



City of Madison

Conditional Use

Location
6202-6204 Manufacturers Drive

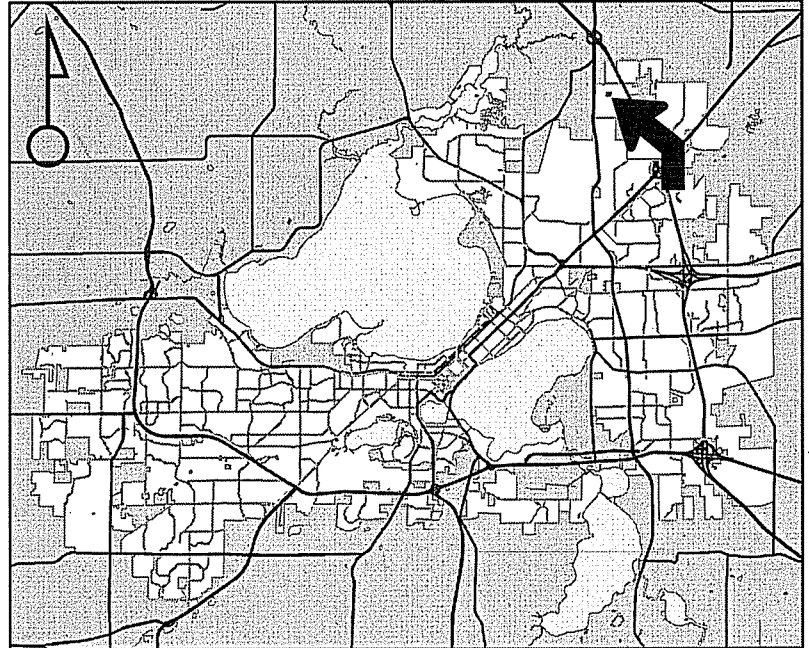
Project Name
Dayton Freight

Applicant
City of Madison EDD / Russell
Henestofel, EMH&T

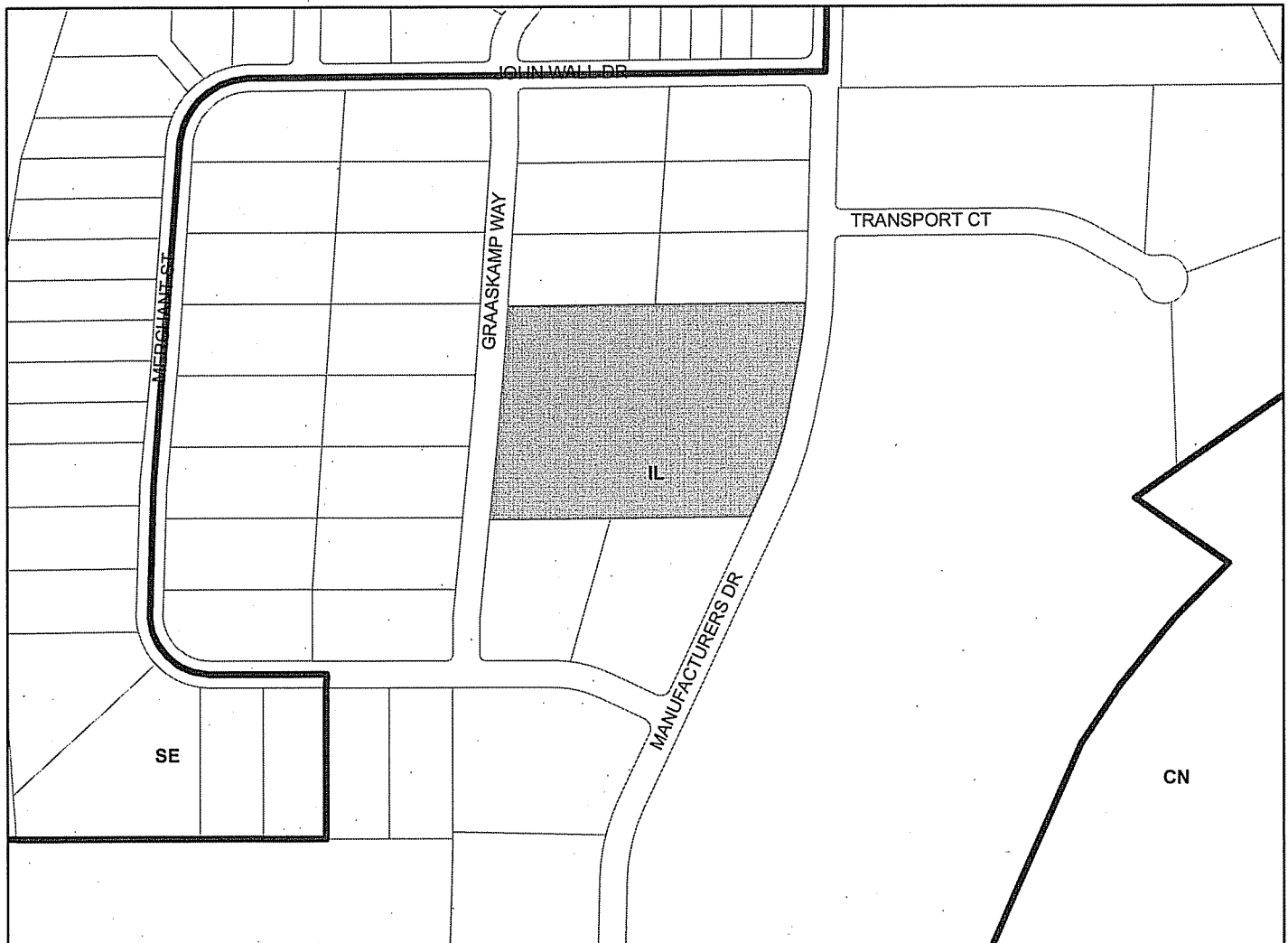
Existing Use
Vacant

Proposed Use
Construct motor freight terminal

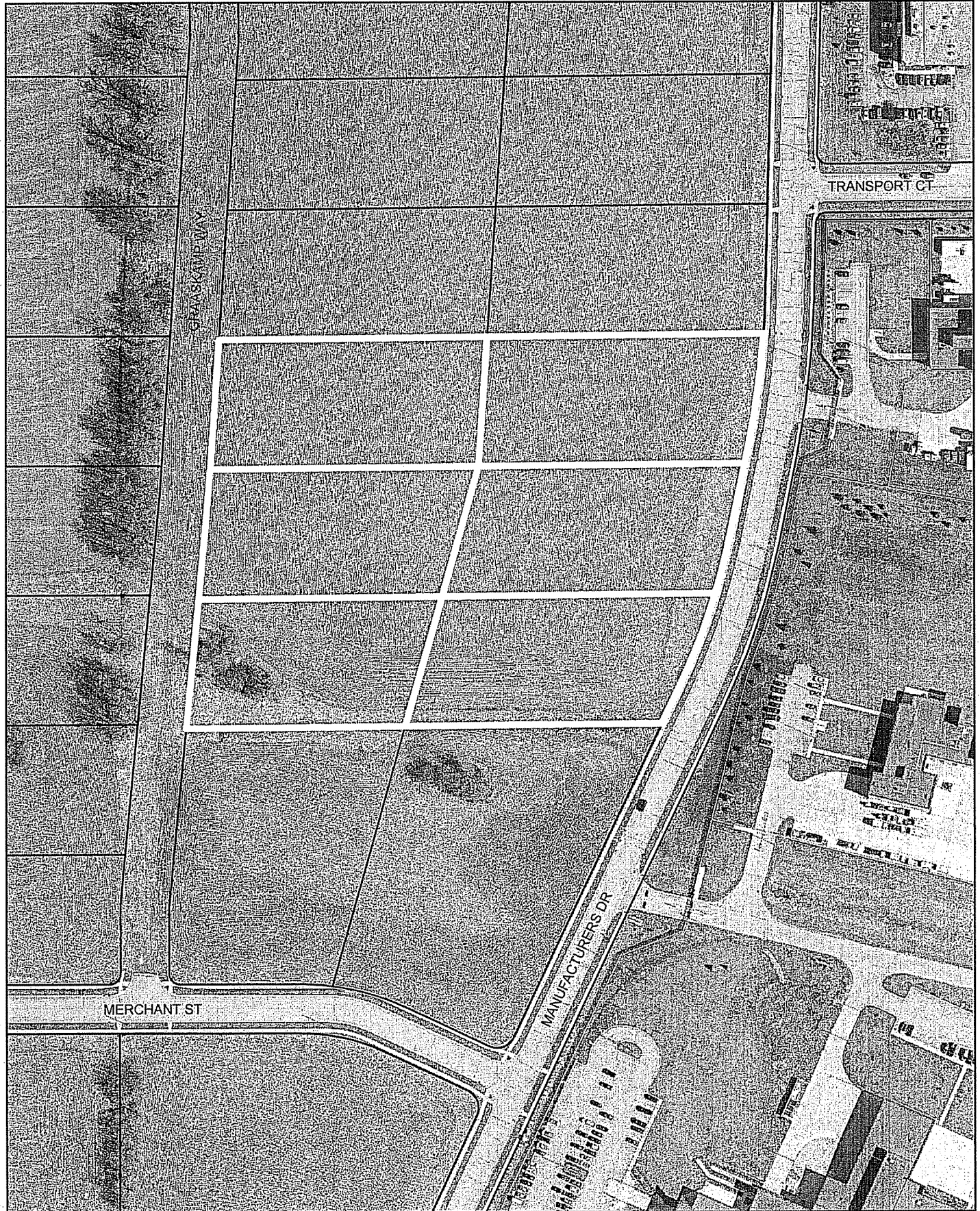
Public Hearing Date
Plan Commission
08 May 2017



For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'



LAND USE APPLICATION

LND-B

City of Madison
 Planning Division
 126 S. Hamilton St.
 P.O. Box 2985
 Madison, WI 53701-2985
 (608) 266-4635



FOR OFFICE USE ONLY:

Paid 1400- Receipt # 027847-0009
 Date received 3/22/17
 Received by MSGP
 Parcel # 0810-162-0206-2
 Aldermanic district 17 - Sambeth
 Zoning district IL
 Special requirements DEED RESTRICTIONS
 Review required by _____
 UDC PC
 Common Council Other _____
 Reviewed By _____

All Land Use Applications must be filed with the Zoning Office at the above address.

This completed form is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application found on the City's web site.

1. Project Information

Address: 6202-6402 Manufacturers Drive
 Title: Dayton Freight (MSN) - Madison WI

2. This is an application for (check all that apply)

- Zoning Map Amendment (rezoning) from _____ to _____
- Major Amendment to an Approved Planned Development-General Development Plan (PD-GDP) Zoning
- Major Amendment to an Approved Planned Development-Specific Implementation Plan (PD-SIP)
- Review of Alteration to Planned Development (PD) (by Plan Commission)
- Conditional Use or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other requests

3. Applicant, Agent and Property Owner Information

Applicant name Bill Plesich Company Renier Construction
 Street address 2164 Citygate Drive City/State/Zip Columbus, OH 43219
 Telephone (614) 866-4580 Email bplesich@renier.com

Project contact person Russell Henestofel Company EMH&T
 Street address 5500 New Albany Road City/State/Zip Columbus, OH 43054
 Telephone (614) 775-4360 Email rhenestofel@emht.com

Property owner (if not applicant) City of Madison EDD
 Street address 30 West Mifflin, Suite 502 City/State/Zip Madison, WI 53701
 Telephone _____ Email _____

4

4. Project Description

Provide a brief description of the project and all proposed uses of the site:

Construction of a 37-Door Motor Freight Terminal including fenced trailer and tractor parking, secured parking for drivers and employee/visitor parking including utilities, stormwater management, & landscaping.

Scheduled start date June 2017 Planned completion date February 2018

5. Required Submittal Materials

Refer to the Land Use Application Checklist for detailed submittal requirements.

- Checkboxes for Filing fee, Land Use Application, Letter of intent, Legal description, Pre-application notification, Vicinity map, Survey or existing conditions site plan, Development plans, Land Use Application Checklist (LND-C), Supplemental Requirements, and Electronic Submittal*.

*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to pcapplications@cityofmadison.com.

For concurrent UDC applications a separate pre-application meeting with the UDC Secretary is required prior to submittal. Following the pre-application meeting, a complete UDC Application form and all other submittal requirements must be submitted to the UDC Secretary.

6. Applicant Declarations

- Pre-application meeting with staff. Prior to preparation of this application, the applicant is strongly encouraged to discuss the proposed development and review process with Zoning and Planning Division staff.

Planning staff Tim Parks Date 2/21/17
Zoning staff Jenny Kirchgatter Date 2/21/17

- Demolition Listserv
Public subsidy is being requested (indicate in letter of intent)

- Pre-application notification: The zoning code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), business association(s), AND the dates you sent the notices: Alder Samba Baldeh of District 17 was notified and provided email approval of the filing for the Conditional Use Permit on the subject site.

The alderperson and the Director of Planning & Community & Economic Development may reduce the 30-day requirement or waive the pre-application notification requirement altogether. Evidence of the pre-application notification is required as part of the application materials.

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of applicant Bill Plesich Relationship to property AGENT
Authorizing signature of property owner [Signature] Date 3/20/17



Engineers, Surveyors, Planners, Scientists

March 21, 2017

City of Madison
Planning Division
126 S. Hamilton St.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635

Subject: Conditional Use Submission for Dayton Freight Lines, Inc., 6202-6402 Manufacturers Drive

We are a full-service engineering firm based out of Ohio representing Dayton Freight Lines, Inc., also based out of Ohio, to permit and construct a new motor freight terminal in Madison, WI on Manufacturers Drive, a couple lots from Merchant Drive.

The intent of this project is to construct a 37-door motor freight terminal including associated features. The project is proposed along Manufacturers Drive on a plot of land that is owned by the city and is currently a farm field. The site features include a fenced trailer and tractor parking area, a secured parking area for long range driver parking, and an employee and visitor parking lot for the office and dock workers. This new terminal will increase the capacity of Dayton Freight's numerous freight terminals, which will allow the local transport of goods. This site does have the ability and flexibility to be expanded in the future, pending the project's level of success.

In addition to including the features noted above (shown in the attached exhibits and documents), this site will comply with the zoning requirements including utilities, stormwater management and landscaping requirements.

