LAKESHORE NATURE PRESERVE - FRAUTSCHI CENTER

1972 UNIVERSITY BAY DRIVE
MADISON, WI 53705

STAMPS

STAMP	STAMP	STAMP

Land Use Application
Development Plans

03/17/2025

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LOCATION MAP

ABBREVIATIONS

@	AT	CORR	CORRIDOR	HC	HANDICAPPED	RC	ROOF CONDUCTOR
		CRS	COURSE	HDR	HEADER	RD	ROOF DRAIN
ADJ	ADJUSTABLE	CTR	COUNTER	HM	HOLLOW METAL	REF	REFRIGERATOR
AFF	ABOVE FINISHED FLOOR			HR	HOUR	RI	ROUGH IN
AL	ALUMINUM	DS	DOWNSPOUT	HT	HEIGHT	RO	ROUGH OPENING
ACT	ACOUSTICAL CEILING TILE	DTL	DETAIL	HVAC	HEATING, VENTILATING & AIR CONDITIONING		
ACP	ACOUSTICAL CEILING PANEL	DWG	DRAWING			SAN	SANITARY SEWER
				IE	INVERT ELEVATION	SDS	SOAP DISPENSER
BL	BRICK LEDGE	EL	ELEVATION	INSUL	INSULATION	SH	SHELF
BITUM	BITUMINOUS	ELEC	ELECTRIC	I.C.	IN CONTRACT	ST	STORM SEWER
BLDG	BUILDING	ELEV	ELEVATOR			STL	STEEL
BRG	BEARING	EQUIP	EQUIPMENT	LAV	LAVATORY	STR	STRUCTURAL
		EXIST	EXISTING	LL	LOWER LEVEL	SS	STAINLESS STEEL
C	CONDUIT					SUSP	SUSPENDED
CAB	CABINET	FD	FLOOR DRAIN	MFG	MANUFACTURER		
CB	CATCH BASIN	FE	FIRE EXTINGUISHER	MH	MANHOLE	T/C	TOP OF CONCRETE
CH	COAT HOOK	FEC	FIRE EXTINGUISHER CABINET W/ FE	MO	MASONRY OPENING	TDS	TOWEL DISPENSER
CI	CAST IRON			MTD	MOUNTED	TEL	TELEPHONE
CJ	CONTROL JOINT	FIN	FINISHED	MTG	MOUNTING	T/S	TOP OF STEEL
CKT	CIRCUIT	FLR	FLOOR			TLT	TOILET
CPT	CARPET LINE	FRT	FIRE RETARDANT TREATED	N.I.C.	NOT IN CONTRACT	TYP	TYPICAL
C/L	CENTER LINE	FNDTN	FOUNDATION				
CLG	CEILING	FUT	FUTURE	O.C.	ON CENTER	UL	UNDERWRITER'S LABORATORY
CL	CLOSET			O.D.	OUTSIDE DIAMETER	UNO	UNLESS NOTED OTHERWISE
CMU	CONCRETE MASONRY UNIT	GA	GAUGE				
COL	COLUMN	GALV	GALVANIZED	PL	POLE	VIF	VERIFY IN FIELD
CONC	CONCRETE	GB	GRAB BAR	PNT	PAINT		
CONN	CONNECTION	GYP BRD	GYPSUM BOARD	PTD	PAINTED	W/	WITH
CONTR	CONTRACTOR	GWB	GYPSUM WALL BOARD			WC	WATER CLOSET
						WM	WATER MAIN
						WWF	WELDED WIRE FABRIC

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The Board of Regents of the University of Wisconsin on behalf of the University of Wisconsin - Madison

University of Wisconsin - Madison
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LAKESHORE NATURE PRESERVE - FRAUTSCHI CENTER
BUILDING NO. - BUILDING NAME
UNIVERSITY OF WISCONSIN - MADISON
MADISON, WISCONSIN COVER SHEET

Sheet Title:

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Plot Date: 1/22/2023 5:53:34 PM

Current Aerial Rendering
View looking NW

Current Aerial Rendering
View looking West

Current Rendering

Looking at classroom and
office windows

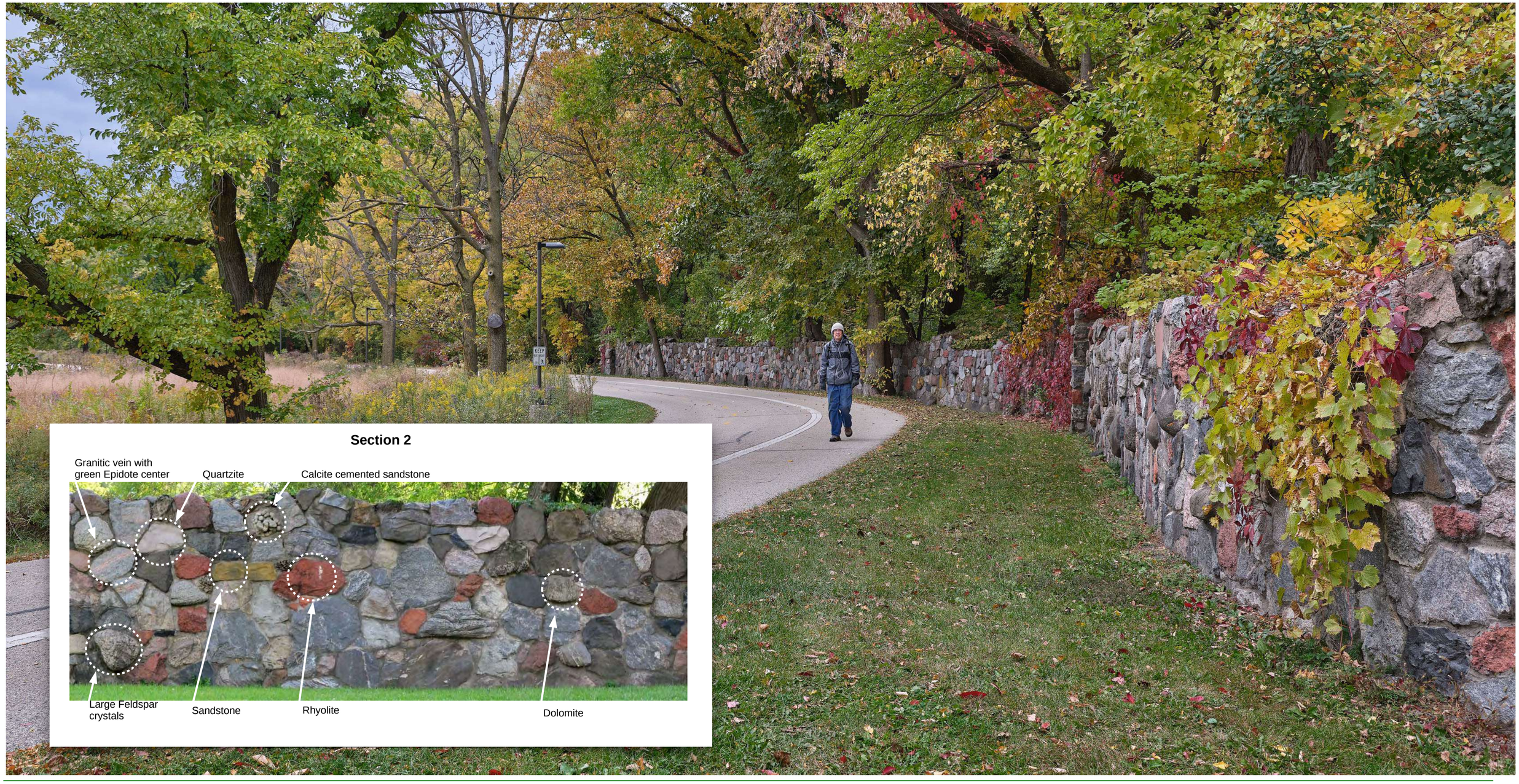
Current Aerial Rendering
View Looking East

Full Veneer Stone Wall Material Considerations:

- Locally sourced stone (within 500K)
- Create a compatible relationship with existing wall (not competing with)
- Considering returns at windows - deep jambs at this thick wall
- Stone will not be dry laid, and will have a mortar bed and tooled joint

Cladding Exploration: **Full Veneer Stone**

Existing 1900's Stone Wall Constructed of Canadian Glacial Erratics



Cladding Exploration: Full Veneer Stone - Pattern Studies

Glacial Erratic - Small Scale Pattern

Cladding Exploration: Full Veneer Stone - Pattern Studies

Glacial Erratic - Small Scale Pattern

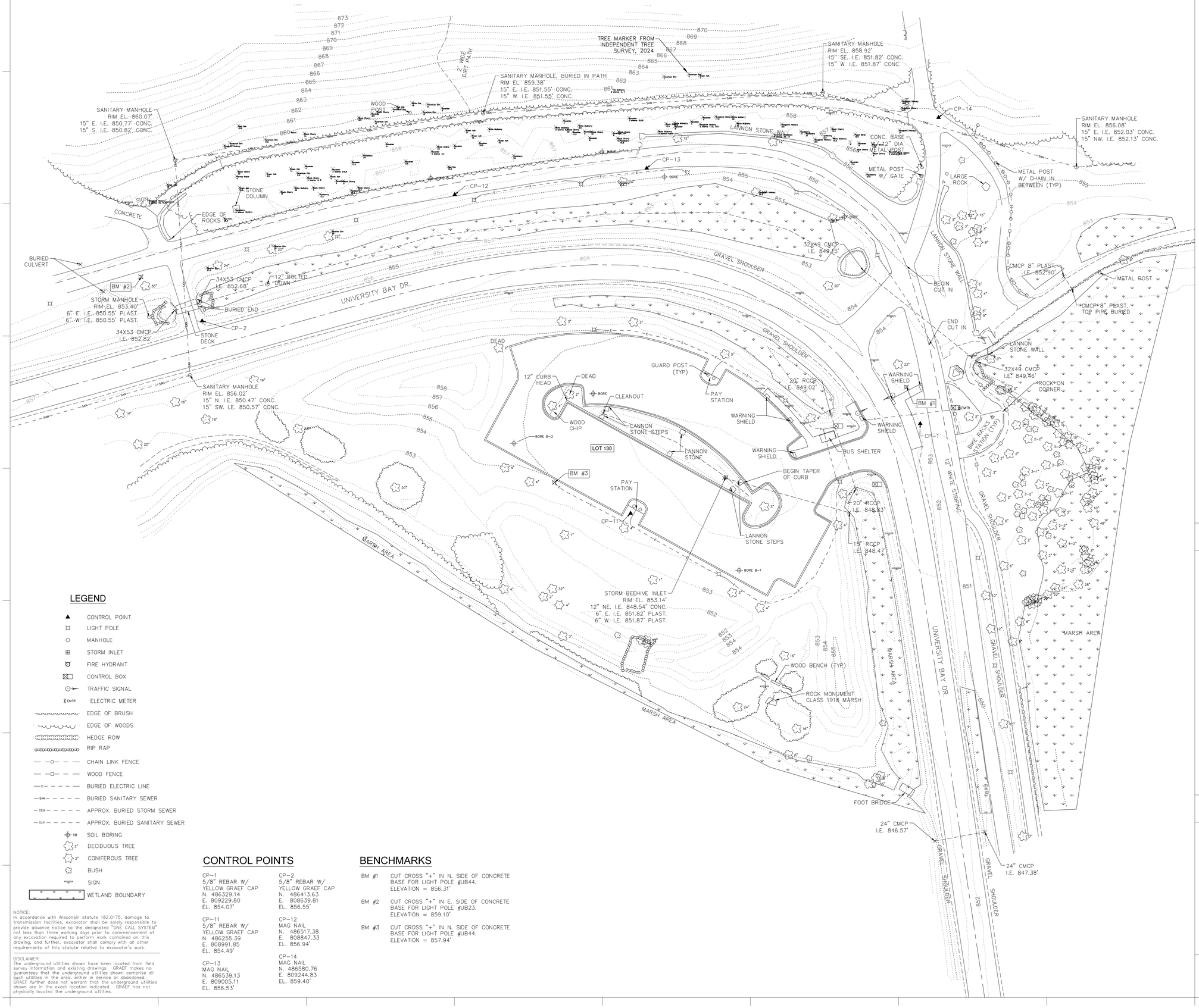
Cladding Exploration: **Thermally Modified Wood**

Pine

Ash

Spruce

Radiata pine



LEGEND

- CONTROL POINT
- LIGHT POLE
- MANHOLE
- STORM INLET
- FIRE HYDRANT
- CONTROL BOX
- TRAFFIC SIGNAL
- ELECTRIC METER
- EDGE OF BRUSH
- EDGE OF WOODS
- HEDGE ROW
- RIP RAP
- CHAIN LINK FENCE
- WOOD FENCE
- BURIED ELECTRIC LINE
- BURIED SANITARY SEWER
- APPROX. BURIED STORM SEWER
- APPROX. BURIED SANITARY SEWER
- SOIL BORING
- DECIDUOUS TREE
- CONIFEROUS TREE
- BUSH
- SIGN
- WETLAND BOUNDARY

NOTICE:
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
The underground utilities shown have been located from field survey information and existing drawings. GRAEF makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. GRAEF further does not warrant that the underground utilities shown are in the exact location indicated. GRAEF has not physically located the underground utilities.

CONTROL POINTS

CP-1
5/8" REBAR W/ YELLOW GRAEF CAP
N. 486329.14
E. 809229.80
EL. 854.07'

CP-2
5/8" REBAR W/ YELLOW GRAEF CAP
N. 486413.63
E. 808639.81
EL. 856.55'

CP-11
5/8" REBAR W/ YELLOW GRAEF CAP
N. 486255.39
E. 808991.85
EL. 854.49'

CP-12
MAG NAIL
N. 486517.38
E. 808847.33
EL. 856.94'

CP-13
MAG NAIL
N. 486539.13
E. 809005.11
EL. 856.53'

CP-14
MAG NAIL
N. 486580.76
E. 809244.83
EL. 859.40'

BENCHMARKS

BM #1 CUT CROSS "+" IN N. SIDE OF CONCRETE BASE FOR LIGHT POLE #UB44.
ELEVATION = 856.31'

BM #2 CUT CROSS "+" IN E. SIDE OF CONCRETE BASE FOR LIGHT POLE #UB23.
ELEVATION = 859.10'

BM #3 CUT CROSS "+" IN N. SIDE OF CONCRETE BASE FOR LIGHT POLE #UB44.
ELEVATION = 857.94'

NOTES

SURVEY NOTES

1. THE BASE SURVEY WAS PREPARED BY GRAEF IN 2024 ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.
2. COORDINATES ARE BASED ON THE WISCONSIN COORDINATE REFERENCE SYSTEM (WISCRS), DANE COUNTY, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)), NORTH AMERICAN VERTICAL DATUM OF 1988, 2012 ADJUSTMENT (NAVD88(2012)), GEOID G18.
3. DIGGERS HOTLINE PLANNING PRINT TICKET #20243604090
   NON-RESPONDERS:
   VILLAGE OF SHOREWOOD HILLS
4. THE WETLAND DELINEATION WAS PREPARED BY HEARTLAND ECOLOGICAL GROUP INC. IN 2024.

SHEET KEYNOTES

KEY PLAN

NORTH

0 15' 30' 60'
SCALE: 1" = 30'

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NOT FOR CONSTRUCTION

The Board of Regents of the
University of Wisconsin on behalf of
the University of Wisconsin - Madison

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LAKESHORE NATURE PRESERVE - FRAUTSCHI CENTER
BUILDING NO. - BUILDING NAME
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MADISON, WISCONSIN

Sheet Title: EXISTING CONDITIONS

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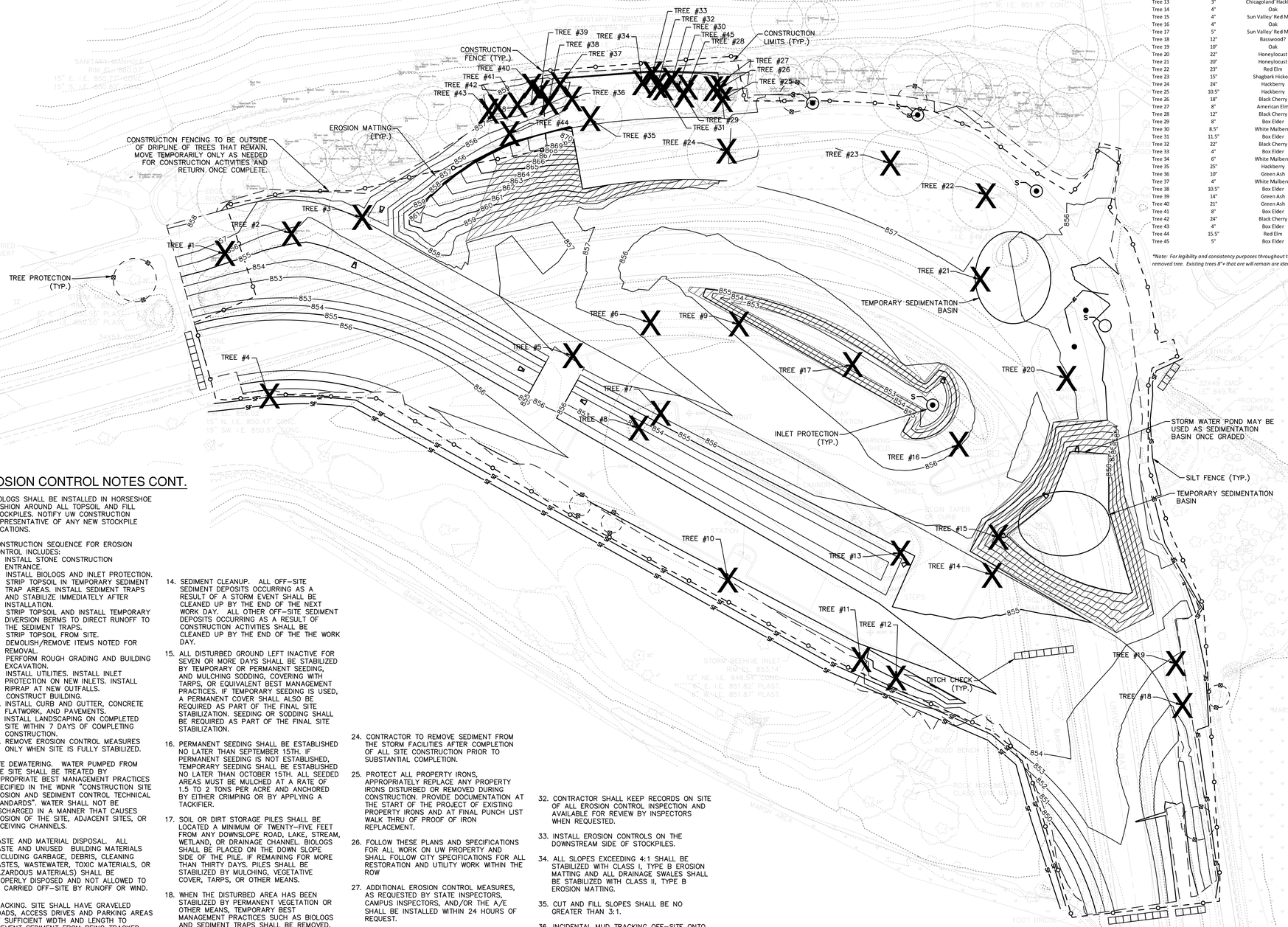

EROSION CONTROL NOTES CONT.

9. BIOLOGS SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ALL TOPSOIL AND FILL STOCKPILES. NOTIFY UW CONSTRUCTION REPRESENTATIVE OF ANY NEW STOCKPILE LOCATIONS.

10. CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:
    1. INSTALL STONE CONSTRUCTION ENTRANCE.
    2. INSTALL BIOLOGS AND INLET PROTECTION.
    3. STRIP TOPSOIL IN TEMPORARY SEDIMENT TRAP AREAS. INSTALL SEDIMENT TRAPS AND STABILIZE IMMEDIATELY AFTER INSTALLATION.
    4. STRIP TOPSOIL AND INSTALL TEMPORARY DIVERSION BERMS TO DIRECT RUNOFF TO THE SEDIMENT TRAPS.
    5. STRIP TOPSOIL FROM SITE.
    6. DEMOLISH/REMOVE ITEMS NOTED FOR REMOVAL.
    7. PERFORM ROUGH GRADING AND BUILDING EXCAVATION.
    8. INSTALL UTILITIES. INSTALL INLET PROTECTION ON NEW INLETS. INSTALL RIPRAP AT NEW OUTFALLS.
    9. CONSTRUCT BUILDING.
    10. INSTALL CURB AND GUTTER, CONCRETE FLATWORK, AND PAVEMENTS.
    11. INSTALL LANDSCAPING ON COMPLETED SITE WITHIN 7 DAYS OF COMPLETING CONSTRUCTION.
    12. REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.

11. SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY APPROPRIATE BEST MANAGEMENT PRACTICES SPECIFIED IN THE WDNR "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS". WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.

12. WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.

13. TRACKING. SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING, TO THE SATISFACTION OF THE UW CONSTRUCTION REPRESENTATIVE, BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICE SPECIFIED IN THE WDNR "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS". NOTIFY UW CONSTRUCTION REPRESENTATIVE FOR CHANGES IN STONE CONSTRUCTION ENTRANCE LOCATION.

14. SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE THE WORK DAY.

15. ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, AND MULCHING SODDING, COVERING WITH TARPS, OR EQUIVALENT BEST MANAGEMENT PRACTICES. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.

16. PERMANENT SEEDING SHALL BE ESTABLISHED NO LATER THAN SEPTEMBER 15TH. IF PERMANENT SEEDING IS NOT ESTABLISHED, TEMPORARY SEEDING SHALL BE ESTABLISHED NO LATER THAN OCTOBER 15TH. ALL SEEDED AREAS MUST BE MULCHED AT A RATE OF 1.5 TO 2 TONS PER ACRE AND ANCHORED BY EITHER CRIMPING OR BY APPLYING A TACKIFIER.

17. SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL. BIOLOGS SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILE. IF REMAINING FOR MORE THAN THIRTY DAYS. PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS.

18. WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BEST MANAGEMENT PRACTICES SUCH AS BIOLOGS AND SEDIMENT TRAPS SHALL BE REMOVED.

19. NOTIFY THE UW CONSTRUCTION REPRESENTATIVE WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.

20. NOTIFY THE UW CONSTRUCTION REPRESENTATIVE OF COMPLETION OF ANY BEST MANAGEMENT PRACTICES WITHIN THE NEXT WORKING DAY AFTER THEIR INSTALLATION.

21. OBTAIN PERMISSION IN WRITING FROM THE UW CONSTRUCTION REPRESENTATIVE PRIOR TO MODIFYING THE EROSION CONTROL PLAN. NOTIFY WDNR AT LEAST FIVE WORKING DAYS PRIOR TO IMPLEMENTING CHANGES TO THE EROSION CONTROL PLAN.

22. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR STANDARDS. REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES.

23. KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE.

24. CONTRACTOR TO REMOVE SEDIMENT FROM THE STORM FACILITIES AFTER COMPLETION OF ALL SITE CONSTRUCTION PRIOR TO SUBSTANTIAL COMPLETION.

25. PROTECT ALL PROPERTY IRONS, APPROPRIATELY REPLACE ANY PROPERTY IRONS DISTURBED OR REMOVED DURING CONSTRUCTION. PROVIDE DOCUMENTATION AT THE START OF THE PROJECT OF EXISTING PROPERTY IRONS AND AT FINAL PUNCH LIST WALK THRU OF PROOF OF IRON REPLACEMENT.

26. FOLLOW THESE PLANS AND SPECIFICATIONS FOR ALL WORK ON UW PROPERTY AND SHALL FOLLOW CITY SPECIFICATIONS FOR ALL RESTORATION AND UTILITY WORK WITHIN THE ROW

27. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, CAMPUS INSPECTORS, AND/OR THE A/E SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.

28. ALL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS.

29. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR CONSTRUCTION SITE EROSION & SEDIMENT CONTROL TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.

30. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON THE PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.

31. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL SHALL BE ROUTINE (ONCE PER WEEK AND AFTER EACH ½ INCH RAINFALL) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.

32. CONTRACTOR SHALL KEEP RECORDS ON SITE OF ALL EROSION CONTROL INSPECTION AND AVAILABLE FOR REVIEW BY INSPECTORS WHEN REQUESTED.

33. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.

34. ALL SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.

35. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.

36. INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT THOROUGHFARES SHALL BE CLEANED AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.

37. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.

38. CONTRACTOR SHALL REMOVE EROSION CONTROL MEASURES AFTER SITE CONSTRUCTION IS COMPLETE AND ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER OF 70% OR GREATER.

39. CONTRACTOR SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION IN ACCORDANCE WITH WDNR AND WCOMM REQUIREMENTS.

40. BIOLOGS SHALL NOT BE INSTALLED WITHIN THE CRITICAL ROOT RADIUS OR DRIP LINE OF ANY TREES OR SHRUBS TO BE PROTECTED. USE SILT SOCKS WHICH DO NOT REQUIRE EXCAVATION AND CUTTING ROOTS.

41. SILT FENCE MAY BE SUBSTITUTED FOR BIOLOGS WITH PRIOR APPROVAL FROM UW CONSTRUCTION REPRESENTATIVE.

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LEGEND

SCE	–STONE CONSTRUCTION ENTRANCE
	–EROSION MATTING
SF	–SILT FENCE
S	–INLET PROTECTION
	–DITCH CHECK
	–TREE PROTECTION
	–CONSTRUCTION FENCE
X	–TREE REMOVAL

Street/Site Tree Removal Inventory

Tree Location	Approx. Size	Species	Removal (Y/N)
Public Street Tree			
None			
Private Trees			
Tree 1	27.5"	Siberian Elm	Yes, due to construction processes, see sheet C200
Tree 2	25"	Siberian Elm	Yes, due to construction processes, see sheet C200
Tree 3	25"	Siberian Elm	Yes, due to construction processes, see sheet C200
Tree 4	16"	Honeylocust	Yes, due to construction processes, see sheet C200
Tree 5	2"	Burr Oak	Yes, due to construction processes, see sheet C200
Tree 6	3"	Chicagoland Hackberry	Yes, due to construction processes, see sheet C200
Tree 7	2"	Chicagoland Hackberry (dead)	Yes, due to construction processes, see sheet C200
Tree 8	4"	Sun Valley Red Maple	Yes, due to construction processes, see sheet C200
Tree 9	3"	Chicagoland Hackberry	Yes, due to construction processes, see sheet C200
Tree 10	4"	Chicagoland Hackberry	Yes, due to construction processes, see sheet C200
Tree 11	3"	Red Oak	Yes, due to construction processes, see sheet C200
Tree 12	4"	Sun Valley Red Maple	Yes, due to construction processes, see sheet C200
Tree 13	3"	Chicagoland Hackberry	Yes, due to construction processes, see sheet C200
Tree 14	4"	Oak	Yes, due to construction processes, see sheet C200
Tree 15	4"	Sun Valley Red Maple	Yes, due to construction processes, see sheet C200
Tree 16	4"	Oak	Yes, due to construction processes, see sheet C200
Tree 17	5"	Sun Valley Red Maple	Yes, due to construction processes, see sheet C200
Tree 18	12"	Basswood?	Yes, due to construction processes, see sheet C200
Tree 19	10"	Oak	Yes, due to construction processes, see sheet C200
Tree 20	22"	Honeylocust	Yes, due to construction processes, see sheet C200
Tree 21	20"	Honeylocust	Yes, due to construction processes, see sheet C200
Tree 22	23"	Red Elm	Yes, due to construction processes, see sheet C200
Tree 23	15"	Shagbark Hickory	Yes, due to construction processes, see sheet C200
Tree 24	24"	Hackberry	Yes, due to construction processes, see sheet C200
Tree 25	10.5"	Hackberry	Yes, due to construction processes, see sheet C200
Tree 26	18"	Black Cherry	Yes, due to construction processes, see sheet C200
Tree 27	8"	American Elm	Yes, due to construction processes, see sheet C200
Tree 28	12"	Black Cherry	Yes, due to construction processes, see sheet C200
Tree 29	8"	Box Elder	Yes, due to construction processes, see sheet C200
Tree 30	8.5"	White Mulberry	Yes, due to construction processes, see sheet C200
Tree 31	11.5"	Box Elder	Yes, due to construction processes, see sheet C200
Tree 32	22"	Black Cherry	Yes, due to construction processes, see sheet C200
Tree 33	4"	Box Elder	Yes, due to construction processes, see sheet C200
Tree 34	6"	White Mulberry	Yes, due to construction processes, see sheet C200
Tree 35	25"	Hackberry	Yes, due to construction processes, see sheet C200
Tree 36	10"	Green Ash	Yes, due to construction processes, see sheet C200
Tree 37	4"	White Mulberry	Yes, due to construction processes, see sheet C200
Tree 38	10.5"	Box Elder	Yes, due to construction processes, see sheet C200
Tree 39	14"	Green Ash	Yes, due to construction processes, see sheet C200
Tree 40	21"	Green Ash	Yes, due to construction processes, see sheet C200
Tree 41	8"	Box Elder	Yes, due to construction processes, see sheet C200
Tree 42	24"	Black Cherry	Yes, due to construction processes, see sheet C200
Tree 43	4"	Box Elder	Yes, due to construction processes, see sheet C200
Tree 44	15.5"	Red Elm	Yes, due to construction processes, see sheet C200
Tree 45	5"	Box Elder	Yes, due to construction processes, see sheet C200

**Note: For legibility and consistency purposes throughout the plan set, please refer to sheet C200 for the location of each removed tree. Existing trees 8"+ that are will remain are identified on the Site Layout and Landscape Plan sheets.*

NOTES

GENERAL NOTES

1. THE BASE SURVEY WAS PREPARED BY GRAEF IN 2024. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.
2. REFER TO SHEET C100 FOR BENCHMARKS, DATUM, AND TOPOGRAPHIC ELEMENTS.
3. CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.
4. THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS PLAN SHALL BE VERIFIED BEFORE BEING UTILIZED. GRAEF DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
5. GRAEF SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

EROSION CONTROL NOTES

1. CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE UW CONSTRUCTION REPRESENTATIVE, AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS".
2. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. REPAIRS AND MAINTENANCE SHALL BE COMPLETED WITHIN 24 HOURS OF INSPECTION. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY. KEEP A LOG ON-SITE OF ALL EROSION CONTROL INSPECTIONS.
4. BIOLOGS SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND THE BIOLOGS WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE BIOLOGS WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
5. RIGID FRAME INLET PROTECTION SHALL BE INSTALLED IN INLETS TRAP SEDIMENT AS PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. FILTER FABRIC UNDER INLETS WILL NOT BE ALLOWED AS INLET PROTECTION.
6. CRUSHED STONE ENTRANCE SHALL BE MAINTAINED BY TURNING OVER THE STONE OR BY PLACING NEW STONE ONCE THE SURFACE BECOMES CLOGGED WITH SEDIMENT.
7. EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
8. PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN THE PUBLIC/PRIVATE STREET FREE OF DUST AND DIRT.

SHEET KEYNOTES

KEY PLAN

NORTH

0 15' 30' 60'
SCALE: 1" = 30'

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The Board of Regents of the University of Wisconsin on behalf of the University of Wisconsin - Madison

University of Wisconsin - Madison
FP&M, Capital Project Delivery
21 N. Park Street
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LAKESHORE NATURE PRESERVE - FRAUTSCHI CENTER
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UNIVERSITY OF WISCONSIN - MADISON
MADISON, WISCONSIN

Sheet Title: EROSION CONTROL PLAN

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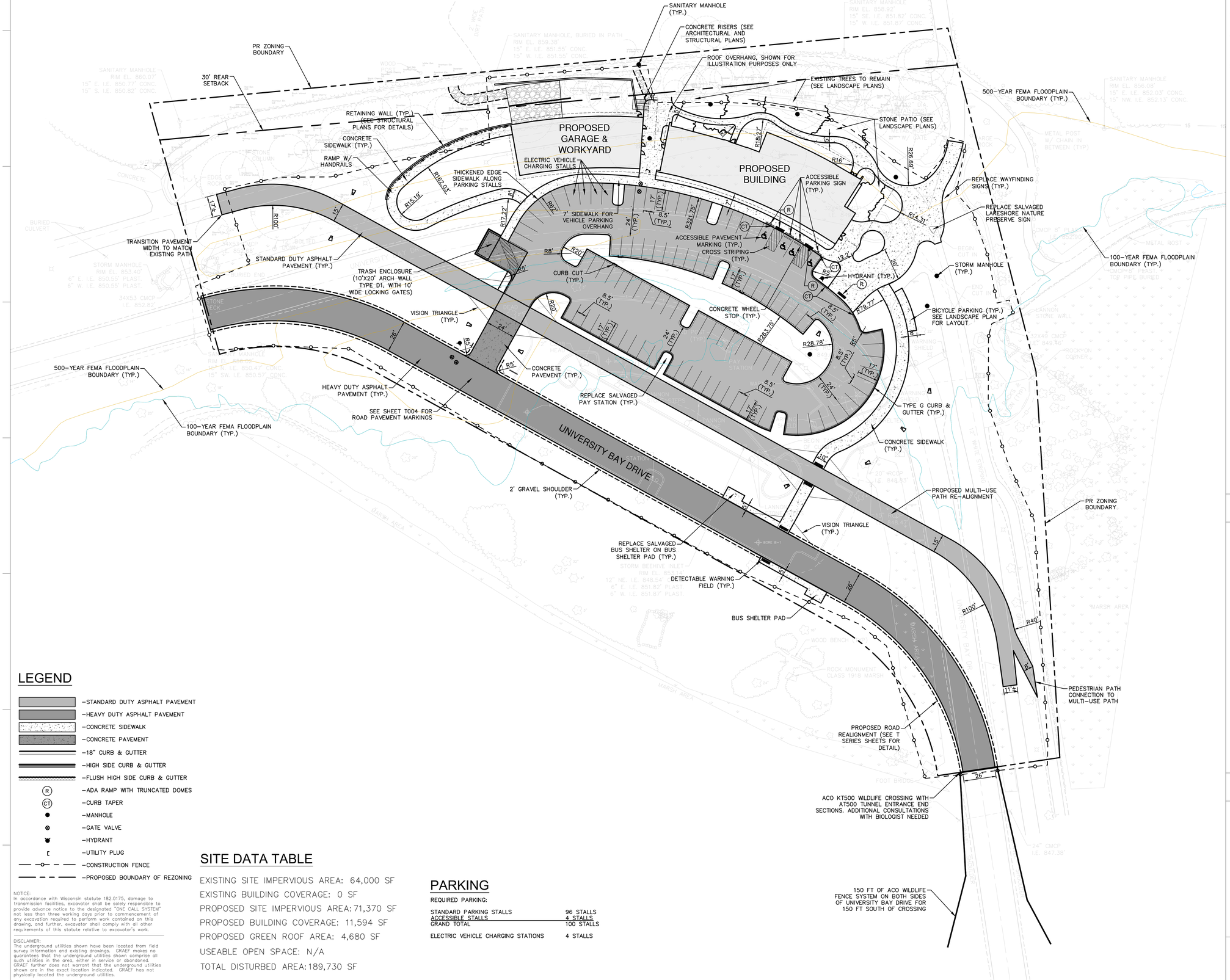

LEGEND

- —STANDARD DUTY ASPHALT PAVEMENT
- —HEAVY DUTY ASPHALT PAVEMENT
- —CONCRETE SIDEWALK
- —CONCRETE PAVEMENT
- —18" CURB & GUTTER
- —HIGH SIDE CURB & GUTTER
- —FLUSH HIGH SIDE CURB & GUTTER
- (R) —ADA RAMP WITH TRUNCATED DOMES
- (CT) —CURB TAPER
- —MANHOLE
- —GATE VALVE
- —HYDRANT
- —UTILITY PLUG
- —CONSTRUCTION FENCE
- —PROPOSED BOUNDARY OF REZONING

NOTICE:
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
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SITE DATA TABLE

EXISTING SITE IMPERVIOUS AREA: 64,000 SF
EXISTING BUILDING COVERAGE: 0 SF
PROPOSED SITE IMPERVIOUS AREA: 71,370 SF
PROPOSED BUILDING COVERAGE: 11,594 SF
PROPOSED GREEN ROOF AREA: 4,680 SF
USEABLE OPEN SPACE: N/A
TOTAL DISTURBED AREA: 189,730 SF

PARKING

REQUIRED PARKING:

STANDARD PARKING STALLS	96 STALLS
ACCESSIBLE STALLS	4 STALLS
GRAND TOTAL	100 STALLS
ELECTRIC VEHICLE CHARGING STATIONS	4 STALLS

NOTES

GENERAL NOTES

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2. REFER TO SHEET C100 FOR BENCHMARKS, DATUM, AND TOPOGRAPHIC ELEMENTS.
3. CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.
4. THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS PLAN SHALL BE VERIFIED BEFORE BEING UTILIZED. GRAEF DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
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LAYOUT NOTES

1. THE BUILDING OUTLINES SHOWN ARE FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE USED FOR STAKING PURPOSES. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND STRUCTURAL ENGINEER ON THE STAKING OF THE BUILDING.
2. SITE LIGHTS ARE SHOWN FOR REFERENCE PURPOSES ONLY AND THE CONTRACTOR SHALL REFER TO THE ELECTRICAL PLANS FOR DETAIL DESIGN INFORMATION. CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL ENGINEER ON STAKING OF THE SITE LIGHTS.
3. ALL DIMENSIONS SHOWN ARE TO THE EDGE OF PAVEMENT OR FACE OF CURB WHERE CONCRETE CURB IS SHOWN.
4. ALL CURB AND GUTTER IS 18" STANDARD CURB AND GUTTER, UNLESS NOTED OTHERWISE. USE HIGH SIDE CURB AS NECESSARY TO DRAIN WATER PROPERLY.
5. STANDARD CURB RADIUS IS 3' UNLESS INDICATED OTHERWISE.
6. ALL PAVEMENT STRIPING SHALL BE WHITE IN COLOR.
7. REFER TO LANDSCAPING PLANS FOR SITE RESTORATION INFORMATION AND DETAILS.
8. ACCESSIBLE PARKING STALLS SHALL BE FURNISHED WITH A CONCRETE WHEEL STOP WHEN ADJACENT TO FLUSH CONCRETE CURB AND GUTTER.
9. CONTRACTOR SHALL SUBMIT A CONCRETE JOINTING PLAN TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION. JOINTING PLAN SHALL INDICATE: POUR SEQUENCE, LOCATION OF CONSTRUCTION, ISOLATION, CONTRACTION JOINTS, AND TYPE OF REINFORCEMENT.
10. SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH THE ENGINEER PRIOR TO CONSTRUCTION OF WORK.

