

URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:
<http://www.cityofmadison.com/planning/documents/UDCApplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100
 PO Box 2985; Madison, Wisconsin 53701-2985
 Phone: 608.266.4635 | Facsimile: 608.267.8739

Date Submitted: <u>2.8.17</u>	Informational Presentation
UDC Meeting Date: <u>2.22.17</u>	Initial Approval
Combined Schedule Plan Commission Date (if applicable): _____	Final Approval

Please complete all sections of the application, including the desired meeting date and the type of action requested.

1. Project Address: LOTS 11, 12, 13, 14 OF TRADEWINDS BUSINESS CENTRE
 Project Title (if any): HCP TRADEWINDS SPEC BUILDING

2. This is an application for (Check all that apply to this UDC application):
 New Development Alteration to an Existing or Previously-Approved Development

A. Project Type:

- Project in an Urban Design District* (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
- Planned Development (PD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Planned Residential Complex

B. Signage:

- Comprehensive Design Review* (public hearing-\$500 fee) Street Graphics Variance* (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

Other:

Please specify: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: JOSEPH MORY
 Street Address: 525 3RD ST. # 300
 Telephone: (608) 361-6677 Fax: () _____

Company: HENDRICKS COMMERCIAL PROPERTIES, LLC
 City/State: BELOIT, WI Zip: _____
 Email: JOSEPH.MORY@HENDRICKSGROUP.NET

Project Contact Person: SAME
 Street Address: _____
 Telephone: () _____ Fax: () _____

Company: _____
 City/State: _____ Zip: _____
 Email: _____

Project Owner (if not applicant): SAME
 Street Address: _____
 Telephone: () _____ Fax: () _____

City/State: _____ Zip: _____
 Email: _____

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with AL MARTIN on 12/13/16.

(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant JOSEPH MORY Relationship to Property OWNER
 Authorized Signature [Signature] Date 2/10/17



TO:

Mr. Alan Martin
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, WI 53701

RE:

Letter of Intent – UDC Informational Review

PROJECT:

HCP – Tradewinds Spec Building
Lots 11-14 Tradewinds Parkway
Tradewinds Business Centre, Madison, WI

February 8, 2017
Page 1 of 3

AYA Project # 61650

Mr. Alan Martin:

The following is submitted together with the plans and application for review by staff and the Urban Design Commission.

UDC Application:

With this application we will be requesting an informational review of the project development and site plan layout.

Organizational Structure:

Owner/ Developer:

Hendricks Commercial Properties, LLC
525 3rd Street, Suite 300
Beloit, WI 53511
608-751-6417
Contact: Josh Mory
josh.mory@hendricksgroup.net

Architect:

Angus-Young Associates, Inc.
16 N. Carroll Street Suite 610
Madison, WI 53703
608-284-8225
Contact: Jeff Davis
jeffd@angusyoung.com

Civil Engineer:

Vierbicher Associates, Inc.
999 Fourier Drive, Suite 201
Madison, WI 53717
608-821-3966
Contact: Gary Blazek
gbla@vierbicher.com



Introduction:

This project is on lots 11, 12, 13, and 14 in the Tradewinds Business Centre in Madison, WI. These lots are directly South of the Beltline Highway, East of Highway 51 and North of Tradewinds Parkway. This is part of Urban Design District 1 in the City of Madison.

This proposal will fit within the intended zoned use for the area as Industrial Limited District.

Project Description:

The proposed project will be a 60,000 gsf distribution warehouse tailored around a national distribution warehouse model. The exterior building design pays homage to early 20th century warehousing and is a direct correlation to Louis Sullivan's "Form follows Function" attitude. The building layout is meant for cross-dock configuration with the front elevation corners (Tradewinds side) acting as anchors for office and maintenance functions. The east and west facades will be the primary shipping/receiving sides of the building.