The anticipated start date for this project is June, 2017, and the anticipated completion date is February, 2018.

Sincerely,

A handwritten signature in blue ink, appearing to read "Russell A. Henestofel".

Russell Henestofel, LEED AP
Principal

\\cmhdata01\Project01\20170092\Dwg\04Sheets\Development Plans\C1.01 - Vicinity Map.dwg



LOCATION MAP
Not to Scale

AGENT

Renier Construction
2164 Citygate Drive
Columbus, OH 43219

DEVELOPER/OWNER

Streams Edge Properties, LLC
c/o Dayton Freight Lines, Inc.
6450 Poe Avenue, Suite 311
Dayton, OH 45414

CITY OF MADISON, DANE COUNTY, WISCONSIN
CONDITIONAL USE SUBMISSION
FOR
DAYTON FREIGHT LINES, INC.
6202-6402 MANUFACTURERS DRIVE
VICINITY MAP

Date	March 21, 2017	Job No.	2017-0092
Scale	Not to Scale	Sheet	C1.01

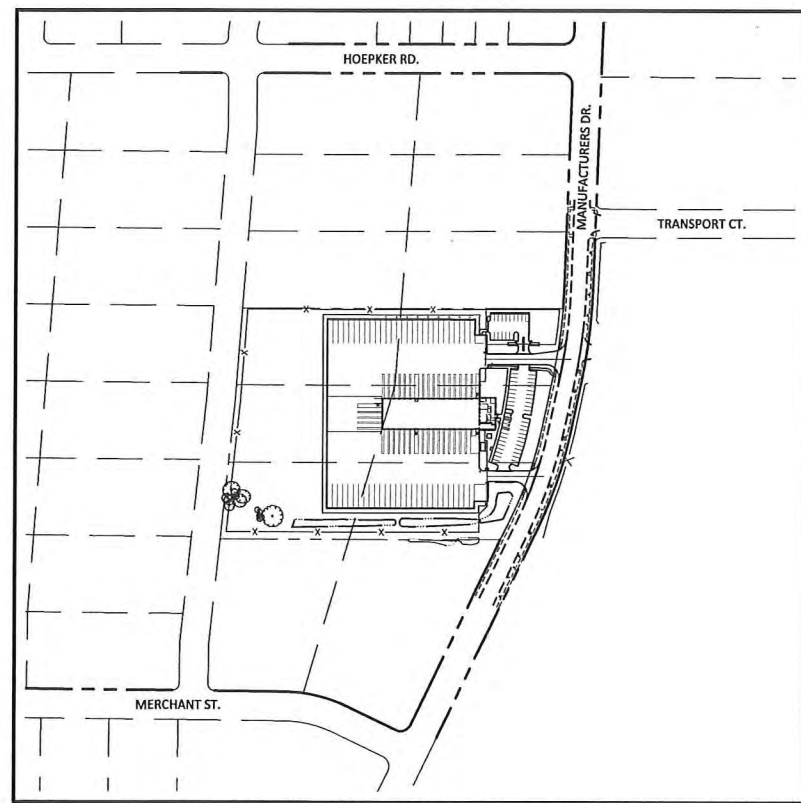
SHEET INDEX	
Vicinity Map	C1.01
Cover Sheet	C1.00
Ex. Conditions & Demolition Plan	C1.10
Site Plan	C1.20
Grading Plan	C1.30
Utility Plan	C1.40
Fire Access Plan	C1.50
Landscape Plan	C1.60
Landscape Schedule and Worksheet	C1.61
Erosion and Sediment Control Plan	C1.70
Details	C1.80
First Floor Plan - Overall	A3.00
First Floor Plan - Partial	A3.01A
First Floor Plan - Partial	A3.01B
Roof Plan	A3.02
Building Elevations	A4.01A
Building Elevations	A4.01B
3D Views	A4.02
Perspective View	A4.03
Point-By-Point Footcandle Plot	LU17-36139

CITY OF MADISON, DANE COUNTY, WISCONSIN
 CONDITIONAL USE SUBMISSION
 FOR
DAYTON FREIGHT LINES, INC.
6202-6402 MANUFACTURERS DRIVE

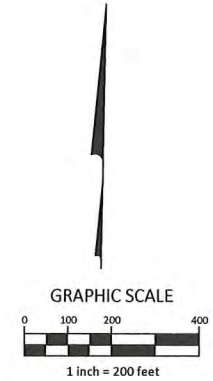
REVIEW SET
 NOT TO BE USED FOR
 CONSTRUCTION
 PLAN SET DATE
 MARCH 21, 2017



LOCATION MAP
 Not to Scale



INDEX MAP
 Scale: 1" = 200'



Land Use Summary Table		
Lot Coverage	4.53 Acres	(197,414 SF)
Usable Open Space	3.17 Acres	(138,225 SF)
Landscape Area	0.35 Acres	(15,070 SF)
Paved Area	4.12 Acres	(179,296 SF)

Parking Lot Plan Site Information Block	
Site Address	6202-6402 Manufacturers Drive
Site Acreage (Total)	8.45 Acres
Number of Building Stories (Above Grade)	One
Building Height	24'-6" from Top of Pymt. at Docks 20'-4" from FF at Office
DILHR Type of Construction (New Structures or Additions)	Type IIB
Total Square Footage of Building	18,340 S.F.
Use of Property	Industrial - Limited District
Gross Square Feet of Office	2,780 S.F.
Gross Square Feet of Retail Area	N/A
Number of Employees in Warehouse	18-20 Full Time; 4-6 Part Time
Number of Employees in Production Area	N/A
Capacity of Restaurant/Place of Assembly	N/A
Number of Bicycle Stalls Required	3 (1 per 10 employees)
Number of Bicycle Stalls Shown	8
Number of Parking Stalls Shown	(No Minimum Requirements)
Small Car	0
Large Car	57
Accessible	3
Tractor Spaces	36
Trailer Spaces	38
Number of Trees Shown	See Landscape Plan, Sheet C1.60

AGENT
 Renier Construction
 2164 Citygate Drive
 Columbus, OH 43219

DEVELOPER/OWNER
 Streams Edge Properties, LLC
 c/o Dayton Freight Lines, Inc.
 6450 Poe Avenue, Suite 311
 Dayton, OH 45414

MARK	DATE	DESCRIPTION



CITY OF MADISON, DANE COUNTY, WISCONSIN
 CONDITIONAL USE SUBMISSION
 FOR
DAYTON FREIGHT LINES, INC.
6202-6402 MANUFACTURERS DRIVE
COVER SHEET

Job No.	2017-0092
Date	March 21, 2017
Scale	1" = 30'
Sheet	C1.00

\\mchadad\Projects\2017\2092\Drawings\sets\Development Plans\C1.00 - Cover Sheet.dwg



Legend

	Ex. R/W		Ex. Electric Line		Ex. Major Contour
	Ex. Property Line		Ex. Electric Hand Hole		Ex. Minor Contour
	Ex. Setback		Ex. Electric Transformer		Ex. Tree, Approx. Drip Line Shown
	Ex. Easement		Ex. Electric Pedestal		Ex. Sidewalk (TBR)
	Ex. Storm Sewer		Ex. Light Pole		Ex. Curb and Gutter (TBR)
	Ex. Sanitary Sewer		Ex. Comm. Line		
	Ex. Water Main		Ex. Fiber Optic Line		
	Ex. Gas Main		Ex. Chain Link Fence		
			Ex. Chain Link Fence		

REVIEW SET
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PLAN SET DATE
MARCH 21, 2017

REVISIONS	DATE	DESCRIPTION



CITY OF MADISON, DANE COUNTY, WISCONSIN
 CONDITIONAL USE SUBMISSION
 FOR
DAYTON FREIGHT LINES, INC.
6202-6402 MANUFACTURERS DRIVE
EX. CONDITIONS & DEMOLITION PLAN

Job No.	2017-0092
Date	March 21, 2017
Scale	1" = 30'
Sheet	C1.10



\\mhadad01\Projects\20170921\Drawings\SitePlans\Development Plans\C1.10 - Existing Conditions and Demolition Plan.dwg

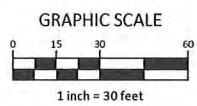
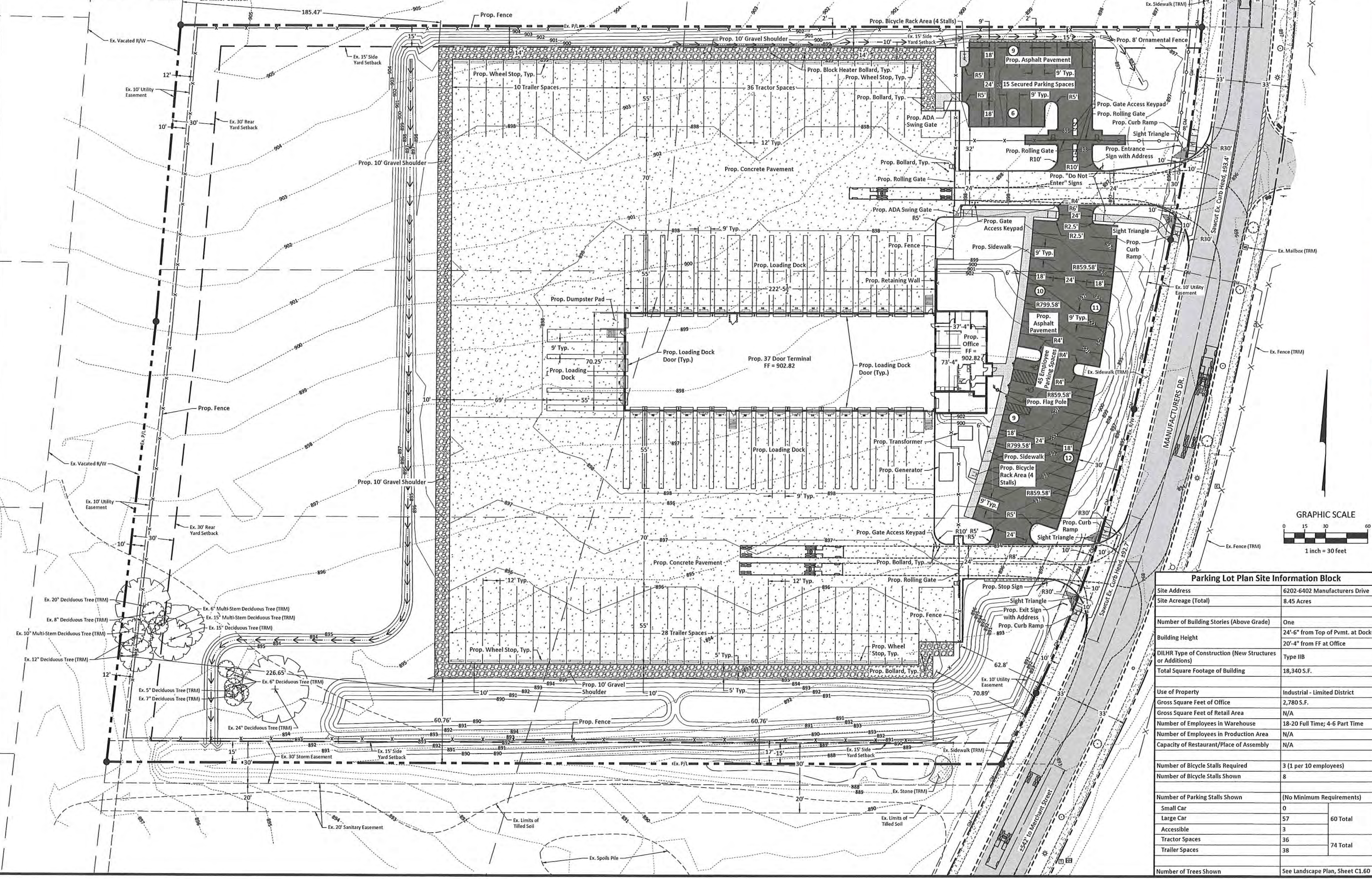
Legend	Ex. Light Pole	Prop. Property Line	Prop. Concrete Pavement
Ex. R/W	Ex. Hydrant	Prop. Ditch	Prop. Asphalt Pavement
Ex. Property Line	Ex. Chain Link Fence	Prop. Chain Link Fence	Prop. Concrete Sidewalk
Ex. Setback	Ex. Tree, Approx.	Prop. Ornamental Fence	Prop. Gravel Shoulder
Ex. Easement	Drip Line Shown	Prop. Curb	
Ex. Chain Link Fence	Ex. Asphalt Pavement	Prop. Major Contour	
Ex. Electric Hand Hole	Ex. Sidewalk	Prop. Minor Contour	
Ex. Electric Transformer	Ex. Major Contour		
Ex. Electric Pedestal	Ex. Minor Contour		

Notes

1. Reference Ex. Conditions & Demolition Plan, Sheet C1.10, for Complete Lot Line and Easement Information, Including Dimensions.
2. Reference Utility Plan, Sheet C1.40, for Complete Utility Information.
3. Reference Details, Sheet C1.80, for Fence Details and Bicycle Parking Details.
4. Large Vehicle Template As Shown Is Based On a WB-67 Vehicle.