SHEET KEYNOTES

KEY PLAN

NORTH

0 15' 30' 60'
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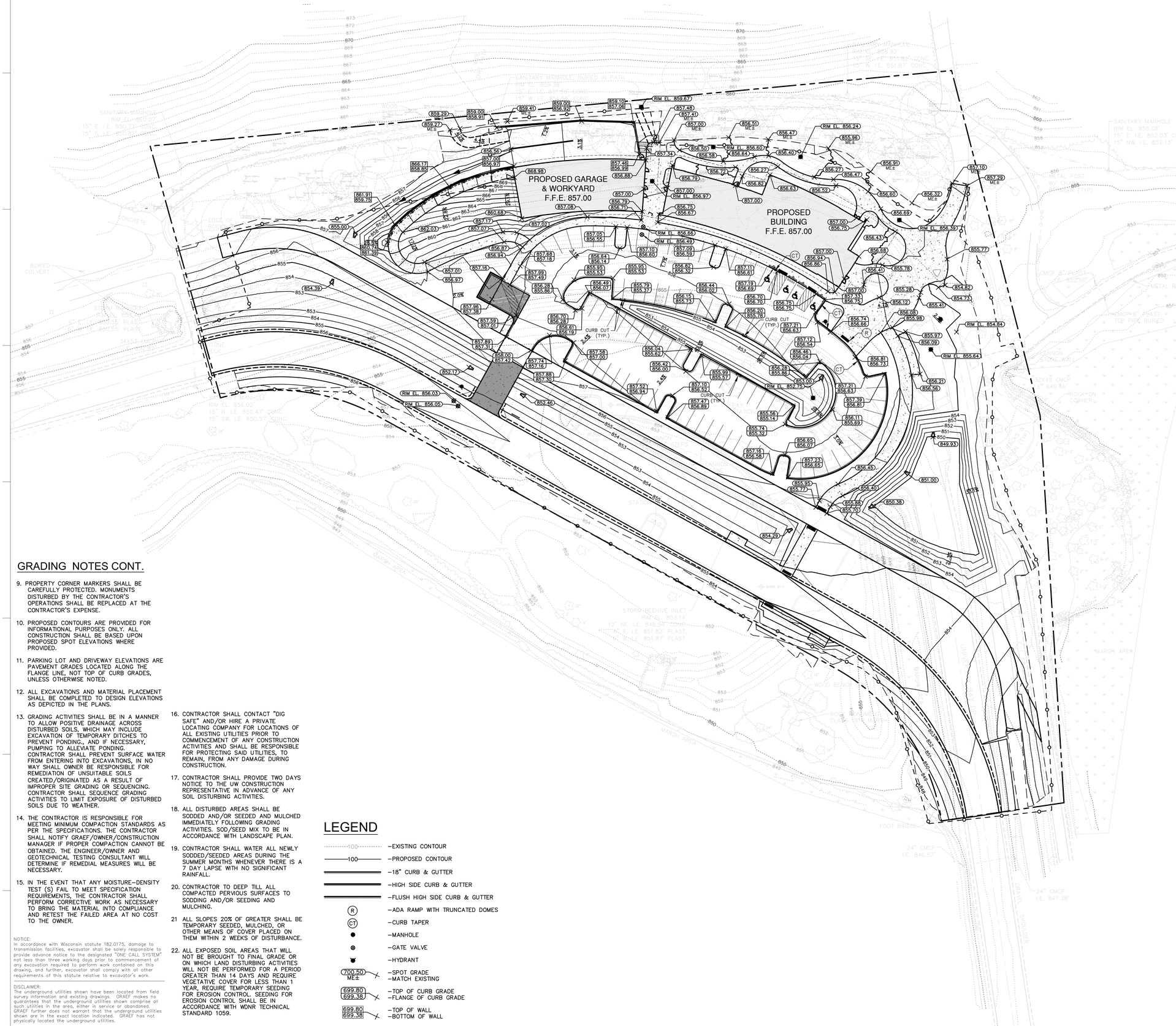

GRADING NOTES CONT.

9. PROPERTY CORNER MARKERS SHALL BE CAREFULLY PROTECTED. MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
10. PROPOSED CONTOURS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. ALL CONSTRUCTION SHALL BE BASED UPON PROPOSED SPOT ELEVATIONS WHERE PROVIDED.
11. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES LOCATED ALONG THE FLANGE LINE, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
12. ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.
13. GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING., AND IF NECESSARY, PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS, IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
14. THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS AS PER THE SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY GRAEF/OWNER/CONSTRUCTION MANAGER IF PROPER COMPACTION CANNOT BE OBTAINED. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
15. IN THE EVENT THAT ANY MOISTURE-DENSITY TEST (S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
16. CONTRACTOR SHALL CONTACT "DIG SAFE" AND/OR HIRE A PRIVATE LOCATING COMPANY FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES, TO REMAIN, FROM ANY DAMAGE DURING CONSTRUCTION.
17. CONTRACTOR SHALL PROVIDE TWO DAYS NOTICE TO THE UW CONSTRUCTION REPRESENTATIVE IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES.
18. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
19. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
20. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES TO SODDING AND/OR SEEDING AND MULCHING.
21. ALL SLOPES 20% OF GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
22. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059.

LEGEND

- 100 — EXISTING CONTOUR
- 100 — PROPOSED CONTOUR
- 18" CURB & GUTTER
- HIGH SIDE CURB & GUTTER
- FLUSH HIGH SIDE CURB & GUTTER
- (R) — ADA RAMP WITH TRUNCATED DOMES
- (CT) — CURB TAPER
- MANHOLE
- GATE VALVE
- HYDRANT
- 700.50 ME± — SPOT GRADE – MATCH EXISTING
- 699.80 / 699.38 — TOP OF CURB GRADE / FLANGE OF CURB GRADE
- 699.80 / 699.38 — TOP OF WALL / BOTTOM OF WALL

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NOTES

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GRADING NOTES

1. ADA REGULATIONS FOR A NON-RAMP ACCESSIBLE REQUIRE A MAXIMUM SLOPE OF 1:20 (5%) ALONG THE LENGTH OF THE ROUTE AND A MAXIMUM CROSS SLOPE OF 1:48 (2.08%) ACROSS THE WIDTH OF THE ROUTE.
2. ADA REGULATIONS FOR ACCESSIBLE PARKING, ACCESS AISLES, AND PASSENGER LOADING ZONES REQUIRES A MAXIMUM SLOPE OF 1:48 (2.08%) ALONG THE LNGTH OF ACCESSIBLE ZONE AND 1:48 (2.08%) ACROSS THE WIDTH OF THE ACCESSIBLE ZONE.
3. ACCESSIBLE AREAS DESCRIBED ABOVE SHALL BE MEASURED IN ACCORDANCE WITH THE US ACCESS BOARD REPORT "DIMENSIONAL TOLERANCES IN CONSTRUCTION AND FOR SURFACE ACCESSIBILITY" PART II, SECTION 4, 1.1 MEASUREMENT PROTOCOLS.
4. RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.
5. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE UW REQUIREMENTS.
7. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO GRAEF PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
8. THIS GRADING PLAN IS BASED ON A TOPOGRAPHIC SURVEY. SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED GRADES MEET EXISTING REVIEW ANY REQUIRED CHANGES WITH GRAEF PRIOR TO CONSTRUCTION OF WORK.

SHEET KEYNOTES

KEY PLAN

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0 15' 30' 60'
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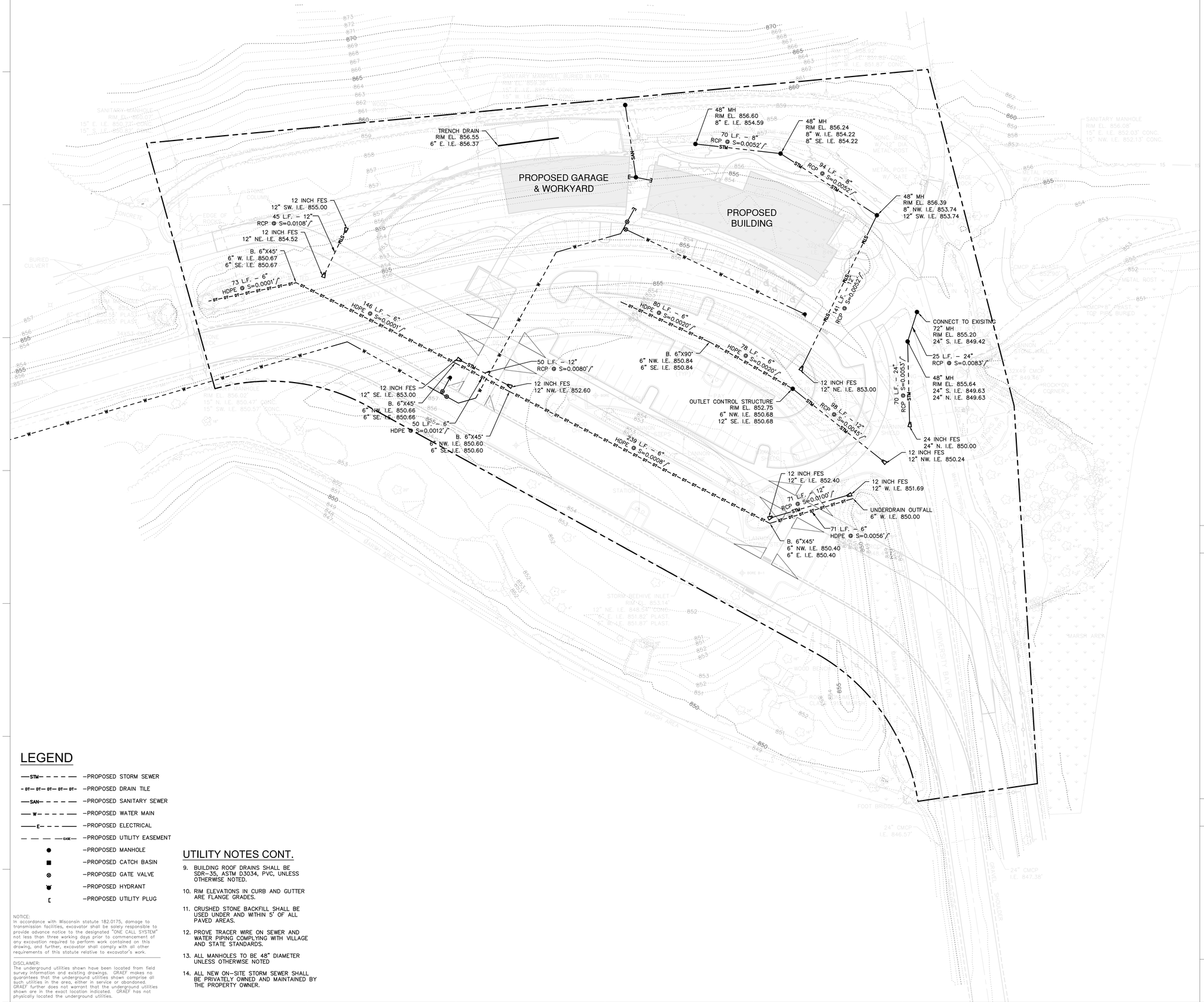

LEGEND

- —STM— — PROPOSED STORM SEWER
- —DT— DT— DT— DT— DT— — PROPOSED DRAIN TILE
- —SAN— — PROPOSED SANITARY SEWER
- —W— — PROPOSED WATER MAIN
- —E— — PROPOSED ELECTRICAL
- —EASE— — PROPOSED UTILITY EASEMENT
- ● — PROPOSED MANHOLE
- ■ — PROPOSED CATCH BASIN
- ⊗ — PROPOSED GATE VALVE
- — PROPOSED HYDRANT
- E — PROPOSED UTILITY PLUG

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UTILITY NOTES CONT.

9. BUILDING ROOF DRAINS SHALL BE SDR-35, ASTM D3034, PVC, UNLESS OTHERWISE NOTED.
10. RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.
11. CRUSHED STONE BACKFILL SHALL BE USED UNDER AND WITHIN 5' OF ALL PAVED AREAS.
12. PROVE TRACER WIRE ON SEWER AND WATER PIPING COMPLYING WITH VILLAGE AND STATE STANDARDS.
13. ALL MANHOLES TO BE 48" DIAMETER UNLESS OTHERWISE NOTED
14. ALL NEW ON-SITE STORM SEWER SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.

NOTES

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UTILITY NOTES

1. CONTRACTOR SHALL VERIFY ELEVATION OF EXISTING INVERTS PRIOR TO INSTALLATION OF PROPOSED UTILITIES.
2. BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES. SITE UTILITY CONTRACTOR SHALL STUB LATERAL TO 5 FEET OUTSIDE BUILDING. SEE INTERIOR PLUMBING PLANS FOR CONTINUATION OF PIPING INTO BUILDING BY BUILDING PLUMBING CONTRACTOR IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
3. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
4. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSING FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
6. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTING OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
7. GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS, TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION, SIZE AND DEPTH OF NEW SERVICE.
8. CONTRACTOR SHALL PROVIDE DRAIN TILE AT ALL PROPOSED CATCH BASINS. SEE PLAN VIEW FOR DETAIL DESIGN INFORMATION.

SHEET KEYNOTES

KEY PLAN

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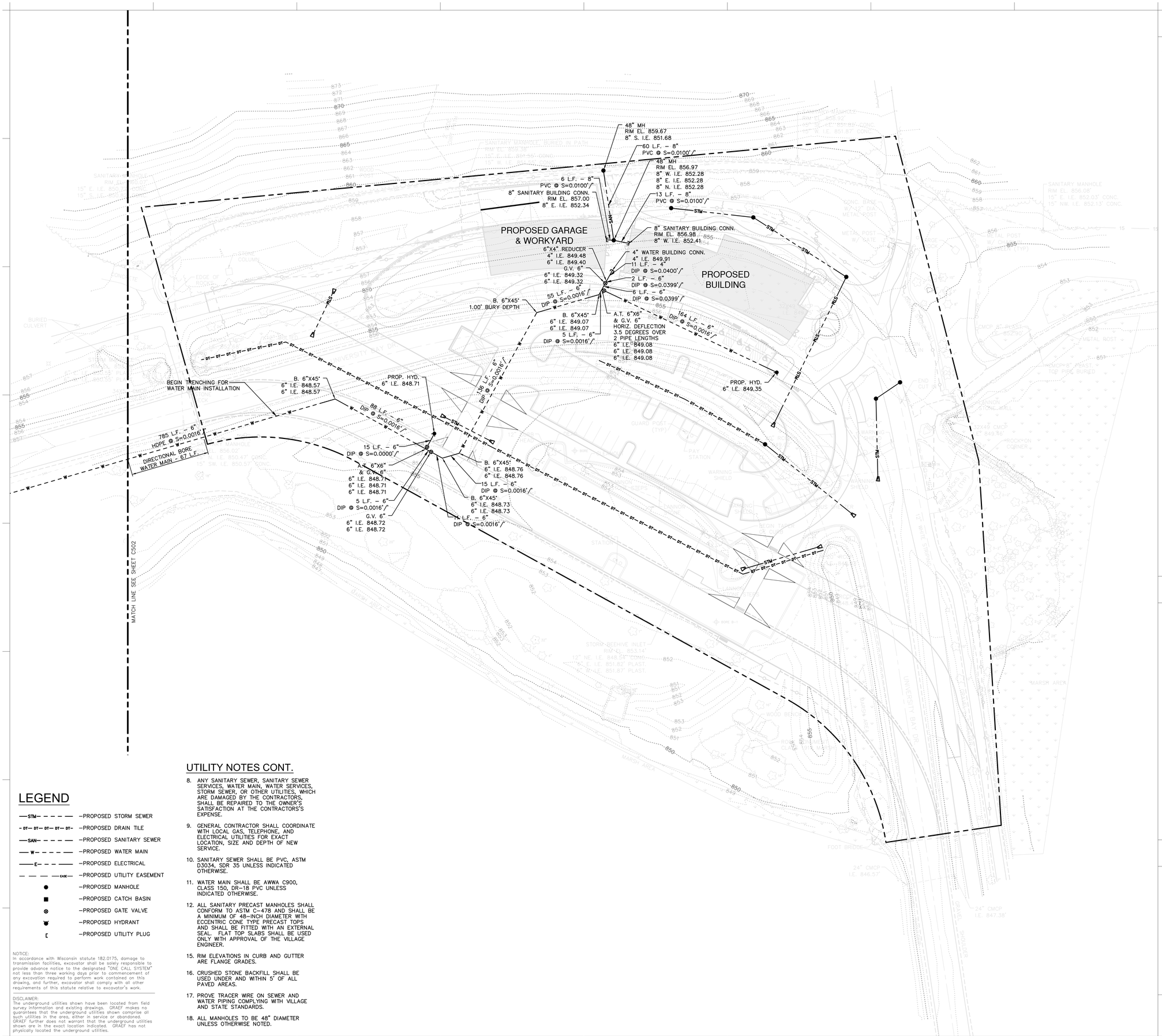

LEGEND

- —STM— — — — — —PROPOSED STORM SEWER
- – DT— DT— DT— DT– —PROPOSED DRAIN TILE
- —SAN— — — — — —PROPOSED SANITARY SEWER
- — W— — — — — —PROPOSED WATER MAIN
- ——E— — — ——— —PROPOSED ELECTRICAL
- — — — —EASE— —PROPOSED UTILITY EASEMENT
- ● —PROPOSED MANHOLE
- ■ —PROPOSED CATCH BASIN
- ⊗ —PROPOSED GATE VALVE
- —PROPOSED HYDRANT
- E —PROPOSED UTILITY PLUG

NOTICE:
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UTILITY NOTES CONT.

8. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTORS'S EXPENSE.
9. GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS, TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION, SIZE AND DEPTH OF NEW SERVICE.
10. SANITARY SEWER SHALL BE PVC, ASTM D3034, SDR 35 UNLESS INDICATED OTHERWISE.
11. WATER MAIN SHALL BE AWWA C900, CLASS 150, DR-18 PVC UNLESS INDICATED OTHERWISE.
12. ALL SANITARY PRECAST MANHOLES SHALL CONFORM TO ASTM C-478 AND SHALL BE A MINIMUM OF 48-INCH DIAMETER WITH ECCENTRIC CONE TYPE PRECAST TOPS AND SHALL BE FITTED WITH AN EXTERNAL SEAL. FLAT TOP SLABS SHALL BE USED ONLY WITH APPROVAL OF THE VILLAGE ENGINEER.
15. RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.
16. CRUSHED STONE BACKFILL SHALL BE USED UNDER AND WITHIN 5' OF ALL PAVED AREAS.
17. PROVE TRACER WIRE ON SEWER AND WATER PIPING COMPLYING WITH VILLAGE AND STATE STANDARDS.
18. ALL MANHOLES TO BE 48" DIAMETER UNLESS OTHERWISE NOTED.

NOTES

GENERAL NOTES

1. THE BASE SURVEY WAS PREPARED BY GRAEF IN 2024. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.
2. REFER TO SHEET C100 FOR BENCHMARKS, DATUM, AND TOPOGRAPHIC ELEMENTS.
3. CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.
4. THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS PLAN SHALL BE VERIFIED BEFORE BEING UTILIZED. GRAEF DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
5. GRAEF SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

UTILITY NOTES

1. CONTRACTOR SHALL VERIFY ELEVATION OF EXISTING INVERTS PRIOR TO INSTALLATION OF PROPOSED UTILITIES.
2. BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES. SITE UTILITY CONTRACTOR SHALL STUB LATERAL TO 5 FEET OUTSIDE BUILDING. SEE INTERIOR PLUMBING PLANS FOR CONTINUATION OF PIPING INTO BUILDING BY BUILDING PLUMBING CONTRACTOR IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
3. CONTRACTOR SHALL CENTER ONE FULL LENGTH OF WATER PIPE ON SEWER AT WATER MAIN CROSSINGS, THAT BOTH JOINTS WILL BE AS FAR FROM SEWER AS POSSIBLE.
4. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
5. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSING FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION.
6. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
7. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTING OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.

SHEET KEYNOTES

KEY PLAN

NORTH

0 15' 30' 60'
SCALE: 1" = 30'

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NOT FOR CONSTRUCTION

The Board of Regents of the University of Wisconsin on behalf of the University of Wisconsin - Madison

University of Wisconsin - Madison
FP&M, Capital Project Delivery
21 N. Park Street
Madison, WI 53715

LAKESHORE NATURE PRESERVE - FRAUTSCHI CENTER
BUILDING NO. - BUILDING NAME
UNIVERSITY OF WISCONSIN - MADISON
MADISON, WISCONSIN

Sheet Title: SANITARY AND WATER UTILITY PLAN

Revisions:

No.	Date:	Description:

Scale	As indicated
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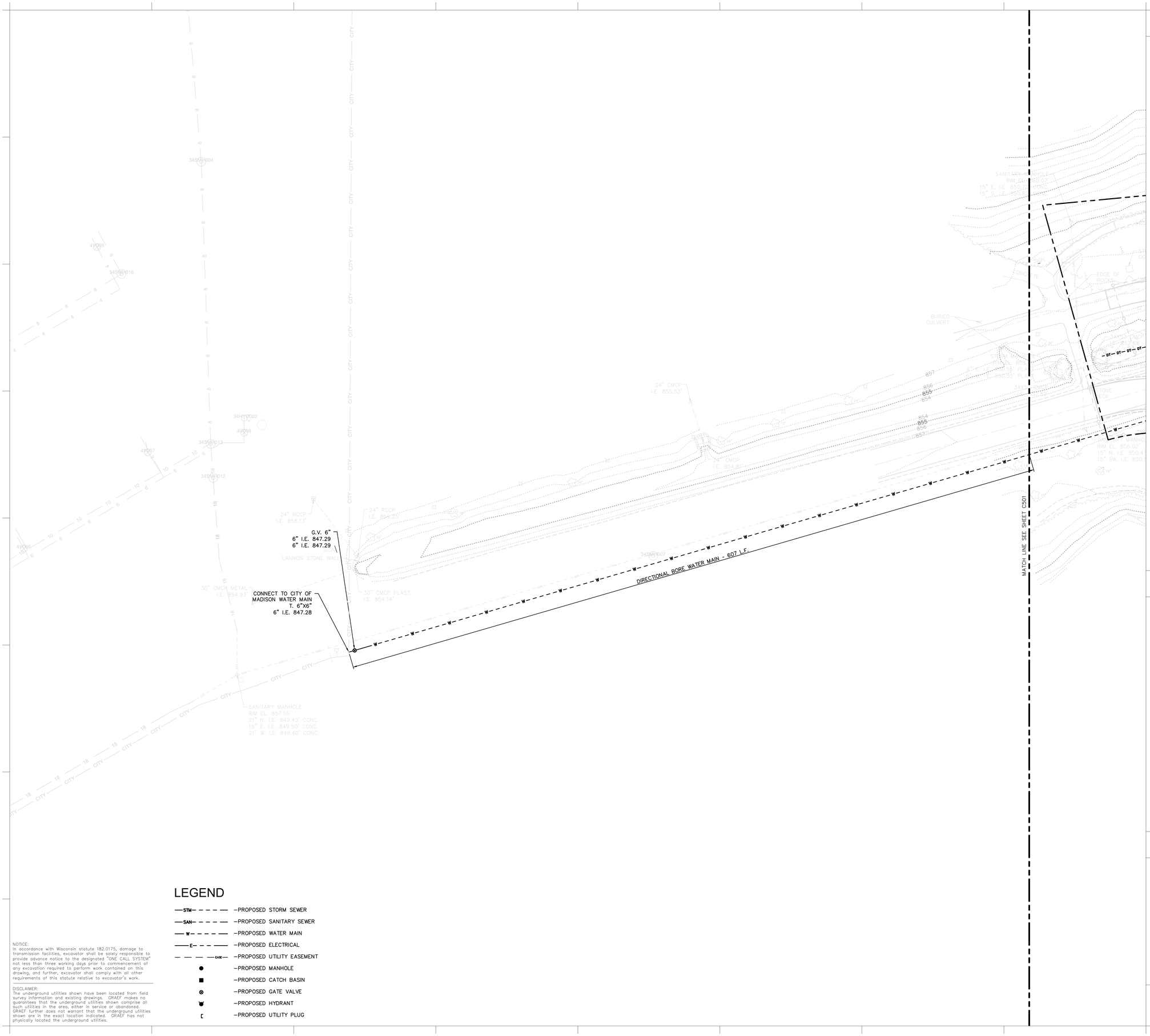

LEGEND

- —STM— — — — —PROPOSED STORM SEWER
- —SAN— — — — —PROPOSED SANITARY SEWER
- —W— — — — —PROPOSED WATER MAIN
- —E— — — —PROPOSED ELECTRICAL
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13. CONTRACTOR SHALL PROVIDE DRAIN TILE AT ALL PROPOSED CATCH BASINS. SEE PLAN VIEW FOR DETAIL DESIGN INFORMATION.
14. BUILDING ROOF DRAINS SHALL BE SDR-35, ASTM D3034, PVC, UNLESS OTHERWISE NOTED.
15. RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.
16. PIPE LENGTHS AND INVERTS ARE TO CENTER OF STRUCTURES.
17. CRUSHED STONE BACKFILL SHALL BE USED UNDER AND WITHIN 5' OF ALL PAVED AREAS.
18. PROVIDE TRACER WIRE ON SEWER AND WATER PIPING COMPLYING WITH VILLAGE AND STATE STANDARDS.
19. ALL MANHOLES TO BE 48" DIAMETER UNLESS OTHERWISE NOTED.
20. ALL NEW ON-SITE STORM SEWER SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.

SHEET KEY NOTES

KEY PLAN

NORTH

0 15' 30' 60'
SCALE: 1" = 30'

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Sheet Title: SANITARY AND WATER UTILITY PLAN

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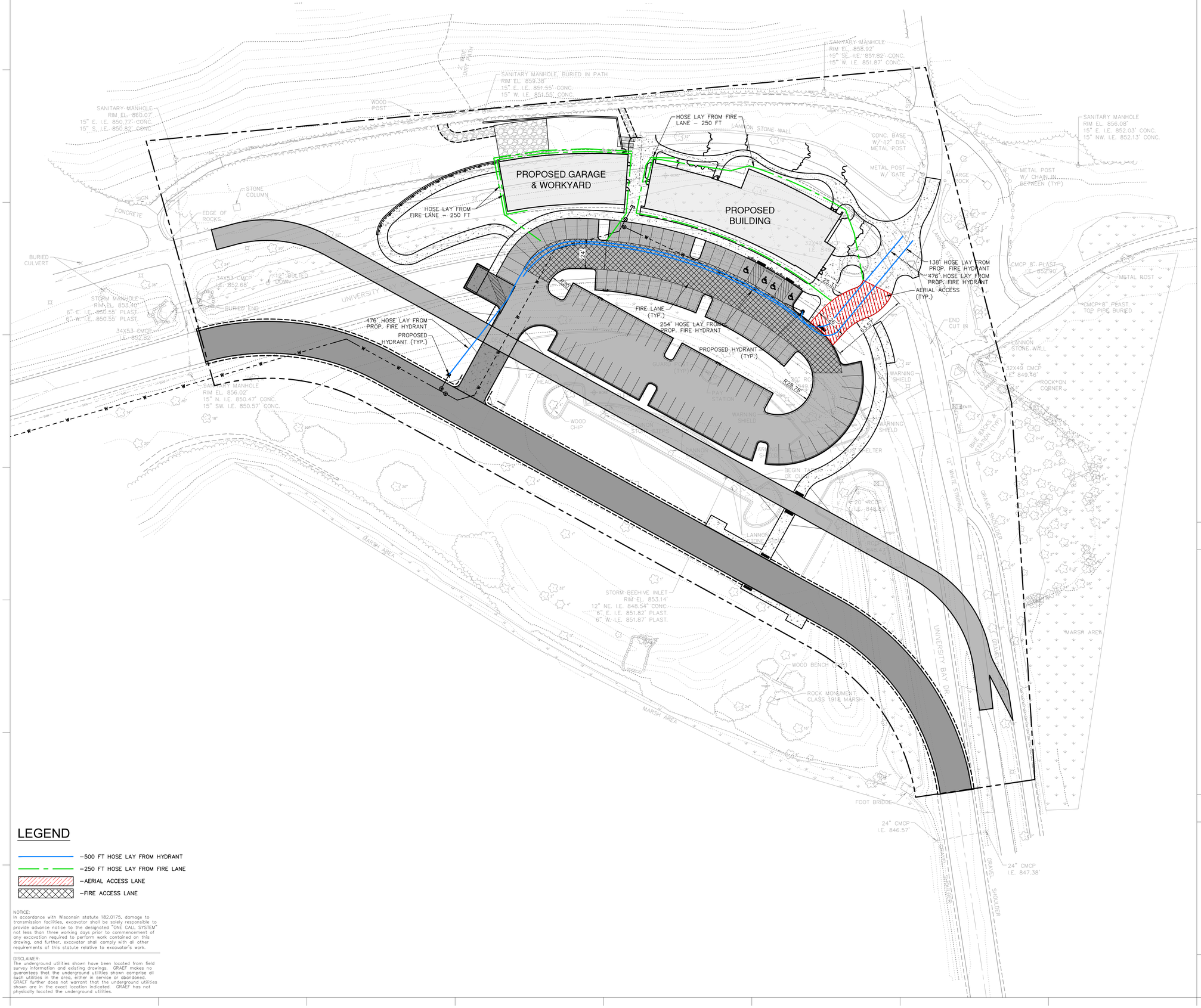

LEGEND

- ▬ –500 FT HOSE LAY FROM HYDRANT
- ▬ – ▬ –250 FT HOSE LAY FROM FIRE LANE
- ▨ –AERIAL ACCESS LANE
- ▩ –FIRE ACCESS LANE

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SHEET KEYNOTES

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NORTH

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Sheet Title:
FIRE ACCESS PLAN

Revisions:

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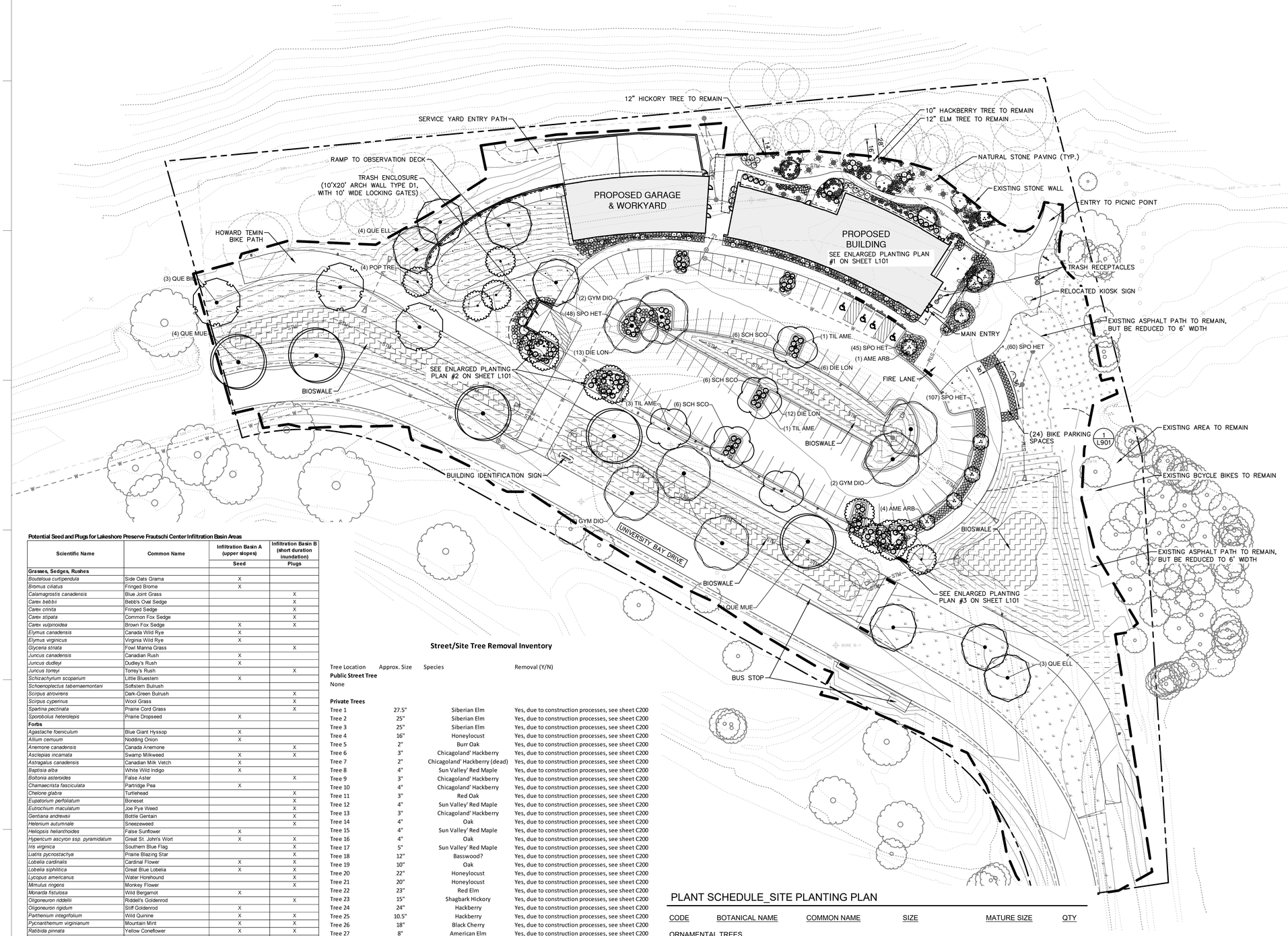

Potential Seed and Plugs for Lakeshore Preserve Frautschi Center Infiltration Basin Areas

Scientific Name	Common Name	Infiltration Basin A (upper slopes)	Infiltration Basin B (short duration inundation)
		Seed	Plugs
Grasses, Sedges, Rushes			
Bouteloua curtipendula	Side Oats Grama	X	
Bromus ciliatus	Fringed Brome	X	
Calamagrostis canadensis	Blue Joint Grass		X
Carex bebbii	Bebb's Oval Sedge		X
Carex crinita	Fringed Sedge		X
Carex stipata	Common Fox Sedge		X
Carex vulpinoidea	Brown Fox Sedge	X	X
Elymus canadensis	Canada Wild Rye	X	
Elymus virginicus	Virginia Wild Rye	X	
Glyceria striata	Fowl Manna Grass		X
Juncus canadensis	Canadian Rush	X	
Juncus dudleyi	Dudley's Rush	X	
Juncus torreyi	Torrey's Rush		X
Schizachyrium scoparium	Little Bluestem	X	
Schoenoplectus tabernaemontani	Softstem Bulrush		
Scirpus atrovirens	Dark-Green Bulrush		X
Scirpus cyperinus	Wool Grass		X
Spartina pectinata	Prairie Cord Grass		X
Sporobolus heterolepis	Prairie Dropseed	X	
Forbs			
Agastache foeniculum	Blue Giant Hyssop	X	
Allium cernuum	Nodding Onion	X	
Anemone canadensis	Canada Anemone		X
Asclepias incarnata	Swamp Milkweed	X	X
Astragalus canadensis	Canadian Milk Vetch	X	
Baptisia alba	White Wild Indigo	X	
Boltonia asteroides	False Aster		X
Chamaecrista fasciculata	Partridge Pea	X	
Chelone glabra	Turtlehead		X
Eupatorium perfoliatum	Boneset		X
Eutrochium maculatum	Joe Pye Weed		X
Gentiana andrewsii	Bottle Gentain		X
Helenium autumnale	Sneezeweed		X
Heliopsis helianthoides	False Sunflower	X	
Hypericum ascyron ssp. pyramidatum	Great St. John's Wort	X	X
Iris virginica	Southern Blue Flag		X
Liatris pycnostachya	Prairie Blazing Star		X
Lobelia cardinalis	Cardinal Flower	X	X
Lobelia siphilitica	Great Blue Lobelia	X	X
Lycopus americanus	Water Horehound		X
Mimulus ringens	Monkey Flower		X
Monarda fistulosa	Wild Bergamot	X	
Oligoneuron nidellii	Riddell's Goldenrod		X
Oligoneuron rigidum	Stiff Goldenrod	X	
Parthenium integrifolium	Wild Quinine	X	X
Pycnanthemum virginianum	Mountain Mint	X	X
Rabbida pinnata	Yellow Coneflower	X	X
Rudbeckia hirta	Black-eyed Susan	X	
Silphium terebinthinaceum	Prairie Dock	X	
Symphyotrichum ericoides	Heath Aster	X	
Symphyotrichum laeve	Smooth Blue Aster	X	X
Symphyotrichum novae-angliae	New England Aster	X	X
Thalictrum dasycarpum	Purple Meadow Rue	X	
Tradescantia ohiensis	Ohio Spiderwort	X	X
Verbena hastata	Blue Vervain	X	X
Vernonia fasciculata	Common Ironweed	X	X
Zizia aurea	Golden Alexanders	X	X

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Street/Site Tree Removal Inventory