UDD 1 Requirements:

1. Site Planning:
 - a. This project intends to insure positive drainage and respect the natural topography in the area by capitalizing on the existing terrain. This plan will be submitted with final approval application as required.
 - b. The site will be landscaped with a variety plants that compliment both the surrounding site and architectural forms and massing of the building. This plan will be submitted with initial approval application as required.
 - c. The proposed structure has taken into consideration all surrounding buildings and its relationship to the abutting street, colors and materials of adjacent buildings and its relationship within the surrounding context.
2. Lighting:
 - a. The exterior building lighting shall be appropriate and fit within the building architecture. The intent is to highlight the building features, pedestrian walkways, entrance and tenant signage. These lights will be soft and appropriate for their application and intent.
 - b. We intend to use a mixture of warehouse style lights on the exterior for both building highlights as well as the entrances and pedestrian walkways. Lighting design and photometrics plan will be submitted with final approval application as required.
3. Utility Service:
 - a. Utilities have been previously buried in this area.
4. Signs:
 - a. All signage will be integrated into the building façade in an appropriate and proportional manner. The signage will be submitted at a later date once a tenant is identified.
5. Parking and Service Areas; Screening:
 - a. It is our intent to screen all off street parking and loading areas with landscaping as required in this section. This will be submitted as required with the initial approval application.
 - b. The parking lots are subdivided with landscaping islands as required. We are not providing more than 6 consecutive stalls. This meets the requirement of 7 in the guidelines.



6. Building Design:

- a. We are utilizing a combination of precast concrete panels with masonry veneer. Sloped roof areas are standing seam metal. The exterior corner accents are tumbled masonry veneered precast wall panels with large divided lite warehouse style windows. Masonry details consist of soldier course headers, rowlock window sills, brick pilasters w/ concrete caps and water sills. The entire building will receive 3-4ft high stained douglas fir wood cornices casting deep shadows across the face of the masonry and concrete. All mechanical units will be screened as required. The concept of this building is a contemporary reflection of early 20th century warehouse architecture.
- b. The scale of the north and south facades is broken down by a steep sloped metal roof with gutters and downspouts accenting the pilasters. The building roofline undulates creating taller elements at the corners and multiple elevation changes along each facade.

Site Development Data:

Densities:

Lot area 390,487 sf or 8.96 acres
Lot Coverage 60,000 sf

Building Height: 38'-0" to 42'-6"

Floor Area Ratio:

Gross Floor Area 60,000 gsf
Buildable Site Area 270,584 gsf
Floor Area Ratio 0.22

Vehicle Parking Stalls:

At Grade 70
Future 88

Projected Schedule:

This project is intended to commence construction in June, 2017 and scheduled completion/ occupancy slated for November, 2017.

Thank you for your time reviewing our proposal.