Land Use Summary Table		
Lot Coverage	4.53 Acres	(197,414 SF)
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Landscape Area	0.35 Acres	(15,070 SF)
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MARCH 21, 2017



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Number of Parking Stalls Shown	(No Minimum Requirements)
Small Car	0
Large Car	57
Accessible	3
Tractor Spaces	36
Trailer Spaces	38
Number of Trees Shown	See Landscape Plan, Sheet C1.60

REVISIONS	DATE	DESCRIPTION



CITY OF MADISON, DANE COUNTY, WISCONSIN
CONDITIONAL USE SUBMISSION FOR
DAYTON FREIGHT LINES, INC.
6202-6402 MANUFACTURERS DRIVE
SITE PLAN

Job No.	2017-0092
Date	March 21, 2017
Scale	1" = 30'
Sheet	C1.20

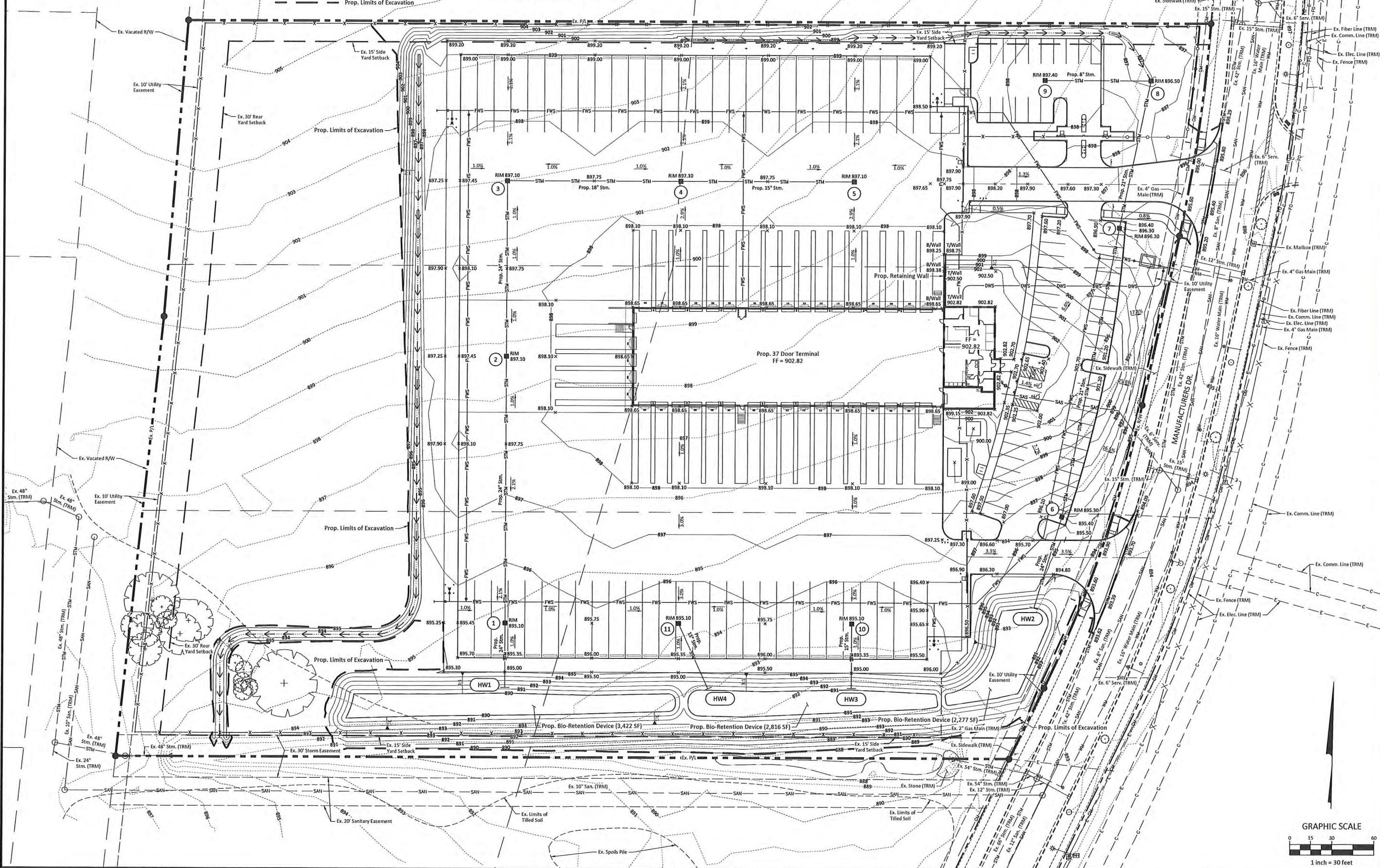
- Legend**
- E — Ex. Electric Line
 - Ex. Property Line
 - Ex. Setback
 - Ex. Easement
 - Ex. Storm Sewer
 - Ex. Sanitary Sewer
 - Ex. Water Main
 - Ex. Gas Main
 - Ex. Tree, Approx. Drip Line Shown
 - Ex. Major Contour
 - Ex. Minor Contour
 - Prop. Property Line
 - Prop. Storm Sewer
 - Prop. Ditch
 - Prop. Chain Link Fence
 - Prop. Ornamental Fence
 - Prop. Curb
 - Prop. Limits of Excavation
 - 900 — Prop. Major Contour
 - 901 — Prop. Minor Contour

- 905 — Ex. Electric Hand Hole
- 904 — Ex. Electric Transformer
- Ex. Light Pole
- Ex. Comm. Line
- Ex. Fiber Optic Line
- Ex. Chain Link Fence
- Ex. Chain Link Fence
- 905 — Ex. Tree, Approx. Drip Line Shown
- 904 — Ex. Major Contour
- 904 — Ex. Minor Contour
- Prop. Property Line
- Prop. Storm Sewer
- Prop. Ditch
- Prop. Chain Link Fence
- Prop. Ornamental Fence
- Prop. Curb
- Prop. Limits of Excavation

Notes

1. Reference Ex. Conditions & Demolition Plan, Sheet C1.10, for Complete Lot Line and Easement Information, Including Dimensions.
2. Reference Utility Plan, Sheet C1.40, for Complete Utility Information.
3. Reference Details, Sheet C1.80, for Fence Details.
4. The Site is in Zone X (Areas Determined To Be Outside the 0.2% Annual Chance Floodplain) Per Flood Insurance Rate Map 55025C0262H, Dated September 17, 2014.
5. All Proposed Grades in Pavement Are Top of Pavement Elevations, Unless Otherwise Noted. Add 0.50' To Top of Pavement Elevations for Top of Curb Elevations.

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PLAN SET DATE
MARCH 21, 2017



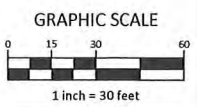
REVISIONS

MARK	DATE	DESCRIPTION



CITY OF MADISON, DAINE COUNTY, WISCONSIN
CONDITIONAL USE SUBMISSION
FOR
DAYTON FREIGHT LINES, INC.
6202-6402 MANUFACTURERS DRIVE
GRADING PLAN

Job No. 2017-0092
Date March 21, 2017
Scale 1" = 30'
Sheet C1.30



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Legend

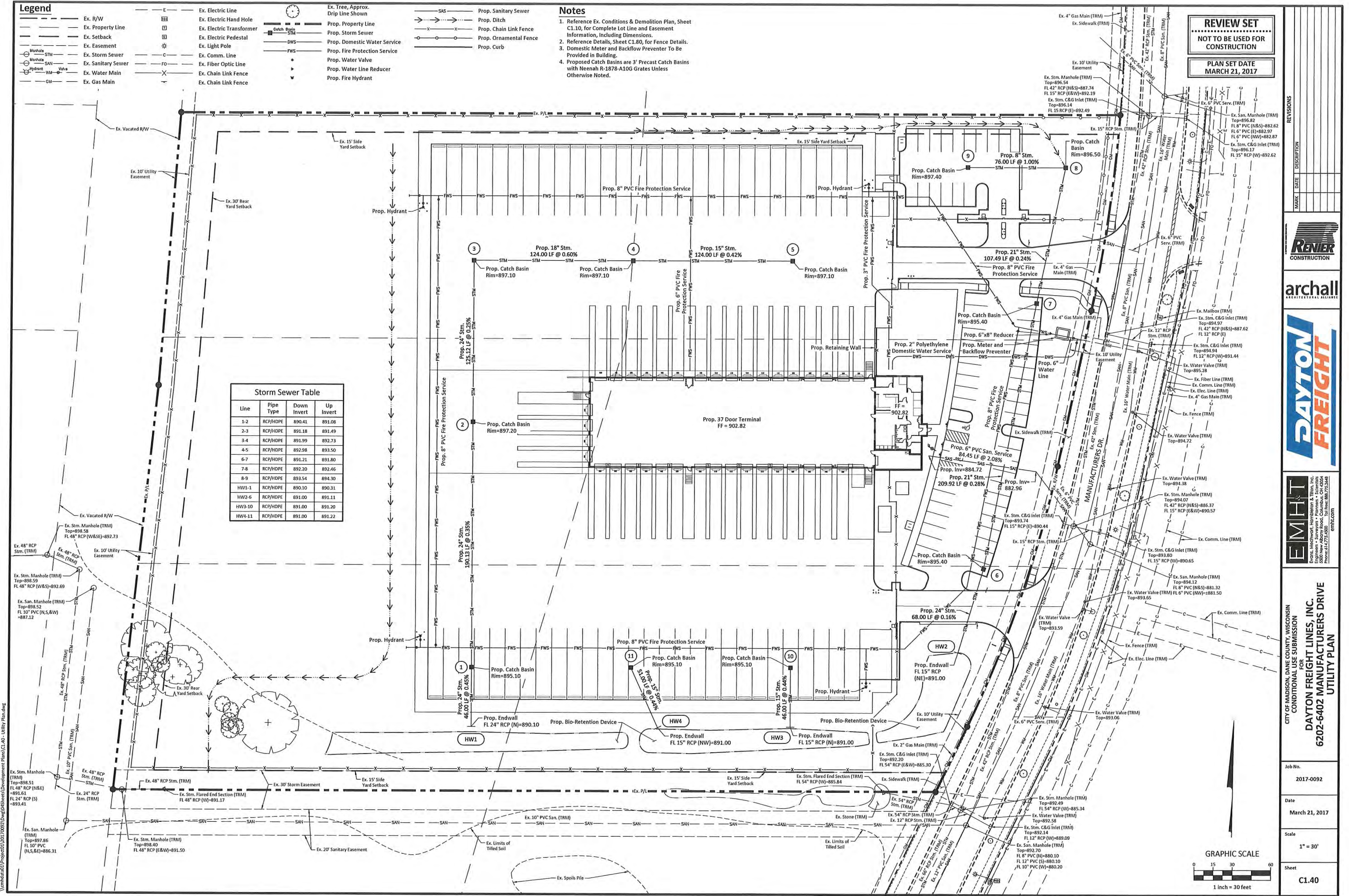
- Ex. R/W
- Ex. Property Line
- Ex. Setback
- Ex. Easement
- Ex. Storm Sewer
- Ex. Sanitary Sewer
- Ex. Water Main
- Ex. Gas Main
- Ex. Electric Line
- Ex. Electric Hand Hole
- Ex. Electric Transformer
- Ex. Electric Pedestal
- Ex. Light Pole
- Ex. Comm. Line
- Ex. Fiber Optic Line
- Ex. Chain Link Fence
- Ex. Chain Link Fence
- Ex. Tree, Approx. Drip Line Shown
- Prop. Property Line
- Prop. Storm Sewer
- Prop. Domestic Water Service
- Prop. Fire Protection Service
- Prop. Water Valve
- Prop. Water Line Reducer
- Prop. Fire Hydrant
- Prop. Sanitary Sewer
- Prop. Ditch
- Prop. Chain Link Fence
- Prop. Ornamental Fence
- Prop. Curb

Notes

1. Reference Ex. Conditions & Demolition Plan, Sheet C1.10, for Complete Lot Line and Easement Information, Including Dimensions.
2. Reference Details, Sheet C1.80, for Fence Details.
3. Domestic Meter and Backflow Preventer To Be Provided in Building.
4. Proposed Catch Basins are 3' Precast Catch Basins with Neenah R-1878-A10G Grates Unless Otherwise Noted.

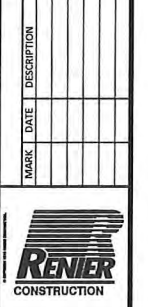
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 CONSTRUCTION
 PLAN SET DATE
 MARCH 21, 2017

Line	Pipe Type	Down Invert	Up Invert
1-2	RCP/HDPE	890.41	891.08
2-3	RCP/HDPE	891.18	891.49
3-4	RCP/HDPE	891.99	892.73
4-5	RCP/HDPE	892.98	893.50
6-7	RCP/HDPE	891.21	891.80
7-8	RCP/HDPE	892.20	892.46
8-9	RCP/HDPE	893.54	894.30
HW1-1	RCP/HDPE	890.10	890.31
HW2-6	RCP/HDPE	891.00	891.11
HW3-10	RCP/HDPE	891.00	891.20
HW4-11	RCP/HDPE	891.00	891.22



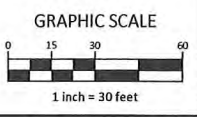
REVISIONS

MARK	DATE	DESCRIPTION



CITY OF MADISON, DANE COUNTY, WISCONSIN
 CONDITIONAL USE SUBMISSION
 FOR
DAYTON FREIGHT LINES, INC.
6202-6402 MANUFACTURERS DRIVE
UTILITY PLAN

