Gilman St



Basement Floor Plan



LEGEND

---902---	EXISTING MINOR CONTOUR
---905---	EXISTING MAJOR CONTOUR
---902---	PROPOSED MINOR CONTOUR
---905---	PROPOSED MAJOR CONTOUR
915.00 EP	PROPOSED EDGE OF PAVEMENT ELEVATION
915.00 W	PROPOSED WALK ELEVATION
915.00 TOW	PROPOSED TOP OF WALL ELEVATION
915.00 BOW	PROPOSED BOTTOM OF WALL ELEVATION
○ ○ ○ ○	PROPOSED RETAINING WALL
■	NEW PAVEMENT
*	FULL DEPTH SAW CUT EXISTING PAVEMENT TO ESTABLISH NEW PAVEMENT EDGE

- NOTES:**
1. ALL GRADES ARE FINISH ELEVATION
 2. ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
 4. CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
 5. ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON'S STANDARD SPECIFICATION.

Burse
Surveying and Engineering, Inc.
2001 International Lane, Suite 101
Madison, WI 53704
Phone: 608-250-9263
Fax: 608-250-9266
e-mail: info@burseeng.com
www.burseeng.com

GOVERNOR'S MANSION
130 E. GILMAN STREET
MADISON, WI 53703
BOB KLEBBA
704 E. Gorham Street
Madison, WI 5307-1522

PROJECT #:	BSE1625-BK
PLOT DATE:	08/10/2017
REVISION DATES:	
	08/10/2016
ISSUE DATES:	
	08/29/2017
	08/10/2017

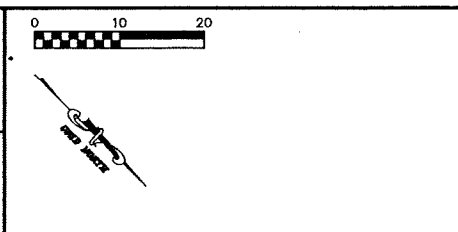
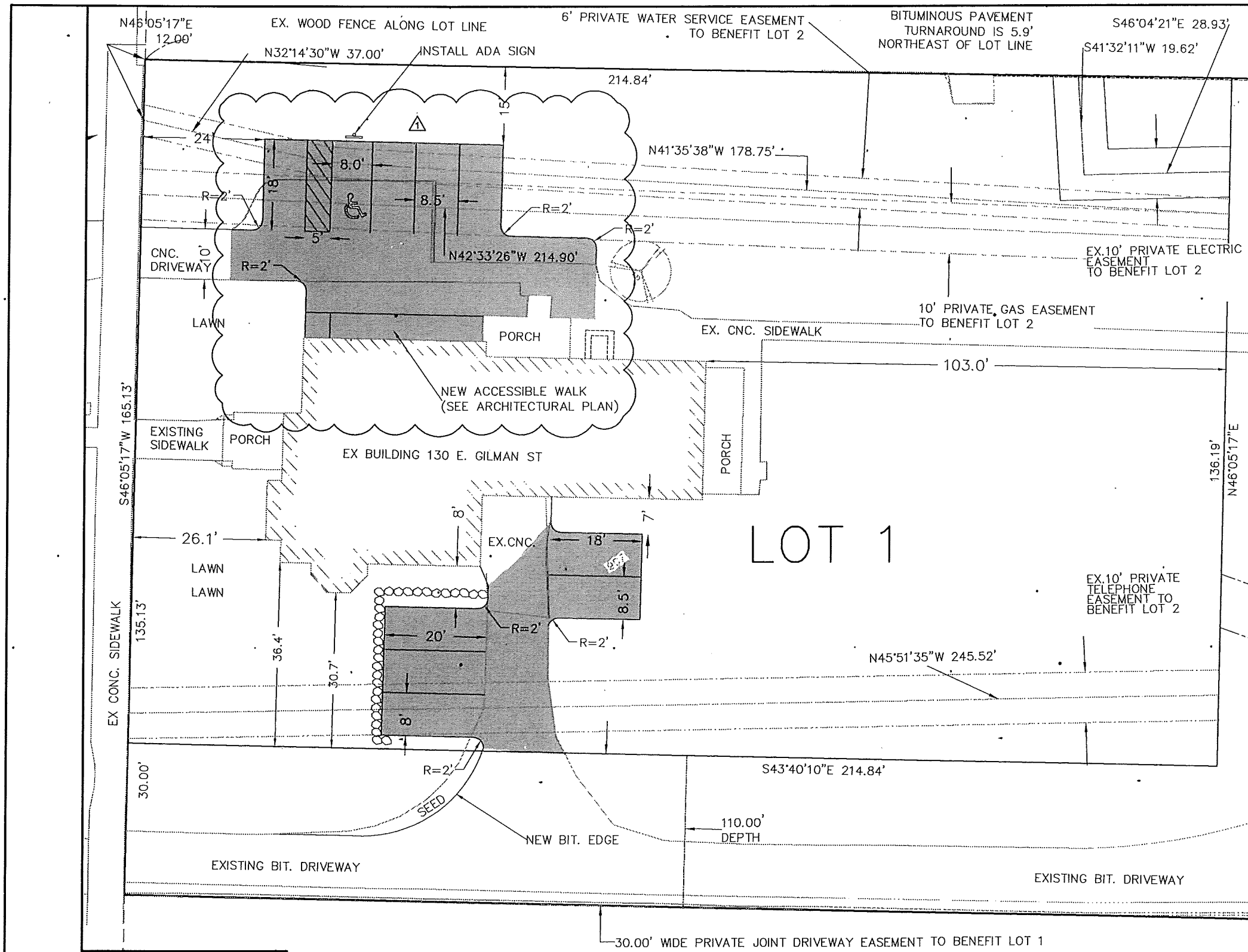
GRADING PLAN