Tree Location	Approx. Size	Species	Removal (Y/N)
Public Street Tree			
None			
Private Trees			
Tree 1	27.5"	Siberian Elm	Yes, due to construction processes, see sheet C200
Tree 2	25"	Siberian Elm	Yes, due to construction processes, see sheet C200
Tree 3	25"	Siberian Elm	Yes, due to construction processes, see sheet C200
Tree 4	16"	Honeylocust	Yes, due to construction processes, see sheet C200
Tree 5	2"	Burr Oak	Yes, due to construction processes, see sheet C200
Tree 6	3"	Chicagoland' Hackberry	Yes, due to construction processes, see sheet C200
Tree 7	2"	Chicagoland' Hackberry (dead)	Yes, due to construction processes, see sheet C200
Tree 8	4"	Sun Valley' Red Maple	Yes, due to construction processes, see sheet C200
Tree 9	3"	Chicagoland' Hackberry	Yes, due to construction processes, see sheet C200
Tree 10	4"	Chicagoland' Hackberry	Yes, due to construction processes, see sheet C200
Tree 11	3"	Red Oak	Yes, due to construction processes, see sheet C200
Tree 12	4"	Sun Valley' Red Maple	Yes, due to construction processes, see sheet C200
Tree 13	3"	Chicagoland' Hackberry	Yes, due to construction processes, see sheet C200
Tree 14	4"	Oak	Yes, due to construction processes, see sheet C200
Tree 15	4"	Sun Valley' Red Maple	Yes, due to construction processes, see sheet C200
Tree 16	4"	Oak	Yes, due to construction processes, see sheet C200
Tree 17	5"	Sun Valley' Red Maple	Yes, due to construction processes, see sheet C200
Tree 18	12"	Basswood?	Yes, due to construction processes, see sheet C200
Tree 19	10"	Oak	Yes, due to construction processes, see sheet C200
Tree 20	22"	Honeylocust	Yes, due to construction processes, see sheet C200
Tree 21	20"	Honeylocust	Yes, due to construction processes, see sheet C200
Tree 22	23"	Red Elm	Yes, due to construction processes, see sheet C200
Tree 23	15"	Shagbark Hickory	Yes, due to construction processes, see sheet C200
Tree 24	24"	Hackberry	Yes, due to construction processes, see sheet C200
Tree 25	10.5"	Hackberry	Yes, due to construction processes, see sheet C200
Tree 26	18"	Black Cherry	Yes, due to construction processes, see sheet C200
Tree 27	8"	American Elm	Yes, due to construction processes, see sheet C200
Tree 28	12"	Black Cherry	Yes, due to construction processes, see sheet C200
Tree 29	8"	Box Elder	Yes, due to construction processes, see sheet C200
Tree 30	8.5"	White Mulberry	Yes, due to construction processes, see sheet C200
Tree 31	11.5"	Box Elder	Yes, due to construction processes, see sheet C200
Tree 32	22"	Black Cherry	Yes, due to construction processes, see sheet C200
Tree 33	4"	Box Elder	Yes, due to construction processes, see sheet C200
Tree 34	6"	White Mulberry	Yes, due to construction processes, see sheet C200
Tree 35	25"	Hackberry	Yes, due to construction processes, see sheet C200
Tree 36	10"	Green Ash	Yes, due to construction processes, see sheet C200
Tree 37	4"	White Mulberry	Yes, due to construction processes, see sheet C200
Tree 38	10.5"	Box Elder	Yes, due to construction processes, see sheet C200
Tree 39	14"	Green Ash	Yes, due to construction processes, see sheet C200
Tree 40	21"	Green Ash	Yes, due to construction processes, see sheet C200
Tree 41	8"	Box Elder	Yes, due to construction processes, see sheet C200
Tree 42	24"	Black Cherry	Yes, due to construction processes, see sheet C200
Tree 43	4"	Box Elder	Yes, due to construction processes, see sheet C200
Tree 44	15.5"	Red Elm	Yes, due to construction processes, see sheet C200
Tree 45	5"	Box Elder	Yes, due to construction processes, see sheet C200

**Note: For legibility and consistency purposes throughout the plan set, please refer to sheet C200 for the location of each removed tree. Existing trees 8"+ that are will remain are identified on the Site Layout and Landscape Plan sheets.*

PLANT SCHEDULE_SITE PLANTING PLAN

CODE	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE	QTY
ORNAMENTAL TREES					
AME ARB	*Amelanchier arborea*	*Downy Serviceberry*	*8`-10` multi-stem B&B*	*15`-25`h x 10`-12`w*	*5*
SHADE TREES					
GYM DIO	*Gymnocladus dioica*	*Kentucky Coffeetree*	*2.5" BB*	*50`-60`h x 50`-60`w*	*7*
POP TRE	*Populus tremuloides*	*Quaking Aspen*	*2.5" BB*	*40`-50`h x 20`-30`w*	*4*
QUE BIC	*Quercus bicolor*	*Swamp White Oak*	*2.0" BB*	*50`h x 40`w*	*3*
QUE ELL	*Quercus ellipsoidalis*	*Northern Pin Oak*	*2.0" BB*	*50`-65`h x 50`-65`w*	*7*
QUE MUE	*Quercus muehlenbergii*	*Chinkapin Oak*	*2.0" BB*	*75`h x 75`w*	*5*
TIL AME	*Tilia americana*	*American Linden/Basswood*	*2.5" BB*	*75`h x 40`-50`w*	*5*
DECIDUOUS SHRUBS					
DIE LON	*Diervilla lonicera*	*Dwarf Bush Honeysuckle*	*24" ht.*	*4`h x 4`w*	*31*
ORNAMENTAL GRASSES & SEDGES					
SCH SCO	*Schizachyrium scoparium*	*Little Bluestem Grass*	*1 gal.*	*2`-4`h x 2`w*	*18*
SPO HET	*Sporobolus heterolepis*	*Prairie Dropseed*	*1 gal.*	*2`-3`h x 2`w*	*260*

LANDSCAPE LEGEND

- LIMIT OF LANDSCAPE CONSTRUCTION
- SHOVEL CUT LANDSCAPE EDGE
- EXISTING TREES TO REMAIN
- NO MOW FESCUE SEEDING
- RESTORATION/INFILTRATION PLANTING - INFILTRATION BASIN A MIX
- BIOSWALE/INFILTRATION PLANTING - INFILTRATION BASIN B MIX
- MANICURED TURF SOD

NORTH

0 15' 30' 60'
SCALE: 1" = 30'

NOTES

SHEET KEYNOTES

KEY PLAN

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LAKESHORE NATURE PRESERVE - FRAUTSCHI CENTER
BUILDING NO. - BUILDING NAME
UNIVERSITY OF WISCONSIN - MADISON
MADISON, WISCONSIN

Sheet Title: SITE LANDSCAPE PLAN

Revisions:

No.	Date:	Description:

Scale	As indicated
UWM # / UWSA #	9950-2218 / A-22-007
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Sheet Number	L100

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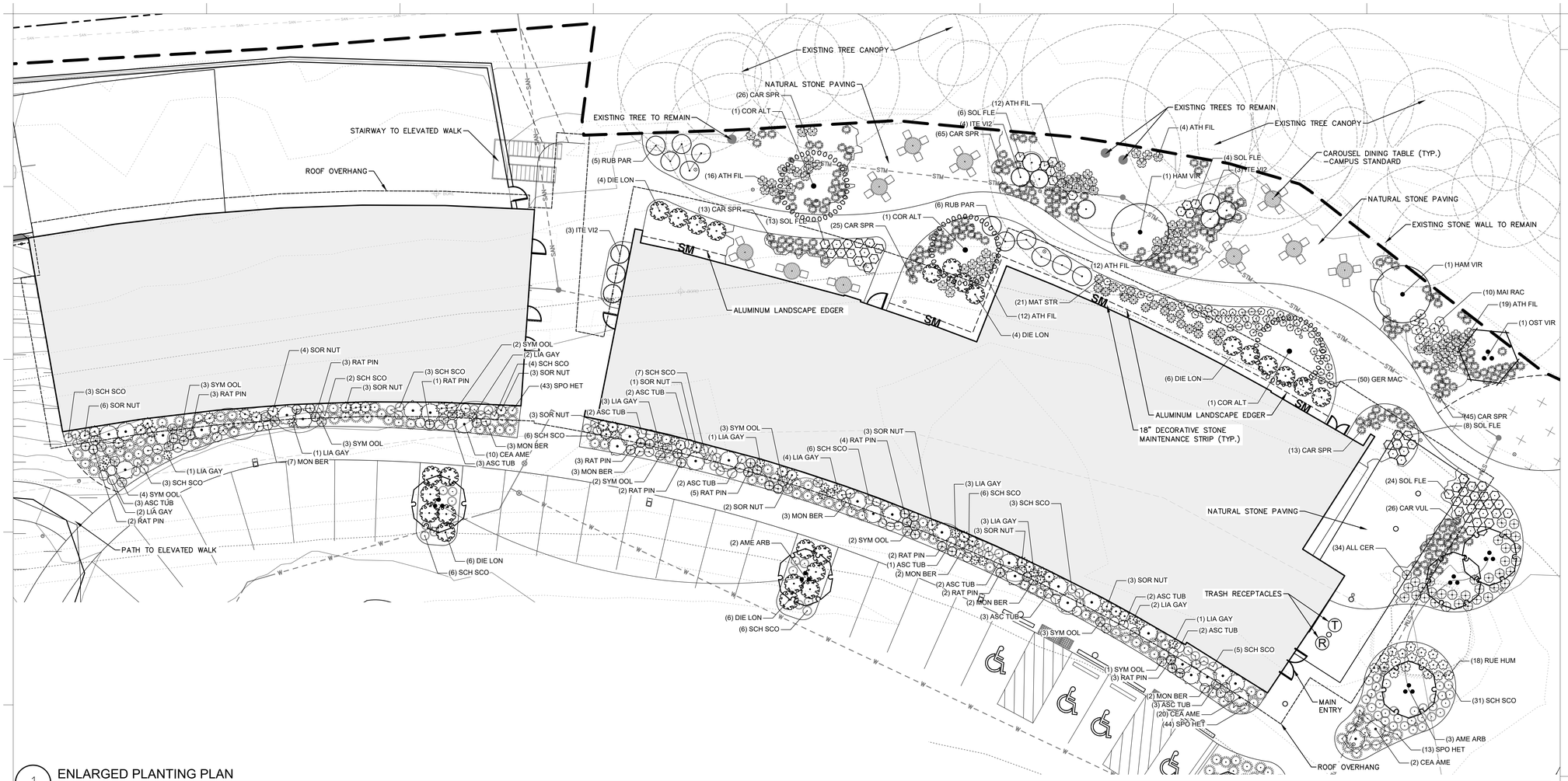
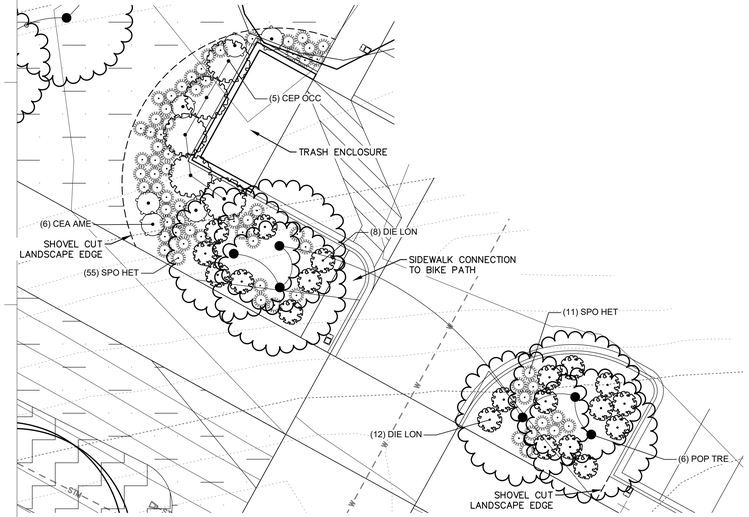


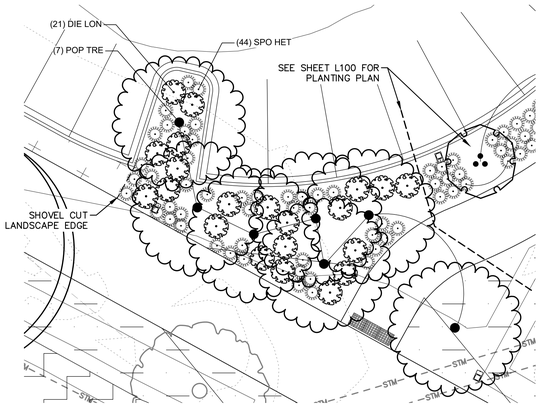
1 ENLARGED PLANTING PLAN

SCALE: 1" = 10'



2 ENLARGED PLANTING PLAN

SCALE: 1" = 10'



3 ENLARGED PLANTING PLAN

SCALE: 1" = 10'

PLANT SCHEDULE_BUILDING PLANTING PLAN

CODE	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE	QTY
ORNAMENTAL TREES					
AME ARB	*Amelanchier arborea*	*Downy Serviceberry*	*8`-10` multi-stem B&B*	*15`-25`h x 10`-12`w*	*5*
COR ALT	*Cornus alternifolia*	*Pagoda Dogwood*	*6`-8` clump BB*	*20`h x 20`w*	*3*
OST VIR	*Ostrya virginiana*	*Eastern Hop Hornbeam (Ironwood)*	*7`-8` multi-stem B&B*	*28`h x 24`w*	*1*
SHADE TREES					
POP TRE	*Populus tremuloides*	*Quaking Aspen*	*2.5" BB*	*40`-50`h x 20`-30`w*	*13*
DECIDUOUS SHRUBS					
CEA AME	*Ceanothus americanus*	*New Jersey Tea*	*1 gal.*	*2`-3`h x 2`-3`w*	*38*
CEP OCC	*Cephalanthus occidentalis*	*Buttonbush*	*36" ht.*	*6`-8`h x 6`-8`W*	*5*
DIE LON	*Diervilla lonicera*	*Dwarf Bush Honeysuckle*	*24" ht.*	*4`h x 4`w*	*67*
HAM VIR	*Hamamelis virginiana*	*Common Witch Hazel*	*6` multi-stem*	*10`-30`h x 10`-30`w*	*2*
ITE VI2	*Itea virginica*	*Virginia Sweetspire*	*18" ht.*	*4`-6`h x 4`-6`w*	*10*
RUB PAR	*Rubus parviflorus*	*Thimbleberry*	*18" ht.*	*2`-6`h x 4`-8`w*	*11*
ORNAMENTAL GRASSES & SEDGES					
CAR SPR	*Carex sprengelii*	*Long-beaked Sedge*	*4" pot*	*1`-2`h x 2`w*	*187*
CAR VUL	*Carex vulpinoidea*	*Fox Sedge*	*4" pot*	*1`-3`h x 2`w*	*26*
SCH SCO	*Schizachyrium scoparium*	*Little Bluestem Grass*	*1 gal.*	*2`-4`h x 2`w*	*91*
SOR NUT	*Sorghastrum nutans*	*Indian Grass*	*1 gal.*	*4`-6`h x 2`w*	*31*
SPO HET	*Sporobolus heterolepis*	*Prairie Dropseed*	*1 gal.*	*2`-3`h x 2`w*	*210*
PERENNIALS					
ALL CER	*Allium cernuum*	*Nodding Onion*	*1 gal.*	*2`h x 18"w*	*34*
ASC TUB	*Asclepias tuberosa*	*Butterfly Milkweed*	*1 gal.*	*2`h x 3`w*	*25*
ATH FIL	*Athyrium filix-femina*	*Common Lady Fern*	*1 gal.*	*3`h x 2`w*	*75*
GER MAC	*Geranium maculatum*	*Spotted Geranium*	*1 gal.*	*2`h x 18"w*	*50*
LIA GAY	*Liatris pycnostachya*	*Prairie Gayfeather*	*1 gal.*	*3`-5`h x 1`-2`w*	*23*
MAI RAC	*Maianthemum racemosum*	*False Solomon's Seal*	*1 gal.*	*2`-3`h x 2`-3`w*	*10*
MAT STR	*Matteuccia struthiopteris*	*Ostrich Fern*	*1 gal.*	*5`h x 2`w*	*21*
MON BER	*Monarda fistulosa*	*Wild Bergamot*	*1 gal.*	*2`-3`h x 2`-3`w*	*22*
RAT PIN	*Ratibida pinnata*	*Yellow Coneflower*	*1 gal.*	*3`-4`h x 2`w*	*30*
RUE HUM	*Ruellia humilis*	*Wild Petunia*	*1 gal.*	*1`h x 18"w*	*18*
SOL FLE	*Solidago flexicaulis*	*Zigzag Goldenrod*	*1 gal.*	*18"-36"h x 2`w*	*55*
SYM OOL	*Symphyotrichum oolentangiense*	*Sky Blue Aster*	*1 gal.*	*2`-3`h x 2`w*	*23*

NOTICE:
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
The underground utilities shown have been located from field survey information and existing drawings. GRAEF makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. GRAEF further does not warrant that the underground utilities shown are in the exact location indicated. GRAEF has not physically located the underground utilities.

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NOTES

SHEET KEYNOTES

KEY PLAN

NORTH

0 5' 10' 20'
SCALE: 1" = 10'

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LAKESHORE NATURE PRESERVE - FRAUTSCHI CENTER
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Sheet Title: ENLARGEMENT PLANTING PLANS

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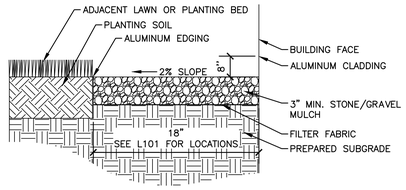
Sheet Number	L101

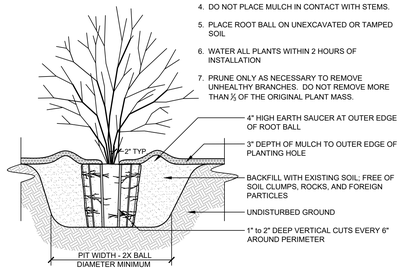
LANDSCAPING NOTES:

1. VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
2. INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO, THE LIMITS OF CONSTRUCTION. PROVIDE DIGITAL COPIES OF PHOTOGRAPHS TO THE LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE SUBMITTAL PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
3. REFER TO GEOTECHNICAL REPORT FOR INFILTRATION RATES AND SOIL TYPES / CONDITIONS.
4. SEE WRITTEN SPECIFICATIONS AND DETAILS FOR PLANTING METHODS, REQUIREMENTS, TOPSOIL TESTING AMENDMENTS, & EXECUTION, PLANT PROTECTION, PLANT STAKING METHODS, PLANT PIT DIMENSIONS, BACKFILL AND OTHER RELATED REQUIREMENTS.
5. PLANT PLACEMENT IS REQUIRED AS SHOWN ON THE LAYOUT, PLANTING, AND OTHER DRAWINGS. ENSURE PLANT LAYOUT ADEQUATE FILLS AREAS SHOWN ON LANDSCAPE PLAN. TAKE INTO ACCOUNT PLANT SIZES WILL BE SMALL INITIALLY, BUT WILL FILL THE SPACE AS THEY MATURE. INTENT OF PLANTING DESIGN IS TO REPLICATE NATURAL PLANTINGS.
6. DO NOT TIGHTLY CLUMP SMALL PLANT MATERIAL. SPACE AS LAID OUT ON LANDSCAPE PLAN. GENERALLY, SPACE PERENNIALS MIN. OF 2' FROM EACH OTHER, OR AS SHOWN ON PLANS.
7. PLANT NAMES ARE ABBREVIATED ON THE DRAWINGS. SEE PLANT LIST FOR SYMBOLS, ABBREVIATIONS, BOTANICAL/COMMON NAMES, SIZES, ESTIMATED QUANTITIES (IF GIVEN) AND OTHER REMARKS.
8. MAINTAIN AND WARRANT PLANT MATERIALS AS DESCRIBED IN WRITTEN SPECIFICATIONS.
9. PLANT BEDS AND TREE PLANTING PITS ARE TO RECEIVE 3" DEEP LAYER OF SHREDDED HARDWOOD BARK MULCH PER WRITTEN SPECIFICATIONS AND DETAILS.
10. FORM 60–INCH, OR AS OTHERWISE INDICATED, WATERING BASIN AROUND TREES NOT INSTALLED IN PAVED AREAS.
11. MAINTAIN 60–INCH DIAMETER MINIMUM CLEAR SOIL AREA AROUND ALL TREES IN MANICURED TURF AREAS. MULCH TREE RINGS WITH SPECIFIED DEPTH OF HARDWOOD BARK MULCH. SEE PLANTING DETAILS.
12. FINE GRADE, RAKE, AND ENSURE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND THROUGHOUT SITE WITHIN THE LIMITS OF CONSTRUCTION, WITH ACCURATELY SET FLOW LINES. LOW SPOTS OR PONDING OF SURFACE WATER WILL NOT BE ACCEPTED IN THE FINAL WORK. ROCKS OR DEBRIS WILL NOT BE ACCEPTED. FINAL GRADE TOLERANCES ARE +/–0.1 FOOT MAXIMUM.
13. WHERE PROVIDED, AREA TAKEOFFS AND PLANT QUANTITY ESTIMATES ARE FOR INFORMATION ONLY. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO CONDUCT QUANTITY TAKE–OFFS FOR PLANT MATERIALS AND SIZES SHOWN ON PLANS. PLANT SYMBOLS INDICATED ON THE PLAN TAKE PRECEDENCE IN CASE OF DISCREPANCIES BETWEEN CALLOUTS AND THE PLANT LIST.
14. COORDINATE THE INSTALLATION OF PLANT MATERIAL WITH INSTALLATION OF ADJACENT PAVEMENTS, DRAINAGE, CURB AND RELATED STRUCTURES WITH OTHER TRADES.
15. RESTORE AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED. DAMAGE CAUSED DURING LANDSCAPE INSTALLATION TO EXISTING CONDITIONS AND IMPROVEMENTS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
16. FOLLOWING TESTING & ANALYSIS OF TOPSOIL, INCORPORATION OF RECOMMENDED AMENDMENTS, AND TOPSOIL PLACEMENT, ALL PLANT BED AREAS SHALL BE PREPARED AS DESCRIBED IN WRITTEN SPECIFICATIONS.
17. TAKE NECESSARY SCHEDULING AND OTHER PRECAUTIONS TO AVOID WINTER, CLIMATIC, OR OTHER DAMAGE TO PLANTS.
18. PLANTING BEDS ARE TO BE SEPARATED FROM ADJACENT TURF AREAS WITH SHOVEL CUT EDGING. INSTALL AT LOCATIONS INDICATED ON DRAWINGS AND PER LANDSCAPE DETAILS.
19. SEPARATE PLANTING BEDS AND STONE MULCH MAINTENANCE STRIP WITH 3/16" X 4" BLACK ALUMINUM EDGING ANCHORED WITH MIN. 15" LONG STAKES AT 5' ON CENTER. SEE SHEET L101 FOR LOCATIONS.
20. PLANT SUBSTITUTIONS WILL NOT BE PERMITTED UNLESS THE LANDSCAPE CONTRACTOR CAN DEMONSTRATE THE PLANTS ARE NOT AVAILABLE FROM NURSERY SOURCES LOCATED WITHIN 100 MILES FROM THE PROJECT SITE. ANY PROPOSED PLANT SUBSTITUTION WILL REQUIRE PRIOR REVIEW AND WRITTEN ACCEPTANCE BY THE LANDSCAPE ARCHITECT.
21. CONTRACTOR SHALL DETERMINE THE NEED FOR TREE STAKING. IF DETERMINED NECESSARY, PROVIDE TREE STAKING AS DESCRIBED IN WRITTEN SPECIFICATIONS.



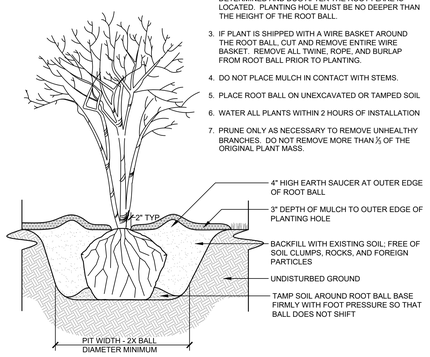
9 STONE/GRAVEL MULCH MAINTENANCE STRIP
SCALE: NOT TO SCALE

NOTES:
1. FOR 3 TO 10 GALLON CONTAINERS: MAKE 1" TO 2" DEEP VERTICAL CUTS EVERY 6" AROUND THE CIRCUMFERENCE OF THE ROOT BALL BEFORE PLANTING.
2. PLANT EACH SHRUB OR PERENNIAL SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
3. PLANTING HOLE MUST NOT BE DEEPER THAN THE HEIGHT OT THE ROOT BALL.
4. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL
6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION
7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN ⅓ OF THE ORIGINAL PLANT MASS.

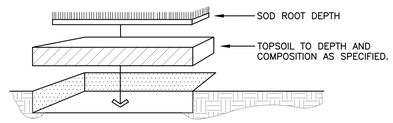


4 LARGE CONTAINER PLANTING DETAIL
SCALE: NOT TO SCALE

NOTES:
1. PLANT EACH TREE SUCH THAT THE BASE OF THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
2. DEPTH OF THE PLANTING HOLE SHOULD BE DETERMINED AND DUG AFTER THE ROOT FLARE IS LOCATED. PLANTING HOLE MUST BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL.
3. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT AND REMOVE ENTIRE WIRE BASKET. REMOVE ALL TWINE, ROPE, AND BURLAP FROM ROOT BALL PRIOR TO PLANTING.
4. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL
6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION
7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN ⅓ OF THE ORIGINAL PLANT MASS.

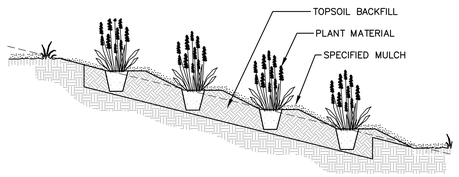


5 MULTISTEM TREE PLANTING WITH MULCH RING
SCALE: NOT TO SCALE



–TOPSOIL SHALL CONFORM TO PROPERTIES AS SPECIFIED.
–CONTRACTOR TO PROVIDE FINISHED TURF GRADE PER DRAWINGS WITH UNIFORM, NATURAL SLOPES PRIOR TO LAYING SOD. SOD BLEND & APPLICATION PROCEDURES ARE DESCRIBED IN WRITTEN SPECIFICATION
–LAY SOD IN 'RUNNING BOND' FASHION (W/ALTERNATE JOINTS), COMPRESS EACH BUTT JOINT TO REDUCE SHRINKAGE CRACKS. ANCHOR SOD APPLICATIONS ON SLOPES GREATER THAN 1:3 PER WRITTEN SPECIFICATIONS.
–LANDSCAPE CONTRACTOR SHALL ESTABLISH VIGOROUS GROWTH AND MOW & MAINTAIN AS SPECIFIED.

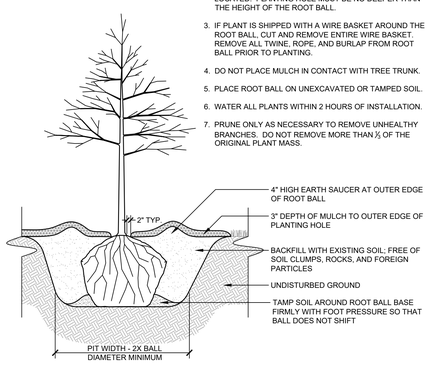
6 MANICURED TURF SOD



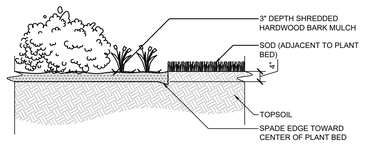
–LAYOUT PLANT MATERIAL AT SPACING AS SHOWN PER PLANT MATERIALS SCHEDULE.
–PLANT FOLLOWING SAME PROCESS AS TYPICAL PLANTING DETAILS
–HAND BROADCAST UNIFORM 3" HARDWOOD MULCH THROUGHOUT PLANTING BED.
–FLOOD IMMEDIATELY & WATER FREQUENTLY.

8 PLANTING ON SLOPE DETAIL

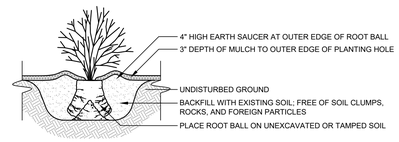
NOTES:
1. PLANT EACH TREE SUCH THAT THE BASE OF THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
2. DEPTH OF THE PLANTING HOLE SHOULD BE DETERMINED AND DUG AFTER THE ROOT FLARE IS LOCATED. PLANTING HOLE MUST BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL.
3. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT AND REMOVE ENTIRE WIRE BASKET. REMOVE ALL TWINE, ROPE, AND BURLAP FROM ROOT BALL PRIOR TO PLANTING.
4. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL
6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION
7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN ⅓ OF THE ORIGINAL PLANT MASS.



1 DECIDUOUS TREE PLANTING WITH MULCH RING
SCALE: NOT TO SCALE

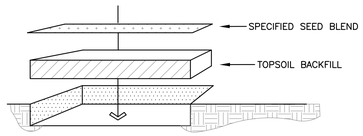


2 SHOVEL CUT PLANTING BED EDGE DETAIL
SCALE: NOT TO SCALE



NOTES:
1. FOR 1 TO 2 GALLON CONTAINERS: BUTTERFLY ROOT BALL. SEVER LOWER ½ TO ⅔ OF ROOT BALL WITH A SINGLE CUT. SPREAD OPEN SEVERED ROOT BALL AND PLACE AGAINST BOTTOM OF THE MOUNDED PLANTING HOLE.
2. PLANT EACH SHRUB OR PERENNIAL SUCH THAT THE STEM FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
3. PLANTING HOLE MUST BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL.
4. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
7. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
8. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN ⅓ OF THE ORIGINAL PLANT MASS.

3 SMALL CONTAINER PLANTING DETAIL
SCALE: NOT TO SCALE



–CONTRACTOR TO PROVIDE FINISHED TURF GRADE PER DRAWINGS WITH UNIFORM, NATURAL SLOPES PRIOR TO THE SOWING OF SEED.
–INSTALL AT LOCATIONS SHOWN ON DRAWINGS AND MAINTAIN AS SPECIFIED

7 PRAIRIE / WILDFLOWER SEEDING

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BUILDING NO. - BUILDING NAME
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MADISON, WISCONSIN

Sheet Title:
LANDSCAPE NOTES AND DETAILS

Revisions:

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Set Type	PR
Date Issued	2/21/2025
Sheet Number	**L900**

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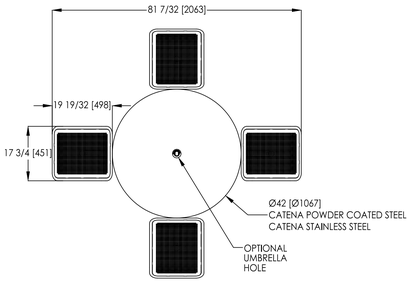
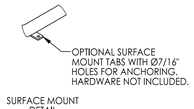
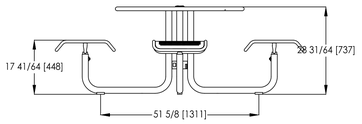


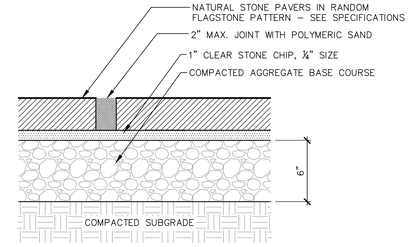


SURFACE MOUNT
DETAIL



4 CAROUSEL BENCH - CAMPUS STANDARD

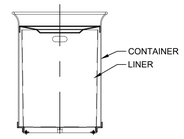
MFG: LANDSCAPE FORMS



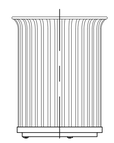
1 TYPICAL SECTION - NATURAL STONE PAVING OVER AGGREGATE BASE

TOP VIEW –
TRASH

TOP VIEW –
RECYCLE



ELEVATION –
TRASH



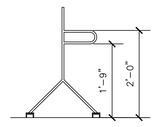
ELEVATION –
RECYCLE

NOTES:

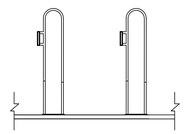
1. SURFACE-MOUNT RECEPTACLES TO CONCRETE WITH GALVANIZED BOLTS AND SLEEVES, AND ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. SEE LANDSCAPE PLAN FOR LOCATIONS.

2 TRASH AND RECYCLING RECEPTACLES

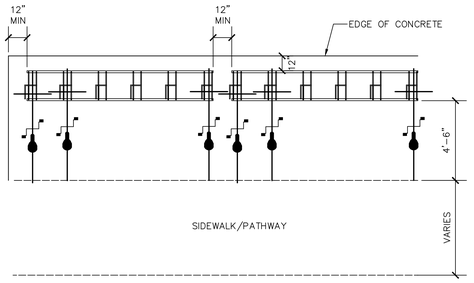
SCALE: NOT TO SCALE



SIDE VIEW



FRONT VIEW



DUCK BILL BIKE RACK LAYOUT

NOTES:
1. Surface-mount bike racks to concrete with galvanized bolts and sleeves, and according to manufacturer's specifications.
2. See Landscape Plan for locations and quantities.
3. Direct any layout and quantity questions to Rob Kennedy (608.263.1034) and Chuck Strawser (608.263.2969).