Job No. 2017-0092
 Date March 21, 2017
 Scale 1" = 30'
 Sheet C1.40



\\mhdadp03\proj\031001\020203\020203\Development Plans\C1.40 - Utility Plan.dwg

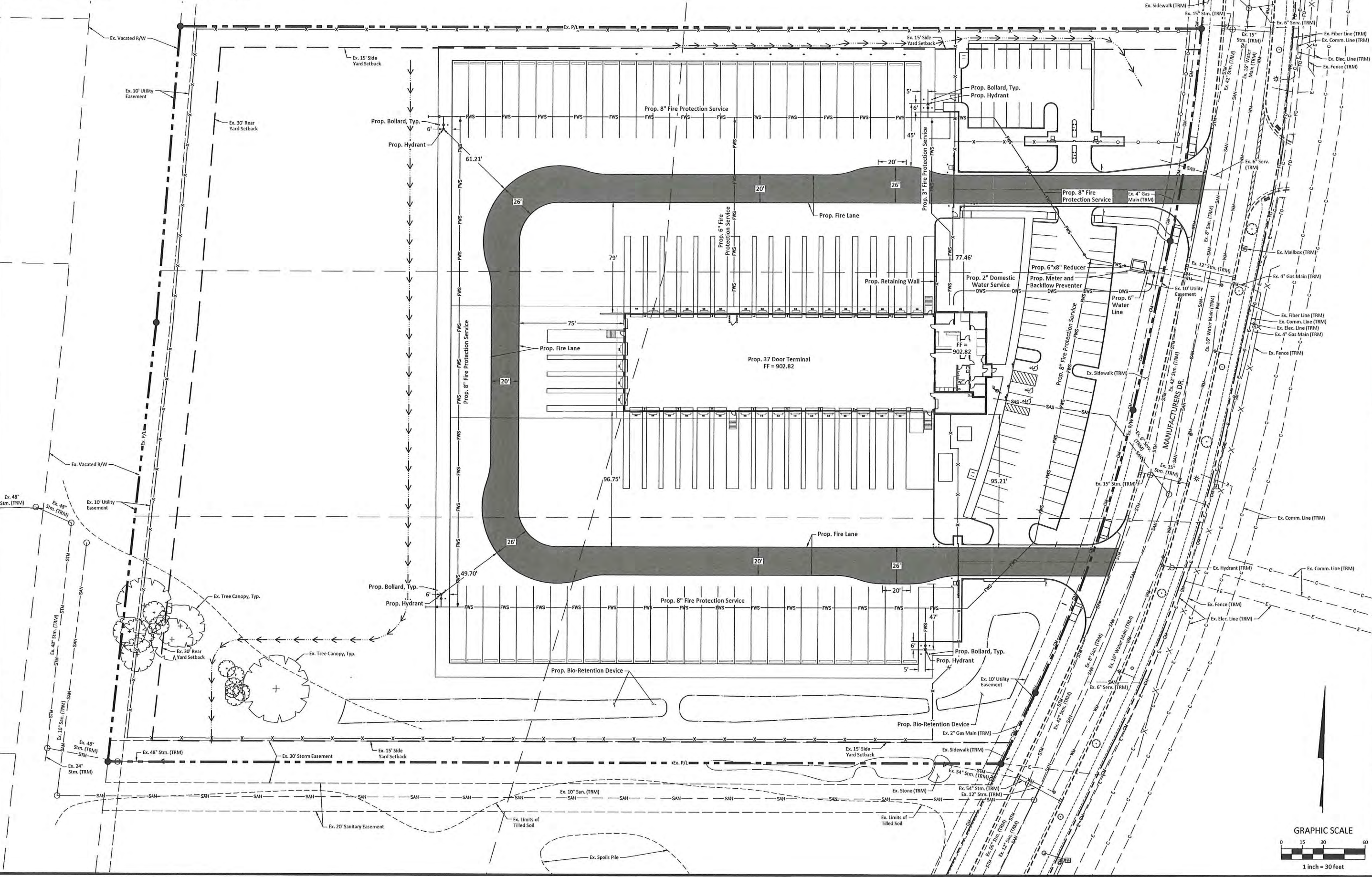
Legend

--- Ex. R/W	--- E	--- Ex. Electric Line	--- SAS	--- Prop. Sanitary Sewer
--- Ex. Property Line	--- Ex. Electric Hand Hole	--- Ex. Electric Transformer	--- --- Prop. Ditch	--- --- Prop. Ditch
--- Ex. Setback	--- Ex. Electric Pedestal	--- Ex. Light Pole	--- --- Prop. Chain Link Fence	--- --- Prop. Chain Link Fence
--- Ex. Easement	--- Ex. Storm Sewer	--- Ex. Comm. Line	--- --- Prop. Ornamental Fence	--- --- Prop. Ornamental Fence
--- Ex. Storm Sewer	--- Ex. Sanitary Sewer	--- Ex. Fiber Optic Line	--- --- Prop. Curb	--- --- Prop. Curb
--- Ex. Storm Sewer	--- Ex. Sanitary Sewer	--- Ex. Chain Link Fence	--- --- Prop. Fire Lane	--- --- Prop. Fire Lane
--- Ex. Storm Sewer	--- Ex. Sanitary Sewer	--- Ex. Chain Link Fence		
--- Ex. Storm Sewer	--- Ex. Sanitary Sewer	--- Ex. Chain Link Fence		
--- Ex. Storm Sewer	--- Ex. Sanitary Sewer	--- Ex. Chain Link Fence		
--- Ex. Storm Sewer	--- Ex. Sanitary Sewer	--- Ex. Chain Link Fence		
--- Ex. Storm Sewer	--- Ex. Sanitary Sewer	--- Ex. Chain Link Fence		

Notes

1. Reference Ex. Conditions & Demolition Plan, Sheet C1.10, for Complete Lot Line and Easement Information.
2. Reference Utility Plan, Sheet C1.40, for Complete Utility Information.
3. Reference Fire Apparatus Access and Fire Hydrant Worksheet for Additional Information.

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 MARCH 21, 2017



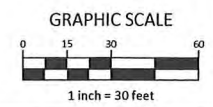
REVISIONS

MARK	DATE	DESCRIPTION



CITY OF MADISON, DANE COUNTY, WISCONSIN
 CONDITIONAL USE SUBMISSION
 FOR
DAYTON FREIGHT LINES, INC.
 6202-6402 MANUFACTURERS DRIVE
 FIRE ACCESS PLAN

Job No.	2017-0092
Date	March 21, 2017
Scale	1" = 30'
Sheet	C1.50



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Legend

--- Ex. R/W	--- Ex. Property Line	--- Ex. Setback	--- Ex. Easement	X --- Ex. Chain Link Fence	⊠ --- Ex. Electric Hand Hole	⊠ --- Ex. Electric Transformer	⊠ --- Ex. Electric Pedestal
--- Ex. Vacated R/W	--- Ex. Area To Remain Undisturbed	--- Prop. Limits of Excavation	--- Ex. 20' Deciduous Tree (TRM)	--- Ex. 8' Deciduous Tree (TRM)	--- Ex. 10' Multi-Stem Deciduous Tree (TRM)	--- Ex. 12' Deciduous Tree (TRM)	--- Ex. 5' Deciduous Tree (TRM)
--- Ex. 6" Multi-Stem Deciduous Tree (TRM)	--- Ex. 15' Multi-Stem Deciduous Tree (TRM)	--- Ex. 15' Deciduous Tree (TRM)	--- Ex. 6" Deciduous Tree (TRM)	--- Ex. 7' Deciduous Tree (TRM)	--- Ex. 24' Deciduous Tree (TRM)		

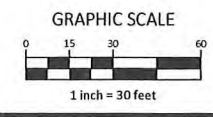
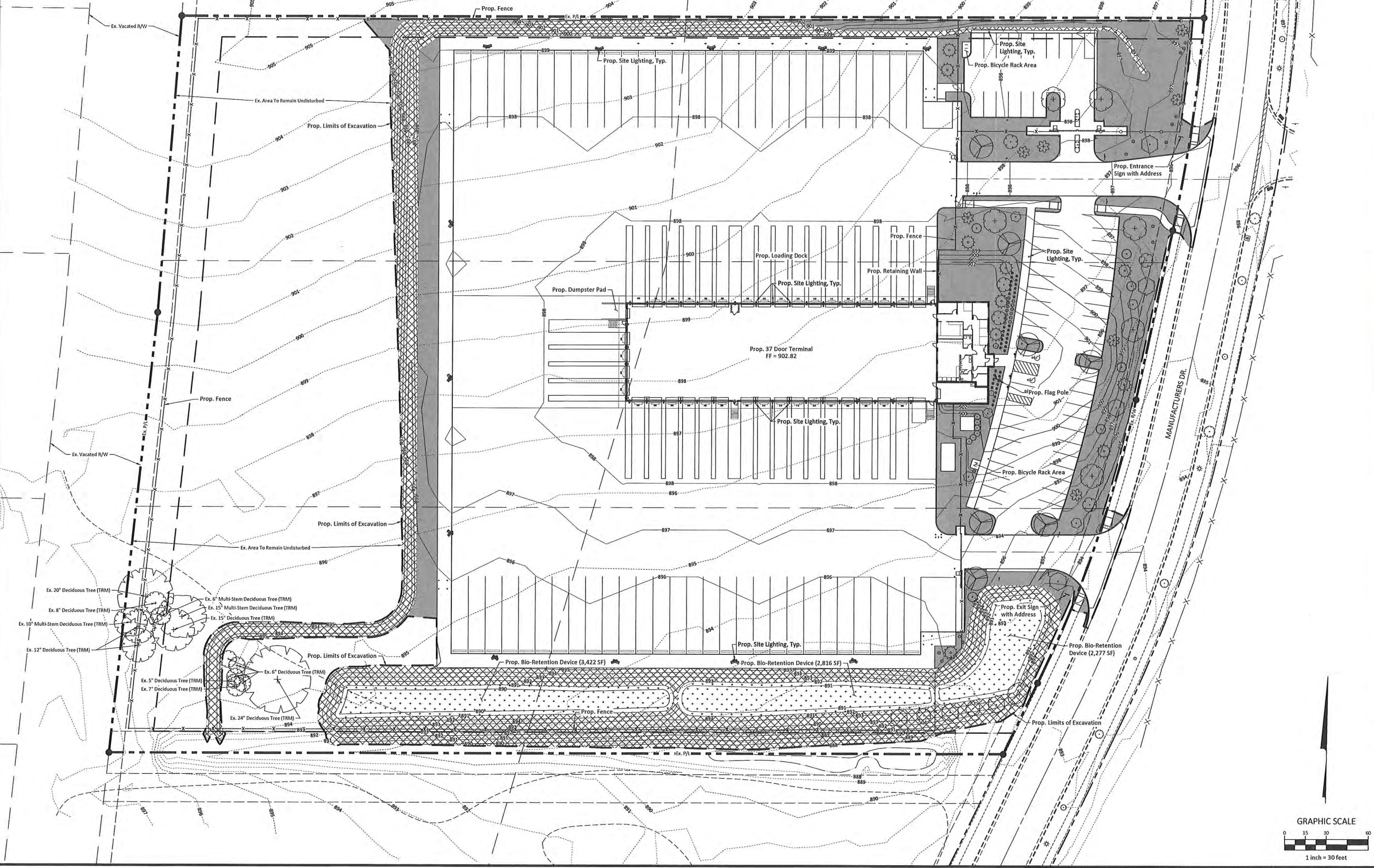
* --- Ex. Light Pole	--- Ex. Hydrant	--- Ex. Chain Link Fence	--- Ex. Major Contour	--- Ex. Minor Contour
--- Prop. Property Line	--- Prop. Ditch	--- Prop. Chain Link Fence	--- Prop. Ornamental Fence	--- Prop. Curb
--- Prop. Limits of Excavation	--- Prop. Major Contour	--- Prop. Minor Contour		

--- Prop. Seeding Area	--- Prop. Erosion Mat Per City of Madison Std. Dwg. 1.02	--- Prop. Bio-Retention Device per City of Madison Std. Dwg. 2.09
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Notes

1. Reference Ex. Conditions & Demolition Plan, Sheet C1.10, for Complete Lot Line and Easement Information, Including Dimensions.
2. Reference Site Plan, Sheet C1.20, for Complete Site Information.
3. Reference Grading Plan, Sheet C1.30, for Complete Grading Information.
4. Reference Utility Plan, Sheet C1.40, for Complete Utility Information.
5. Reference Details, Sheet C1.80, for Fence Details and Bicycle Parking Details.
6. Reference Point-By-Point Footcandle Plot, Sheet LU17-36139, for Lighting and Photometrics Information.
7. No Public or Private Trees Within R/W on West Side of Manufacturers Drive.
8. No Public or Private Trees Are To Be Removed.
9. Seeding Areas To Be Seeded with Madison Parks Seed Mix, Fertilized, and Mulched with Straw.
10. Foundation Planting Beds To Be Mulched with Shredded #2 Washed Stone To a Depth of 3" Over Weed Barrier.
11. Individual Trees and Shrub Groupings in Lawn Areas To Receive Shredded Hardwood Bark Mulch Plant Rings (4' Diameter) Spread To a Depth of 3".
12. Designated Planting Beds To Be Separated From Lawn Areas with 5" Black Vinyl Edge.
13. Plantings in Bio-Retention Device Area To Be Planted at One Plug Per Square Foot. Plugs To Be Plant Stock Named in the Wet Prairie Short Stature Mix from Agrecol Corp. Or Approved Equal. A Minimum of 10 Different Plant Stock Names To Be Planted.
14. To Prevent Compaction of Soils, Contractor Shall Protect Against Machinery Entering or Compacting the Bio-Retention Device Areas.

REVIEW SET
 NOT TO BE USED FOR CONSTRUCTION
 PLAN SET DATE
 MARCH 21, 2017



REVISIONS	MARK	DATE	DESCRIPTION

RENIER CONSTRUCTION

archall
 ARCHITECTURAL ALLIANCE

DAYTON FREIGHT

EMHIT
 Evans, Meecham, Hamilton & Thion, Inc.
 5000 New Albany Road, Columbus, OH 43254
 Phone: 614.775.2600 Fax: 614.775.2548
 emhit.com

CITY OF MADISON, DANE COUNTY, WISCONSIN
 CONDITIONAL USE SUBMISSION FOR

DAYTON FREIGHT LINES, INC.
 6202-6402 MANUFACTURERS DRIVE
 LANDSCAPE PLAN

Job No. 2017-0092
 Date March 21, 2017
 Scale 1" = 30'
 Sheet C1.60




\\mhdad01\proj\01\20170092\DWG\05\Sheets\Development\Plan\C1.60 - Landscape Plan.dwg

REVIEW SET
NOT TO BE USED FOR
CONSTRUCTION

PLAN SET DATE
MARCH 21, 2017

Plant Schedule

Canopy Trees	Code	Qty.	Botanical Name	Size	Condition
	RM	7	Red Maple (Acer Rubrum)	3" Cal.	B&B
	ABM	7	Autumn Blaze Maple (Acer Freemanii)	3" Cal.	B&B
	HB	7	Hackberry (Celtis Occidentalis)	3" Cal.	B&B
	QA	7	Quaking Aspen (Populus Tremuloides)	3" Cal.	B&B
	SWA	10	Swamp White Oak (Quercus Bicolor)	3" Cal.	B&B

Low Ornamental Trees	Code	Qty.	Botanical Name	Size	Condition
	CP	7	Callery Pear (Pyrus Calleryana)	2" Cal.	B&B
	PFC	5	Prairie Fire Crab (Malus "Prairie Fire")	2" Cal.	B&B
	TCH	6	Thornless Cockspear Hawthorn (Crataegus Crus-Galli Inermis)	60" Ht.	B&B