Sincerely,

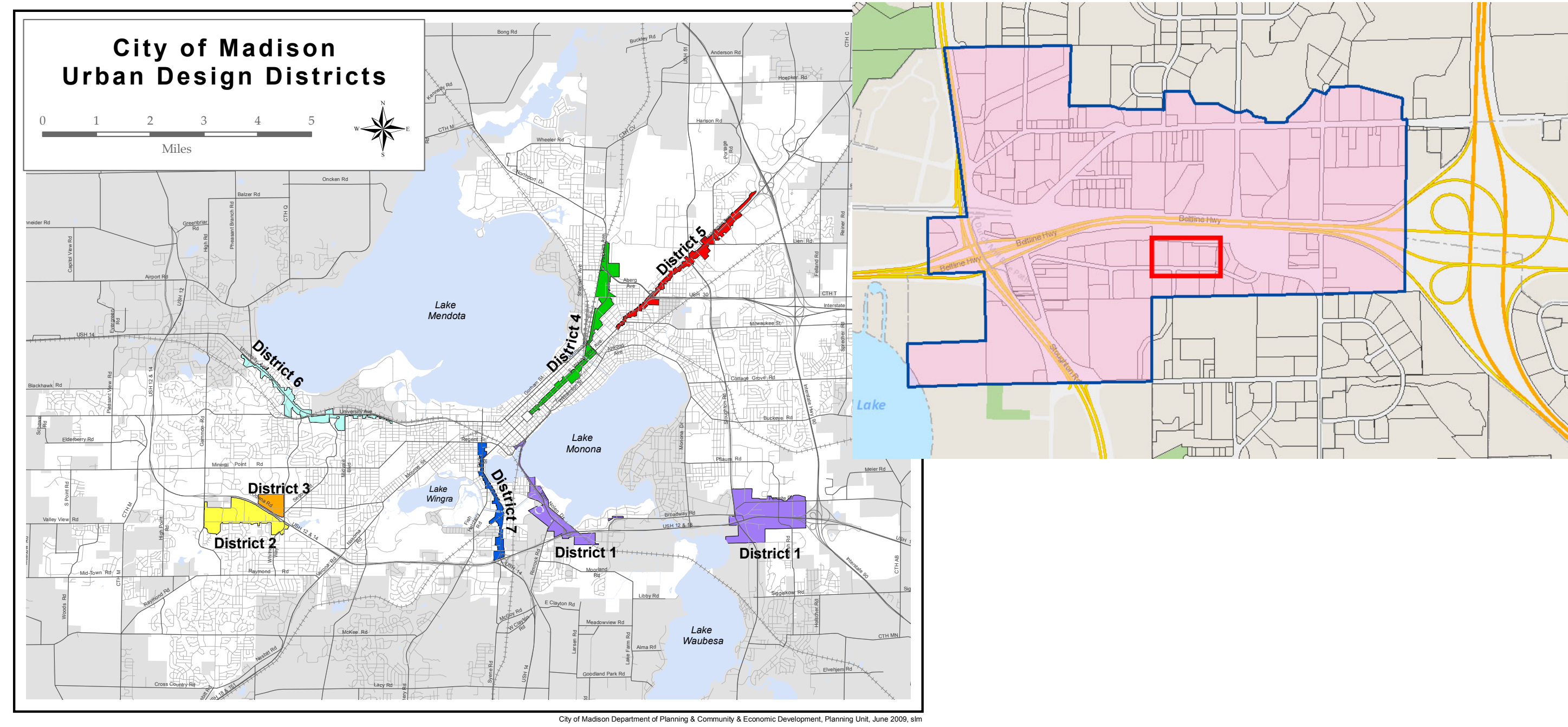
Jeff Davis, AIA

Hendricks Commercial Properties, LLC
Tradewinds Pkwy Spec Building
Lots 11, 12, 13, 14 Tradewinds Business Centre

Urban Design Commission Informational and Initial
Approval Submittal
February 8, 2017

Josh Mory, Hendricks Commercial Properties, LLC & Jeff Davis, Angus-Young Associates
josh.mory@hendricksgroup.net and jeffd@angusyoung.com
(608) 361-6622 and (608) 284-8225

Urban Design District 1



Tradewinds Pkwy Spec Building

Location Map



Tradewinds Pkwy Spec Building

Existing Pictures



View facing West from Agriculture Dr.

Tradewinds Pkwy Spec Building

Existing Pictures



Existing view looking toward site

Tradewinds Pkwy Spec Building

Existing Pictures



Existing Aerial View

Tradewinds Pkwy Spec Building

Existing Pictures



Existing Aerial View

Tradewinds Pkwy Spec Building

Surrounding Development Pictures



View of Building West of Sleep Inn & Suites

Tradewinds Pkwy Spec Building

Surrounding Development Pictures



View of Bauer & Raether Builders West of Site

Tradewinds Pkwy Spec Building

Surrounding Development Pictures



View of Sleep Inn & Suites West of Site

Tradewinds Pkwy Spec Building

Surrounding Development Pictures



View of Lot West of Site

Tradewinds Pkwy Spec Building

Surrounding Development Pictures



View of Frank's Fueling Systems

Tradewinds Pkwy Spec Building

Surrounding Development Pictures



View of All Comfort Services Inc.