3 TYPICAL BIKE RACK LAYOUT

SCALE: NOT TO SCALE

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Sheet Title:
SITE DETAILS

Revisions:

No.	Date:	Description:

Scale	As indicated
UWM #	9950-2218
UWSA #	A-22-007
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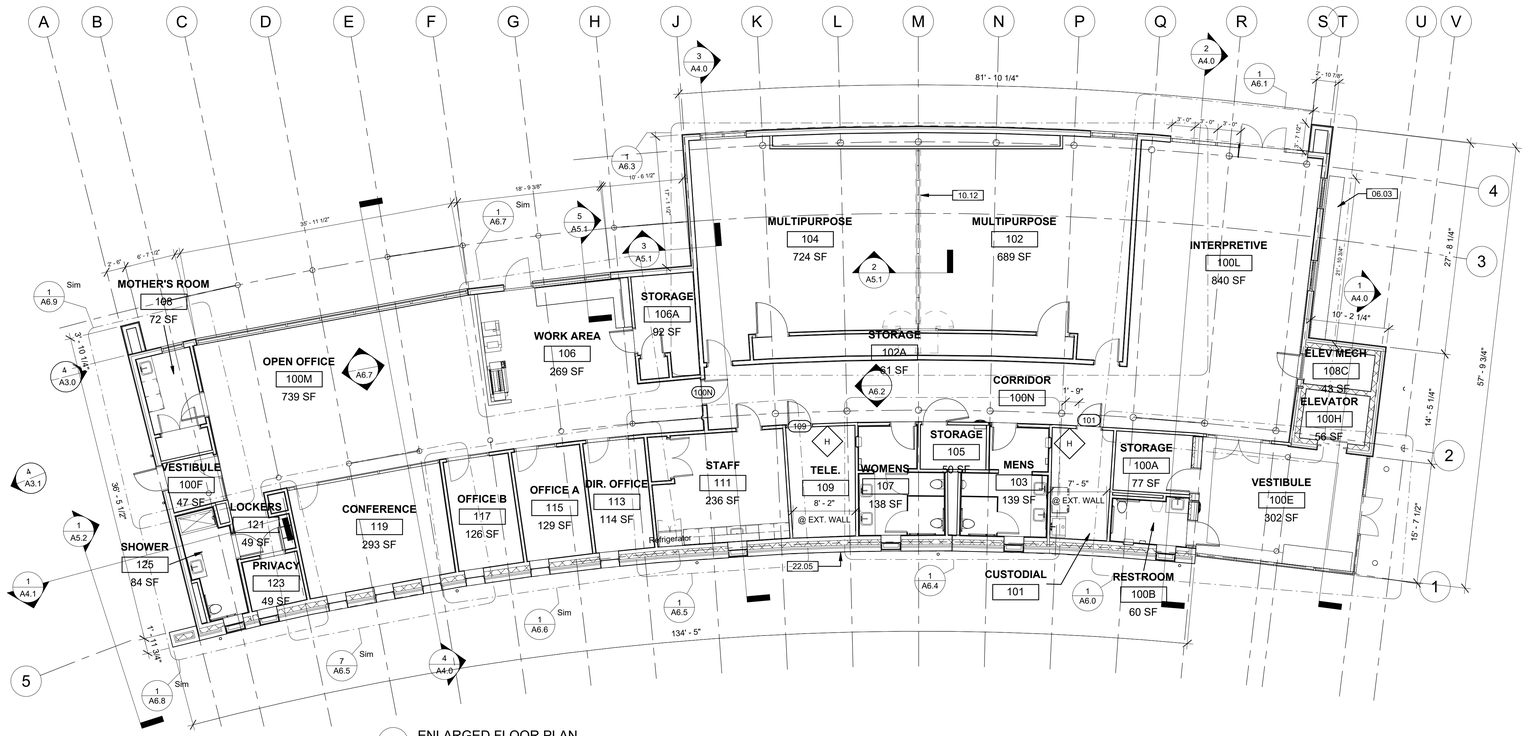
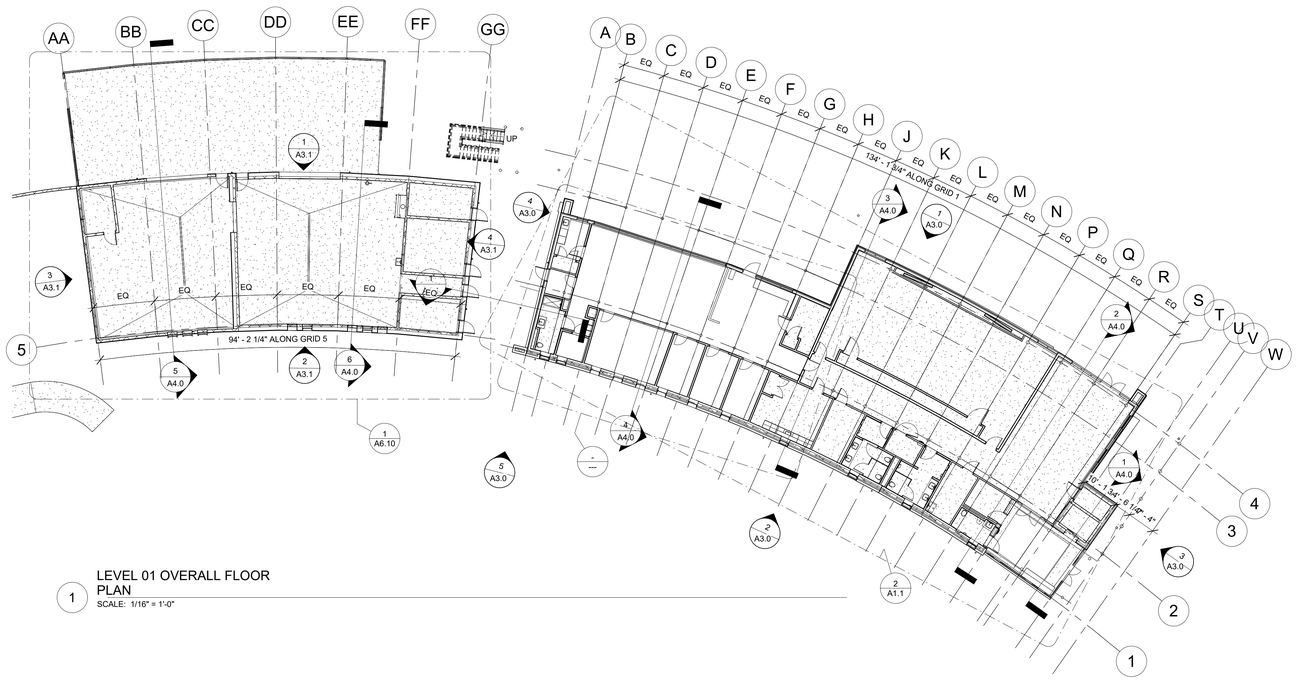


2 ENLARGED FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 LEVEL 01 OVERALL FLOOR PLAN
SCALE: 1/16" = 1'-0"

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GRAPHIC LEGEND

SHEET KEYNOTES

06.03	WOOD BENCH: ARCHITECTURAL GRADE GLULAM W/ LAP JOINTED TAPERED LEGS ON STL KNIFE PLATE STANDOFFS
10.12	OPERABLE PARTITION BOD: MODERNFOLD ACOUSTISEAL ENCORE
22.05	HOSE BIB

KEY PLAN

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Sheet Title: LEVEL 01 FLOOR PLAN

Revisions:

No.	Date:	Description:

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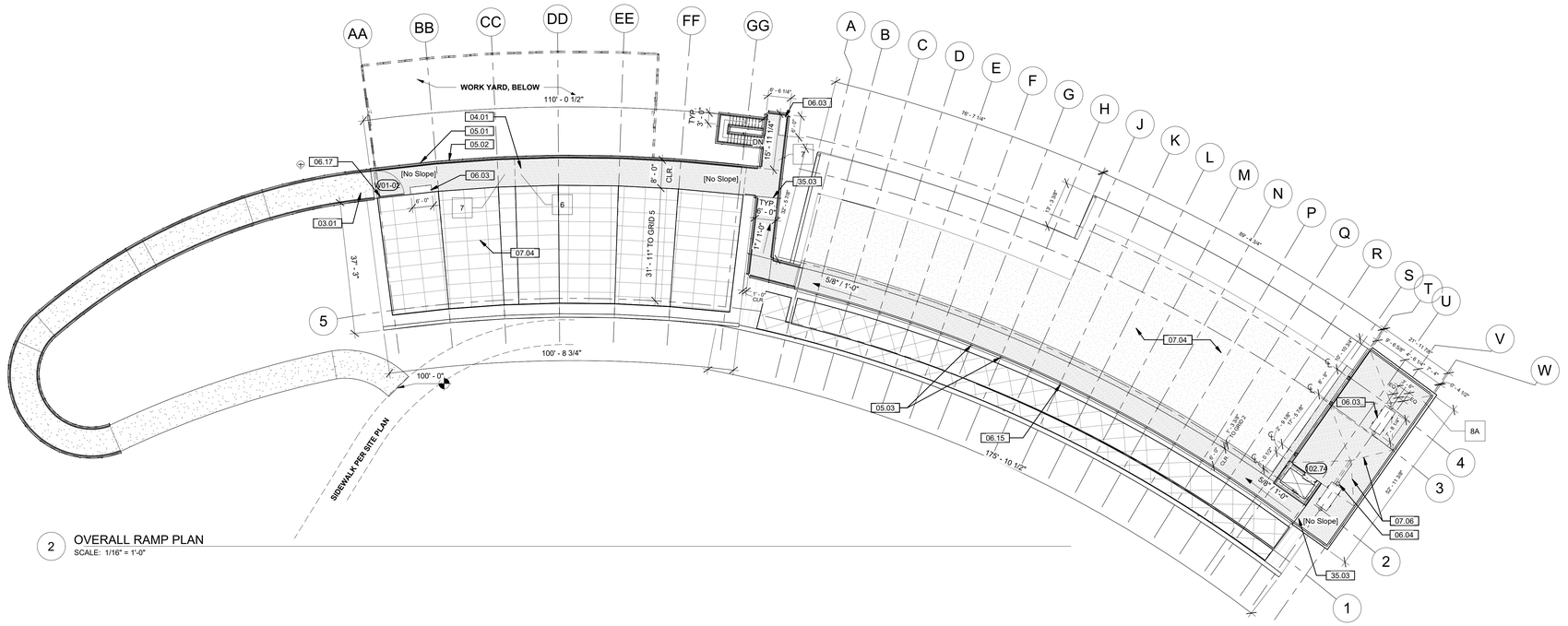
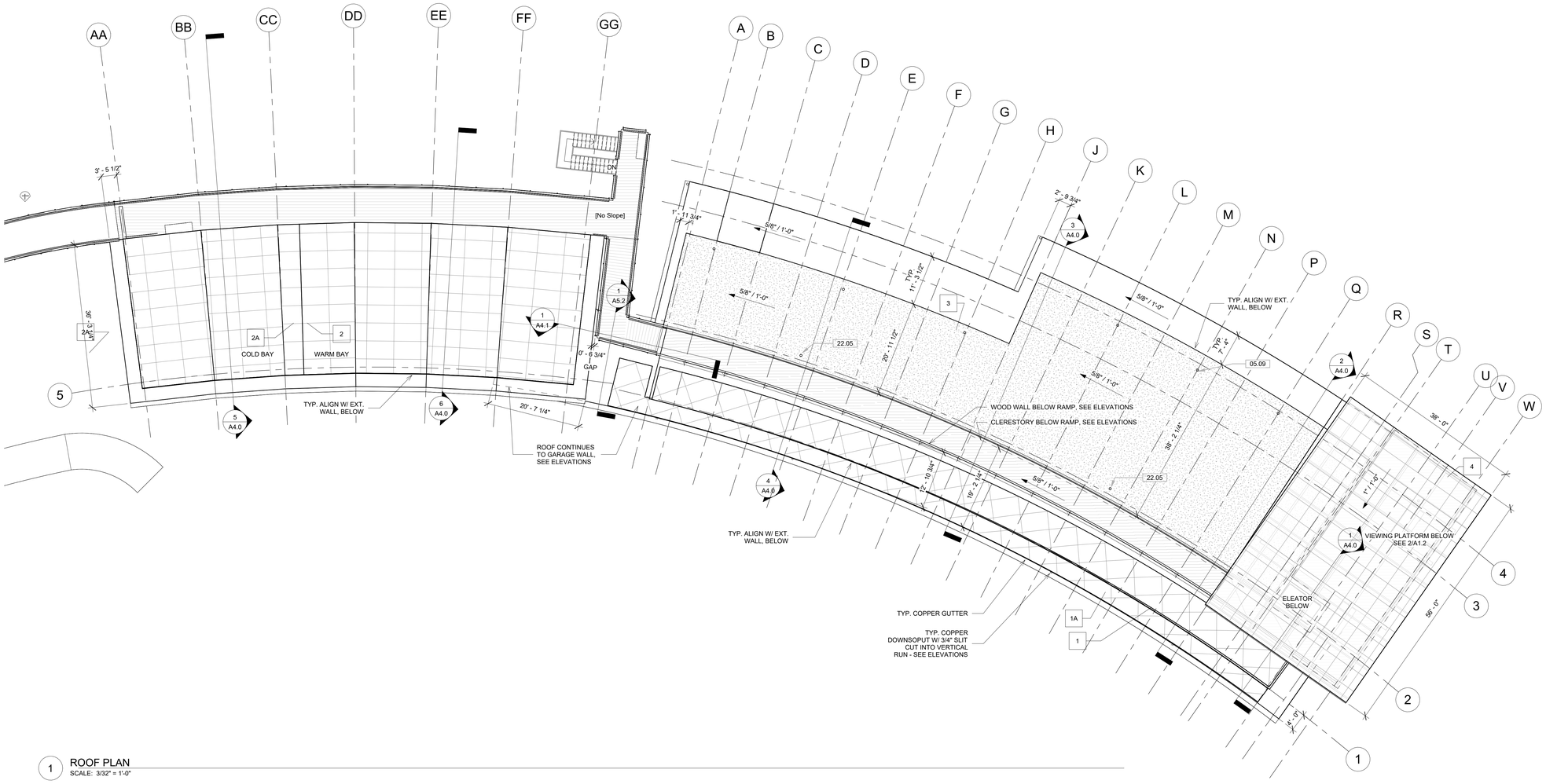
UWSA #	A-22-007
Set Type	PR
Date Issued	02/21/20
	25
Sheet Number	**A1.1**

Plot Date: 1/22/2023 5:53:34 PM



2 OVERALL RAMP PLAN
SCALE: 1/16" = 1'-0"



1 ROOF PLAN
SCALE: 3/32" = 1'-0"

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GRAPHIC LEGEND

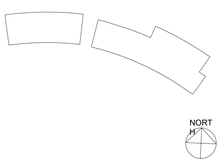
ROOF MATERIAL LEGEND

- SOLAR PANEL SYSTEM - BIFACIAL WHERE OVER OCCUPIED ROOF/RAMP
- 6" EXTENSIVE GREEN ROOF
- 90MIL EPDM MEMBRANE ROOF
- PEDESTAL PAVER SYSTEM ON RAMP
- CONCRETE RAMP SECTION

SHEET KEYNOTES

03.01	CONC. RAMP PER CIVIL
04.01	LIMESTONE PAVERS ON ADJUSTABLE PEDESTAL SYSTEM
05.01	TYP. CUSTOM PROFILE DOUBLE STL. PLATE BALLUSTER
05.02	TYP. GUARDRAIL INFILL PANEL: THERMALLY MODIFIED WOOD TOP & BOTTOM RAIL W/ TWO LAYERS OF ANODIZED ALUMINUM WELDED WIRE MESH INFILL SPACED 1" APART
05.03	TYP. ALIGN GUARDRAIL BALLUSTERS W/ STRUCTURAL GRID
05.09	ROOF TIE OFFS AS REQ'D
06.03	WOOD BENCH: ARCHITECTURAL GRADE GLULAM W/ LAP JOINTED TAPERED LEGS ON STL. KNIFE PLATE STANDOFFS
06.04	TYP. ARCHITECTURAL GRADE GLULAM COLUMN PER STRUCTURAL
06.15	TYP. BALUSTER: TWO THERMALLY MODIFIED 2X LUMBER W/ TAPERED PROFILE & 3 1/2" GAP BETWEEN THEM, EVENLY DISTRIBUTED AND ALIGNED W/ STRUCTURAL GRID
06.17	LATCHABLE, LOCKABLE GATE CLAD IN THERMALLY MODIFIED T&G
07.04	ROOF PER ROOF PLAN
07.06	TAPERED INSULATION SLOPING 1/8" PER FOOT TOWARDS DECK DRAIN UNDERNEATH PEDESTAL PAVER SYSTEM
22.05	HOSE BIB
35.03	BEGIN NO SLOPE SECTION

KEY PLAN



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Sheet Title: ROOF PLAN

Revisions:

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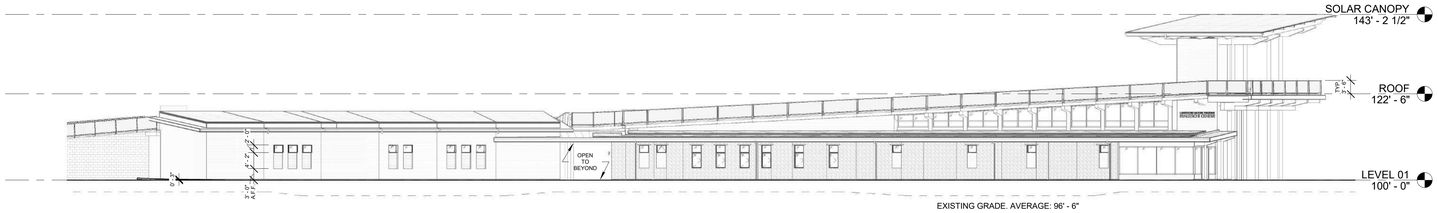
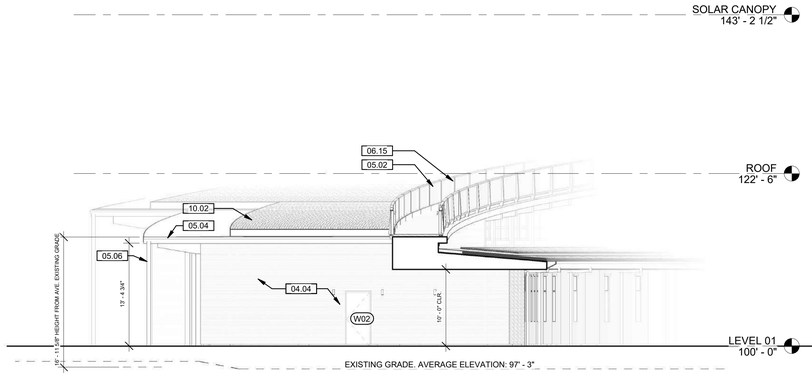
Scale	As indicated
UWM # / UWSA #	9950-2218 / A-22-007
Set Type	PR
Date Issued	02/21/20 25
Sheet Number	**A1.2**

Plot Date: 1/22/2023 5:53:34 PM



5 OVERALL SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



4 WEST EXTERIOR ELEVATION
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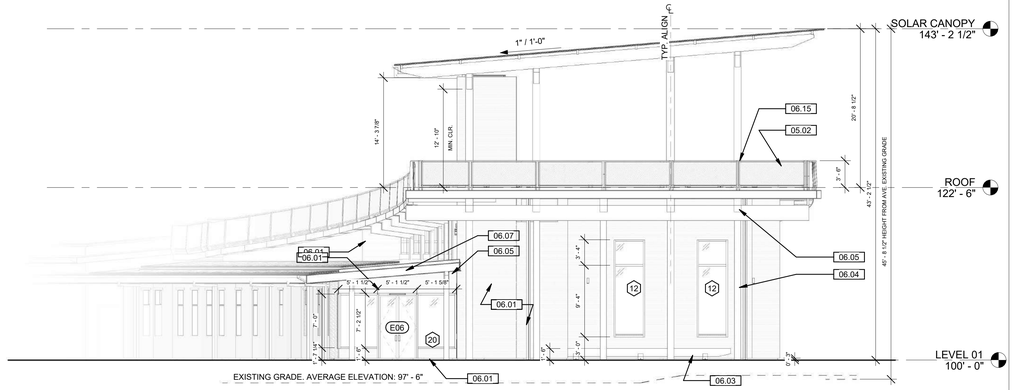

3 EAST EXTERIOR ELEVATION
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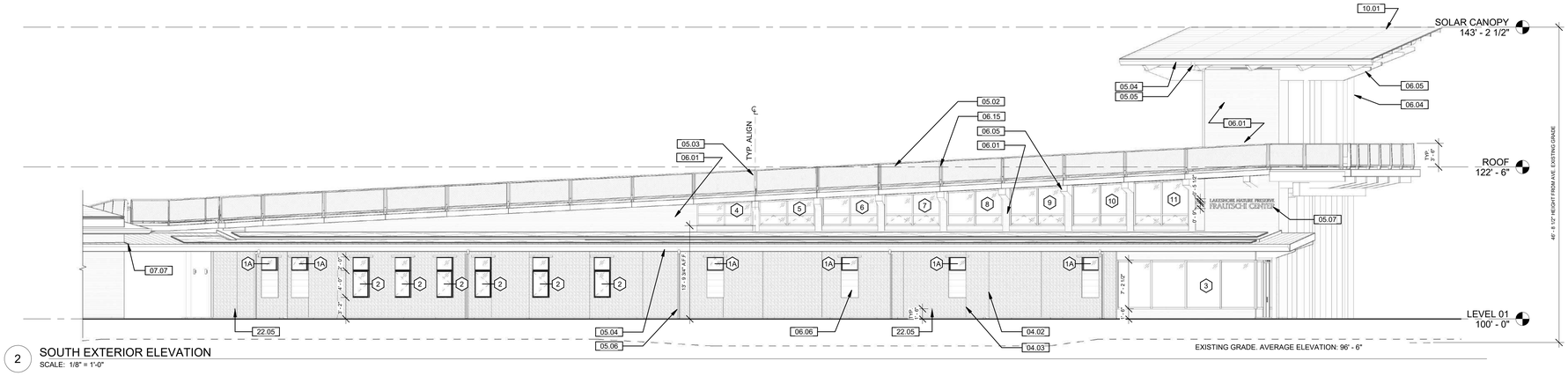

2 SOUTH EXTERIOR ELEVATION
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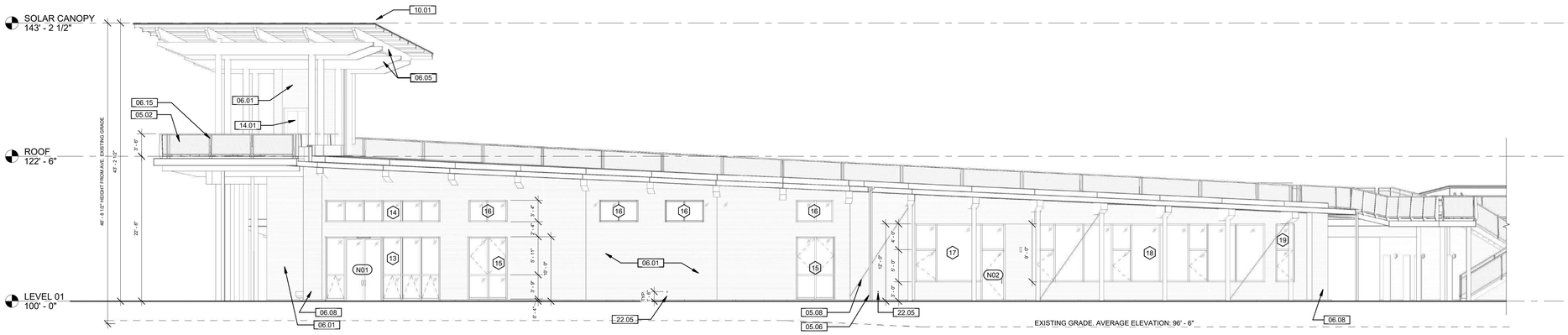

1 NORTH EXTERIOR ELEVATION
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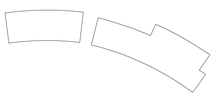
GRAPHIC LEGEND

- THERMALLY MODIFIED T&G
- THERMALLY MODIFIED T&G
- FULL-VENEER STONE
- WELDED WIRE MESH GUARDRAIL PANEL

SHEET KEYNOTES

04.02 TYP. SEGMENT MASONRY WALL @ EACH INT. PARTITION INTERSECTION. ALIGN WALL W/ GRIDLINE @ EACH END
04.03 TYP. ALIGN CONTROL JOINT W/ WINDOW JAMB
04.04 FULL VENEER MASONRY WALL: 60% BIRCHWOOD & FIELDSTONE COBBLES IN 4"-5" SIZE RANGE W/ 40% SPLIT FIELDSTONE & LEDGESTONE IN 6"-10" SIZES. MAXIMUM 1/2" WIDE RAKED MORTAR JOINTS TO 1" DEPTH
05.02 TYP. GUARDRAIL INFILL PANEL: THERMALLY MODIFIED WOOD TOP & BOTTOM RAIL W/ TWO LAYERS OF ANODIZED ALUMINUM WELDED WIRE MESH INFILL SPACED 1" APART
05.03 TYP. ALIGN GUARDRAIL BALLUSTERS W/ STRUCTURAL GRID
05.04 TYP. COPPER TAPER-PROFILE GUTTER W/ PERFORATED COPPER PLATE LEAVE GUARD
05.05 TYP. COPPER PIPE DOWNSPOUT
05.06 COPPER PIPE DOWNSPOUT W/ 3/4" SLOT CUT DOWN LENGTH & FILED SMOOTH
05.07 COPPER LETTERING ON COPPER STANDOFFS
05.08 STEEL LATERAL BRACING PER STRUCTURAL
06.01 THERMALLY-MODIFIED RIFT SAWN ASH T&G SIDING W/ 7" EXPOSURE IN NATURAL FINISH
06.03 WOOD BENCH: ARCHITECTURAL GRADE GLULAM W/ LAP JOINTED TAPERED LEGS ON STL. KNIFE PLATE STANDOFFS
06.04 TYP. ARCHITECTURAL GRADE GLULAM COLUMN PER STRUCTURAL
06.05 TYP. ARCHITECTURAL GRADE TAPERED GLULAM BEAM PER STRUCTURAL W/ PREFIN. MTL. END CAP
06.06 TYP. INSET STUD WALL W/ THERMALLY MODIFIED WOOD CLADDING
06.07 THERMALLY MODIFIED WOOD FASCIA
06.08 THERMALLY MODIFIED T&G WOOD WING WALL
06.15 TYP. BALUSTER: TWO THERMALLY MODIFIED 2X LUMBER W/ TAPERED PROFILE & 3 1/2" GAP BETWEEN THEM, EVENLY DISTRIBUTED AND ALIGNED W/ STRUCTURAL GRID
07.07 EXPANSION JOINT
10.01 BIFACIAL SOLAR PANEL CANOPY
10.02 EXTENSIVE GREEN ROOF
14.01 ELEVATOR
22.05 HOSE BIB

KEY PLAN



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LAKESHORE NATURE PRESERVE - FRAUTSCHI CENTER
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MADISON, WISCONSIN

Sheet Title: EXTERIOR ELEVATIONS

Revisions:

No.	Date:	Description:

Scale	As indicated
UWM #	9950-2218
UWSA #	A-22-007
Set Type	PR
Date Issued	02/21/20 25
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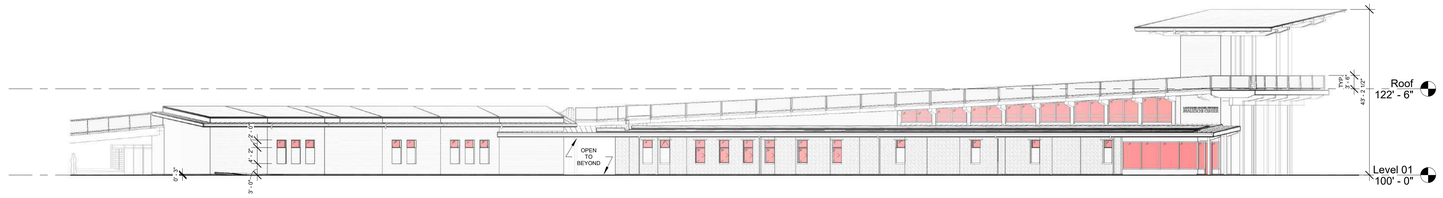
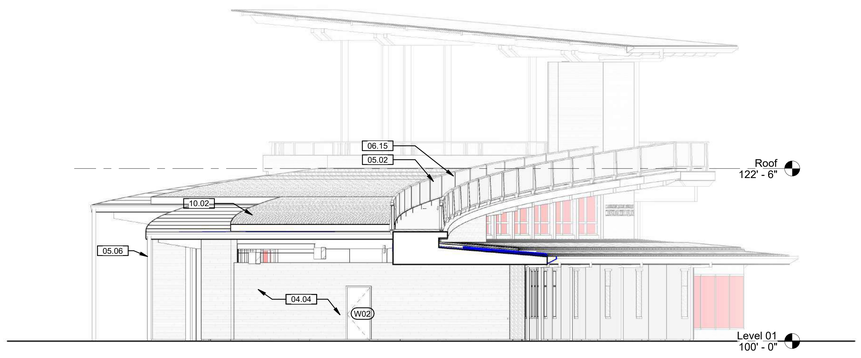


5 OVERALL SOUTH ELEVATION BIRD SAFE GLAZING EXHIBIT
SCALE: 1/16" = 1'-0"



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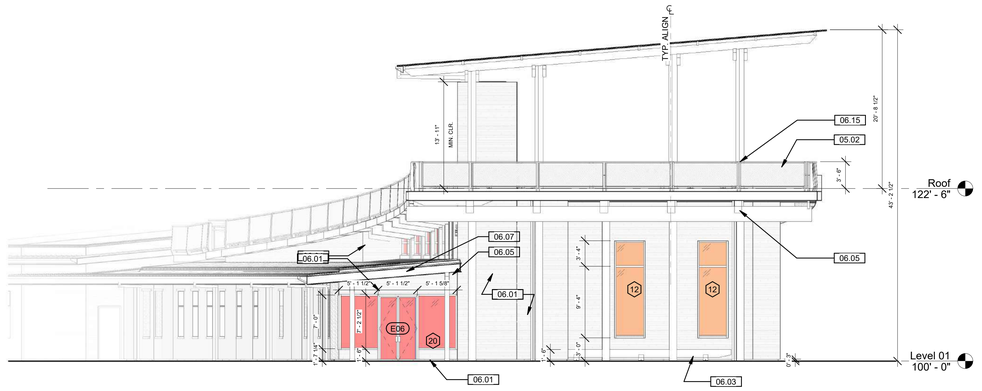
SCALE: 1/8" = 1'-0"



3 EAST EXTERIOR ELEVATION BIRD SAFE GLAZING EXHIBIT
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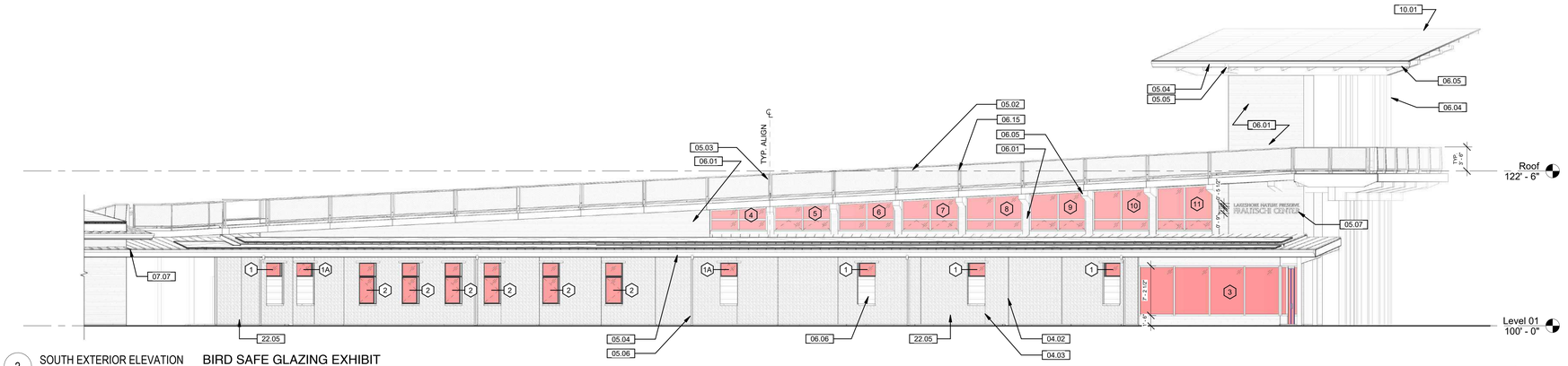
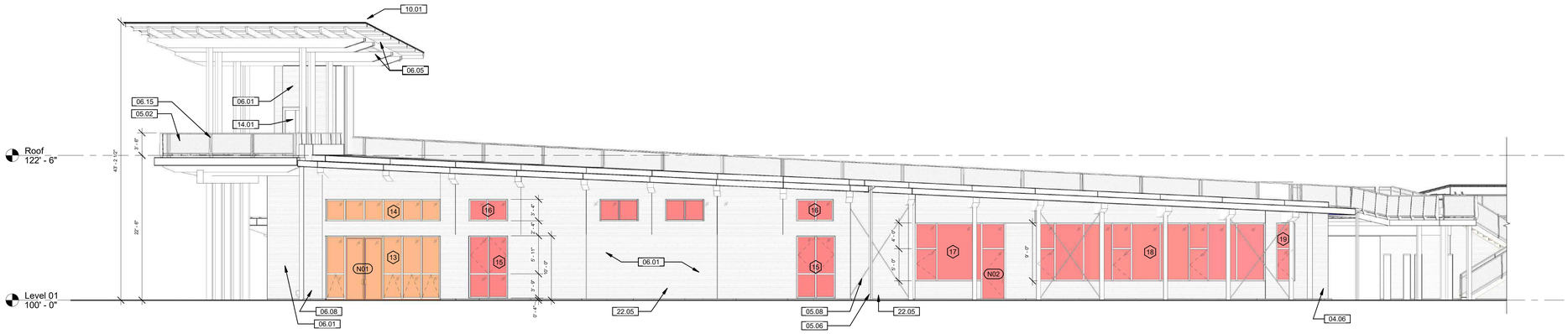


2 SOUTH EXTERIOR ELEVATION BIRD SAFE GLAZING EXHIBIT
SCALE: 1/8" = 1'-0"



1 NORTH EXTERIOR ELEVATION BIRD SAFE GLAZING EXHIBIT
SCALE: 1/8" = 1'-0"

Plot Date: 1/22/2025 5:53:34 PM

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GRAPHIC LEGEND

100% OF GLAZING ON PROJECT IS SUPPLIED WITH BIRD SAFE TREATMENT

GLASS TREATED WITH ORNALUX UV BIRD COLLISION PREVENTION GLAZING

GLASS TREATED WITH 2" X 2" GRID DOT PATTERN CERAMIC FRIT ON SURFACE #2

SHEET KEYNOTES

04.02 TYP. SEGMENT MASONRY WALL @ EACH INT. PARTITION INTERSECTION. ALIGN WALL W/ GRIDLINE @ EACH END
04.03 TYP. ALIGN CONTROL JOINT W/ WINDOW JAMB
04.04 FULL VENEER MASONRY WALL-60% BIRCHWOOD & FIELDSTONE COBBLES IN 4"-5" SIZE RANGE W/ 40% SPLIT FIELDSTONE & LEDGESTONE IN 6"-10" SIZES. MAXIMUM 1/2" WIDE RAKED MORTAR JOINTS TO 1" DEPTH
04.06 MASONRY WING WALL
05.02 TYP. GUARDRAIL INFILL PANEL: THERMALLY MODIFIED WOOD TOP & BOTTOM RAIL W/ TWO LAYERS OF ANODIZED ALUMINUM WELDED WIRE MESH INFILL SPACED 1" APART
05.03 TYP. ALIGN GUARDRAIL BALLUSTERS W/ STRUCTURAL GRID
05.04 TYP. COPPER TAPER-PROFILE GUTTER W/ PERFORATED COPPER PLATE LEAVE GUARD
05.05 TYP. COPPER PIPE DOWNSPOUT
05.06 COPPER PIPE DOWNSPOUT W/ 3/4" SLOT CUT DOWN LENGTH & FILED SMOOTH
05.07 COPPER LETTERING ON COPPER STANDOFFS
05.08 STEEL LATERAL BRACING PER STRUCTURAL
06.01 THERMALLY-MODIFIED RIFT SAWN ASH T&G SIDING W/ 7" EXPOSURE IN NATURAL FINISH
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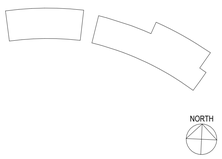

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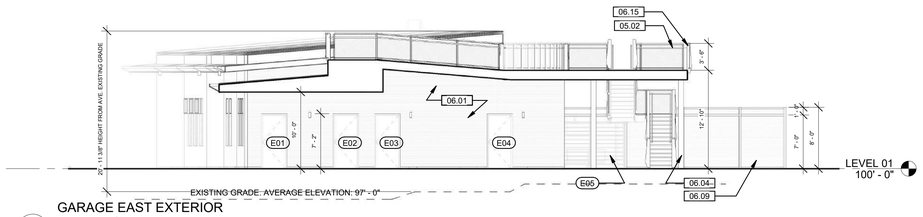
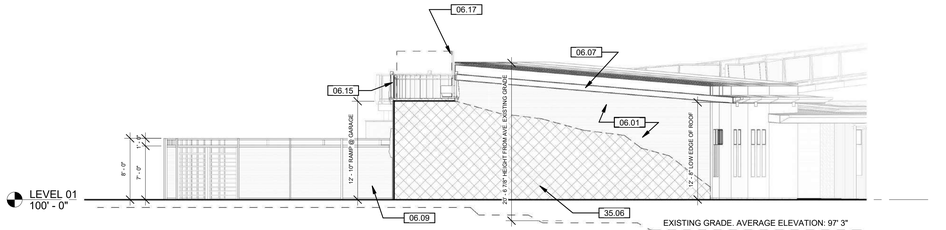


4 GARAGE EAST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



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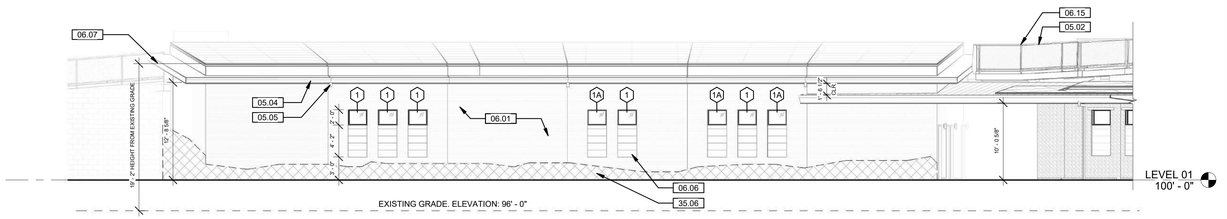

2 GARAGE SOUTH EXTERIOR ELEVATION
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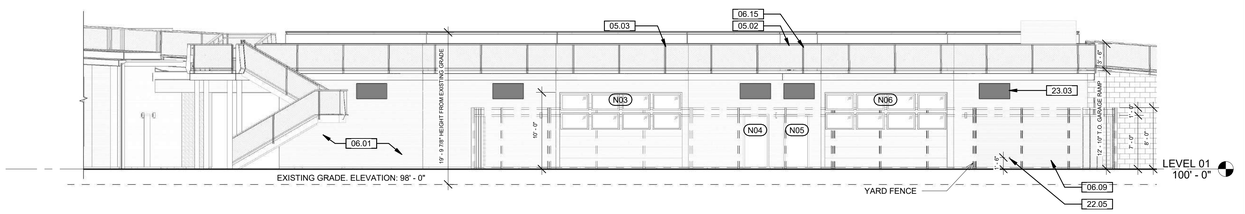

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GRAPHIC LEGEND

- THERMALLY MODIFIED T&G
- THERMALLY MODIFIED T&G
- FULL-VENEER STONE
- WELDED WIRE MESH GUARDRAIL PANEL

SHEET KEYNOTES

05.02	TYP. GUARDRAIL INFILL PANEL: THERMALLY MODIFIED WOOD TOP & BOTTOM RAIL W/ TWO LAYERS OF ANODIZED ALUMINUM WELDED WIRE MESH INFILL SPACED 1" APART
05.03	TYP. ALIGN GUARDRAIL BALLUSTERS W/ STRUCTURAL GRID
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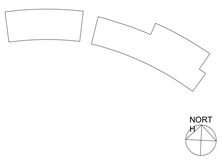
06.06	TYP. INSET STUD WALL W/ THERMALLY MODIFIED WOOD CLADDING
06.07	THERMALLY MODIFIED WOOD FASCIA
06.09	THERMALLY MODIFIED WOOD FENCE: MASS TIMBER FRAMING W/ THERMALLY MODIFIED WOOD INFILL & SLATTED GATES
06.15	TYP. BALLUSTER: TWO THERMALLY MODIFIED 2X LUMBER W/ TAPERED PROFILE & 3 1/2" GAP BETWEEN THEM, EVENLY DISTRIBUTED AND ALIGNED W/ STRUCTURAL GRID
06.17	LATCHABLE, LOCKABLE GATE CLAD IN THERMALLY MODIFIED T&G
22.05	HOSE BIB
23.03	MECHANICAL LOUVER, SEE MECH DRAWINGS
35.06	TYP. CMU RETAINING WALL BELOW GRADE - SEE GRADING PLAN

KEY PLAN



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WISCONSIN

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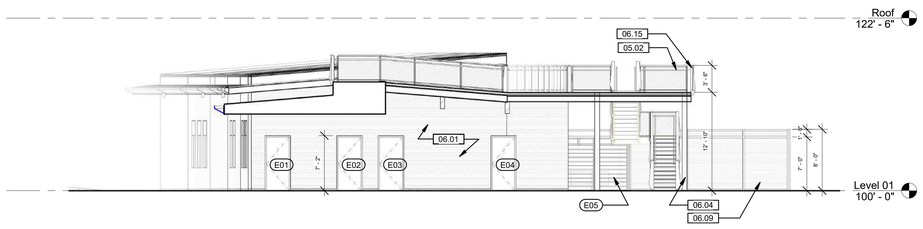