Deciduous Shrubs	Code	Qty.	Botanical Name	Size	Condition
	ABS	8	Autumn Brilliance Serviceberry (Amelanchier x Grandiflora)	48" Ht.	Pot
	AC	38	Alpine Currant (Ribes Alpinum)	18" Ht.	Pot
	BC	6	Black Chokeberry (Aronia Melanocarpa)	24" Ht.	Pot
	DCB	12	Dwarf Cranberry Bush Viburnum (Viburnum Trilobum 'Compactum')	24" Ht.	Pot
	WS	10	White Snowberry (Symphoricarpos Albus)	24" Ht.	Pot

Total Number of Points Required:	
1 Point per 100 SF of Developed Area	
Total Square Footage of Developed Area:	190,233 SF
Total Landscape Points Required:	1,903

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35	0	0	38	1330
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35	0	0	0	0
Ornamental tree	1 1/2 inch caliper	15	0	0	18	270
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10	0	0	0	0
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3	0	0	74	222
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4	0	0	0	0
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2	0	0	0	0
Ornamental/decorative fencing or wall	n/a	4 per 10 lineal ft.	0	0	209 lineal ft.	83
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200	0	0	n/a	0
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"	0	0	0	0
Sub Totals			0		1,905	
Total Number of Points Provided:			1,905			

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

REVISIONS

MARK DATE DESCRIPTION



CITY OF MADISON, DANE COUNTY, WISCONSIN
CONDITIONAL USE SUBMISSION

FOR
DAYTON FREIGHT LINES, INC.
6202-6402 MANUFACTURERS DRIVE
LANDSCAPE SCHEDULE AND WORKSHEET

Job No.
2017-0092

Date
March 21, 2017

Scale
1" = 30'

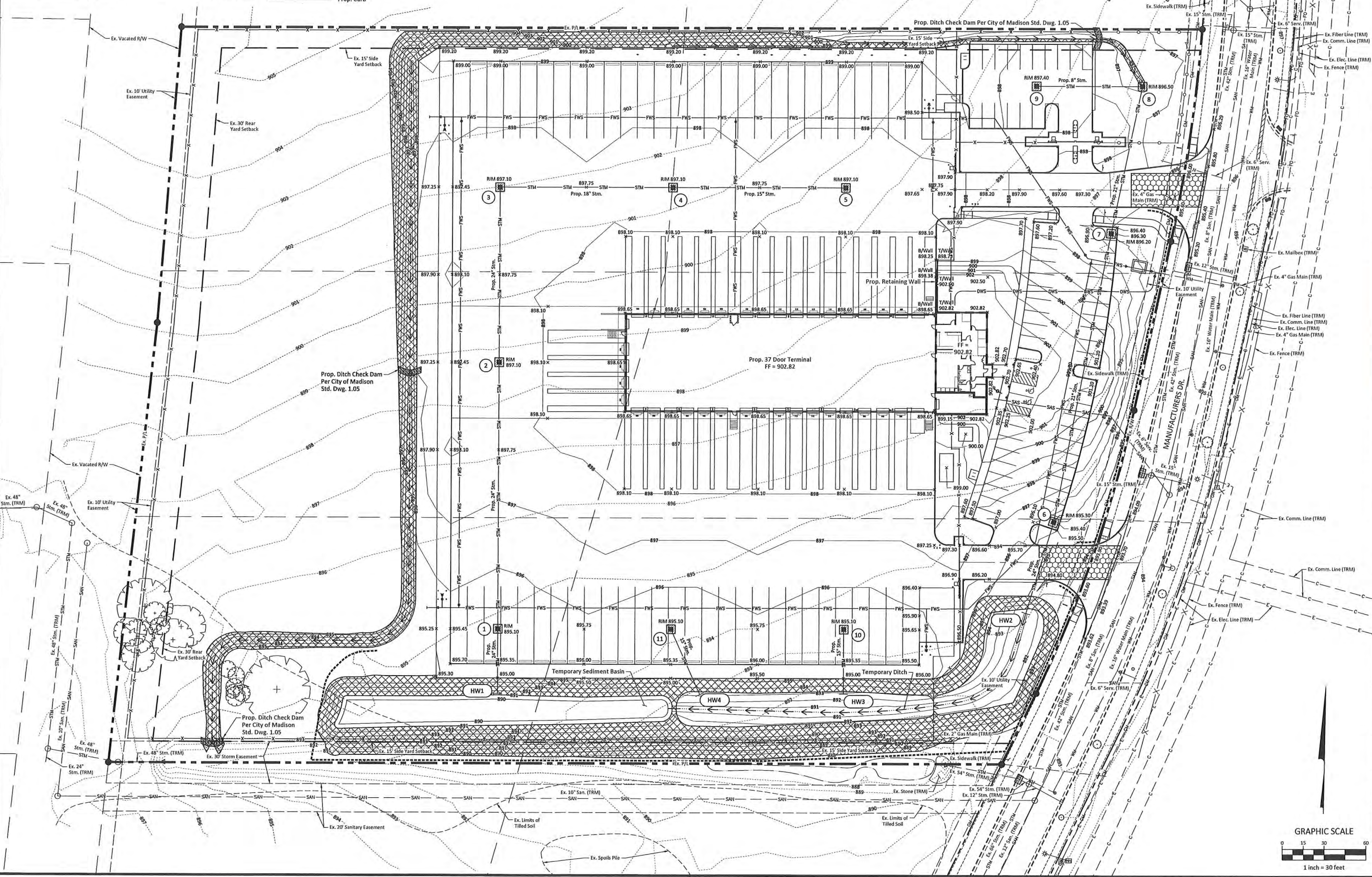
Sheet
C1.61

Legend	
---	Ex. R/W
---	Ex. Property Line
---	Ex. Setback
---	Ex. Easement
---	Ex. Storm Sewer
---	Ex. Sanitary Sewer
---	Ex. Water Main
---	Ex. Gas Main
---	Ex. Electric Line
---	Ex. Electric Hand Hole
---	Ex. Electric Transformer
---	Ex. Light Pole
---	Ex. Comm. Line
---	Ex. Fiber Optic Line
---	Ex. Chain Link Fence
---	Ex. Chain Link Fence
---	Ex. Tree, Approx. Drip Line Shown
---	Ex. Major Contour
---	Ex. Minor Contour
---	Prop. Property Line
---	Prop. Storm Sewer
---	Prop. Ditch
---	Prop. Chain Link Fence
---	Prop. Ornamental Fence
---	Prop. Curb
---	Prop. Major Contour
---	Prop. Minor Contour
---	Prop. Silt Fence
---	Prop. Inlet Protection
---	Prop. Erosion Mat Per City of Madison Std. Dwg. 1.02
---	Prop. Construction Entrance Per City of Madison Std. Dwg. 1.07

Notes

1. Reference Ex. Conditions & Demolition Plan, Sheet C1.10, for Complete Lot Line and Easement Information, Including Dimensions.
2. Reference Utility Plan, Sheet C1.40, for Complete Utility Information.
3. Reference Details, Sheet C1.80, for Fence Details.

REVIEW SET
 NOT TO BE USED FOR CONSTRUCTION
 PLAN SET DATE
 MARCH 21, 2017



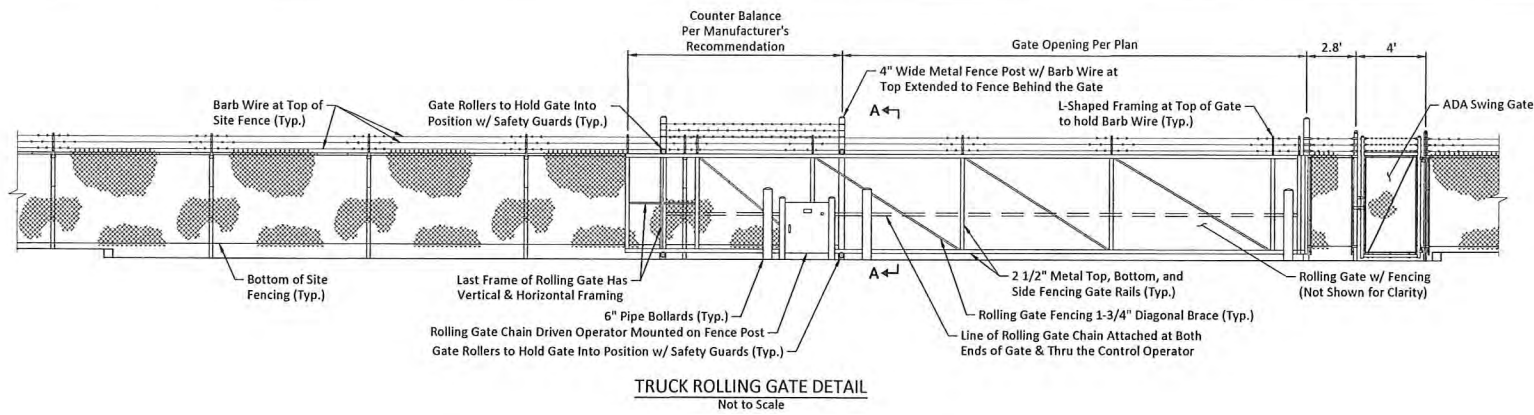
REVISIONS	DATE	DESCRIPTION



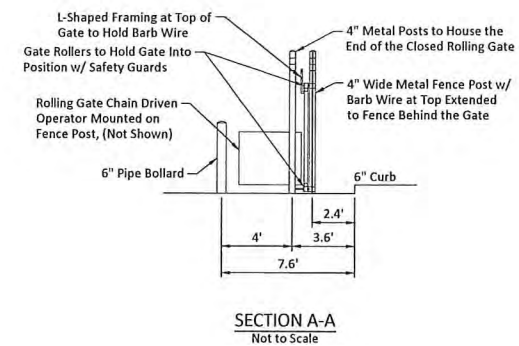
CITY OF MADISON, DANE COUNTY, WISCONSIN
 CONDITIONAL USE SUBMISSION
 FOR
DAYTON FREIGHT LINES, INC.
6202-6402 MANUFACTURERS DRIVE
EROSION AND SEDIMENT CONTROL PLAN

Job No.	2017-0092
Date	March 21, 2017
Scale	1" = 30'
Sheet	C1.70

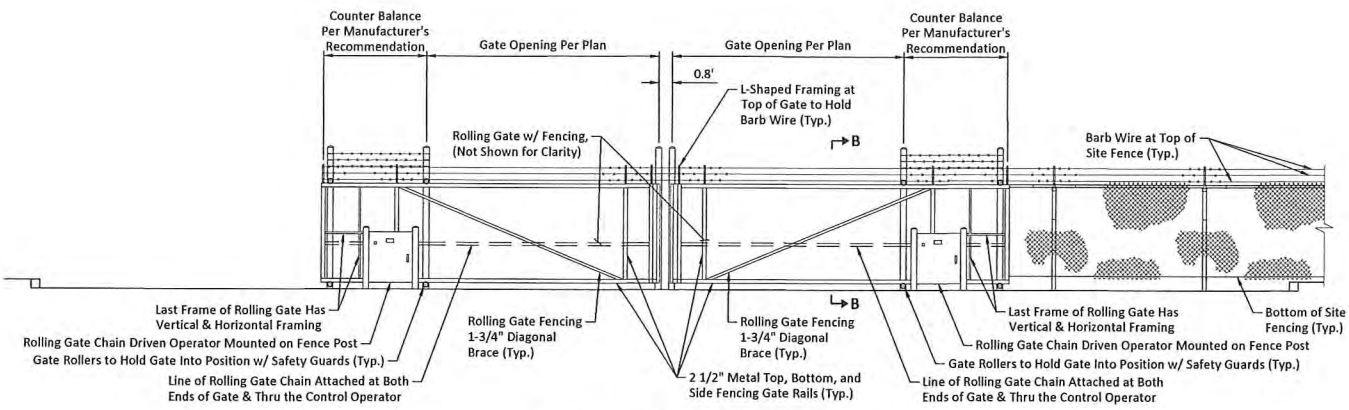
\\mchadad01\projects\120170092\Drawings\Submittals\Development Plans\C1.70 - Erosion and Sediment Control Plan.dwg



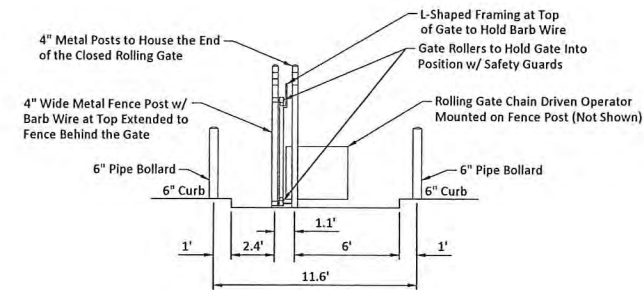
TRUCK ROLLING GATE DETAIL
Not to Scale



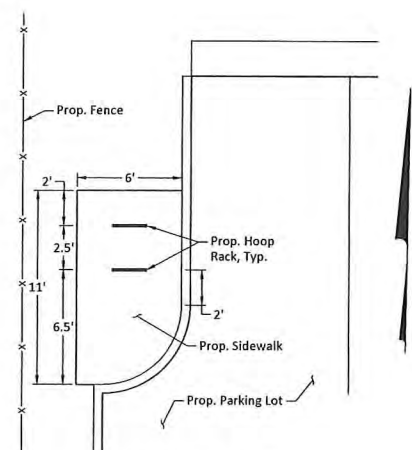
SECTION A-A
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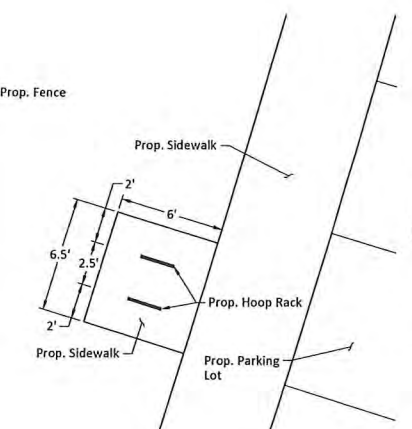
SECURED PARKING ROLLING GATE DETAIL
Not to Scale