Tradewinds Pkwy Spec Building

Surrounding Development Pictures



View of Mad City's Windows

Tradewinds Pkwy Spec Building

Surrounding Development Pictures



View of Crossroad's Church

Tradewinds Pkwy Spec Building

Surrounding Development Pictures



View of Toby's Supper Club

Tradewinds Pkwy Spec Building

Surrounding Development Pictures



View on South side of Tradewinds Pkwy

Tradewinds Pkwy Spec Building

Surrounding Development Pictures



View of Semex USA - Marsh Rd

Tradewinds Pkwy Spec Building

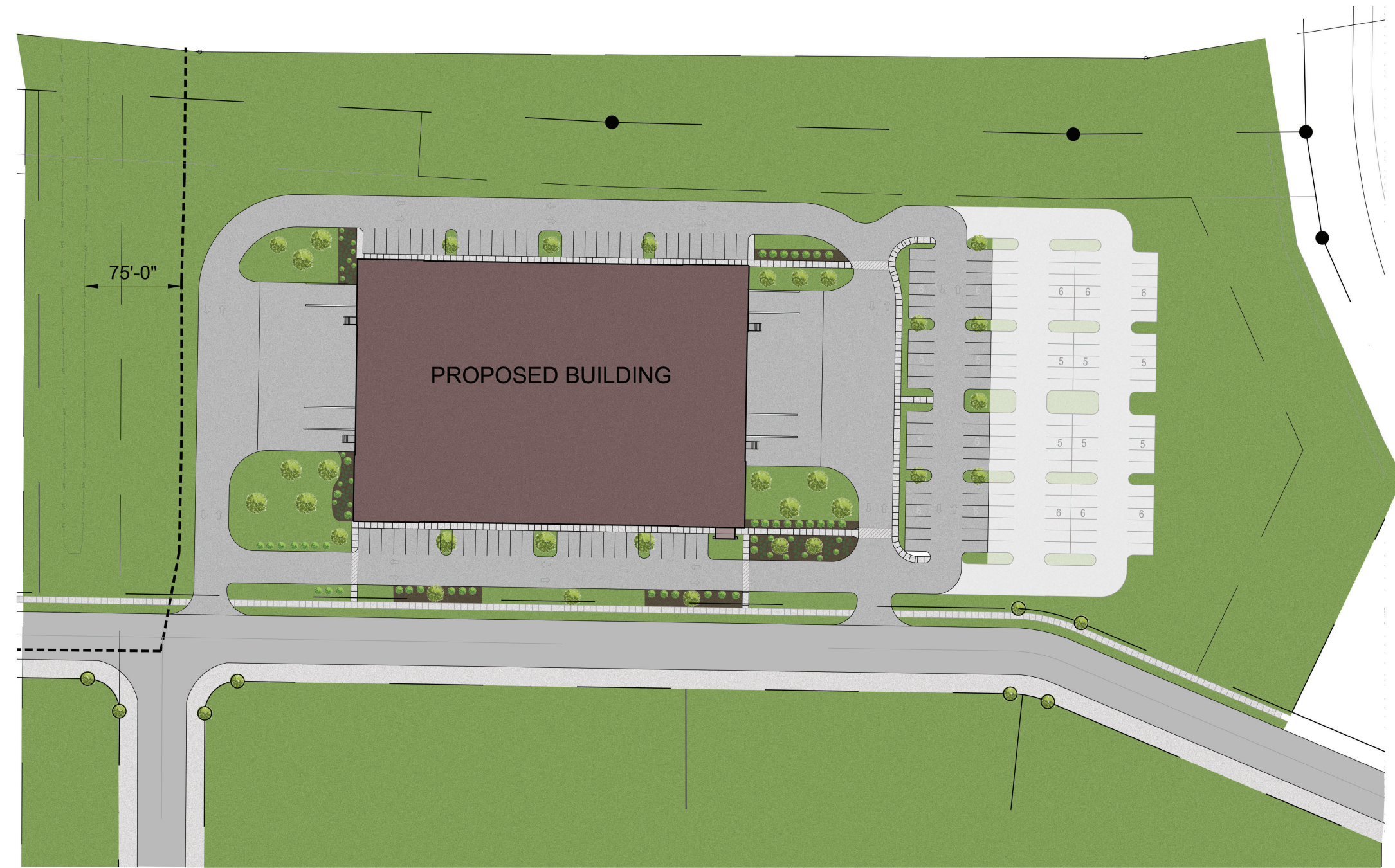
Surrounding Development Pictures



Industrial Building from Marsh Rd.