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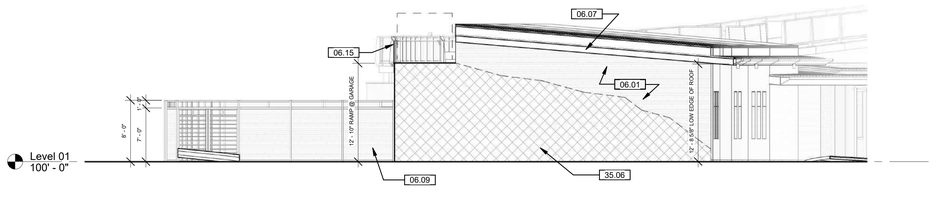

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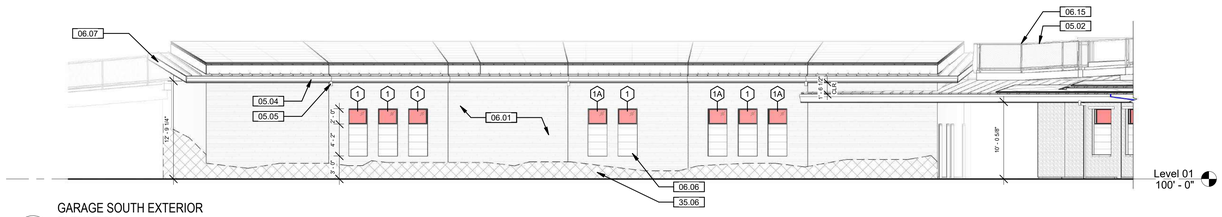

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GLASS TREATED WITH ORNALUX UV BIRD COLLISION PREVENTION GLAZING

GLASS TREATED WITH 2" X 2" GRID DOT PATTERN CERAMIC FRIT ON SURFACE #2

SHEET KEYNOTES

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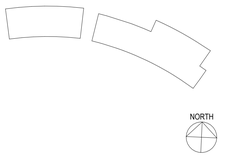
05.05	TYP. COPPER PIPE DOWNSPOUT
06.01	THERMALLY-MODIFIED RIFT SAWN ASH T&G SIDING W/ 7" EXPOSURE IN NATURAL FINISH
06.04	TYP. ARCHITECTURAL GRADE GLULAM COLUMN PER STRUCTURAL
06.06	TYP. INSET STUD WALL W/ THERMALLY MODIFIED WOOD CLADDING
06.07	THERMALLY MODIFIED WOOD FASCIA
06.09	THERMALLY MODIFIED WOOD FENCE: MASS TIMBER FRAMING W/ THERMALLY MODIFIED WOOD INFILL & SLATTED GATES
06.15	TYP. BALUSTER: TWO THERMALLY MODIFIED 2X LUMBER W/ TAPERED PROFILE & 3 1/2" GAP BETWEEN THEM, EVENLY DISTRIBUTED AND ALIGNED W/ STRUCTURAL GRID
23.03	MECHANICAL LOUVER, SEE MECH DRAWINGS
35.06	TYP. CMU RETAINING WALL BELOW GRADE - SEE GRADING PLAN

KEY PLAN



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LAKESHORE NATURE PRESERVE - FRAUTSCHI CENTER
BUILDING NO. - BUILDING NAME
UNIVERSITY OF WISCONSIN - MADISON
MADISON, WISCONSIN

Sheet Title: GARAGE EXTERIOR ELEVATIONS

Revisions:

No.	Date:	Description:

Scale	As indicated
UWM #	9950-2218
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Set Type	PR
Date Issued	02/21/2025
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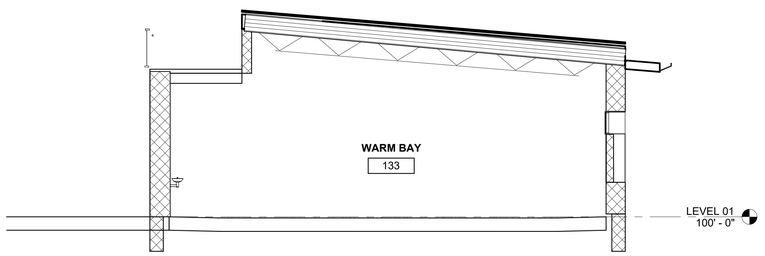
Plot Date: 1/22/2025 5:53:34 PM



6 WARM BAY BUILDING SECTION
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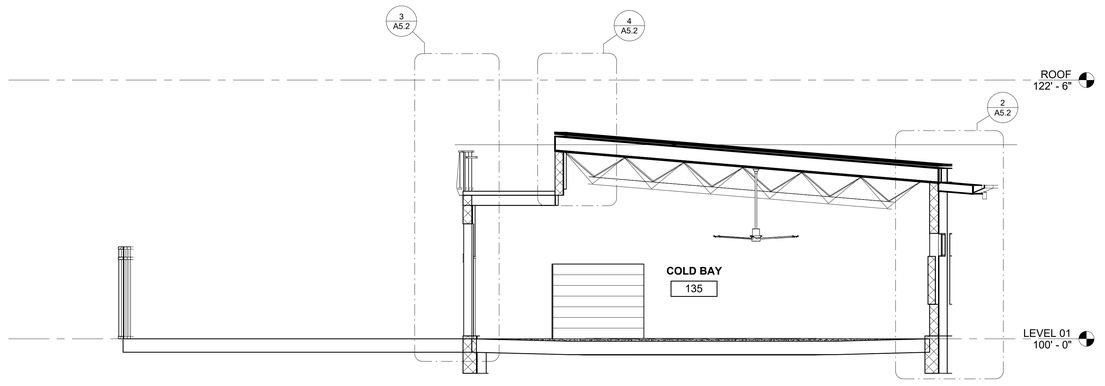

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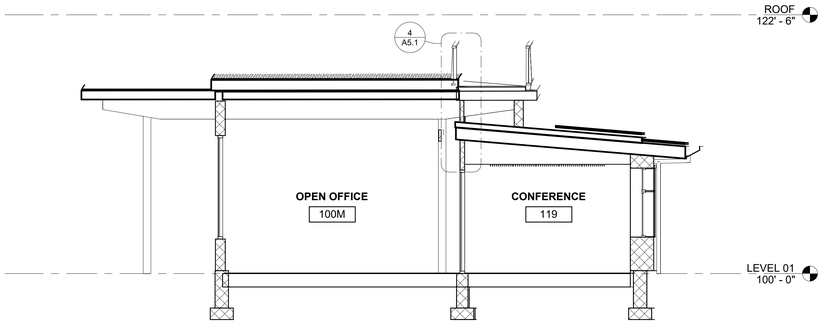

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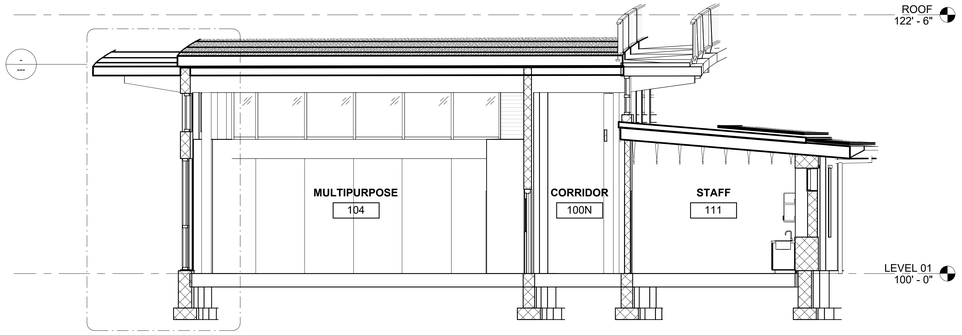
BUILDING SECTION
SCALE: 3/16" = 1'-0"



3 MULTIPURPOSE BUILDING
SECTION
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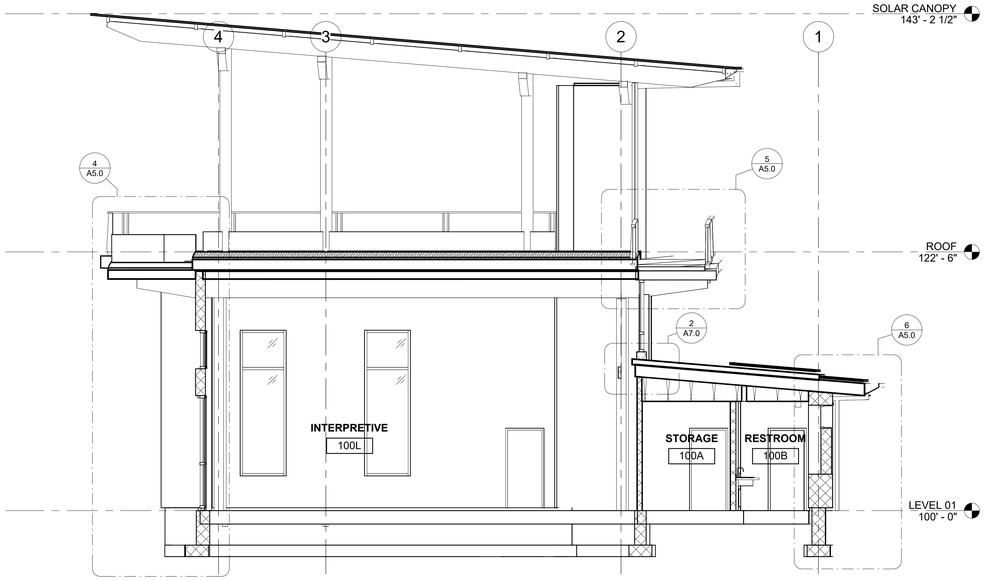

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SECTION
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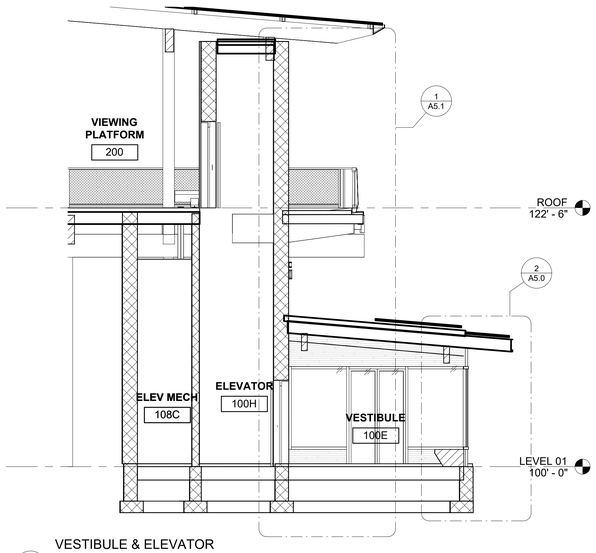

1 VESTIBULE & ELEVATOR
BUILDING SECTION
SCALE: 3/16" = 1'-0"

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GRAPHIC LEGEND

SHEET KEYNOTES

KEY PLAN

NORTH

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WISCONSIN

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FP&M, Capital Project Delivery
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Madison, WI 53715

LAKESHORE NATURE PRESERVE - FRAUTSCHI CENTER
BUILDING NO. - BUILDING NAME
UNIVERSITY OF WISCONSIN - MADISON
MADISON, WISCONSIN

Sheet Title: BUILDING SECTIONS - TRANSVERSE

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No.	Date:	Description:

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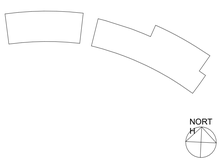
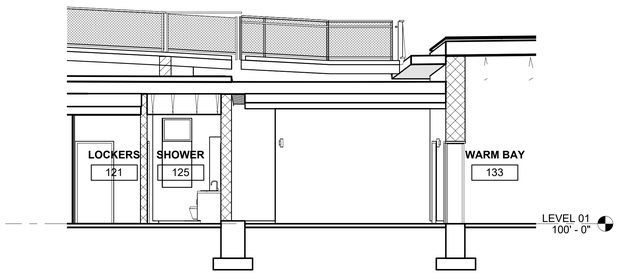
GRAPHIC LEGEND

SHEET KEYNOTES

KEY PLAN





1 MECHANICAL CHASE BUILDING SECTION
SCALE: 3/16" = 1'-0"

ARCHITECT

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Sheet Title: BUILDING SECTIONS - LONGITUDINAL

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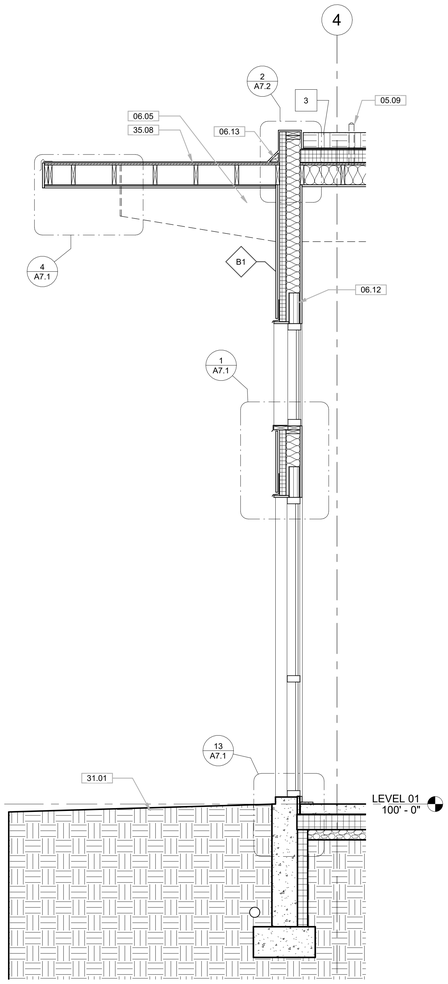

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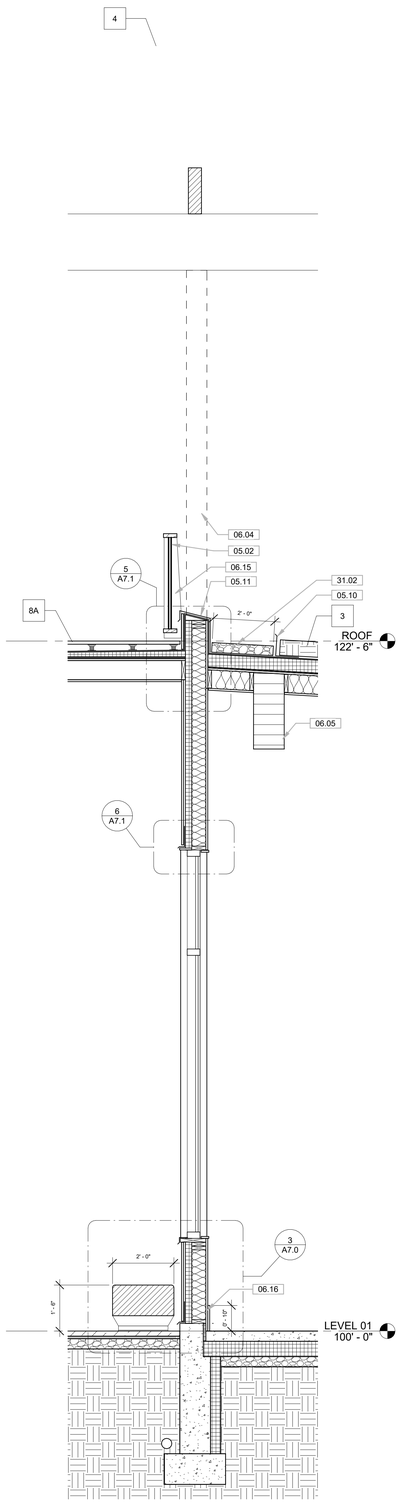

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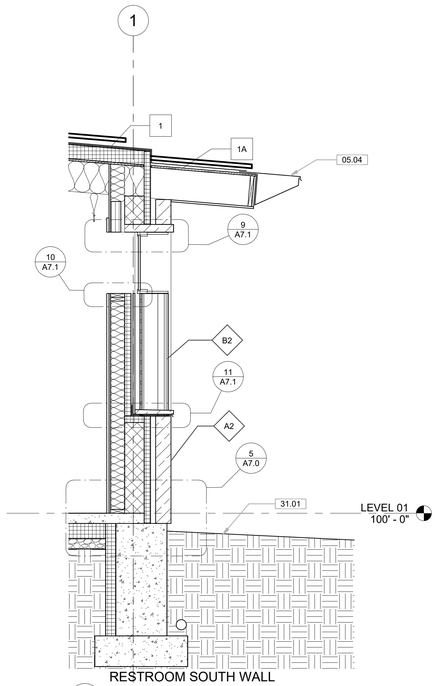

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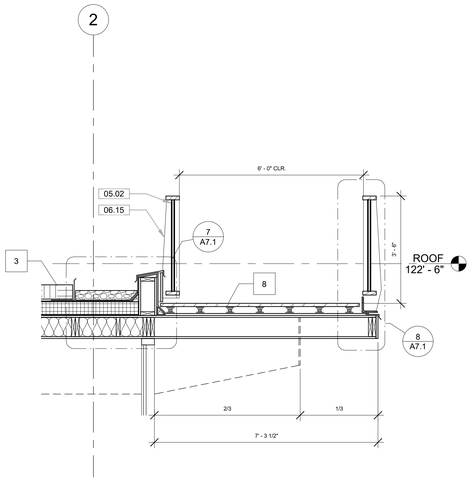

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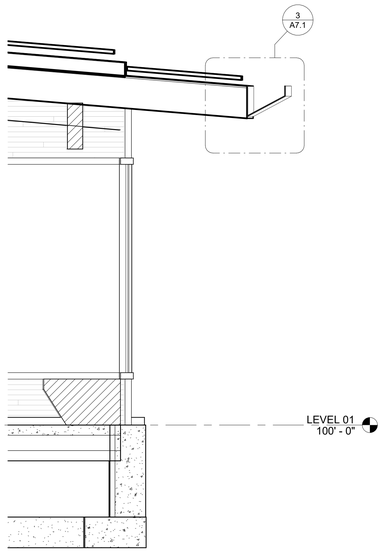

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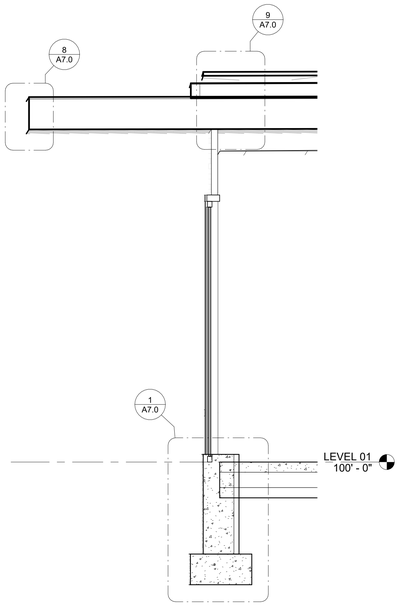

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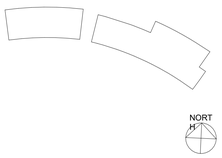
GRAPHIC LEGEND

SHEET KEYNOTES

05.02 TYP. GUARDRAIL INFILL PANEL: THERMALLY MODIFIED WOOD TOP & BOTTOM RAIL W/ TWO LAYERS OF ANODIZED ALUMINUM WELDED WIRE MESH INFILL SPACED 1" APART
05.04 TYP. COPPER TAPER-PROFILE GUTTER W/ PERFORATED COPPER PLATE LEAVE GUARD
05.09 ROOF TIE OFFS AS REQ'D
05.10 PREFIN. MTL. EDGE RESTRAINT BY GREENROOF MANUFACTURER
05.11 PREFIN. MTL. COPING
06.04 TYP. ARCHITECTURAL GRADE GLULAM COLUMN PER STRUCTURAL
06.05 TYP. ARCHITECTURAL GRADE TAPERED GLULAM BEAM PER STRUCTURAL W/ PREFIN. MTL. END CAP
06.12 LVL HEADER PER STRUCTURAL
06.13 CANT STRIP
06.15 TYP. BALUSTER: TWO THERMALLY MODIFIED 2X LUMBER W/ TAPERED PROFILE & 3 1/2" GAP BETWEEN THEM, EVENLY DISTRIBUTED AND ALIGNED W/ STRUCTURAL GRID
06.16 TYP. WOOD BASE - STAIN ST-X
31.01 GRADE CONDITIONS VARY, SEE LANDSCAPE PLAN
31.02 GRAVEL MAINTENANCE STRIP
35.08 TYP. NORTH ROOF OVERHANG: 2X FRAMING PER STRUCTURAL SISTERED INTO GLULAMS W/ EPDM MEMBRANE ROOFING ON PLYWOOD SHEATHING & THERMALLY MODIFIED T&G VENTED SOFFIT ON PLYWOOD FURRING

KEY PLAN



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Sheet Title: WALL SECTIONS

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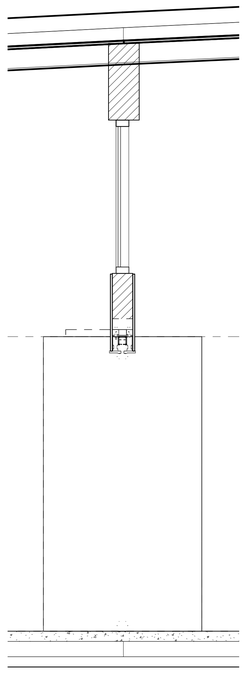

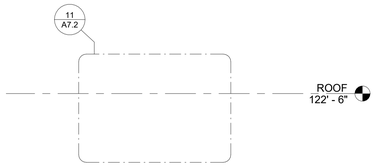

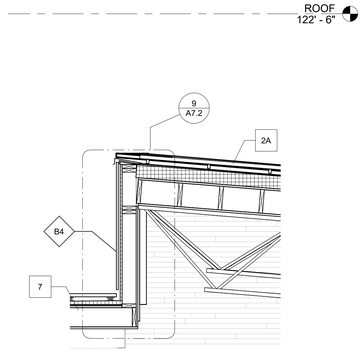

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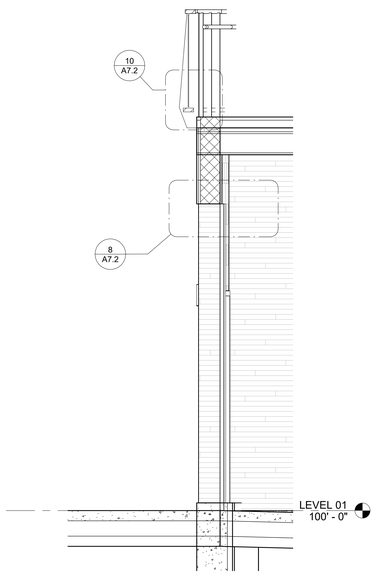

3 COLD BAY NORTH WALL SECTION
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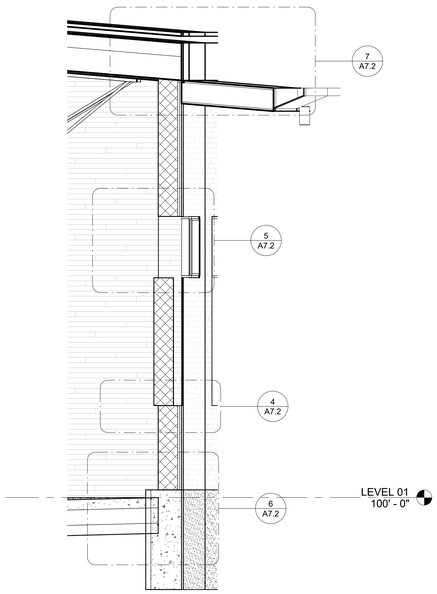
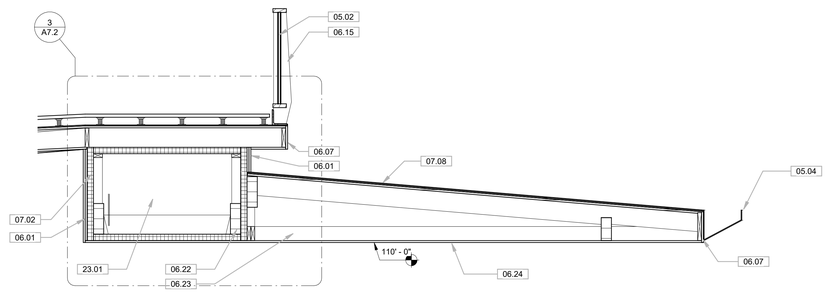


2 COLD BAY SOUTH WALL SECTION
SCALE: 1/2" = 1'-0"



1 MECANICAL CHASE WALL SECTION
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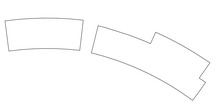
GRAPHIC LEGEND

SHEET KEYNOTES

05.02	TYP. GUARDRAIL INFILL PANEL: THERMALLY MODIFIED WOOD TOP & BOTTOM RAIL W/ TWO LAYERS OF ANODIZED ALUMINUM WELDED WIRE MESH INFILL, SPACED 1" APART
05.04	TYP. COPPER TAPER-PROFILE GUTTER W/ PERFORATED COPPER PLATE LEAVE GUARD
06.01	THERMALLY-MODIFIED RIFT SAWN ASH T&G SIDING W/ 7" EXPOSURE IN NATURAL FINISH
06.07	THERMALLY MODIFIED WOOD FASCIA
06.15	TYP. BALUSTER: TWO THERMALLY MODIFIED 2X LUMBER W/ TAPERED PROFILE & 3 1/2" GAP BETWEEN THEM, EVENLY DISTRIBUTED AND ALIGNED W/ STRUCTURAL GRID
06.22	INDUSTRIAL GLULAM PER STRUCTURAL
06.23	2X FRAMING AS REQ'D
06.24	ARCHITECTURAL T&G FULLY VENTED SOFFIT - STAIN ST-X
07.02	AIR & WATER RESISTANT INSULATED SHEATHING
07.08	FULLY ADHERED 90 MIL EPDM ROOF MEMBRANE ON GYPSUM COVER BOARD & PLYWOOD SHEATHING
23.01	INSULATED MECHANICAL CHASE

KEY PLAN



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The Board of Regents of the University of Wisconsin on behalf of the University of Wisconsin - Madison

WISCONSIN

University of Wisconsin - Madison
FP&M, Capital Project Delivery
21 N. Park Street
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LAKESHORE NATURE PRESERVE - FRAUTSCHI CENTER
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UNIVERSITY OF WISCONSIN - MADISON
MADISON, WISCONSIN

Sheet Title: WALL SECTIONS

Revisions:

No.	Date:	Description:

Scale	As indicated
UWM #	9950-2218
UWSA #	A-22-007
Set Type	PR
Date Issued	02/21/20 25
Sheet Number	**A5.2**

Plot Date: 1/22/2023 5:53:34 PM

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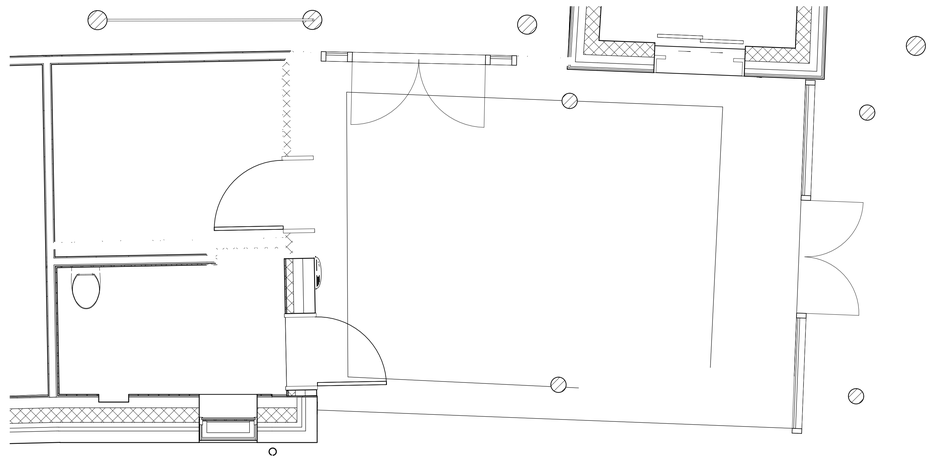
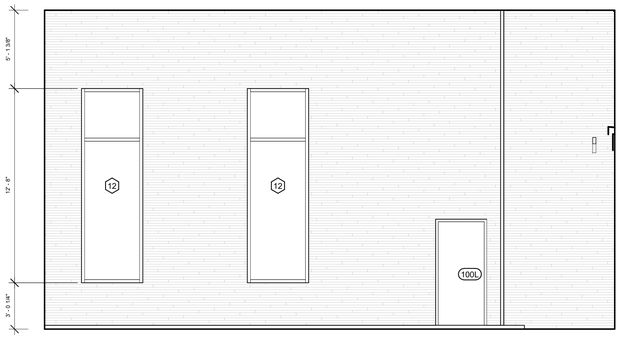
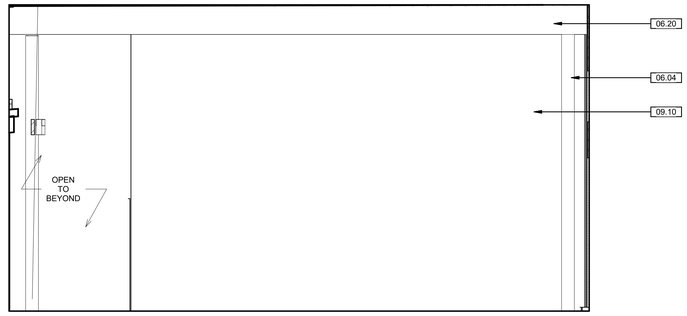
CONSTRUCTION





6 INTERPRETIVE EAST INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



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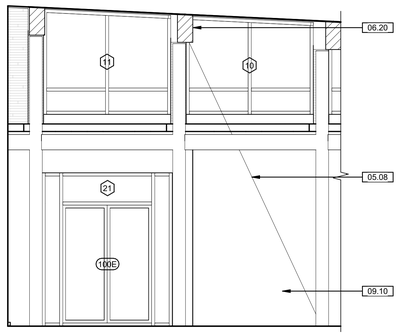
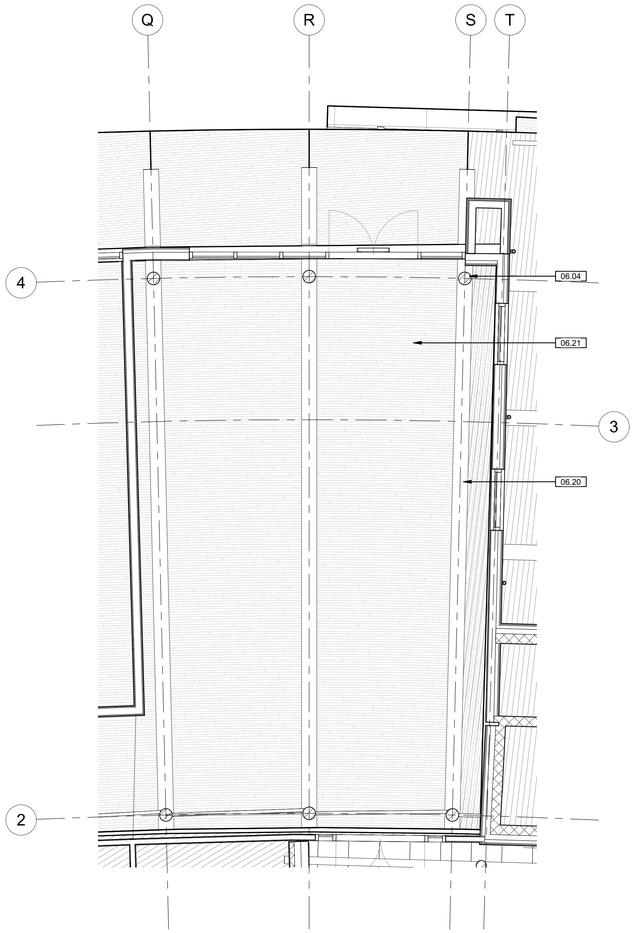
SCALE: 1/4" = 1'-0"

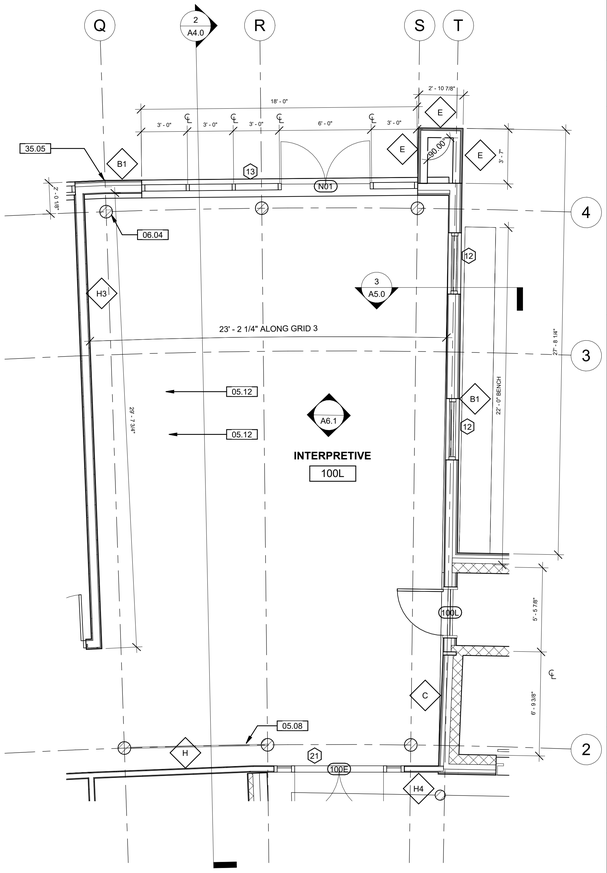


4 INTERPRETIVE SOUTH INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

3 INTERPRETIVE NORTH INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 INTERPRETIVE ENLARGED REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



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GRAPHIC LEGEND

SHEET KEYNOTES

05.08	STEEL LATERAL BRACING PER STRUCTURAL
05.12	COPPER STRIP INLAY IN POLISHED CONCRETE FLOOR
06.04	TYP. ARCHITECTURAL GRADE GLULAM COLUMN PER STRUCTURAL
06.20	EXPOSED GLULAM BEAM, SEE STRUCTURAL
06.21	ARCHITECTURAL TONGUE AND GROOVE CEILING ON 2X8 FRAMING - STAIN ST-X
09.10	GYP. BD LEVEL 5 FINISH - PAINT PT-X
35.05	TYP. SEGMENT WALL BETWEEN GRID LINES

KEY PLAN

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Sheet Title: INTERPRETIVE

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Date Issued	02/21/20 25
Sheet Number	**A6.1**

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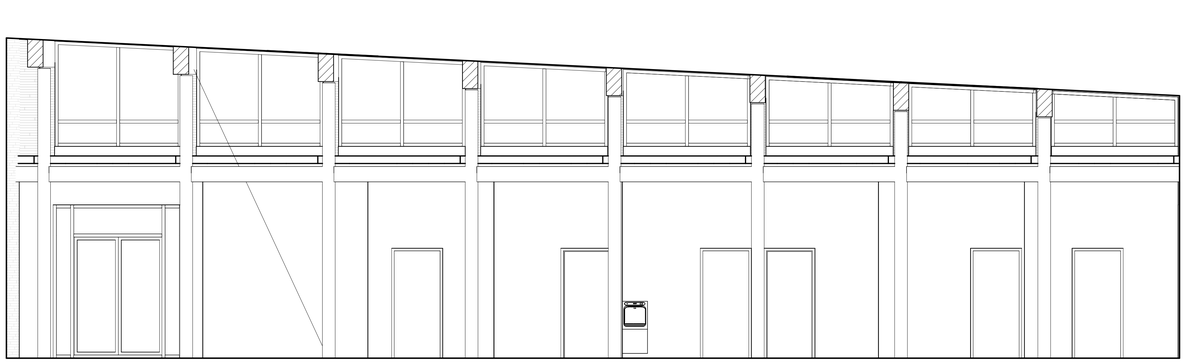
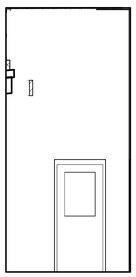
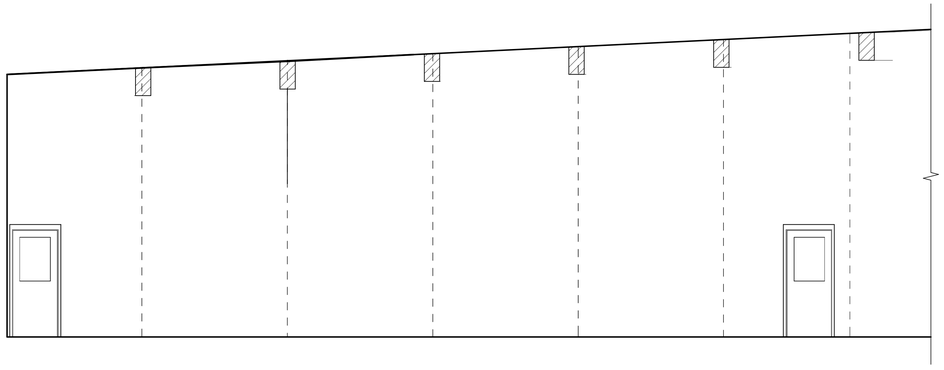


3 CORRIDOR SOUTH INTERIOR ELEVATION 2
SCALE: 1/4" = 1'-0"



2 CORRIDOR WEST INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



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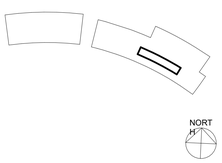
GRAPHIC LEGEND

SHEET KEYNOTES

KEY PLAN



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Sheet Title: CORRIDOR

Revisions:

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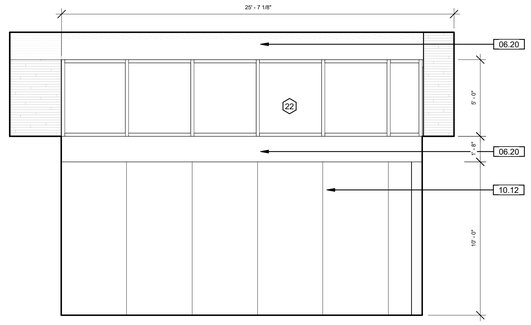
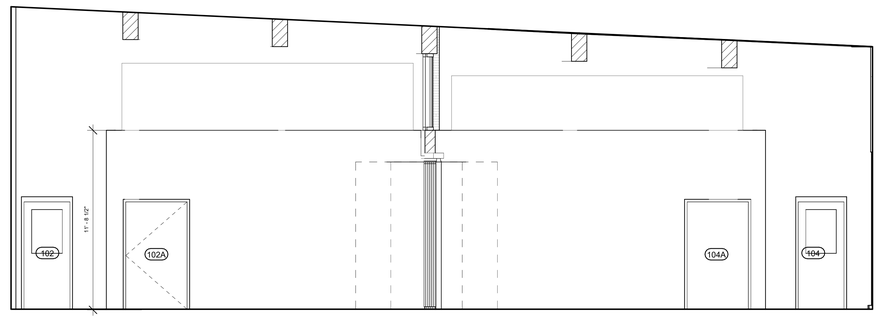


6 MULTIPURPOSE WEST INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



5 MULTIPURPOSE SOUTH INTERIOR ELEVATION
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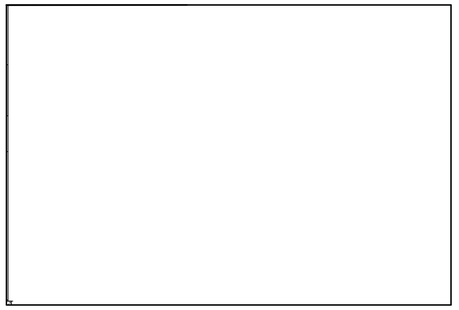

4 MULTIPURPOSE EAST INTERIOR ELEVATION
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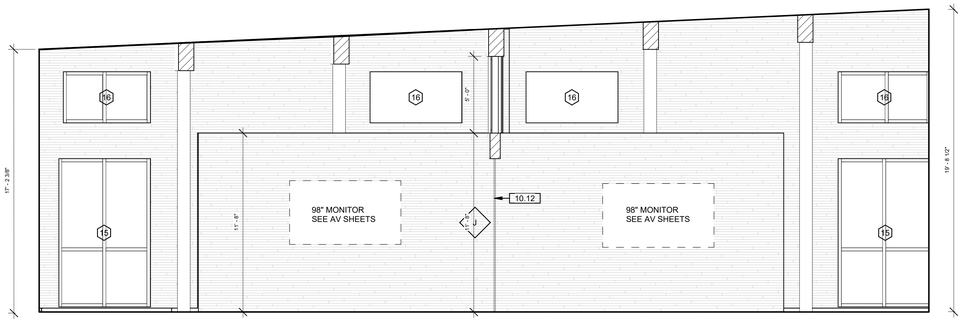

3 MULTIPURPOSE NORTH INTERIOR ELEVATION
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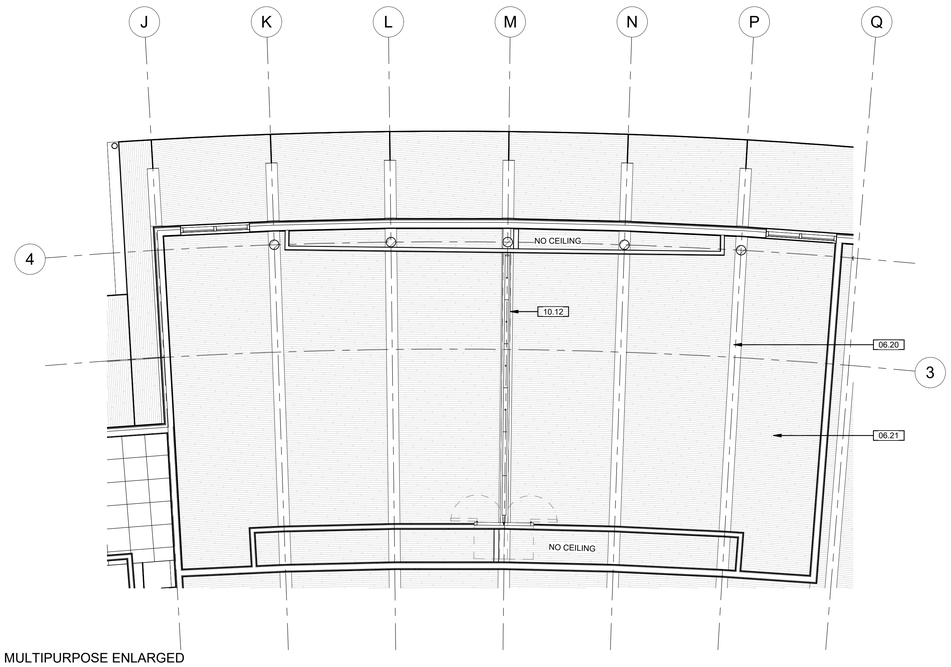

2 MULTIPURPOSE ENLARGED REFLECTED CEILING PLAN
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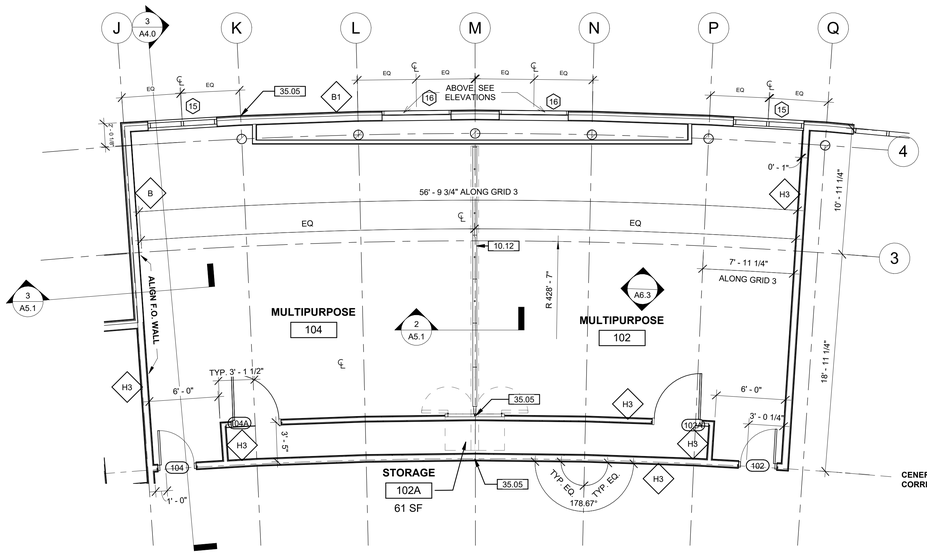

1 MULTIPURPOSE ENLARGED FLOOR PLAN
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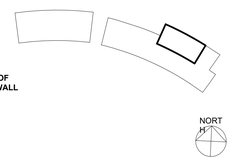
GRAPHIC LEGEND

SHEET KEYNOTES

06.20	EXPOSED GLULAM BEAM, SEE STRUCTURAL
06.21	ARCHITECTURAL TONGUE AND GROOVE CEILING ON 2X8 FRAMING - STAIN ST-X
10.12	OPERABLE PARTITION BOD: MODERNFOLD ACOUSTISEAL ENCORE
35.05	TYP. SEGMENT WALL BETWEEN GRID LINES

KEY PLAN



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LAKESHORE NATURE PRESERVE - FRAUTSCHI CENTER
BUILDING NO. - BUILDING NAME
UNIVERSITY OF WISCONSIN - MADISON
MADISON, WISCONSIN

Sheet Title: MULTIPURPOSE

Revisions:

No.	Date:	Description:

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UWM #	9950-2218
UWSA #	A-22-007
Set Type	PR
Date Issued	02/21/20 25
Sheet Number	**A6.3**

Plot Date: 1/22/2023 5:53:34 PM

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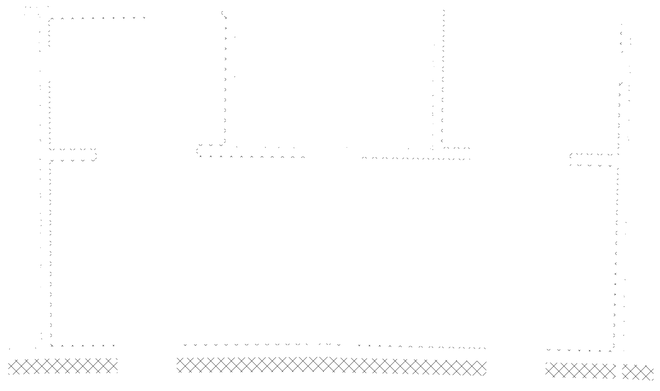

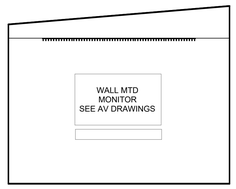

12 CONFERENCE WEST INTERIOR ELEVATION
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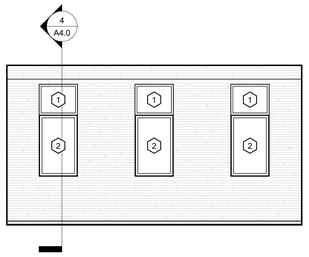

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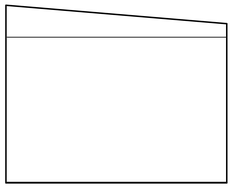

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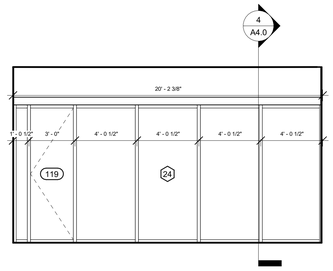

9 CONFERENCE NORTH INTERIOR ELEVATION
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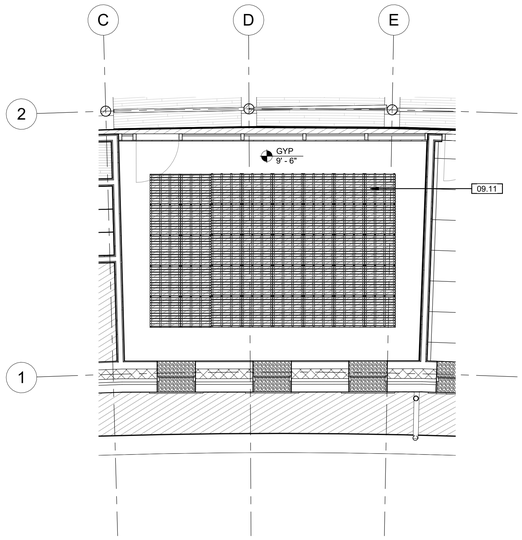

8 CONFERENCE ENLARGED REFLECTED CEILING PLAN
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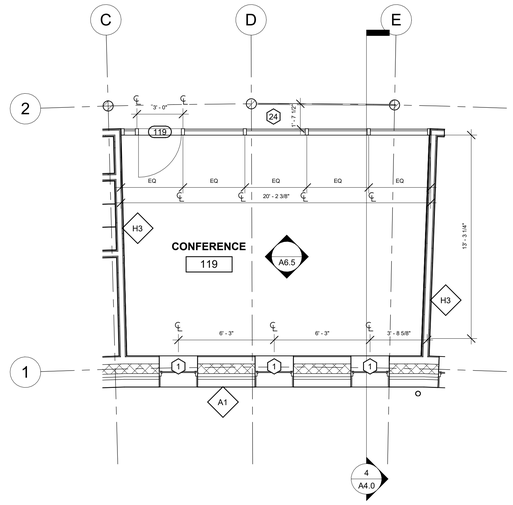
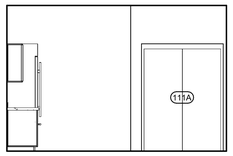


7 CONFERENCE ROOM ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"



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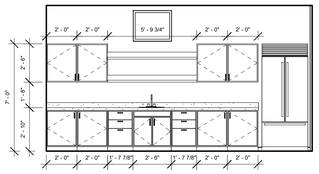

5 STAFF SOUTH INTERIOR ELEVATION
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4 STAFF EAST INTERIOR ELEVATION
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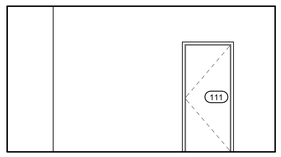

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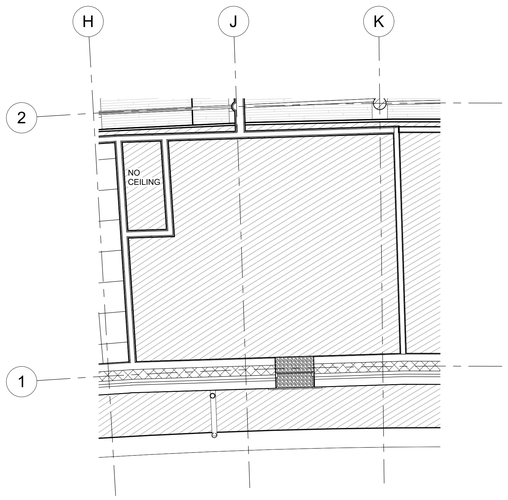

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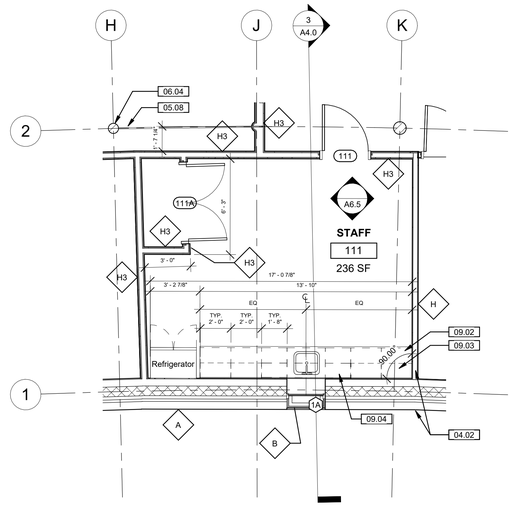

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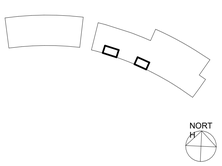
GRAPHIC LEGEND

SHEET KEYNOTES

04.02	TYP. SEGMENT MASONRY WALL @ EACH INT. PARTITION INTERSECTION. ALIGN WALL W/ GRIDLINE @ EACH END
05.08	STEEL LATERAL BRACING PER STRUCTURAL
06.04	TYP. ARCHITECTURAL GRADE GLULAM COLUMN PER STRUCTURAL
09.02	WISCONSIN-QUARRIED GRANITE COUNTERTOP W/ GRADE A PLYWOOD BASE CABINETS W/ FULLY CONCEALED & SOFT CLOSE HARDWARE W/ RIFT-SAWN DOOR VENEER
09.03	UPPER CABINETS W/ FULLY CONCEALED & SOFT CLOSE HARDWARE W/ RIFT-SAWN DOOR VENEER & HARD WIRED UNDERCABINET LIGHTING
09.04	TWO (2X) WISCONSIN-QUARRIED GRANITE FLOATING SHELFS W/ FULLY-CONCEALED MOUNTING BRACKETS FASTENED DIRECTLY TO STRUCTURE
09.11	ACOUSTICAL WOOD CEILING, BOD: WOODWORKS GRILLE FORTE

KEY PLAN



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Sheet Title: STAFF & CONFERENCE

Revisions:

No.	Date:	Description:

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UWSA #	A-22-007
Set Type	PR
Date Issued	02/21/20 25
Sheet Number	**A6.5**

Plot Date: 12/22/2023 5:53:34 PM

14 OFFICE B WEST INTERIOR ELEVATION
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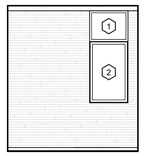

13 OFFICE B SOUTH INTERIOR ELEVATION
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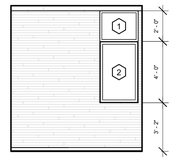
SCALE: 1/4" = 1'-0"



9 OFFICE A SOUTH INTERIOR ELEVATION
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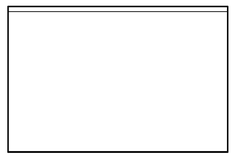

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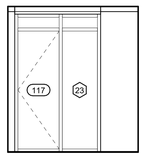

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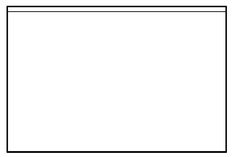

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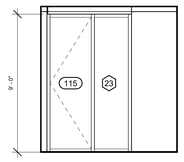

7 OFFICE A NORTH INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

6 DIR. OFFICE WEST INTERIOR ELEVATION
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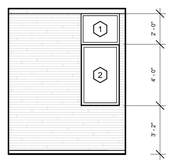

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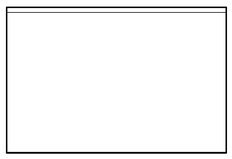

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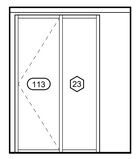

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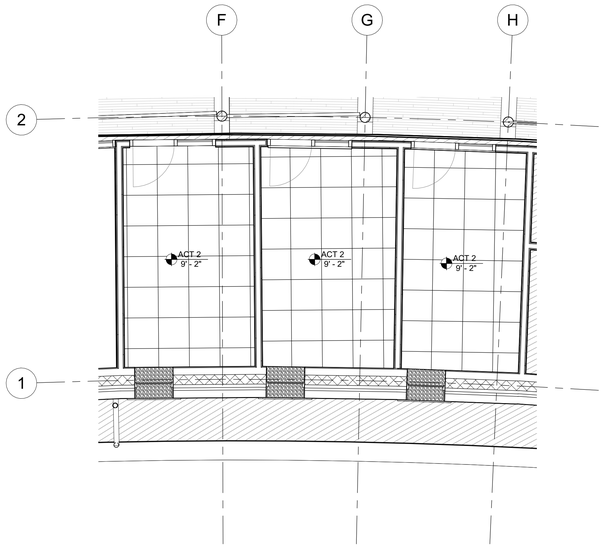

2 OFFICES ENLARGED REFLECTED CEILING PLAN
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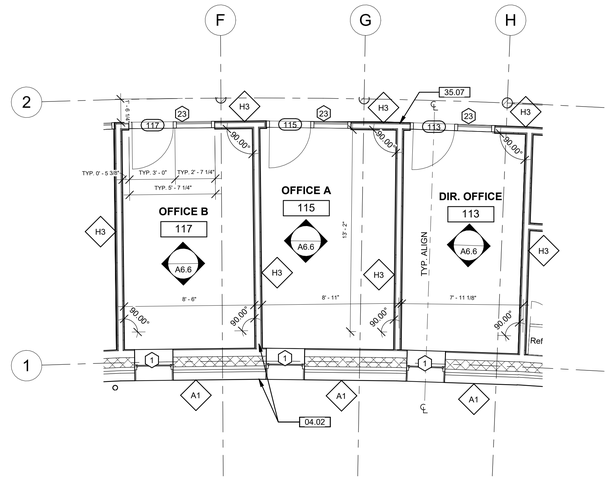

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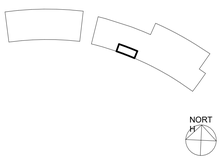

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Sheet Title: OFFICES

Revisions:

No.	Date:	Description:

Scale	As indicated
UWM # / UWSA #	9950-2218 / A-22-007
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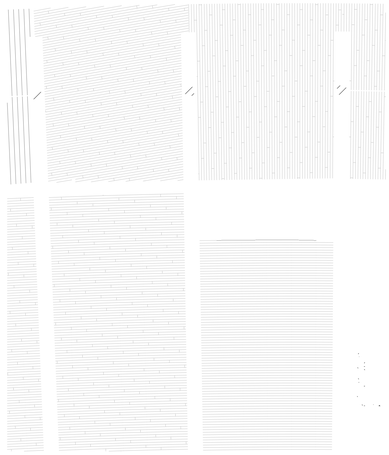

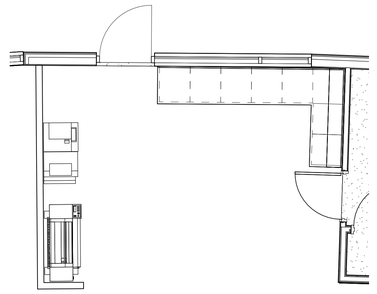

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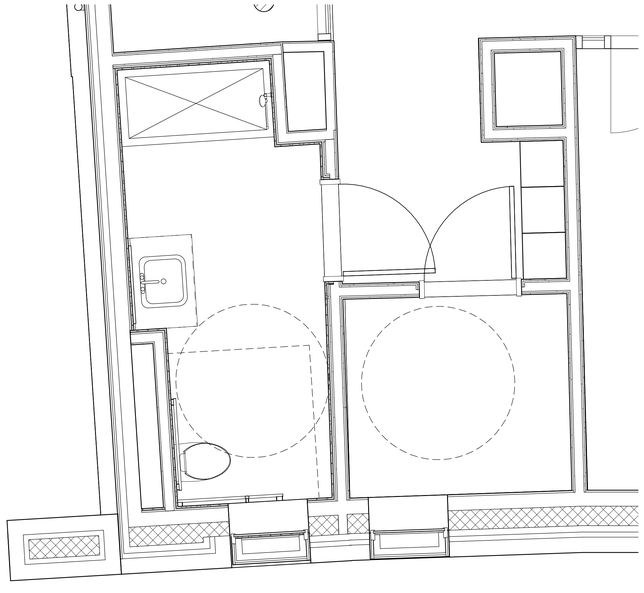
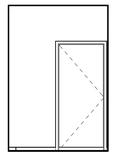
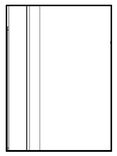
CONSTRUCTION

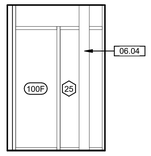




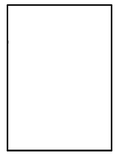
10 VESTIBULE B WEST INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



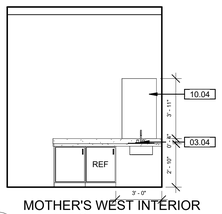
9 VESTIBULE B SOUTH INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



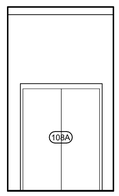
8 VESTIBULE B EAST INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



7 VESTIBULE B NORTH INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



6 MOTHER'S WEST INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



5 MOTHER'S SOUTH INTERIOR ELEVATION
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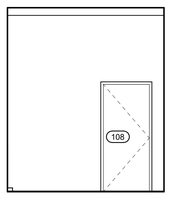

4 MOTHER'S EAST INTERIOR ELEVATION
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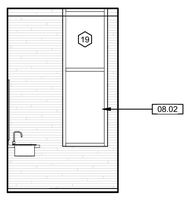

3 MOTHER'S NORTH INTERIOR ELEVATION
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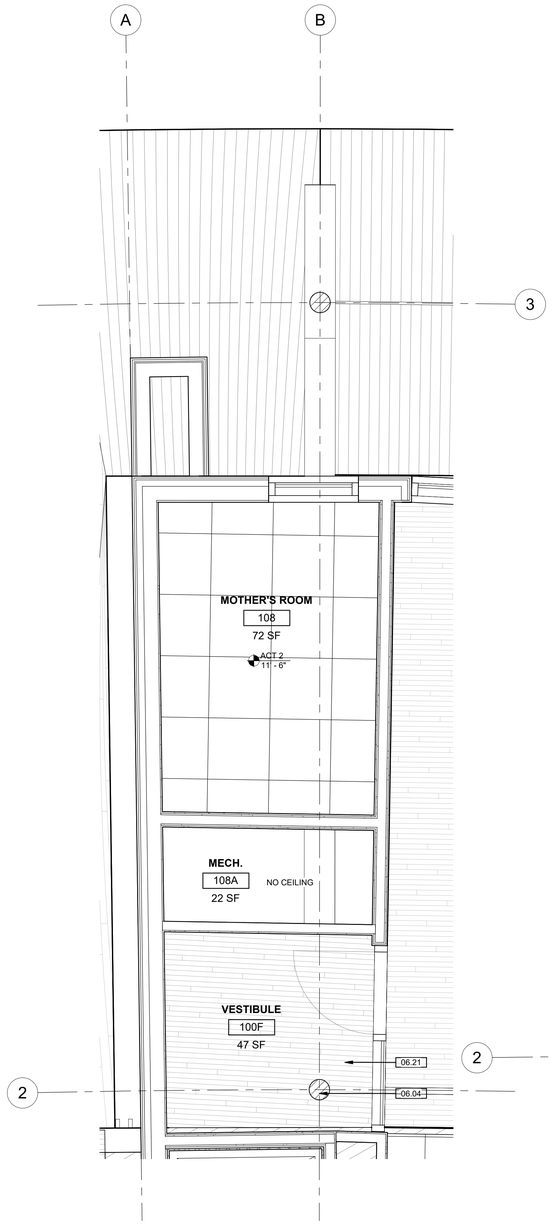
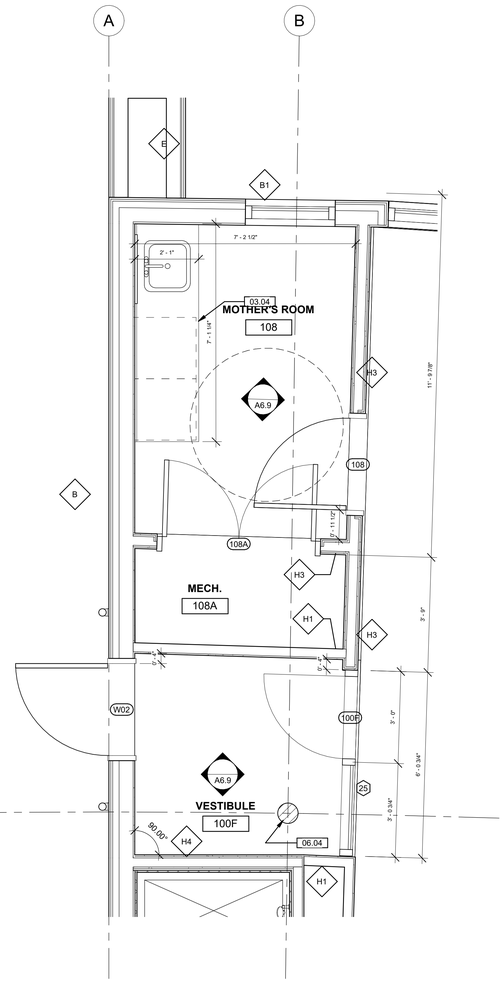


2 MOTHER'S ROOM ENLARGED REFLECTED CEILING PLAN
SCALE: 1/2" = 1'-0"



1 MOTHER'S ROOM ENLARGED FLOOR PLAN
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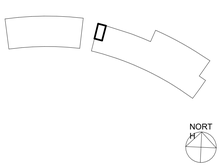
GRAPHIC LEGEND

SHEET KEYNOTES

03.04	CONCRETE COUNTERTOP
06.04	TYP. ARCHITECTURAL GRADE GLULAM COLUMN PER STRUCTURAL
06.21	ARCHITECTURAL TONGUE AND GROOVE CEILING ON 2X8 FRAMING - STAIN ST-X
08.02	PRIVACY FILM ON WINDOW GLAZING UNIT
10.04	METAL FRAME MIRROR

KEY PLAN



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MADISON, WISCONSIN

Sheet Title: MOTHER'S

Revisions:

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UWSA #	A-22-007
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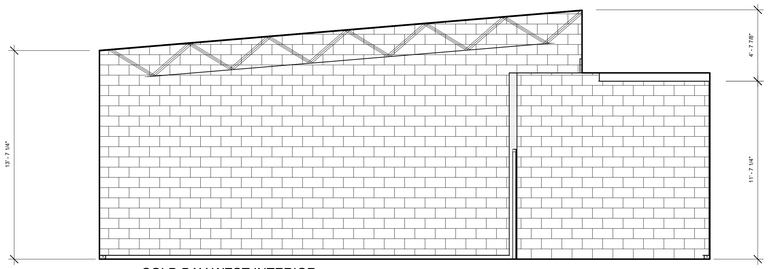
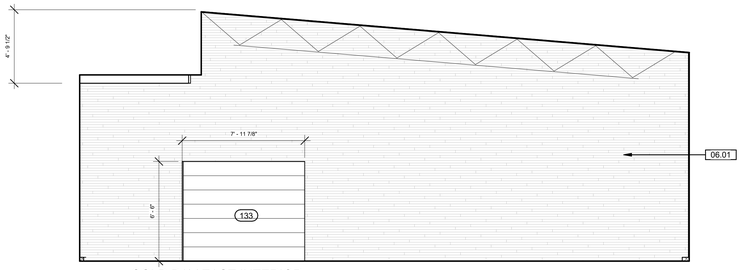


6 COLD BAY WEST INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



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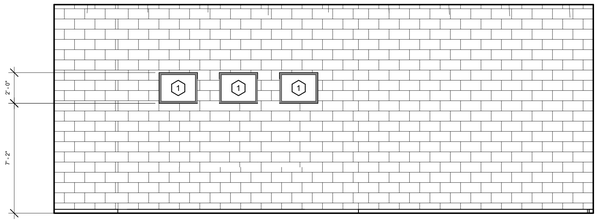

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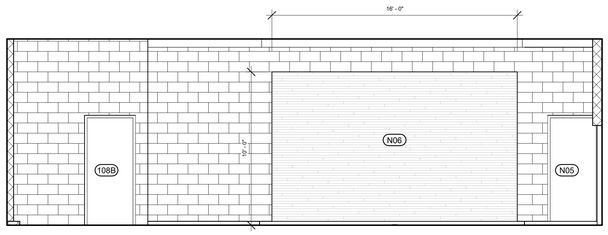

3 COLD BAY NORTH INTERIOR ELEVATION
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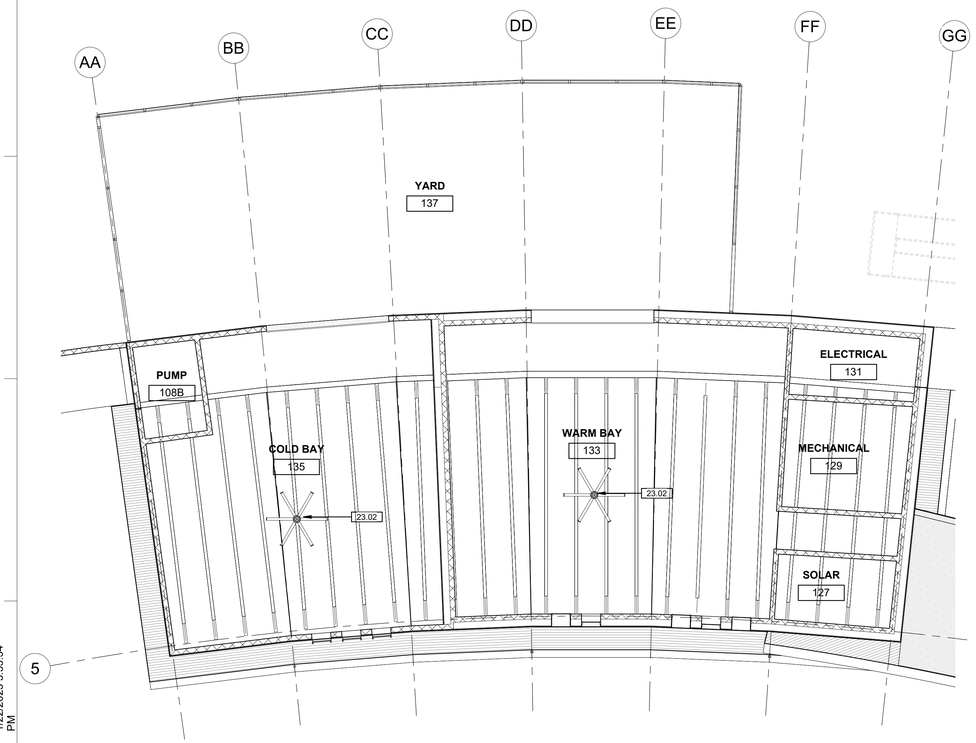
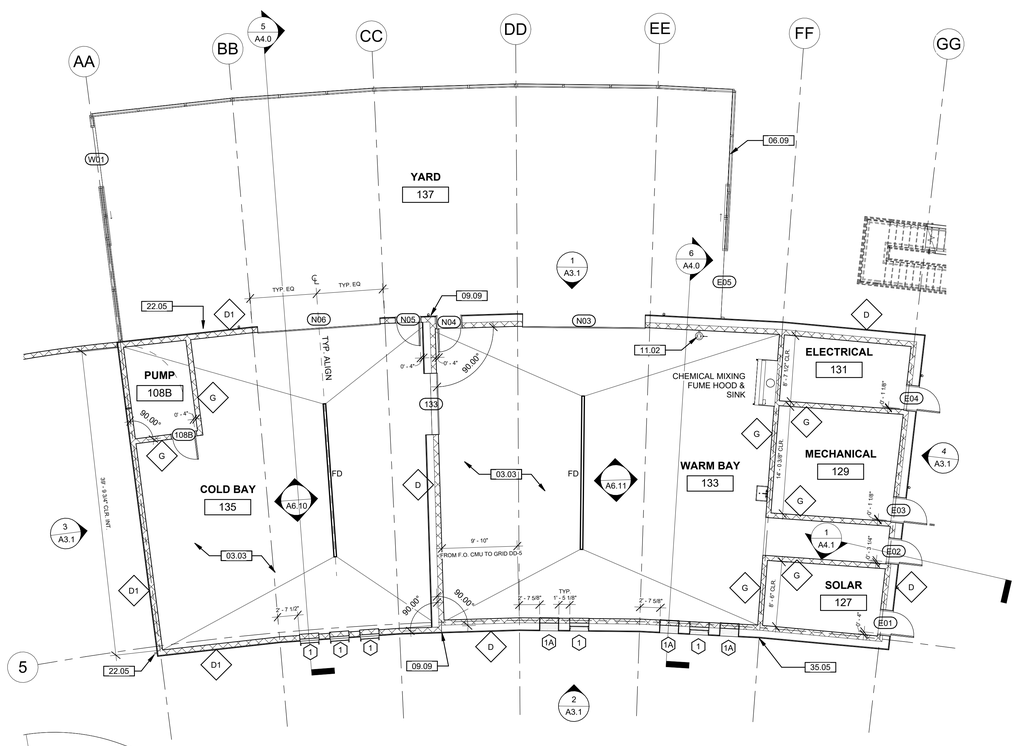


2 GARAGE ENLARGED REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



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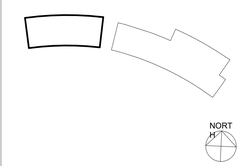
GRAPHIC LEGEND

SHEET KEYNOTES

03.03	SLOPE FLOOR SLAB 1/8" PER FOOT TOWARDS FLOOR DRAIN
06.01	THERMALLY-MODIFIED RIFT SAWN ASH T&G SIDING W/ 7" EXPOSURE IN NATURAL FINISH
06.09	THERMALLY MODIFIED WOOD FENCE: MASS TIMBER FRAMING W/ THERMALLY MODIFIED WOOD INFILL & SLATTED GATES
09.09	ALIGN EXTERIOR F.O. CLADDING
11.02	EYE WASH STATION
22.05	HOSE BIB
23.02	HVLS FAN SEE MECHANICAL
35.05	TYP. SEGMENT WALL BETWEEN GRID LINES

KEY PLAN



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Sheet Title: GARAGES

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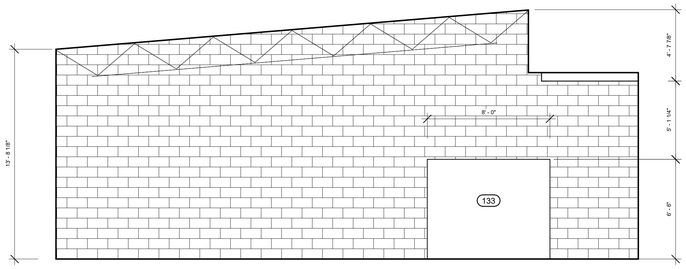

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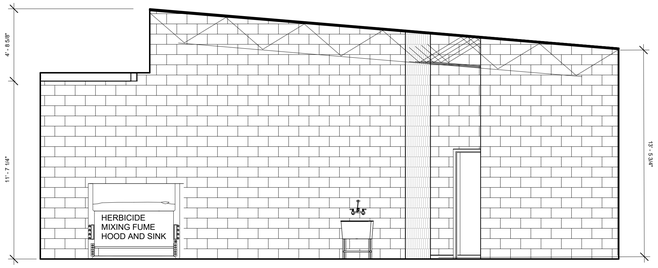
SCALE: 1/4" = 1'-0"



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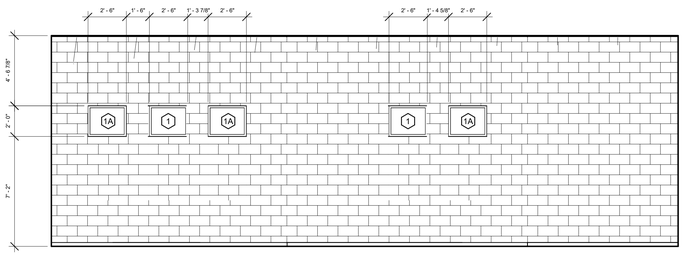