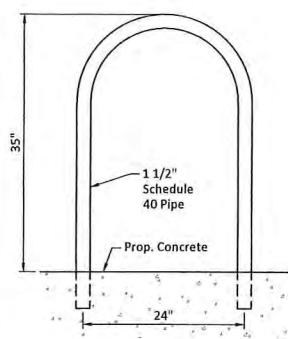
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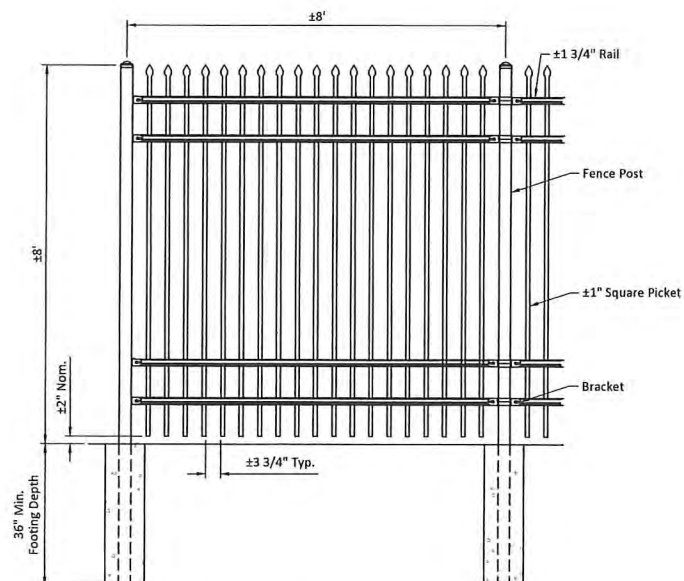
BICYCLE PARKING DETAIL
Not to Scale



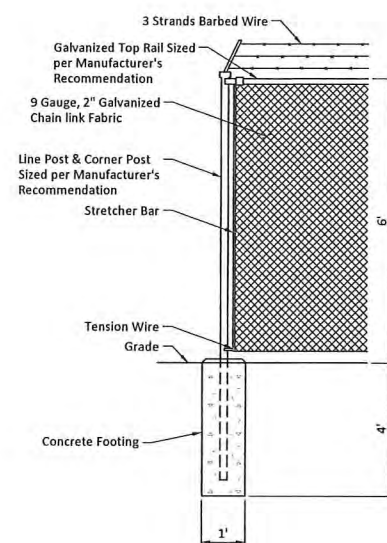
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Not to Scale



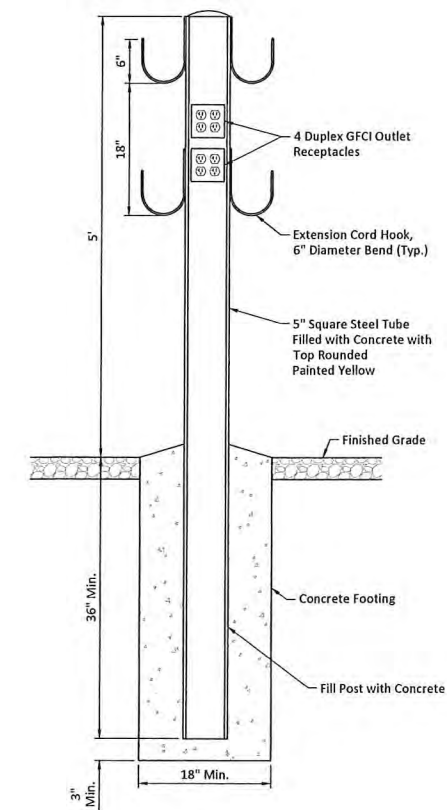
HOOP RACK DETAIL
Not to Scale



ORNAMENTAL FENCE DETAIL
Not to Scale



CHAIN LINK FENCE DETAIL
Not to Scale



BLOCK HEATER BOLLARD DETAIL
Not to Scale

REVIEW SET
NOT TO BE USED FOR
CONSTRUCTION
PLAN SET DATE
MARCH 21, 2017

NO.	DATE	DESCRIPTION



CITY OF MADISON, DANE COUNTY, WISCONSIN
CONDITIONAL USE SUBMISSION
FOR
DAYTON FREIGHT LINES, INC.
6202-6402 MANUFACTURERS DRIVE
DETAILS

Job No.	2017-0092
Date	March 21, 2017
Scale	1" = 30'
Sheet	C1.80

\\mhd\as01\proj\03\20170092\DWG\Sheet\Development\Plans\C1.80 - Details.dwg



GENERAL NOTES

- EXTERIOR PLAN DIMENSIONS FOR WALLS ARE MEASURED TO FACE OF STUD/FACE OF BLOCK/FACE OF CONCRETE
- INTERIOR PLAN DIMENSIONS ARE MEASURED TO BLOCK/FACE OF STUD
- INTERIOR DOORS ARE LOCATED 4" OFF OF ADJACENT PERPENDICULAR WALL UNLESS OTHERWISE NOTED
- REFER TO SHEET A0.01 FOR SYMBOL LEGEND
- WINDOW AND DOOR OPENING DIMENSION REPRESENT ROUGH OPENING

TYPICAL FLOOR SLAB
REFER TO STRUCTURAL DRAWINGS

WALL TYPE TAG

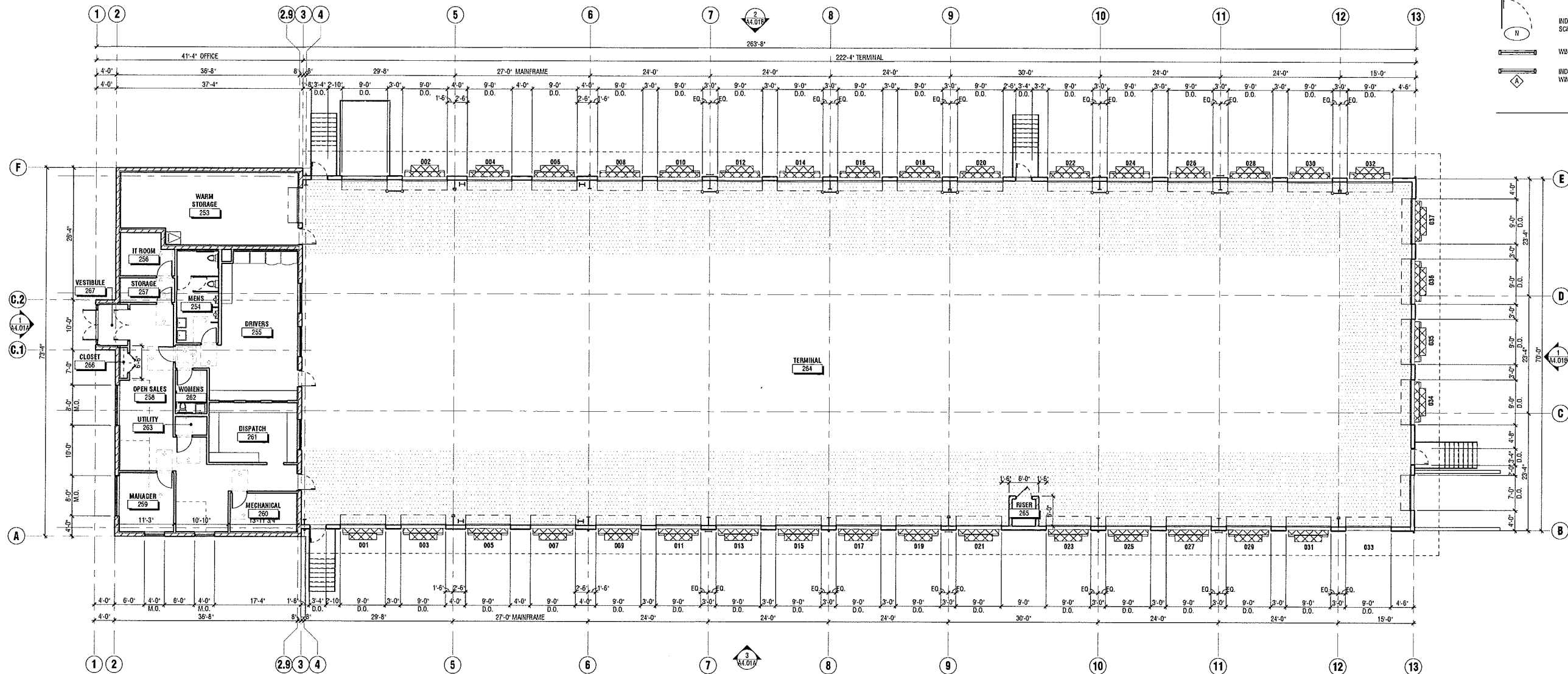
** INDICATES INTERIOR WALL TYPE. REFER TO SHEET A3.01C FOR PARTITION LEGEND

X — SIZE OF COMPONENT IF DIFFERENT FROM WALL TYPE

NOTE: PROVIDE SLOWING SHEER ATTACHMENT AT THE TOP OF ANY INTERIOR STUD WALL THAT EXTENDS UP TO DECK OR BOTTOM OF JOISTS

PARTITION PLAN LEGEND

- INDICATES DOOR NUMBER "N" - SEE DOOR SCHEDULE SHEET A6.00
- WINDOW, STOREFRONT
- INDICATES VIEW WINDOW TYPE "A" - SEE WINDOW ELEVATIONS SHEET 6.00



1ST FLOOR - OVERALL
1 PLAN
SCALE 3/32" = 1'-0"

50x I MSN
PAYTON FREIGHT
TERMINAL BUILDING
MANUFACTURES DRIVE | MADISON | WISCONSIN

DRAWING SET

■	03/20/2017	prelim
□		check
□		bid
□		permit
□		construction

REVISIONS

▲		
▲		
▲		
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SEAL

NOT FOR CONSTRUCTION

PROJECT NUMBER 017006
SHEET TITLE FIRST FLOOR PLAN - OVERALL
SHEET NUMBER

A3.00



GENERAL NOTES

- EXTERIOR PLAN DIMENSIONS FOR WALLS ARE MEASURED TO FACE OF STUD, FACE OF BLOCK, FACE OF CONCRETE
- INTERIOR PLAN DIMENSIONS ARE MEASURED TO BLOCK/FACE OF STUD
- INTERIOR DOORS ARE LOCATED 4" OFF OF ADJACENT PERPENDICULAR WALL UNLESS OTHERWISE NOTED
- REFER TO SHEET A0.01 FOR SYMBOL LEGEND
- WINDOW AND DOOR OPENING DIMENSION REPRESENT ROUGH OPENING

TYPICAL FLOOR SLAB
REFER TO STRUCTURAL DRAWINGS

WALL TYPE TAG

** INDICATES INTERIOR WALL TYPE. REFER TO SHEET A3.01C FOR PARTITION LEGEND

X' SIDE OF COMPONENT IF DIFFERENT FROM WALL TYPE

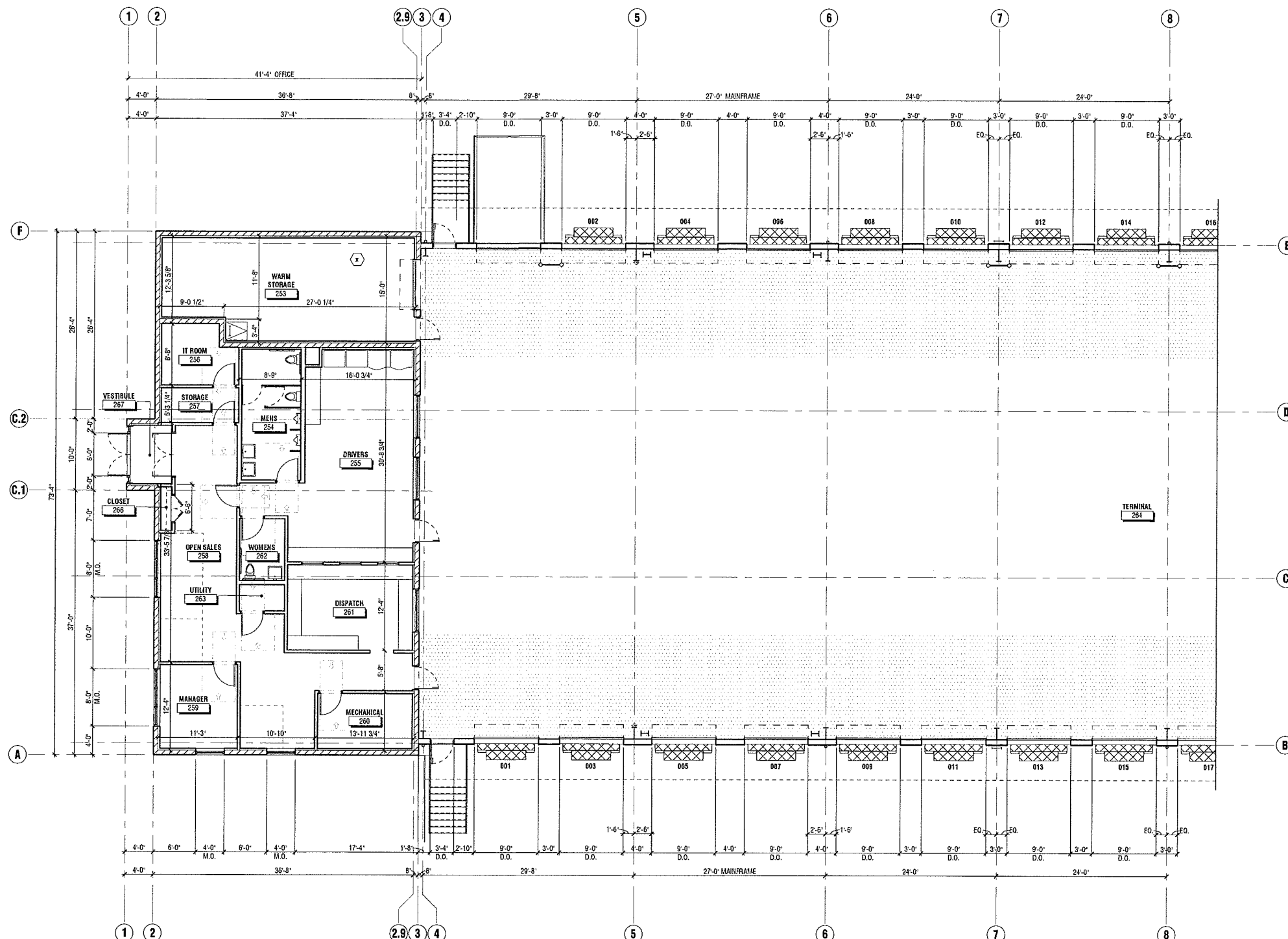
NOTE: PROVIDE SLAB SHEAR ATTACHMENT AT THE TOP OF ANY INTERIOR STUD WALL THAT EXTENDS UP TO DECK OR BOTTOM OF JOISTS