Burse
Surveying and Engineering, Inc.
This document contains confidential or proprietary information of Burse Surveying and Engineering, Inc. Neither the document nor the information herein is to be reproduced, distributed, used or disclosed, either in whole or in part, except as specifically authorized by Burse Surveying and Engineering, Inc.

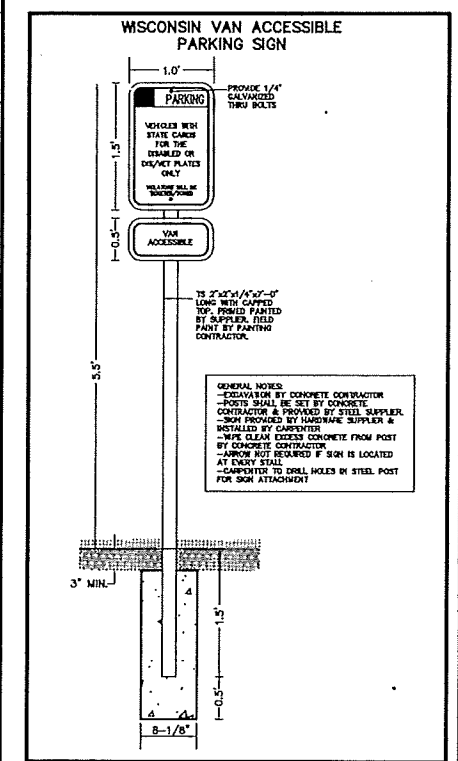
DRAWING NUMBER
C-300

DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

Printed: Aug 10, 2017 - 9:56am. Printed By: Survey



- GENERAL NOTES:**
1. PAVEMENT MARKINGS AND SIGNAGE PERTAINING TO ACCESSIBLE PARKING STALLS AND ROUTES SHALL CONFORM TO CURRENT ADA REGULATIONS
 2. PAVEMENT DESIGN SHALL BE PER THE RECOMMENDATION OF THE SOILS CONSULTANT
 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
 4. ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON'S STANDARD SPECIFICATION.
 5. ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY APPROVED CONTRACTOR.



Burse
 Surveying and Engineering, Inc.
 2201 International Lane, Suite 101
 Madison, WI 53704
 Phone: 608-220-9933
 Fax: 608-220-9236
 e-mail: mburse@bse-inc.com
 www.burse-engineering.com