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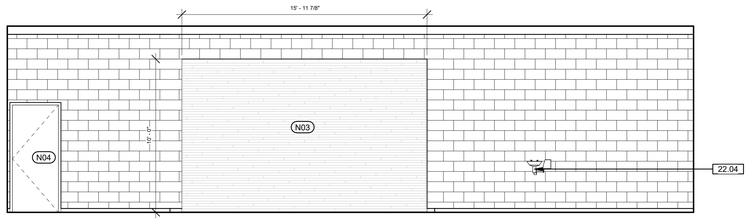

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GRAPHIC LEGEND

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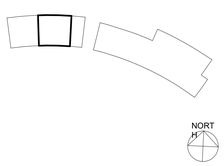
22.04 EMERGENCY EYE WASH

KEY PLAN



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The Board of Regents of the University of Wisconsin on behalf of the University of Wisconsin - Madison

WISCONSIN

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Date Issued	02/21/20 25
Sheet Number	**A6.11**

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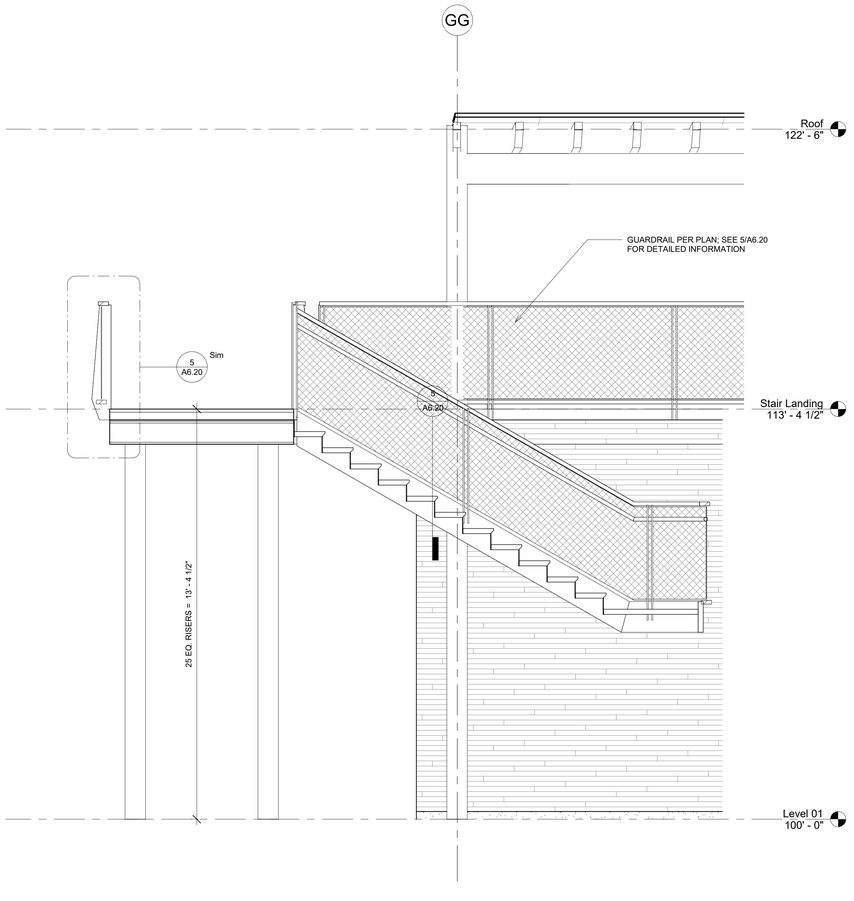

4 Section 2
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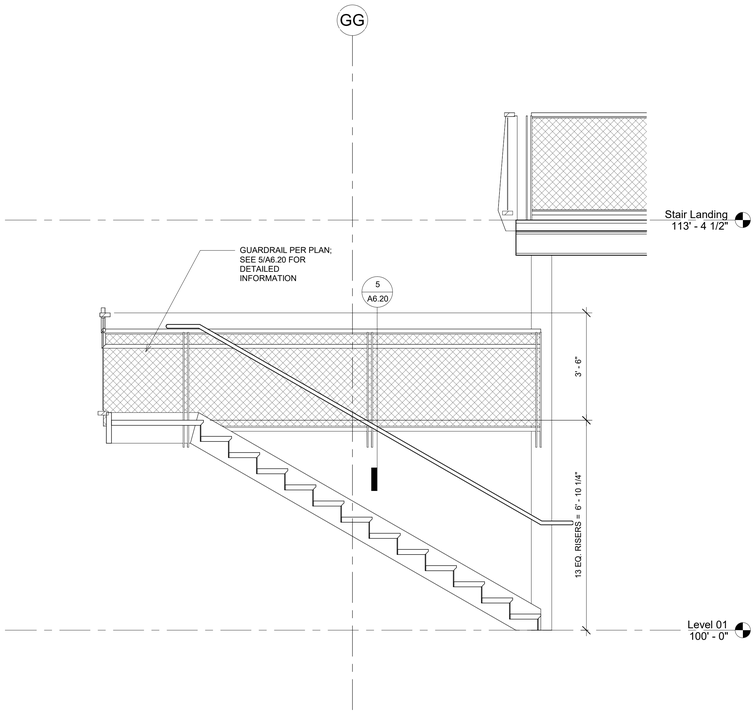
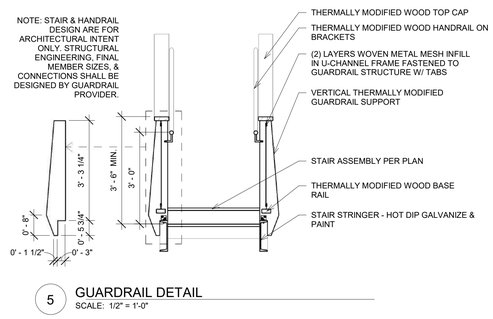
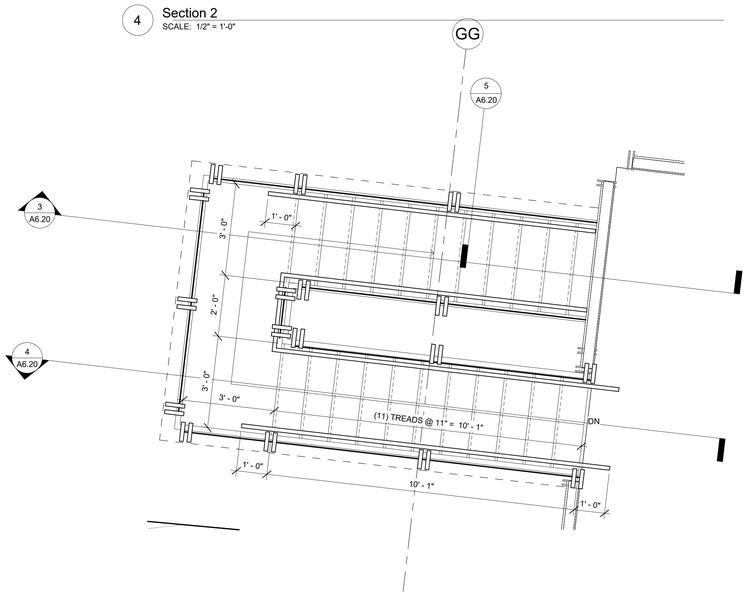


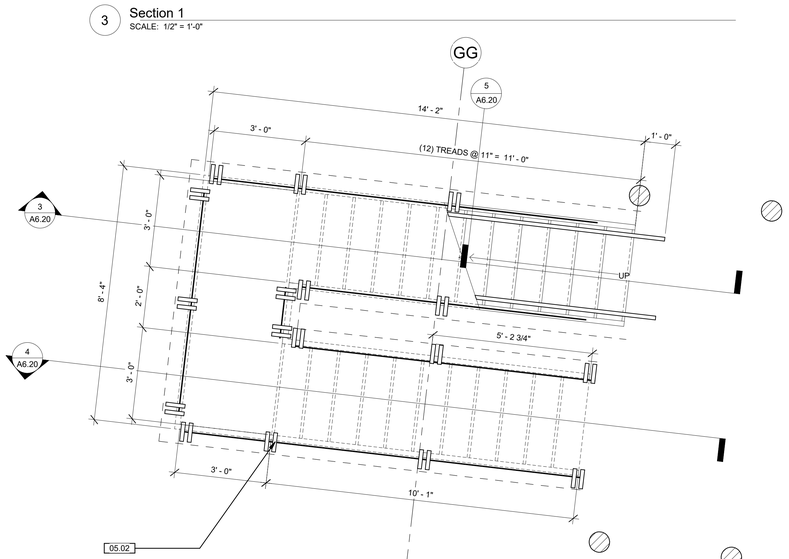
3 Section 1
SCALE: 1/2" = 1'-0"



5 GUARDRAIL DETAIL
SCALE: 1/2" = 1'-0"



2 LEVEL 02 STAIR PLAN
SCALE: 1/2" = 1'-0"



1 LEVEL 01 STAIR PLAN
SCALE: 1/2" = 1'-0"

GENERAL NOTES

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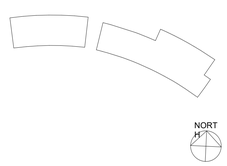
11. ALL AREAS OF DISTURBED EARTH, WHETHER BY

GRAPHIC LEGEND

SHEET KEYNOTES

05.02 TYP. GUARDRAIL INFILL PANEL: THERMALLY MODIFIED WOOD TOP & BOTTOM RAIL W/ TWO LAYERS OF ANODIZED ALUMINUM WELDED WIRE MESH INFILL SPACED 1" APART

KEY PLAN



GRAPHIC SCALE:

ARCHITECT

TK WA

THE KUBALA WASHATKO ARCHITECTS, INC.

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The Board of Regents of the University of Wisconsin on behalf of the University of Wisconsin - Madison

WISCONSIN

University of Wisconsin - Madison
FP&M, Capital Project Delivery
21 N. Park Street
Madison, WI 53715

LAKESHORE NATURE PRESERVE - FRAUTSCHI CENTER
BUILDING NO. - BUILDING NAME
UNIVERSITY OF WISCONSIN - MADISON
MADISON, WISCONSIN

Sheet Title: STAIR PLANS & SECTIONS

Revisions:

No.	Date:	Description:

Scale	As indicated
UWM #	####.##
UWSA #	####.#
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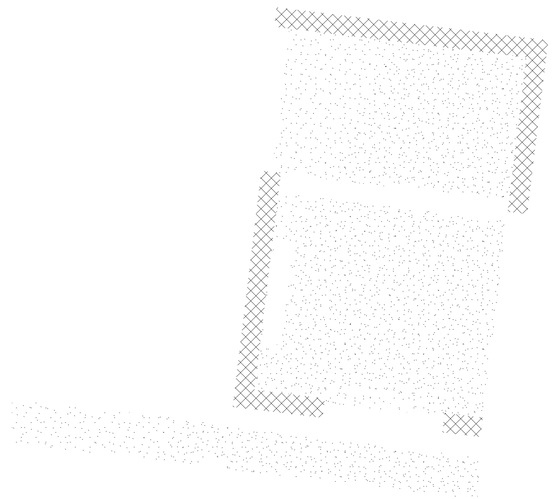
CONSTRUCTION



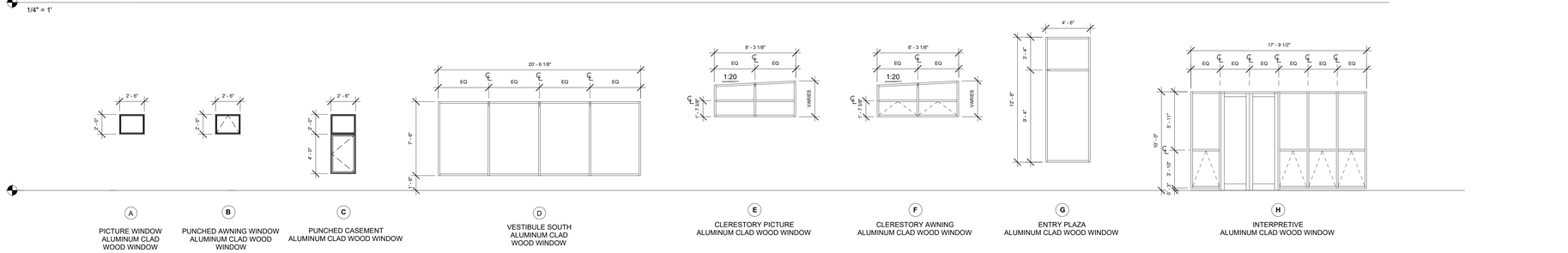
WINDOW SCHEDULE

TYPE MARK	COUNT	TYPE	MATERIAL	COLOR	MASONARY OPENING / ROUGH OPENING		AREA (EA.)	GLAZING	DETAILS			SCHEDULE NOTES
					HEIGHT	WIDTH			WINDOW HEAD	WINDOW JAMB	WINDOW SILL	
1(A)	9(5)	A(B)	-	-	2' - 0"	2' - 6"	5 SF	-	-	-	-	-
2	6	C	-	-	6' - 0"	2' - 6"	15 SF	-	-	-	-	-
3	1	D	-	-	7' - 6"	20' - 6 1/8"	153.83 SF	-	-	-	-	-
4	1	E	-	-	VARIES	8' - 3 1/8"	28.32 SF	-	-	-	-	-
5	1	F	-	-	VARIES	8' - 3 1/8"	32.25 SF	-	-	-	-	-
6	1	E	-	-	VARIES	8' - 3 1/8"	36.12 SF	-	-	-	-	-
7	1	F	-	-	VARIES	8' - 3 1/8"	39.95 SF	-	-	-	-	-
8	1	E	-	-	VARIES	8' - 3 1/8"	43.75 SF	-	-	-	-	-
9	1	F	-	-	VARIES	8' - 3 1/8"	47.6 SF	-	-	-	-	-
10	1	E	-	-	VARIES	8' - 3 1/8"	51.45 SF	-	-	-	-	-
11	1	F	-	-	VARIES	8' - 3 1/8"	55.25 SF	-	-	-	-	-
12	2	G	-	-	12' - 8"	4' - 6"	50.67 SF	TRIPLE PANE, LOW-E, W/ ORNALUX UV BIRD COLLISION PREVENTION GLAZING	-	-	-	-
13	1	H	-	-	10' - 0"	17' - 9 1/2"	180 SF	TRIPLE PANE, LOW-E, W/ ORNALUX UV BIRD COLLISION PREVENTION GLAZING	-	-	-	-
14	1	J	-	-	3' - 4"	17' - 9 1/2"	60.04 SF	TRIPLE PANE, LOW-E, W/ ORNALUX UV BIRD COLLISION PREVENTION GLAZING	-	-	-	-
15	2	K	-	-	10' - 0"	6' - 0"	60 SF	-	-	-	-	-
16	4	L	-	-	3' - 4"	6' - 0"	20 SF	-	-	-	-	-
17	1	M	-	-	12' - 0"	14' - 0"	136.67 SF	-	-	-	-	-
18	1	N	-	-	9' - 0"	35' - 6 3/8"	323.63 SF	-	-	-	-	-
19	1	P	-	-	9' - 0"	3' - 1 1/8"	26.34 SF	-	-	-	-	-
20	1	Q	-	-	8' - 8 1/2"	16' - 3"	126.39 SF	-	-	-	-	-
21	1	R	-	-	10' - 0"	8' - 6"	85 SF	-	-	-	-	-
22	1	S	-	-	6' - 9 3/8"	25' - 7 3/8"	173.7 SF	-	-	-	-	SILICONE-JOINTED VERTICAL SEAMS
23	3	T	-	-	9' - 0"	5' - 6"	49.5 SF	-	-	-	-	-
24	1	U	-	-	9' - 0"	20' - 1 5/8"	181.22 SF	-	-	-	-	-
25	1	V	-	-	10' - 0"	6' - 0"	60 SF	-	-	-	-	-

NOTES:
ALL GLAZING TO BE TRIPLE PANE, LOW-E, W/ 2" x 2' GRID DOT-PATTERN BIRD COLLISION PREVENTION CERAMIC FRIT ON SURFACE 2 U.N.O.
ALL OPERABLE WINDOWS TO INCLUDE INSECT SCREENS & OPEN/CONTACT SENSORS
ALUMINUM FRAMED WINDOWS TO HAVE CUSTOM COLOR ALUMINUM EXTERIOR AND EXPOSED WOOD INTERIOR, BOD: KOLBE VISTALUXE WD

WINDOW TYPES

1/4" = 1'



WINDOW TYPES
SCALE: 3/16" = 1'-0"

1/22/2023 5:53:34 PM

Plot Date:

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11. ALL AREAS OF DISTURBED EARTH, WHETHER BY CONSTRUCTION PROCESS, DEMOLITION, OR MATERIAL STORAGE, ARE TO BE RESTORED W/ BLACK TOPSOIL & SODDED PER SPECIFICATIONS (NO EXCEPTIONS). ALL LANDSCAPE WORK IS TO BE PERFORMED BY A LANDSCAPE CONTRACTOR. ALL SOD IS TO BE WATERED, MOWED & FERTILIZED UNTIL "VIGOROUS GROWTH" IS ESTABLISHED - TO BE DETERMINED BY OWNER. FOR REGULAR WATERING, CONTRACTOR IS RESPONSIBLE FOR TRUCKING IN. ANY "BROWNED" OR "BURNED OUT" SOD IS TO BE REPLACED AT NO ADDITIONAL COST TO OWNER (INCLUDING VANDALISM).

GRAPHIC LEGEND

SHEET KEYNOTES

KEY PLAN

NORTH

ARCHITECT

THE KUBALA WASHATKO ARCHITECTS, INC.
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CEDARBURG, WI 53012
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University of Wisconsin - Madison
FP&M, Capital Project Delivery
21 N. Park Street
Madison, WI 53715

LAKESHORE NATURE PRESERVE - FRAUTSCHI CENTER
BUILDING NO. - BUILDING NAME
UNIVERSITY OF WISCONSIN - MADISON
MADISON, WISCONSIN

Sheet Title: WINDOWS

Revisions:

No.	Date:	Description:

Scale	As indicated
UWM #	9950-2218
UWSA #	A-22-007
Set Type	PR
Date Issued	02/21/20 25
Sheet Number	**A8.0**

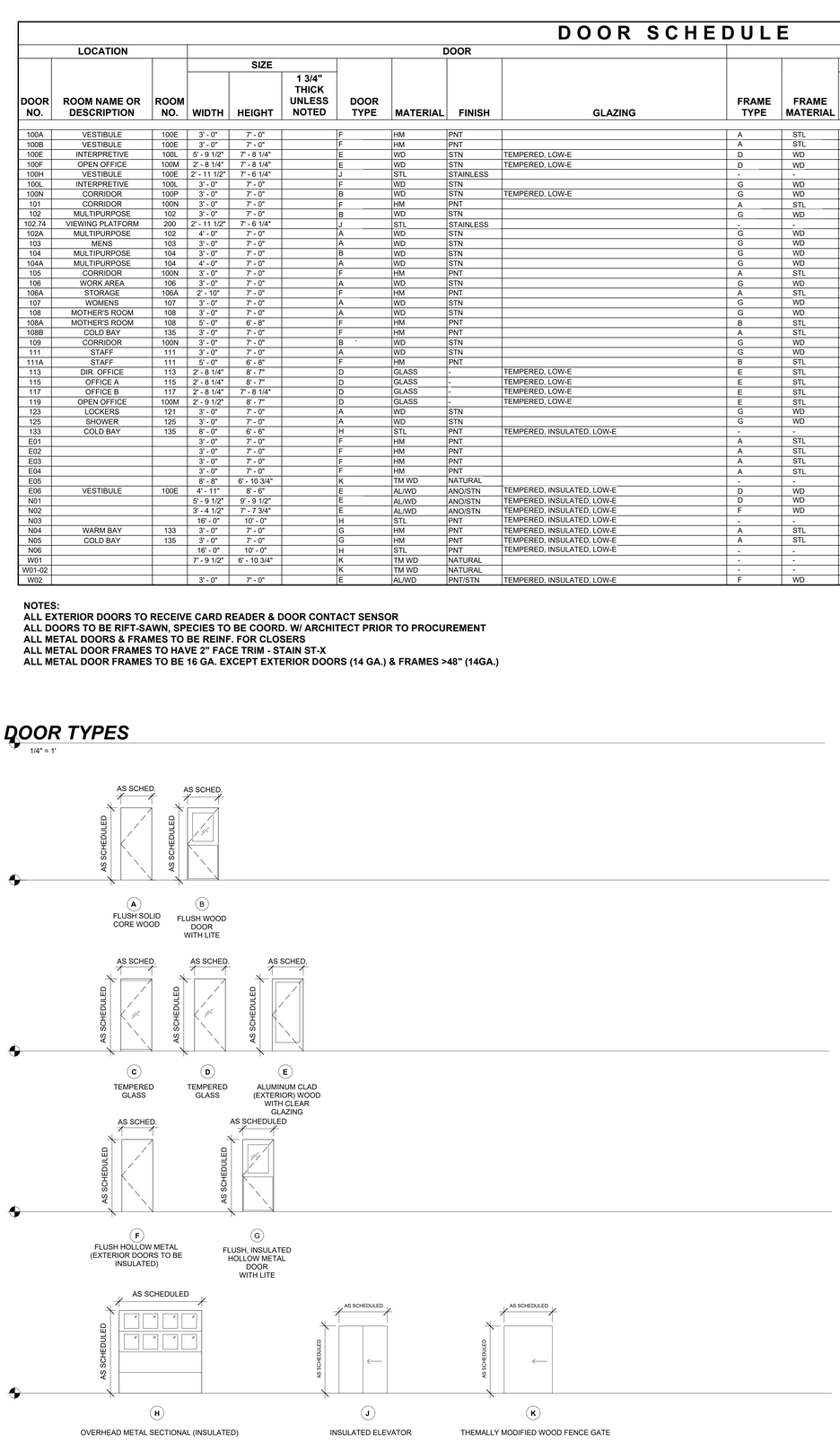
DOOR SCHEDULE

LOCATION			DOOR							FRAME					INFORMATION		
			SIZE									DETAIL NO.					
DOOR NO.	ROOM NAME OR DESCRIPTION	ROOM NO.	WIDTH	HEIGHT	1 3/4" THICK UNLESS NOTED	DOOR TYPE	MATERIAL	FINISH	GLAZING	FRAME TYPE	FRAME MATERIAL	HEAD	JAMB	SILL	LABEL	HDWR GROUP	SCHEDULE NOTES
100A	VESTIBULE	100E	3' - 0"	7' - 0"		F	HM	PNT		A	STL						
100B	VESTIBULE	100E	3' - 0"	7' - 0"		F	HM	PNT		A	STL						
100E	INTERPRETIVE	100L	5' - 9 1/2"	7' - 8 1/4"		E	WD	STN	TEMPERED, LOW-E	D	WD						
100F	OPEN OFFICE	100M	2' - 8 1/4"	7' - 8 1/4"		E	WD	STN	TEMPERED, LOW-E	D	WD						
100H	VESTIBULE	100E	2' - 11 1/2"	7' - 6 1/4"		J	STL	STAINLESS		-	-						
100L	INTERPRETIVE	100L	3' - 0"	7' - 0"		F	WD	STN		G	WD						
100N	CORRIDOR	100P	3' - 0"	7' - 0"		B	WD	STN	TEMPERED, LOW-E	G	WD						
101	CORRIDOR	100N	3' - 0"	7' - 0"		F	HM	PNT		A	STL						
102	MULTIPURPOSE	102	3' - 0"	7' - 0"		B	WD	STN		G	WD						
102.74	VIEWING PLATFORM	200	2' - 11 1/2"	7' - 6 1/4"		J	STL	STAINLESS		-	-						
102A	MULTIPURPOSE	102	4' - 0"	7' - 0"		A	WD	STN		G	WD						
103	MENS	103	3' - 0"	7' - 0"		A	WD	STN		G	WD						
104	MULTIPURPOSE	104	3' - 0"	7' - 0"		B	WD	STN		G	WD						
104A	MULTIPURPOSE	104	4' - 0"	7' - 0"		A	WD	STN		G	WD						
105	CORRIDOR	100N	3' - 0"	7' - 0"		F	HM	PNT		A	STL						DOOR TO OPEN 180 DEGREES
106	WORK AREA	106	3' - 0"	7' - 0"		A	WD	STN		G	WD						
106A	STORAGE	106A	2' - 10"	7' - 0"		F	HM	PNT		A	STL						
107	WOMENS	107	3' - 0"	7' - 0"		A	WD	STN		G	WD						
108	MOTHER'S ROOM	108	3' - 0"	7' - 0"		A	WD	STN		G	WD						
108A	MOTHER'S ROOM	108	5' - 0"	6' - 8"		F	HM	PNT		B	STL						
108B	COLD BAY	135	3' - 0"	7' - 0"		F	HM	PNT		A	STL						
109	CORRIDOR	100N	3' - 0"	7' - 0"		B	WD	STN		G	WD						
111	STAFF	111	3' - 0"	7' - 0"		A	WD	STN		G	WD						
111A	STAFF	111	5' - 0"	6' - 8"		F	HM	PNT		B	STL						
113	DIR. OFFICE	113	2' - 8 1/4"	8' - 7"		D	GLASS	-	TEMPERED, LOW-E	E	STL						
115	OFFICE A	115	2' - 8 1/4"	8' - 7"		D	GLASS	-	TEMPERED, LOW-E	E	STL						
117	OFFICE B	117	2' - 8 1/4"	7' - 8 1/4"		D	GLASS	-	TEMPERED, LOW-E	E	STL						
119	OPEN OFFICE	100M	2' - 9 1/2"	8' - 7"		D	GLASS	-	TEMPERED, LOW-E	E	STL						
123	LOCKERS	121	3' - 0"	7' - 0"		A	WD	STN		G	WD						
125	SHOWER	125	3' - 0"	7' - 0"		A	WD	STN		G	WD						
133	COLD BAY	135	8' - 0"	6' - 6"		H	STL	PNT	TEMPERED, INSULATED, LOW-E	-	-						PROVIDE AIR LOCK BETWEEN DOOR AND BUILDING
E01			3' - 0"	7' - 0"		F	HM	PNT		A	STL						
E02			3' - 0"	7' - 0"		F	HM	PNT		A	STL						
E03			3' - 0"	7' - 0"		F	HM	PNT		A	STL						
E04			3' - 0"	7' - 0"		F	HM	PNT		A	STL						
E05			8' - 8"	6' - 10 3/4"		K	TM WD	NATURAL		-	-						SEE EXT. ELEVATIONS
E06	VESTIBULE	100E	4' - 11"	8' - 6"		E	AL/WD	ANO/STN	TEMPERED, INSULATED, LOW-E	D	WD						
N01			5' - 9 1/2"	9' - 9 1/2"		E	AL/WD	ANO/STN	TEMPERED, INSULATED, LOW-E	D	WD						
N02			3' - 4 1/2"	7' - 7 3/4"		E	AL/WD	ANO/STN	TEMPERED, INSULATED, LOW-E	F	WD						
N03			16' - 0"	10' - 0"		H	STL	PNT	TEMPERED, INSULATED, LOW-E	-	-						PROVIDE AIR LOCK BETWEEN DOOR AND BUILDING
N04	WARM BAY	133	3' - 0"	7' - 0"		G	HM	PNT	TEMPERED, INSULATED, LOW-E	A	STL						
N05	COLD BAY	135	3' - 0"	7' - 0"		G	HM	PNT	TEMPERED, INSULATED, LOW-E	A	STL						
N06			16' - 0"	10' - 0"		H	STL	PNT	TEMPERED, INSULATED, LOW-E	-	-						PROVIDE AIR LOCK BETWEEN DOOR AND BUILDING
W01			7' - 9 1/2"	6' - 10 3/4"		K	TM WD	NATURAL		-	-						SEE EXT. ELEVATIONS
W01-02						K	TM WD	NATURAL		-	-						
W02			3' - 0"	7' - 0"		E	AL/WD	PNT/STN	TEMPERED, INSULATED, LOW-E	F	WD						

NOTES:
ALL EXTERIOR DOORS TO RECEIVE CARD READER & DOOR CONTACT SENSOR
ALL DOORS TO BE RIFT-SAWN, SPECIES TO BE COORD. W/ ARCHITECT PRIOR TO PROCUREMENT
ALL METAL DOORS & FRAMES TO BE REINF. FOR CLOSERS
ALL METAL DOOR FRAMES TO HAVE 2" FACE TRIM - STAIN ST-X
ALL METAL DOOR FRAMES TO BE 16 GA. EXCEPT EXTERIOR DOORS (14 GA.) & FRAMES >48" (14GA.)

DOOR TYPES

1/4" = 1'



FRAME TYPES

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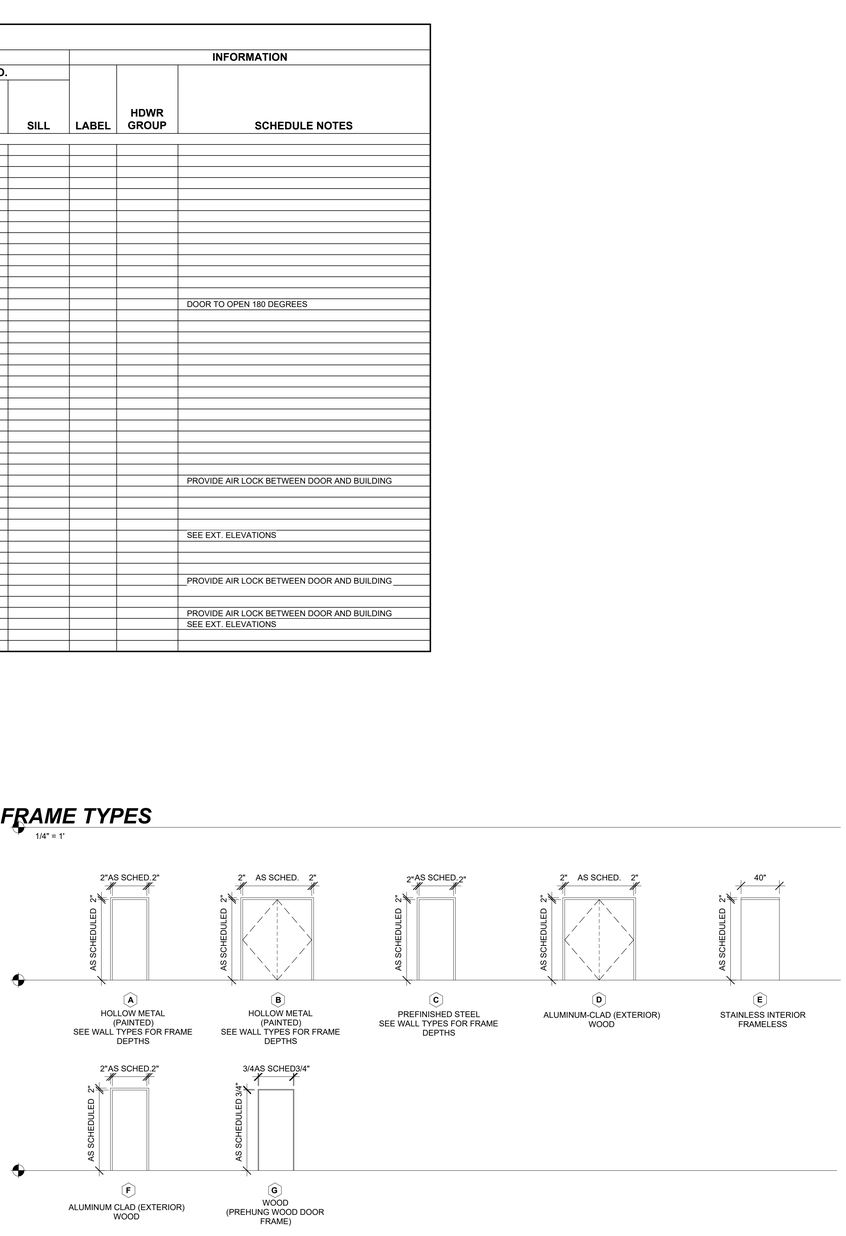

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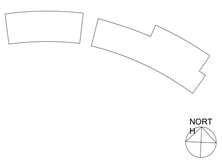
GRAPHIC LEGEND

SHEET KEYNOTES

KEY PLAN



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WISCONSIN THE UNIVERSITY OF WISCONSIN-MADISON

University of Wisconsin - Madison
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LAKESHORE NATURE PRESERVE - FRAUTSCHI CENTER
BUILDING NO. - BUILDING NAME
UNIVERSITY OF WISCONSIN - MADISON
MADISON, WISCONSIN

Sheet Title: DOORS

Revisions:

No.	Date:	Description:

Scale	As indicated
UWM #	9950-2218
UWSA #	A-22-007
Set Type	PR
Date Issued	02/21/20 25
Sheet Number	**A8.1**

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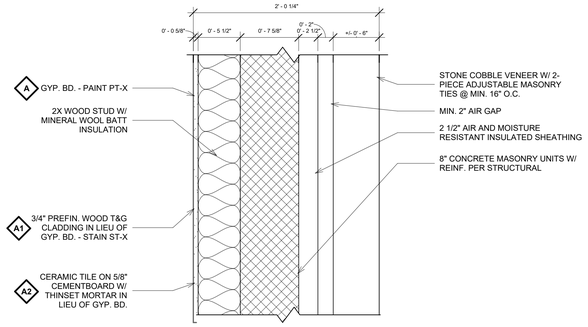
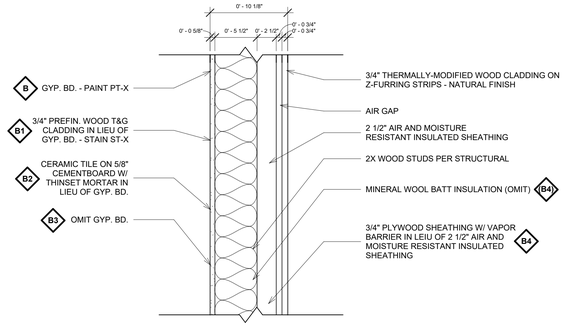


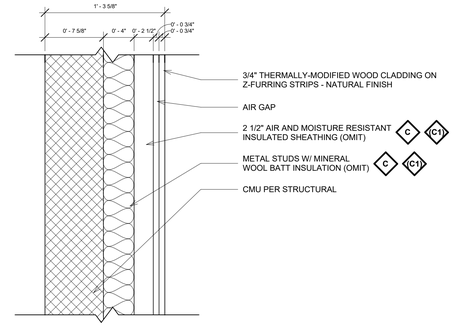
A2 A1 A STONE VENEER WALL

EXTERIOR — SCALE: 1 1/2" = 1' - 0"



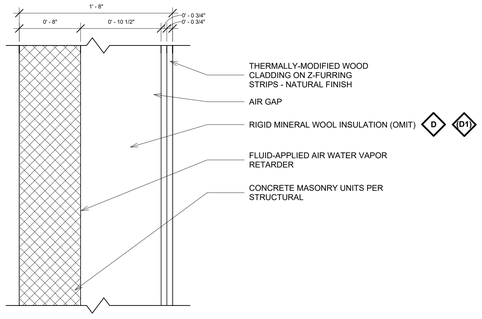
B4 B3 B2 B1 B THERMALLY-MODIFIED WOOD WALL

EXTERIOR — SCALE: 1 1/2" = 1' - 0"



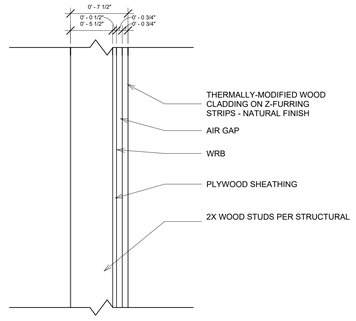
C1 C ELEVATOR SHAFT

EXTERIOR — SCALE: 1 1/2" = 1' - 0"



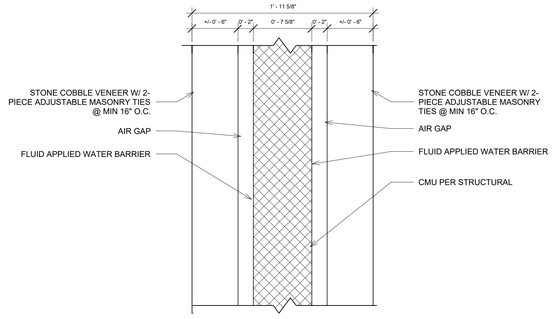
D1 D GARAGE WOOD WALL

EXTERIOR — SCALE: 1 1/2" = 1' - 0"



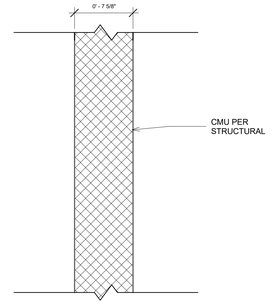
E WOOD WING WALL

EXTERIOR — SCALE: 1 1/2" = 1' - 0"



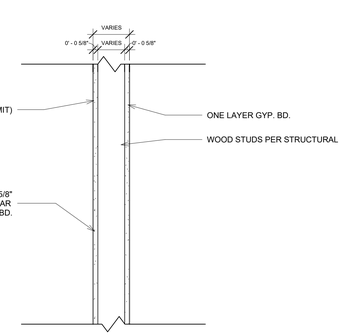
F STONE WING WALL

EXTERIOR — SCALE: 1 1/2" = 1' - 0"



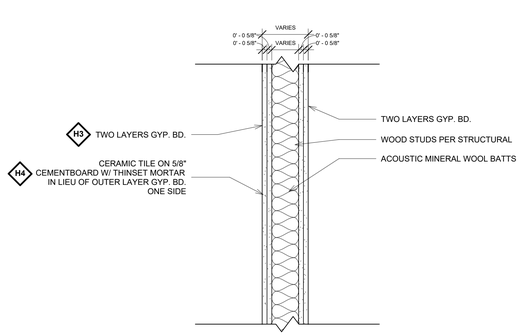
G CMU PARTITION

INTERIOR — SCALE: 1 1/2" = 1' - 0"