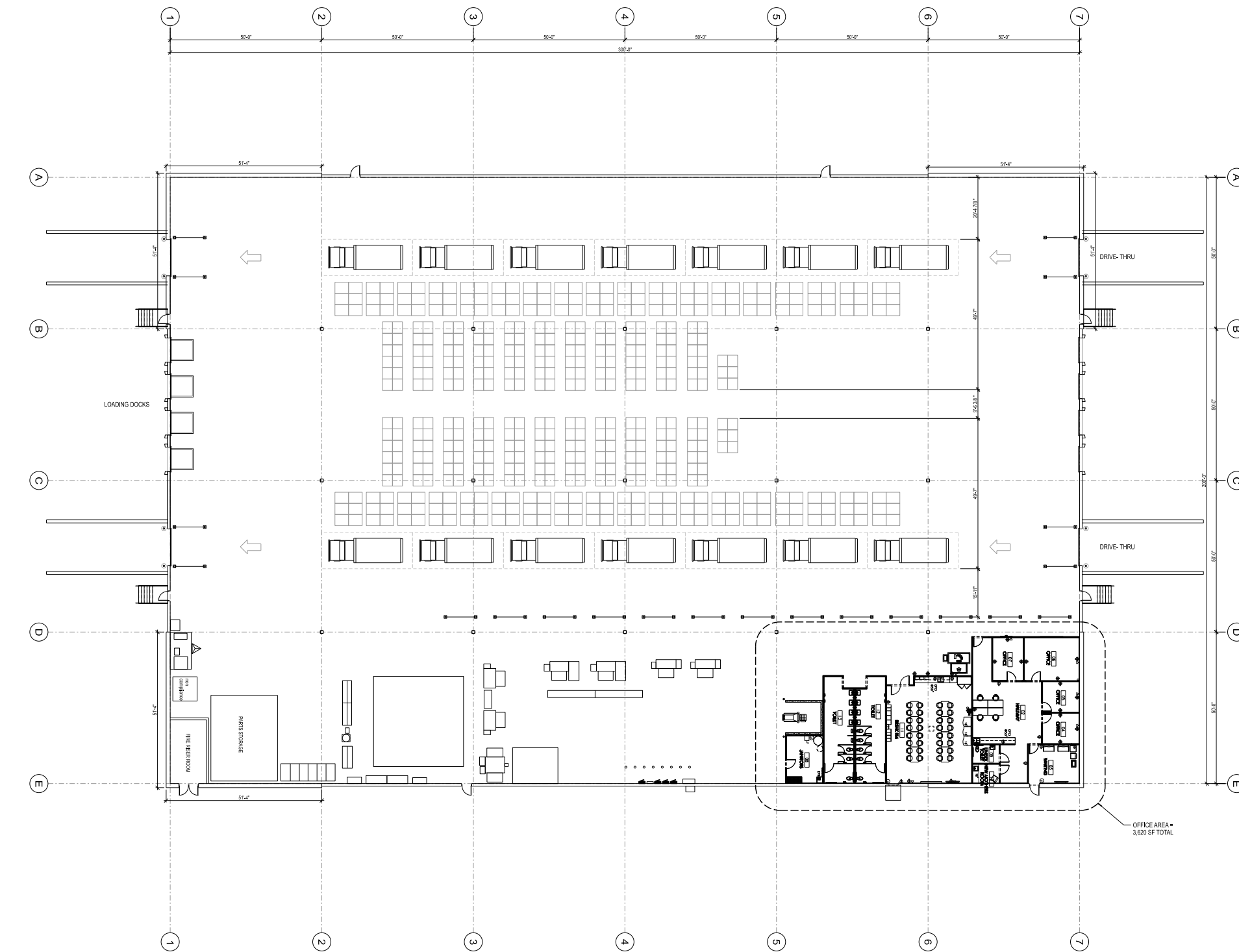
Tradewinds Pkwy Spec Building

Proposed Site Plan



Tradewinds Pkwy Spec Building

Proposed Floor Plan



Tradewinds Pkwy Spec Building



Proposed Building Elevations



South Elevation

Tradewinds Pkwy Spec Building

Proposed Building Elevations



North Elevation

Tradewinds Pkwy Spec Building

Proposed Building Elevations



West Elevation

Tradewinds Pkwy Spec Building

Proposed Building Elevations



East Elevation

Tradewinds Pkwy Spec Building

Perspective Renderings



Tradewinds Pkwy Spec Building

Perspective Renderings



Tradewinds Pkwy Spec Building

Perspective Renderings