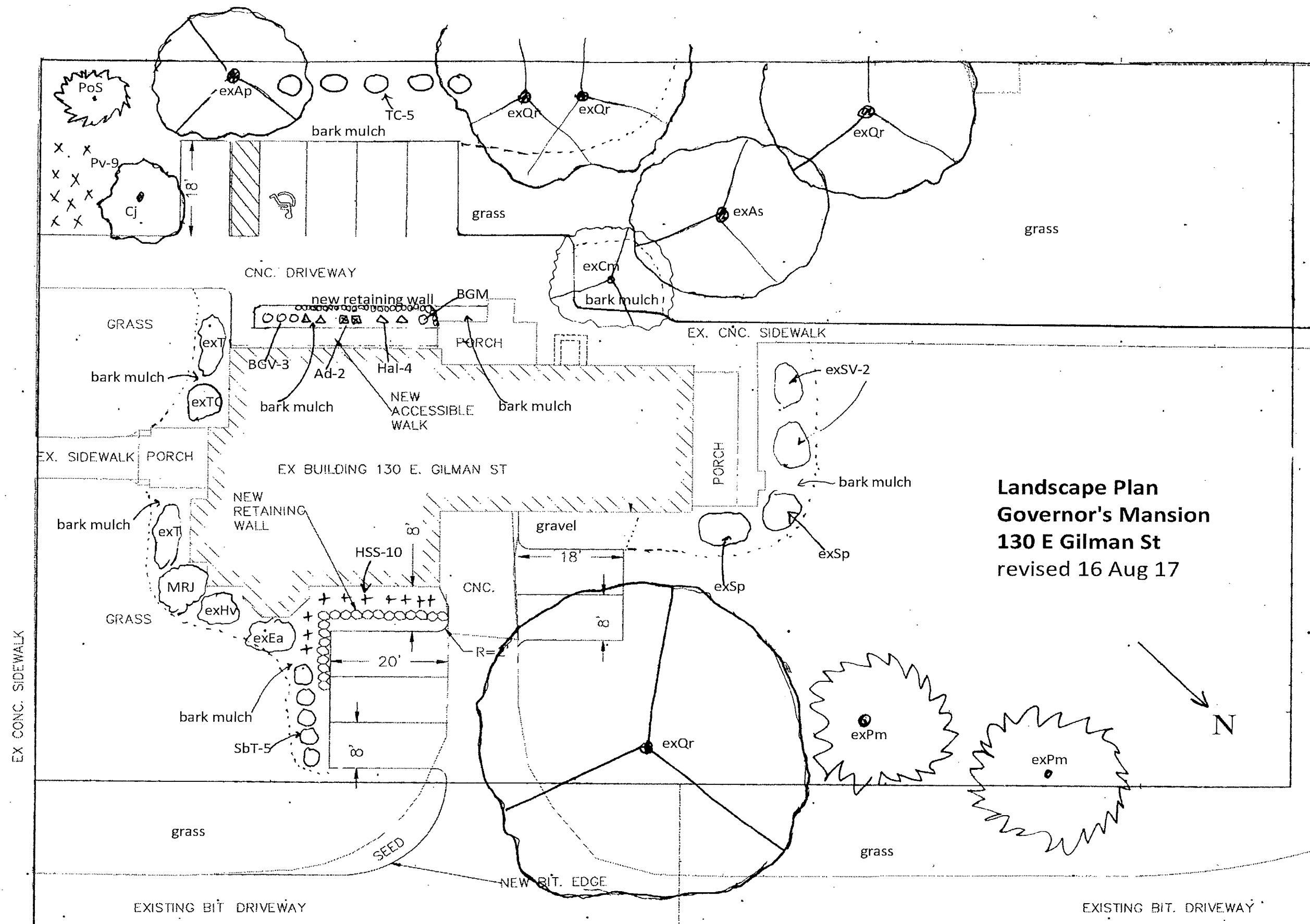
APPROVAL	DATE	BY
PROJECT		
DRAWING		
CHECK		
IN CHARGE		
DATE		

GOVERNOR'S MANSION
 130 E. GILMAN STREET
 MADISON, WI, 53703
BOB KLEBBA
 704 E. Gorham Street
 Madison, WI, 5307-1522

PROJECT #: BSE 1625
 PLOT DATE: 08/10/2017
 REVISION DATES:
 08/10/2017
 ISSUE DATES:
 06/28/2017
 08/10/2017

CIVIL SITE PLAN
Burse
 Surveying and Engineering, Inc.
 This document contains confidential or proprietary information of Burse Surveying and Engineering, Inc. If the document is not the original, it is to be destroyed, not reproduced, distributed, or otherwise used in whole or in part, except as specifically authorized by Burse Surveying and Engineering, Inc.
 DRAWING NUMBER
C-200

DIGGERS HOTLINE
 Dial 811 or (800) 242-8511
 www.DiggersHotline.com



Landscape Plan
Governor's Mansion
130 E Gilman St
 revised 16 Aug 17

N