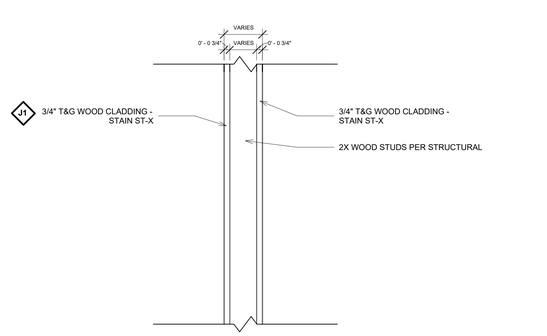
H2 H1 H GYPSUM BOARD PARTITION

INTERIOR NOTE: ONLY EXTERIOR LAYER OF GYP. BD. TO RECEIVE PAINT — SCALE: 1 1/2" = 1' - 0"



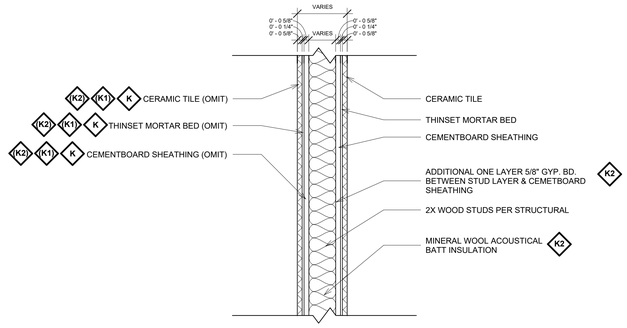
H4 H3 ACOUSTIC GYPSUM BOARD PARTITION

INTERIOR NOTE: ONLY EXTERIOR LAYER OF GYP. BD. TO RECEIVE PAINT — SCALE: 1 1/2" = 1' - 0"



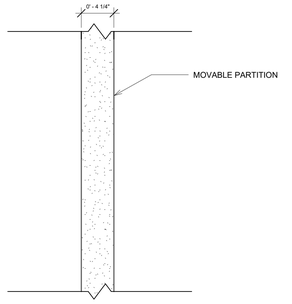
J1 J WOOD PARTITION

INTERIOR — SCALE: 1 1/2" = 1' - 0"



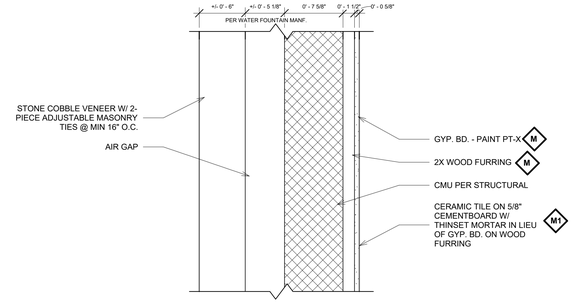
K2 K1 K TILE PARTITION

INTERIOR — SCALE: 1 1/2" = 1' - 0"



L MOVABLE PARTITION

INTERIOR — SCALE: 1 1/2" = 1' - 0"



M1 M VESTIBULE STONE WALL

INTERIOR — SCALE: 1 1/2" = 1' - 0"

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Plot Date:

ARCHITECT

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LAKESHORE NATURE PRESERVE - FRAUTSCHI CENTER
BUILDING NO. - BUILDING NAME
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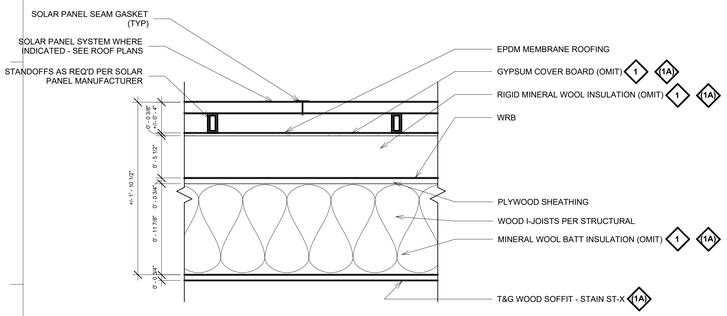
Sheet Title: WALL ASSEMBLIES

Revisions:

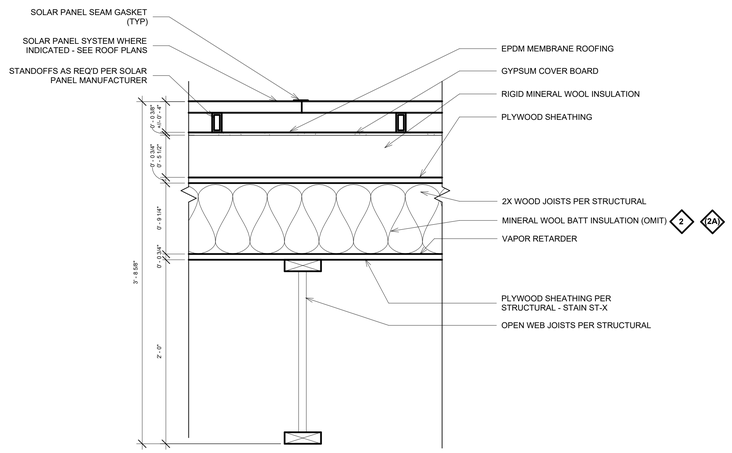
No.	Date:	Description:

Scale	As indicated
UWM #	9950-2218
UWSA #	A-22-007
Set Type	PR
Date Issued	02/21/20 25
Sheet Number	A8.2



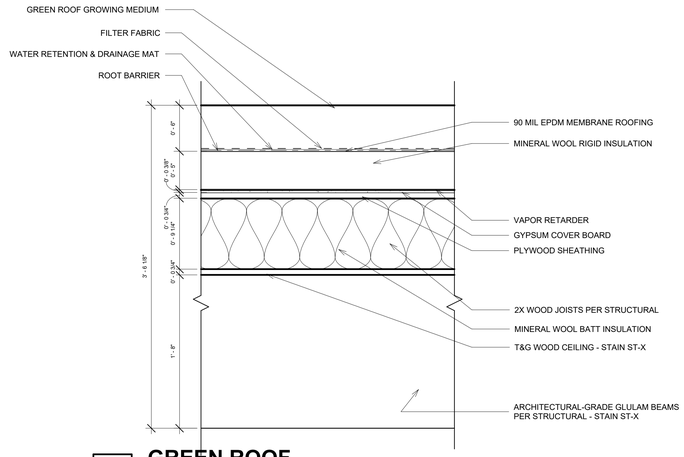
1A 1 EPDM ROOF OVER I-JOISTS

SCALE: 1 1/2" = 1' - 0"



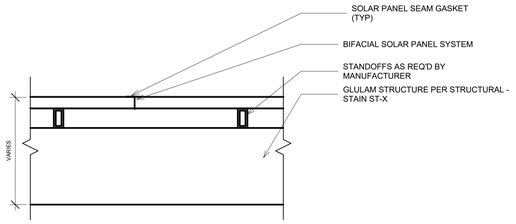
2A 2 EPDM ROOF OVER OPEN WEB JOISTS

SCALE: 1 1/2" = 1' - 0"



3 GREEN ROOF

SCALE: 1 1/2" = 1' - 0"



4 BIFACIAL SOLAR CANOPY

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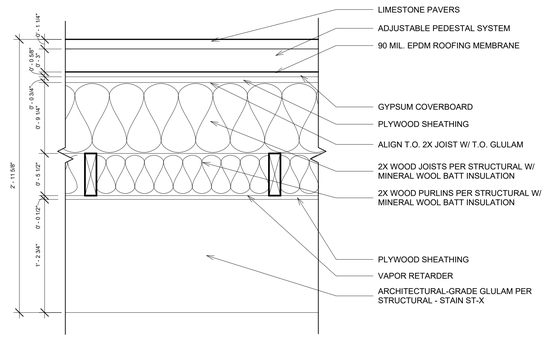
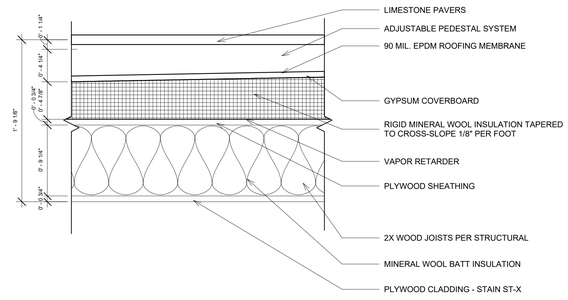


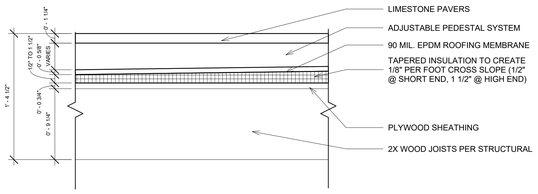
5 INSULATED RAMP

SCALE: 1 1/2" = 1' - 0"



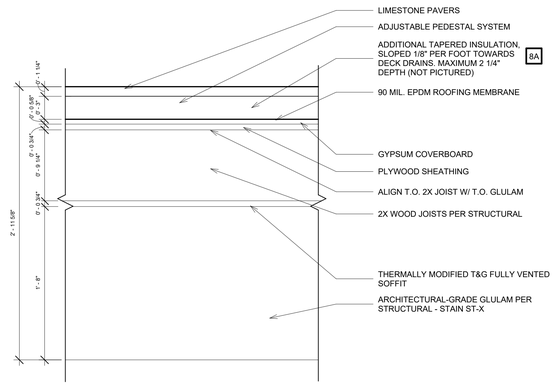
6 WARM BAY RAMP

SCALE: 1 1/2" = 1' - 0"



7 COLD BAY RAMP

SCALE: 1 1/2" = 1' - 0"



8A 8 UNINSULATED RAMP

SCALE: 1 1/2" = 1' - 0"

Plot Date: 1/22/2023 5:53:34 PM

ARCHITECT

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LAKESHORE NATURE PRESERVE - FRAUTSCHI CENTER
BUILDING NO. - BUILDING NAME
UNIVERSITY OF WISCONSIN - MADISON
MADISON, WISCONSIN

Sheet Title: ROOF ASSEMBLIES

Revisions:

No.	Date:	Description:

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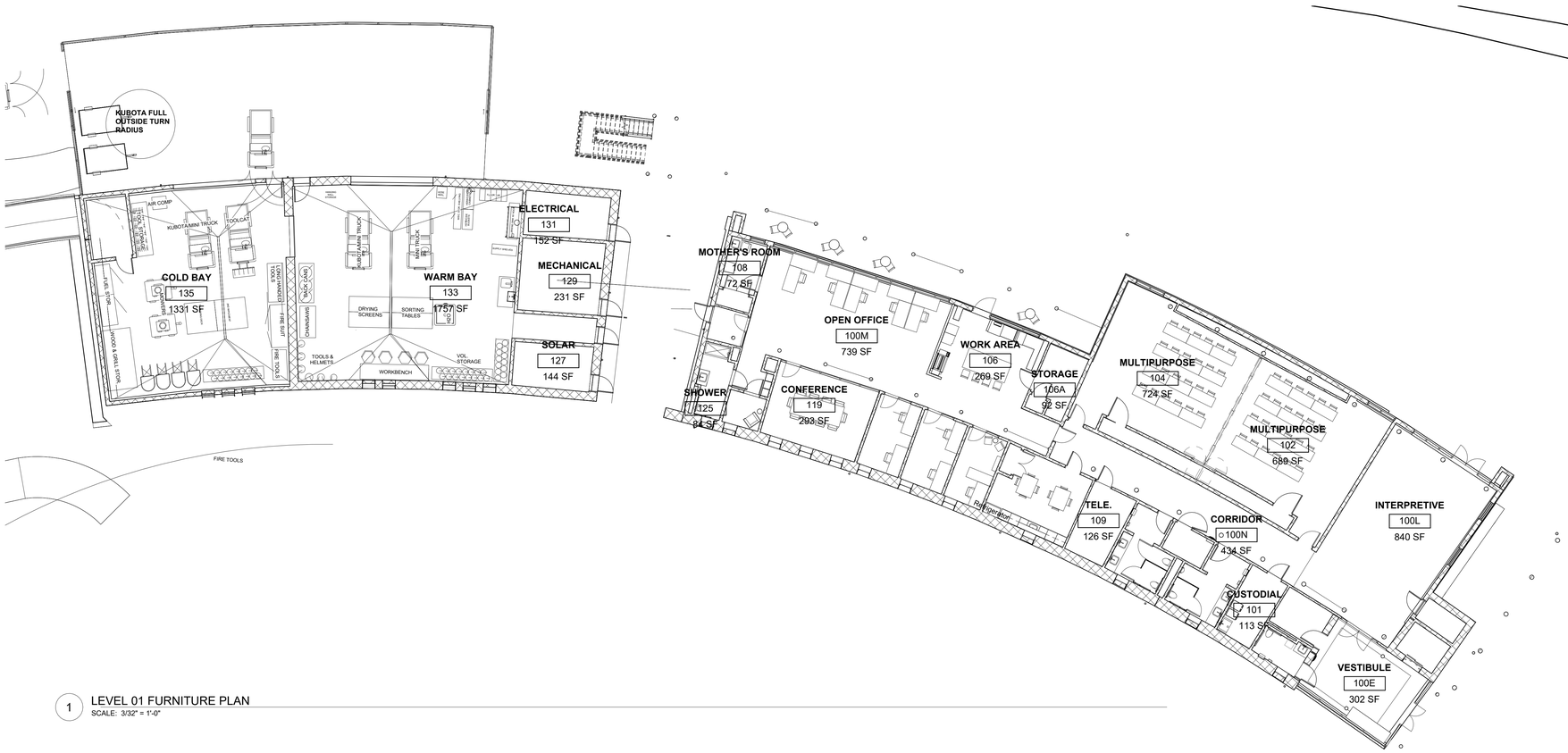
UWSA #	A-22-007
Set Type	PR
Date Issued	02/21/20 25
Sheet Number	**A8.3**



1 LEVEL 01 FURNITURE PLAN
SCALE: 3/32" = 1'-0"

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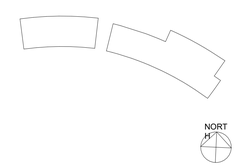

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Sheet Title: FURNITURE PLANS

Revisions:

No.	Date:	Description:

Scale	As indicated
UWM #	9950-2218
UWSA #	A-22-007
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Date Issued	02/21/20 25
Sheet Number	**A9.2**

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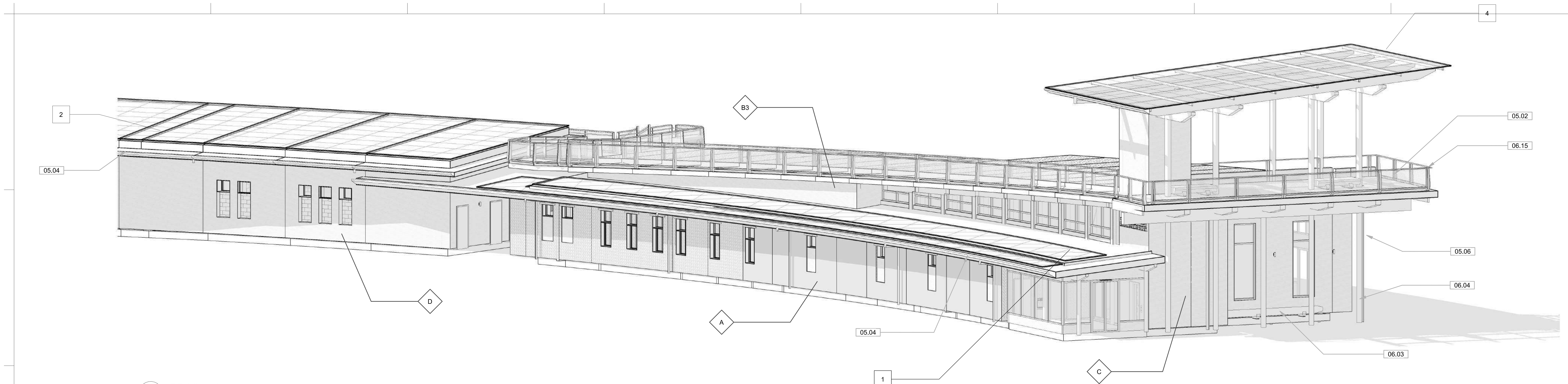

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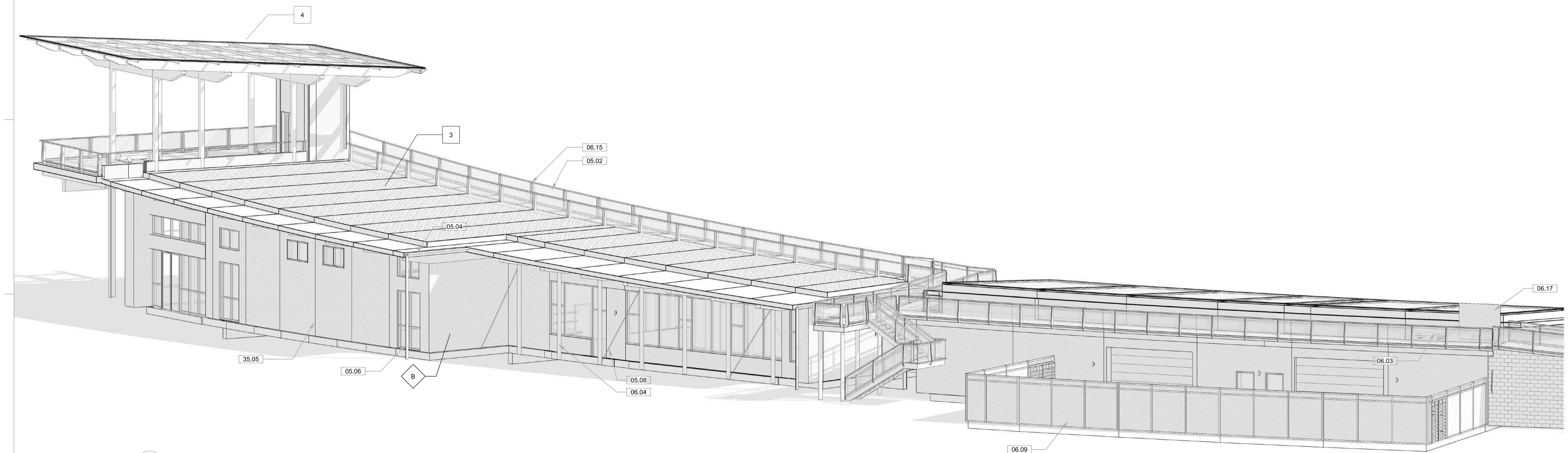

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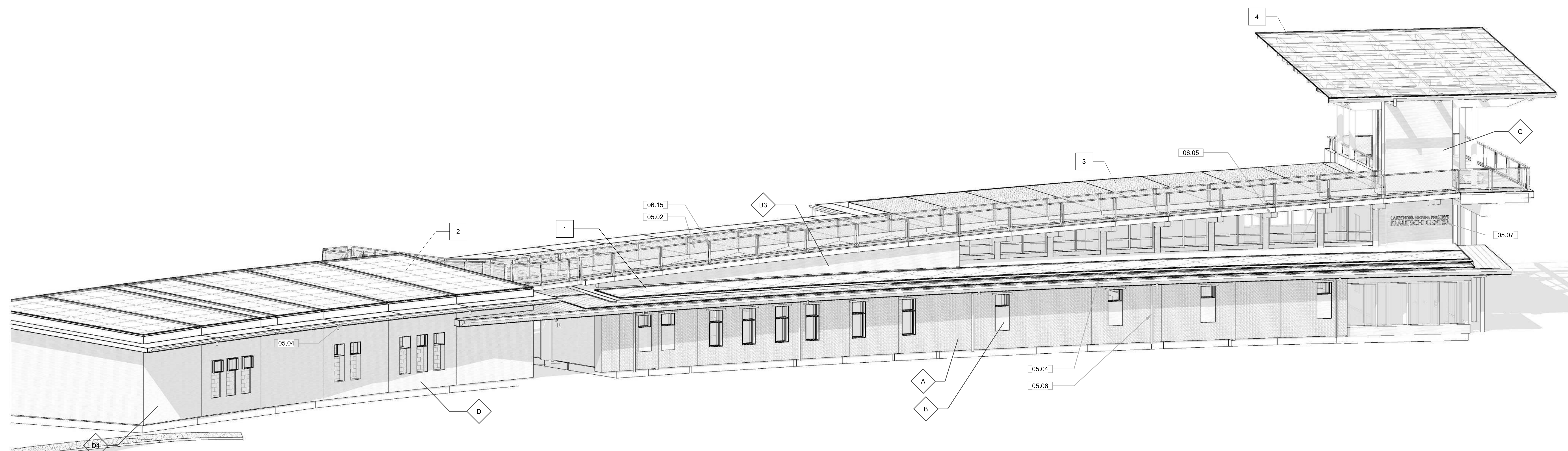

1 SOUTHWEST ISOMETRIC
SCALE: NOT TO SCALE

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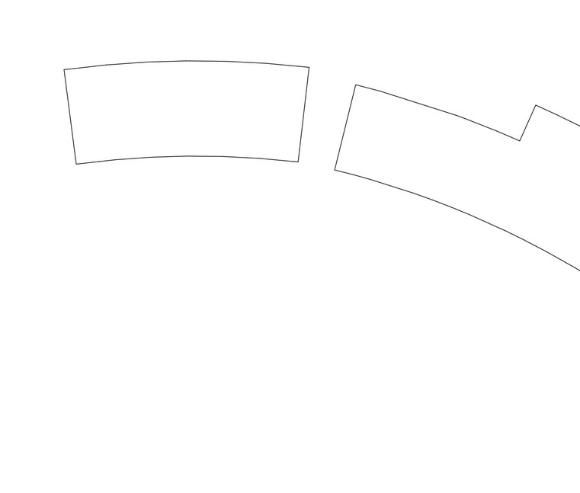
GRAPHIC LEGEND

SHEET KEYNOTES

05.02	TYP. GUARDRAIL INFILL PANEL: THERMALLY MODIFIED WOOD TOP & BOTTOM RAIL W/ TWO LAYERS OF ANODIZED ALUMINUM WELDED WIRE MESH INFILL SPACED 1" APART
05.04	TYP. COPPER TAPER-PROFILE GUTTER W/ PERFORATED COPPER PLATE LEAVE GUARD
05.06	COPPER PIPE DOWNSPOUT W/ 3/4" SLOT CUT DOWN LENGTH & FILED SMOOTH
05.07	COPPER LETTERING ON COPPER STANDOFFS
05.08	STEEL LATERAL BRACING PER STRUCTURAL
06.03	WOOD BENCH: ARCHITECTURAL GRADE GLULAM W/ LAP JOINTED TAPERED LEGS ON STL. KNIFE PLATE STANDOFFS
06.04	TYP. ARCHITECTURAL GRADE GLULAM COLUMN PER STRUCTURAL
06.05	TYP. ARCHITECTURAL GRADE TAPERED GLULAM BEAM PER STRUCTURAL W/ PREFIN. MTL. END CAP
06.09	THERMALLY MODIFIED WOOD FENCE: MASS TIMBER FRAMING W/ THERMALLY MODIFIED WOOD INFILL & SLATTED GATES
06.15	TYP. BALUSTER: TWO THERMALLY MODIFIED 2X LUMBER W/ TAPERED PROFILE & 3 1/2" GAP BETWEEN THEM, EVENLY DISTRIBUTED AND ALIGNED W/ STRUCTURAL GRID
06.17	LATCHABLE, LOCKABLE GATE CLAD IN THERMALLY MODIFIED T&G
35.05	TYP. SEGMENT WALL BETWEEN GRID LINES

KEY PLAN



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CIVIL, LANDSCAPE, STRUCTURAL

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MECHANICAL, ELECTRICAL, PLUMBING

DESIGN ENGINEERS
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P: 608.422.4298

NOT FOR CONSTRUCTION

The Board of Regents of the University of Wisconsin on behalf of the University of Wisconsin - Madison

University of Wisconsin - Madison
FP&M, Capital Project Delivery
21 N. Park Street
Madison, WI 53715

LAKESHORE NATURE PRESERVE - FRAUTSCHI CENTER
BUILDING NO. - BUILDING NAME
UNIVERSITY OF WISCONSIN - MADISON
MADISON, WISCONSIN

Sheet Title:
PERSPECTIVES

Revisions:

No.	Date:	Description:

Scale	As indicated
UWM #	9950-2218
UWSA #	A-22-007
Set Type	PR
Date Issued	02/21/2025
Sheet Number	A9.3

City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: *fire@cityofmadison.com*

Project Address:	**1972 University Bay Dr., Madison, WI**
Contact Name & Phone #:	**Patti Chin, (414) 266-9129**

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?	☒ Yes	☐ No	☐ N/A
If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall?	☐ Yes	☐ No	☒ N/A
If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	☒ Yes	☐ No	☐ N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?	☒ Yes	☐ No	☐ N/A
a) Is the fire lane a minimum unobstructed width of at least 20-feet?	☒ Yes	☐ No	☐ N/A
b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet?	☒ Yes	☐ No	☐ N/A
c) Is the minimum inside turning radius of the fire lane at least 28-feet?	☐ Yes	☒ No	☐ N/A
d) Is the grade of the fire lane not more than a slope of 8%?	☒ Yes	☐ No	☐ N/A
e) Is the fire lane posted as fire lane? (Provide detail of signage.)	☐ Yes	☒ No	☐ N/A
f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.)	☐ Yes	☒ No	☐ N/A
g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	☒ Yes	☐ No	☐ N/A
3. Is the fire lane obstructed by security gates or barricades? If yes:	☐ Yes	☒ No	☐ N/A
a) Is the gate a minimum of 20-feet clear opening?	☐ Yes	☐ No	☒ N/A
b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	☐ Yes	☐ No	☒ N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet?	☐ Yes	☒ No	☐ N/A
If yes, does the area for turning around fire apparatus comply with IFC D103?	☐ Yes	☐ No	☒ N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	☐ Yes	☒ No	☐ N/A
6. Is any part of the building greater than 30-feet above the grade plane?	☒ Yes	☐ No	☐ N/A
If yes, answer the following questions:			
a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter?	☒ Yes	☐ No	☐ N/A
b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building?	☒ Yes	☐ No	☐ N/A
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?	☐ Yes	☒ No	☐ N/A
d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species)	☐ Yes	☒ No	☐ N/A
e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	☒ Yes	☐ No	☐ N/A
f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	☐ Yes	☒ No	☐ N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants?	☒ Yes	☐ No	☐ N/A
Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.			
a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants?	☐ Yes	☒ No	☐ N/A
b) Is there at least 40' between a hydrant and the building?	☒ Yes	☐ No	☐ N/A
c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?	☒ Yes	☐ No	☐ N/A
d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb?	☐ Yes	☐ No	☒ N/A
e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	☒ Yes	☐ No	☐ N/A
Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.			

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2021 Edition Chapter 5 and Appendix D**; please see the codes for further information.

CITY OF MADISON
LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address 1972 University Bay Drive, Madison WI

Name of Project Lakeshore Nature Preserve Frautschi Center

Owner / Contact UW Madison

Contact Phone _____ Contact Email _____

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. ****

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

(a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.

(b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.

(c) No demolition of a principal building is involved.

(d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

(a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 83,809 sq. ft.

Total landscape points required 1397 points

(b) **For lots larger than five (5) acres**, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area _____

Five (5) acres = 217,800 square feet

First five (5) developed acres = 3,630 points

Remainder of developed area _____

Total landscape points required _____

(c) **For the Industrial – Limited (IL) and Industrial – General (IG) districts**, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area _____

Total landscape points required _____

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35			44	1540
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35			0	0
Ornamental tree	1 1/2 inch caliper	15			14	210
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10			0	0
Shrub, deciduous	#3 gallon container size, Min. 12”-24”	3			164	492
Shrub, evergreen	#3 gallon container size, Min. 12”-24”	4			0	0
Ornamental grasses/ perennials	#1 gallon container size, Min. 8”-18”	2			2032	4064
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.			0	0
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200			0	0
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per “seat”			0	0
Sub Totals				0		6306

Total Number of Points Provided 6306

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, as foundation plantings, or as general site landscaping. The total number of landscape points provided shall be distributed on the property as follows.

Total Developed Area

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

Development Frontage Landscaping

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant materials.

Interior Parking Lot Landscaping

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. **All parking lots with twenty (20) or more parking spaces** shall be landscaped in accordance with the interior parking lot standards.

Foundation Plantings

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses.

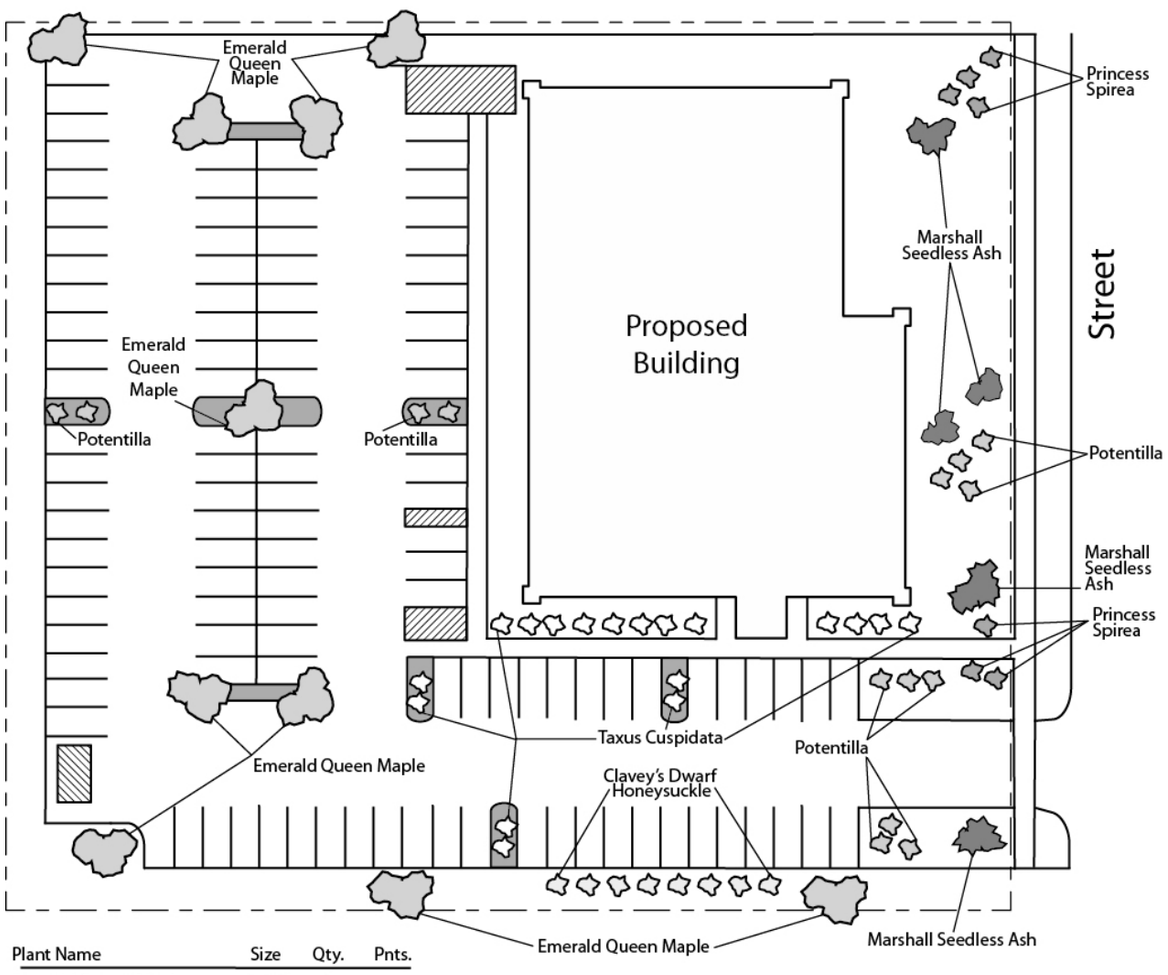
Screening Along District Boundaries

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts.

Screening of Other Site Elements

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site: refuse disposal areas, outdoor storage areas, loading areas, and mechanical equipment.

Example Landscape Plan



Plant Name	Size	Qty.	Pnts.
Emerald Queen Maple	2-2.5"	9	-
Marshall Seedless Ash	2-2.5"	4	450
Clavey's Dwarf Honelysuckle	1 Gal	8	24
Princess Spirea	1 Gal	7	21
Potentilla	1 Gal	10	30
Taxus Cuspidata	2 Gal	12	60
		TOTAL	585

Call City Zoning, 266-4551, with your questions about this type of plan

LANDSCAPE PLAN AND LANDSCAPE WORKSHEET INSTRUCTIONS

Refer to Zoning Code Section 28.142 LANDSCAPING AND SCREENING REQUIREMENTS for the complete requirements for preparing and submitting a Landscape Plan and Landscape Worksheet.

Applicability.

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

(a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.

(b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.

(c) No demolition of a principal building is involved.

(d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Plan and Design Standards.

Landscape plans shall be submitted as a component of a site plan, where required, or as a component of applications for other actions, including zoning permits, where applicable. Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size must be prepared by a registered landscape architect.

(a) Elements of the landscape plan shall include the following:

1. Plant list including common and Latin names, size and root condition (i.e. container or ball & burlap).
2. Site amenities, including bike racks, benches, trash receptacles, etc.
3. Storage areas including trash and loading.
4. Lighting (landscape, pedestrian or parking area).
5. Irrigation.
6. Hard surface materials.
7. Labeling of mulching, edging and curbing.
8. Areas of seeding or sodding.
9. Areas to remain undisturbed and limits of land disturbance.
10. Plants shall be depicted at their size at sixty percent (60%) of growth.
11. Existing trees eight (8) inches or more in diameter.
12. Site grading plan, including stormwater management, if applicable.

(b) Plant Selection. Plant materials provided in conformance with the provisions of this section shall be nursery quality and tolerant of individual site microclimates.

(c) Mulch shall consist of shredded bark, chipped wood or other organic material installed at a minimum depth of two (2) inches.

Landscape Calculations and Distribution.

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area, for the purpose of this requirement, is defined as that area within a single contiguous boundary which is made up of structures, parking driveways and docking/loading facilities, but **excluding** the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

(a) Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, and as foundation plantings, or as general site landscaping.

(b) Planting beds or planted areas must have at least seventy-five percent (75%) vegetative cover.

(c) Canopy tree diversity requirements for new trees:

1. If the development site has fewer than 5 canopy trees, no tree diversity is required.
2. If the development site has between 5 and 50 canopy trees, no single species may comprise more than 33% of trees.
3. If the development site has more than 50 canopy trees, no single species may comprise more than 20% of trees.

Development Frontage Landscaping.

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant material meeting the following minimum requirements:

(a) One (1) overstory deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) overstory deciduous tree.

(b) In cases where building facades directly abut the sidewalk, required frontage landscaping shall be deducted from the required point total.

(c) In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.

(d) Fencing shall be a minimum of three (3) feet in height, and shall be constructed of metal, masonry, stone or equivalent material. Chain link or temporary fencing is prohibited.

Interior Parking Lot Landscaping.

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. **All parking lots with twenty (20) or more parking spaces** shall be landscaped in accordance with the following interior parking lot standards.

(a) For new development on sites previously undeveloped or where all improvements have been removed, a minimum of eight percent (8%) of the asphalt or concrete area of the parking lot shall be devoted to interior planting islands, peninsulas, or landscaped strips. For changes to a developed site, a minimum of five percent (5%) of the asphalt or concrete area shall be interior planting islands, peninsulas, or landscaped strips. A planting island shall be located at least every twelve (12) contiguous stalls with no break or alternatively, landscaped strips at least seven (7) feet wide between parking bays.

(b) The primary plant materials shall be shade trees with at least one (1) deciduous canopy tree for every one hundred sixty (160) square feet of required landscaped area. Two (2) ornamental deciduous trees may be substituted for one (1) canopy tree, but ornamental trees shall constitute no more than twenty-five percent (25%) of the required trees. No light poles shall be located within the area of sixty percent (60%) of mature growth from the center of any tree.

(c) Islands may be curbed or may be designed as uncurbed bio-retention areas as part of an approved low impact stormwater management design approved by the Director of Public Works. The ability to maintain these areas over time must be demonstrated. (See Chapter 37, Madison General Ordinances, Erosion and Stormwater Runoff Control.)

Foundation Plantings.

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses. The Zoning Administrator may modify this requirement for development existing prior to the effective date of this ordinance, as long as improvements achieve an equivalent or greater level of landscaping for the site.

Screening Along District Boundaries.

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts. Screening shall consist of a solid wall, solid fence, or hedge with year-round foliage, between six (6) and eight (8) feet in height, except that within the front yard setback area, screening shall not exceed four (4) feet in height. Height of screening shall be measured from natural or approved grade. Berms and retaining walls shall not be used to increase grade relative to screening height.

Screening of Other Site Elements.

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site, as follows:

(a) Refuse Disposal Areas. All developments, except single family and two family developments, shall provide a refuse disposal area. Such area shall be screened on four (4) sides (including a gate for access) by a solid, commercial-grade wood fence, wall, or equivalent material with a minimum height of six (6) feet and not greater than seven (7) feet.

(b) Outdoor Storage Areas. Outdoor storage areas shall be screened from abutting residential uses with a by a building wall or solid, commercial-grade wood fence, wall, year-round hedge, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.

(c) Loading Areas. Loading areas shall be screened from abutting residential uses and from street view to the extent feasible by a building wall or solid, commercial-grade wood fence, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.

(d) Mechanical Equipment. All rooftop and ground level mechanical equipment and utilities shall be fully screened from view from any street or residential district, as viewed from six (6) feet above ground level. Screening may consist of a building wall or fence and/or landscaping as approved by the Zoning Administrator.

Maintenance.

The owner of the premises is responsible for the watering, maintenance, repair and replacement of all landscaping, fences, and other landscape architectural features on the site. All planting beds shall be kept weed free. Plant material that has died shall be replaced no later than the upcoming June 1.