PARTITION PLAN LEGEND

- INDICATES DOOR NUMBER 'N' - SEE DOOR SCHEDULE SHEET A6.00
- WINDOW, STOREFRONT
- INDICATES VIEW WINDOW TYPE 'A' - SEE WINDOW ELEVATIONS SHEET 6.00

CODED NOTE - PLAN NEW

x



1ST FLOOR - PARTIAL A
1 PLAN
SCALE 1/8" = 1'-0"

50x I MSN
DAYTON FREIGHT
TERMINAL BUILDING
MANUFACTURES DRIVE | MADISON | WISCONSIN

DRAWING SET

■	03/20/2017	prelim
□		check
□		bid
□		permit
□		construction

REVISIONS

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SEAL

NOT FOR CONSTRUCTION

PROJECT NUMBER 017008
SHEET TITLE FIRST FLOOR PLAN - PARTIAL
SHEET NUMBER

A3.01A

GENERAL NOTES

- EXTERIOR PLAN DIMENSIONS FOR WALLS ARE MEASURED TO FACE OF STUD/FACE OF BLOCKFACE OF CONCRETE
 - INTERIOR PLAN DIMENSIONS ARE MEASURED TO BLOCKFACE OF STUD
 - INTERIOR DOORS ARE LOCATED 4" OFF OF ADJACENT PERPENDICULAR WALL UNLESS OTHERWISE NOTED
 - REFER TO SHEET A0.01 FOR SYMBOL LEGEND
 - WINDOW AND DOOR OPENING DIMENSION REPRESENT ROUGH OPENING
- TYPICAL FLOOR SLAB
REFER TO STRUCTURAL DRAWINGS

WALL TYPE TAG

** INDICATES INTERIOR WALL TYPE. REFER TO SHEET A3.01C FOR PARTITION LEGEND

(X) — SIZE OF COMPONENT IF DIFFERENT FROM WALL TYPE

NOTE: PROVIDE SLIDING SHEER ATTACHMENT AT THE TOP OF ANY INTERIOR STUD WALL THAT EXTENDS UP TO DECK OR BOTTOM OF JOISTS

PARTITION PLAN LEGEND

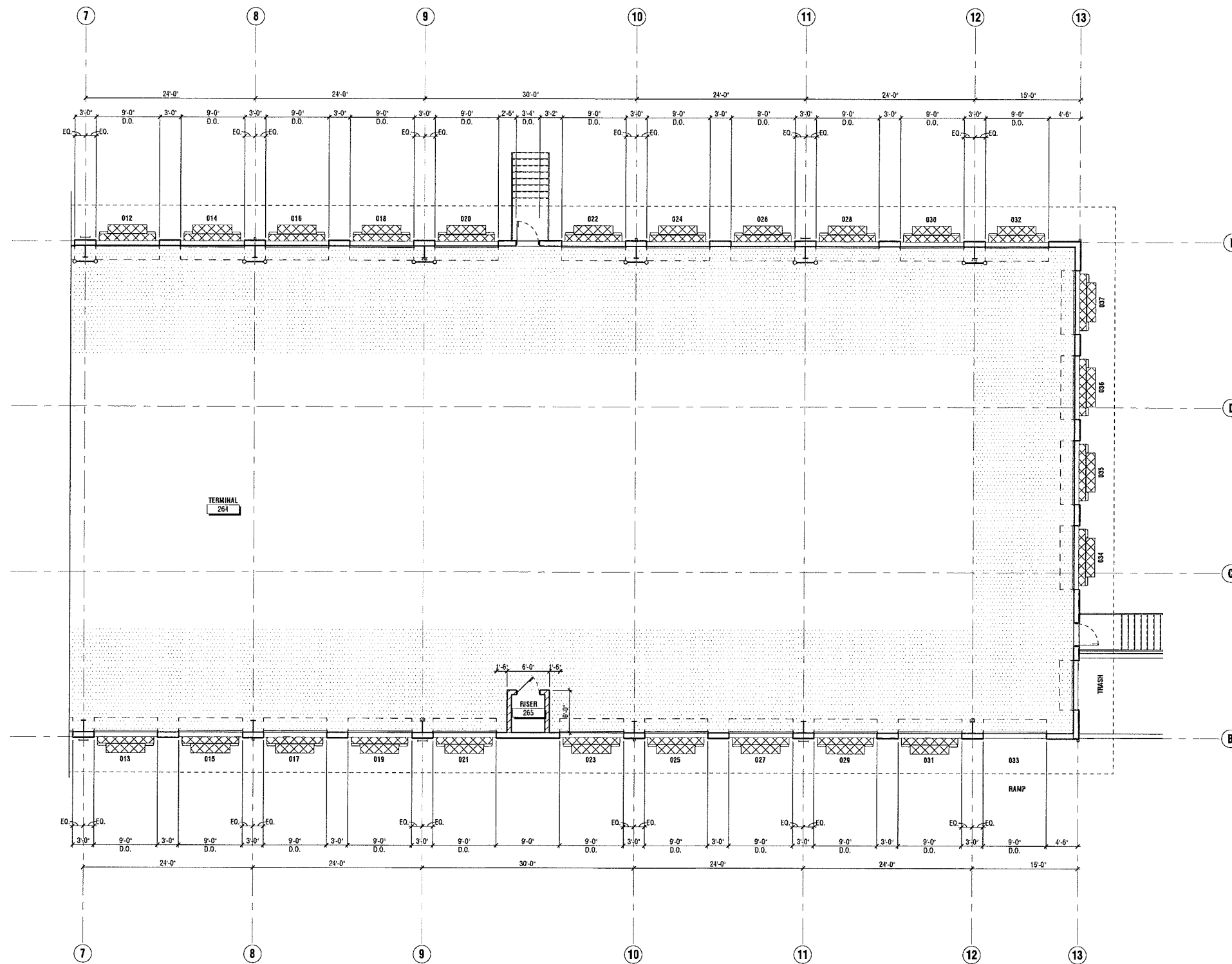
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— WINDOW, STOREFRONT

(A) — INDICATES VIEW WINDOW TYPE 'A' - SEE WINDOW ELEVATIONS SHEET 6.00

CODED NDTE - PLAN NEW

x



1ST FLOOR - PARTIAL B
1 PLAN
SCALE 1/8" = 1'-0"

50x I MSN
DAYTON FREIGHT
TERMINAL BUILDING
MANUFACTURES DRIVE | MADISON | WISCONSIN

DRAWING SET

■	03/20/2017	prj/m
□		check
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□		permit
□		construction

REVISIONS

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SEAL

NOT FOR CONSTRUCTION

PROJECT NUMBER: 017006
SHEET TITLE: FIRST FLOOR PLAN - PARTIAL
SHEET NUMBER:

A3.01B

ROOF GENERAL NOTES

- REFER TO WALL SECTIONS AND DETAILS FOR TYPICAL CONDITIONS AND ADDITIONAL INFORMATION
- REFER TO PLUMBING AND MECHANICAL SHEETS FOR ADDITIONAL INFORMATION ON ROOF MOUNTED EQUIPMENT AND ROOF PENETRATION RELATED REQUIREMENTS
- ALL ABOVE ROOF INSULATION MATERIALS SHALL HAVE A FLAME SPREAD INDEX NOT MORE THAN 25 AND A SMOKE DEVELOPED INDEX NOT MORE THAN 450
- ROOF MEMBRANE TO RUN CONTINUOUSLY OVER ALL PARAPETS AND DOWN FACE OF EXTERIOR WALL MIN. 6" TYP (UNDER FINISH WHERE INDICATED IN WALL SECTIONS)
- ALL ROOF MEMBRANE LAPS TO BE SEALED PER MANUFACTURERS SPECIFICATIONS.

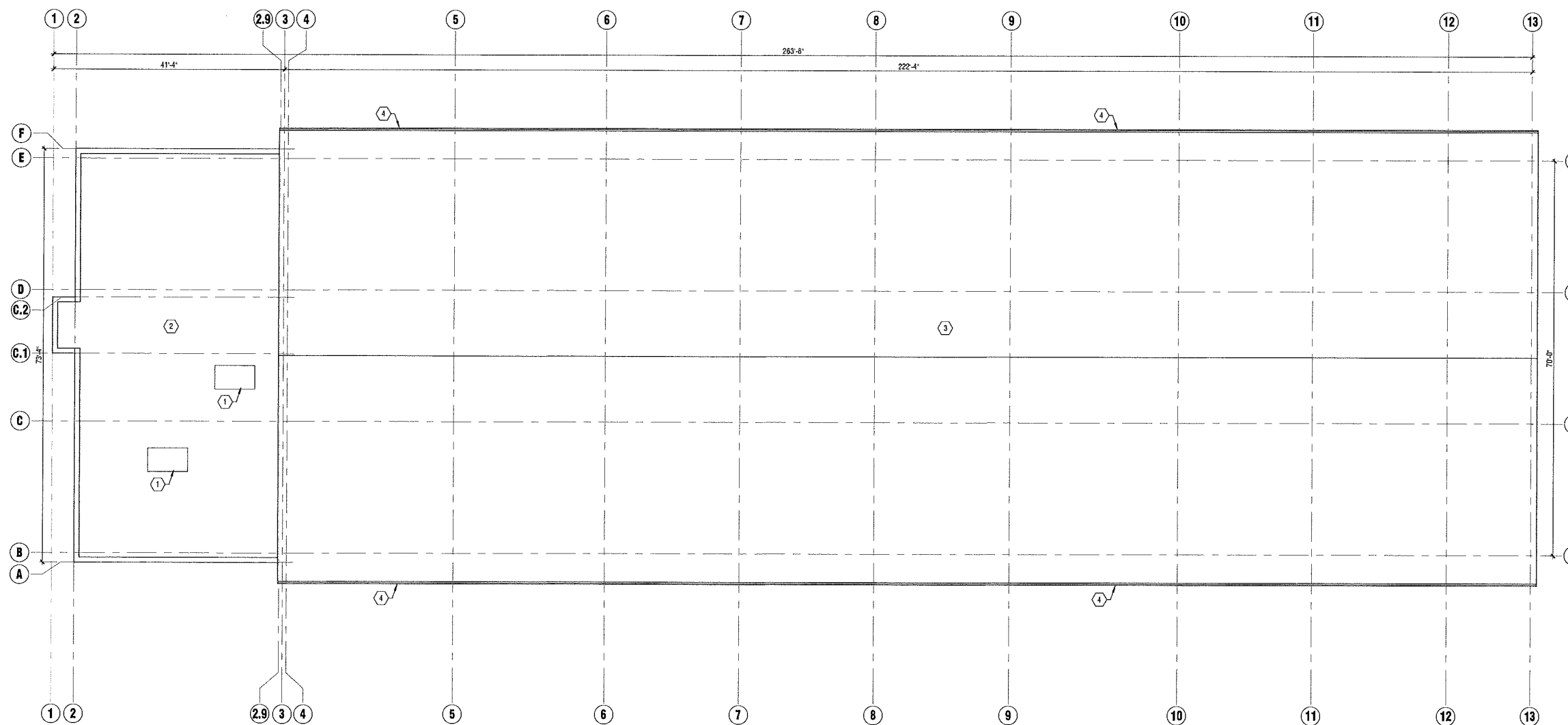
ROOF ASSEMBLIES

TYPICAL ROOF ASSEMBLY:

- 60ML FULLY ADHERED EVERGUARD WHITE TPO ROOF SYSTEM ON EVERGUARD RIGID POLYISO INSULATION (R-25.3) OR APPROVED EQUAL ON 1 1/2" MIL DECKING (REFER TO STRUCTURAL DRAWINGS.)
- TYPICAL TAPERED INSULATION ROOF ASSEMBLY: 60ML FULLY ADHERED EVERGUARD WHITE TPO ROOF SYSTEM ON EVERGUARD RIGID POLYISO TAPERED INSULATION (1/4" PER FOOT) OR APPROVED EQUAL ON TYPICAL ROOF ASSEMBLY
- PRE ENGINEERED METAL ROOF SYSTEM

CODED NOTES - ROOF PLAN

- ROOFTOP HVAC UNIT w/ INTEGRATED METAL SCREEN. REFER TO M.E.P. DRAWINGS FOR ADDITIONAL INFO
- TPO ROOF ASSEMBLY w/ MECHANICALLY FASTENED TAPERED RIGID INSULATION TO MAINTAIN POSITIVE SLOPE AS INDICATED
- PERM ROOF SYSTEM BY INJCOR, TYP
- PRE-FINISHED ALUMINUM GUTTER AND DOWNSPOUT BY INJCOR. COLOR - BURNISHED SLATE. DOWNSPOUT TO BE INTO UNDERGROUND STORM. COORDINATE w/ CML DRAWINGS



50x I MSN
DAYTON FREIGHT
 TERMINAL BUILDING
 MANUFACTURES DRIVE | MADISON | WISCONSIN

DRAWING SET

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<input type="checkbox"/>		check
<input type="checkbox"/>		bid
<input type="checkbox"/>		permit
<input type="checkbox"/>		construction

REVISIONS

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SEAL

NOT FOR CONSTRUCTION

PROJECT NUMBER: 017006
 SHEET TITLE: ROOF PLAN
 SHEET NUMBER:

A3.02



MATERIAL LEGEND

- CMU-1** CONCRETE MASONRY UNIT
MANUFACTURER: OBERHELD
STYLE: DESIGNBLOCK
COLOR: ASPEN WHITE # 4303
TEXTURE: SPLIT FACE
MOISTURE RESISTANT
MATCH CMU-1
MORTAR:
*BLOCK SEALER: SEAL ALL EXT. MASONRY
w/(2) COATS OF DIEDRICH OMEGA SEAL 333
- CMU-2A** CONCRETE MASONRY UNIT
MANUFACTURER: OBERHELD
STYLE: DESIGNBLOCK
COLOR: GRAPHITE # 3325
TEXTURE: SPLIT FACE
MOISTURE RESISTANT
MATCH CMU-2
MORTAR:
*BLOCK SEALER: SEAL ALL EXT. MASONRY
w/(2) COATS OF DIEDRICH OMEGA SEAL 333
- CMU-2B** CONCRETE MASONRY UNIT
MANUFACTURER: OBERHELD
STYLE: DESIGNBLOCK
COLOR: GRAPHITE # 3325
TEXTURE: SMOOTH FACE
MOISTURE RESISTANT
MATCH CMU-2
MORTAR:
*BLOCK SEALER: SEAL ALL EXT. MASONRY
w/(2) COATS OF DIEDRICH OMEGA SEAL 333
- PEMB-1** PRE-ENGINEERED METAL BUILDING
MANUFACTURER: NUCOR
STYLE: NUCOR ACCENT WALL
COLOR: FOX GRAY
- PCON-1** POURED CONCRETE
MANUFACTURER: LOCAL SUPPLIER
STYLE: ---
COLOR: ---

CODED NOTES - BUILDING ELEVATIONS

- 1 PRE-FINISHED ALUMINUM GUTTER AND DOWNSPOUT BY NUCOR. COLOR - BURRISHED SLATE.
- 2 PRE-FINISHED ALUMINUM EAVE FLASHING BY NUCOR. TYP. COLOR - BURRISHED SLATE.
- 3 DAYTON FREIGHT SIGNAGE BY LEHNER SIGNS. COLOR - BLACK. COORDINATE RED. w/SIGNAGE PROVIDER
- 4 DOCK DOOR NUMBER SIGNAGE BY LEHNER SIGNS. TYP. @ INTERIOR AND EXTERIOR SIDE OF CHD. COORDINATE w/SIGNAGE PROVIDER FOR SIZE, COLOR, AND INSTALLATION METHOD. COLOR - BLACK
- 5 METAL COPING. TYP. COLOR TO MATCH CMU-2B
- 6 STANDING SEAM ROOF BY NUCOR. TYP. STYLE - NUCOR CR
- 7 DOCK LEVELER AND INTEGRAL DOCK BUMPER. TYP.
- 8 EXTERIOR LADDER. REFER TO DETAILS FOR ADDITIONAL INFO
- 9 MASONRY CONTROL JOINT. REFER TO STRUCTURAL FOR ADDITIONAL INFO
- 10 GALVANIZED CHAINLINK FENCE w/BLACK ALUMINUM PRIVACY SLATS. REFER TO PROPANE PLATFORM DETAILS FOR ADDITIONAL INFO
- 11 ROOF TOP HVAC UNIT w/INTEGRATED METAL SCREEN. REFER TO M.E.P. DRAWINGS FOR ADDITIONAL INFO
- 12 GALVANIZED METAL STAIR ASSEMBLY. REFER TO STAIR DETAILS FOR ADDITIONAL INFO
- 13 DOORS & FRAMES BY NUCOR. TYP. COLOR - BURRISHED SLATE. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFO
- 14 6" DIA. CONCRETE-FILLED METAL PIPE BOLLARD. TYP. COLOR - SAFETY YELLOW. REFER TO DETAIL FOR ADDITIONAL INFO
- 15 DUMPSTER ENCLOSURE. REFER TO DUMPSTER ENCLOSURE DETAILS FOR ADDITIONAL INFO

50x1 MSN
DAYTON FREIGHT
 TERMINAL BUILDING
 MANUFACTURES DRIVE | MADISON | WISCONSIN

DRAWING SET

■	03/20/2017	prelim
□		check
□		bid
□		permit
□		construction

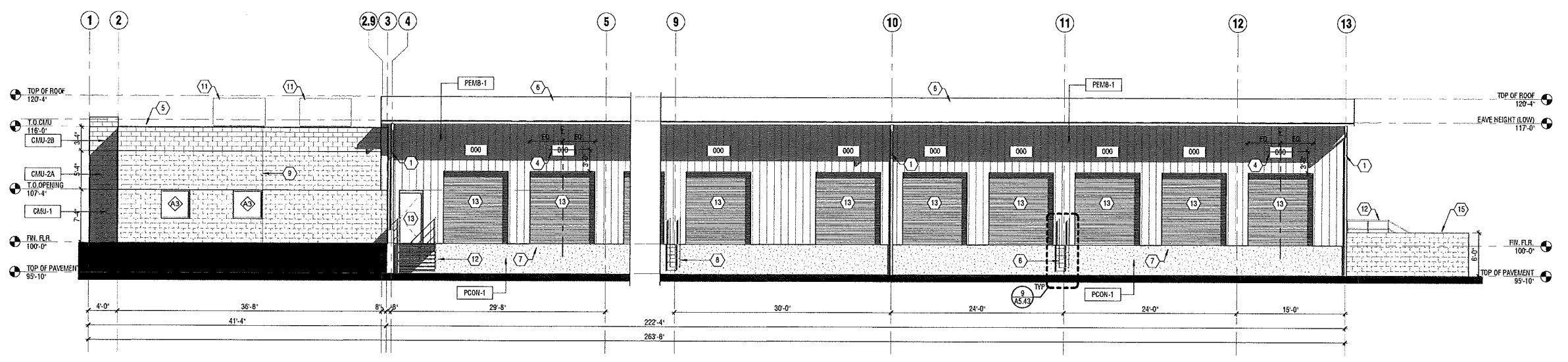
REVISIONS

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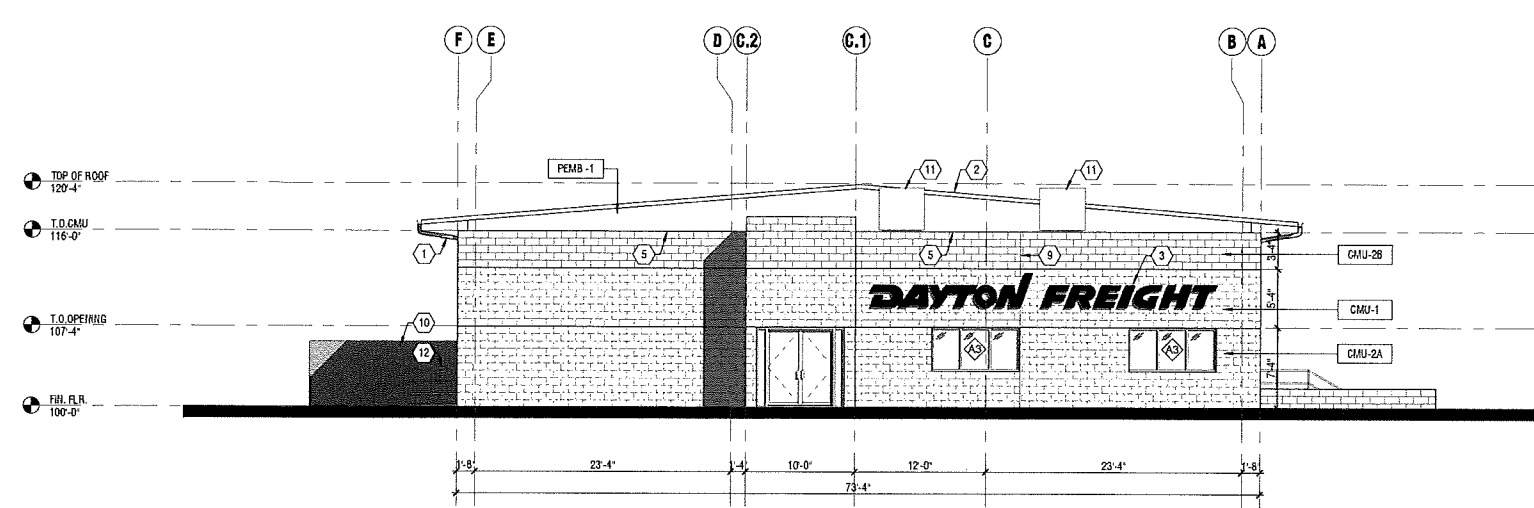
SEAL

NOT FOR CONSTRUCTION

PROJECT NUMBER 017006
SHEET TITLE BUILDING ELEVATIONS
SHEET NUMBER



NORTH BUILDING
3 ELEVATION
SCALE 1/8" = 1'-0"



EAST BUILDING
1 ELEVATION
SCALE 1/8" = 1'-0"



RENIER CONSTRUCTION
2164 Chygate Drive • Columbus, Ohio 43219
(614) 866-4553

MATERIAL LEGEND

- CMU-1** CONCRETE MASONRY UNIT
MANUFACTURER: OBERIELDS
STYLE: DESIGNBLOCK
COLOR: ASPEN WHITE # 4303
TEXTURE: SPLIT FACE
MOISTURE RESISTANT
MATCH CMU-1
MORTAR:
*BLOCK SEALER: SEAL ALL EXT. MASONRY
w/(2) COATS OF DIEDRICH OMEGA SEAL 333
- CMU-2A** CONCRETE MASONRY UNIT
MANUFACTURER: OBERIELDS
STYLE: DESIGNBLOCK
COLOR: GRAPHITE # 3325
TEXTURE: SPLIT FACE
MOISTURE RESISTANT
MATCH CMU-2
MORTAR:
*BLOCK SEALER: SEAL ALL EXT. MASONRY
w/(2) COATS OF DIEDRICH OMEGA SEAL 333
- CMU-2B** CONCRETE MASONRY UNIT
MANUFACTURER: OBERIELDS
STYLE: DESIGNBLOCK
COLOR: GRAPHITE # 3325
TEXTURE: SMOOTH FACE
MOISTURE RESISTANT
MATCH CMU-2
MORTAR:
*BLOCK SEALER: SEAL ALL EXT. MASONRY
w/(2) COATS OF DIEDRICH OMEGA SEAL 333
- PEMB-1** PRE-ENGINEERED METAL BUILDING
MANUFACTURER: HUCOR
STYLE: HUCOR ACCENT WALL
COLOR: FOX GRAY
- PCON-1** POURED CONCRETE
MANUFACTURER: LOCAL SUPPLIER
STYLE: ---
COLOR: ---

CODED NOTES - BUILDING ELEVATIONS

- 1 PRE-FINISHED ALUMINUM GUTTER AND DOWNSPOUT BY HUCOR. COLOR - BURNISHED SLATE
- 2 PRE-FINISHED ALUMINUM EAVE FLASHING BY HUCOR. TYP. COLOR - BURNISHED SLATE
- 3 DAYTON FREIGHT SIGNAGE BY LEHNER SIGNS. COLOR - BLACK. COORDINATE REQ. w/SIGNAGE PROVIDER
- 4 DOCK DOOR NUMBER SIGNAGE BY LEHNER SIGNS. TYP. @ INTERIOR AND EXTERIOR SIDE OF OHIO. COORDINATE w/SIGNAGE PROVIDER FOR SIZE, COLOR, AND INSTALLATION METHOD. COLOR - BLACK
- 5 METAL COPING. TYP. COLOR TO MATCH CMU-2B
- 6 STANDING SEAM ROOF BY HUCOR. TYP. STYLE - HUCOR CR
- 7 DOCK LEVELER AND INTEGRAL DOCK BUMPER. TYP.
- 8 EXTERIOR LADDER. REFER TO DETAILS FOR ADDITIONAL INFO
- 9 MASONRY CONTROL JOINT. REFER TO STRUCTURAL FOR ADDITIONAL INFO
- 10 GALVANIZED CHAINLINK FENCE w/BLACK ALUMINUM PRIVACY SLATS. REFER TO PROPANE PLATFORM DETAILS FOR ADDITIONAL INFO
- 11 ROOFTOP HVAC UNIT w/INTEGRATED METAL SCREEN. REFER TO M.E.P. DRAWINGS FOR ADDITIONAL INFO
- 12 GALVANIZED METAL STAIR ASSEMBLY. REFER TO STAIR DETAILS FOR ADDITIONAL INFO
- 13 DOORS & FRAMES BY HUCOR. TYP. COLOR - BURNISHED SLATE. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFO
- 14 6" DIA. CONCRETE-FILLED METAL PIPE BOLLARD. TYP. COLOR - SAFETY YELLOW. REFER TO DETAIL FOR ADDITIONAL INFO
- 15 DUMPSTER ENCLOSURE. REFER TO DUMPSTER ENCLOSURE DETAILS FOR ADDITIONAL INFO

50x I MSN
DAYTON FREIGHT
TERMINAL BUILDING
MANUFACTURES DRIVE | MADISON | WISCONSIN

DRAWING SET

<input checked="" type="checkbox"/>	03/20/2017	pefm
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<input type="checkbox"/>		bid
<input type="checkbox"/>		perm
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REVISIONS

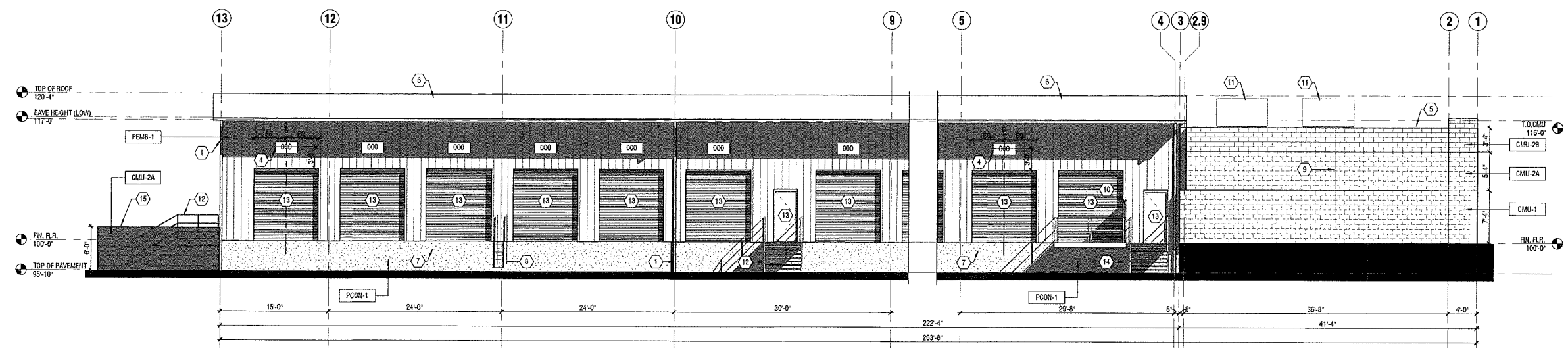
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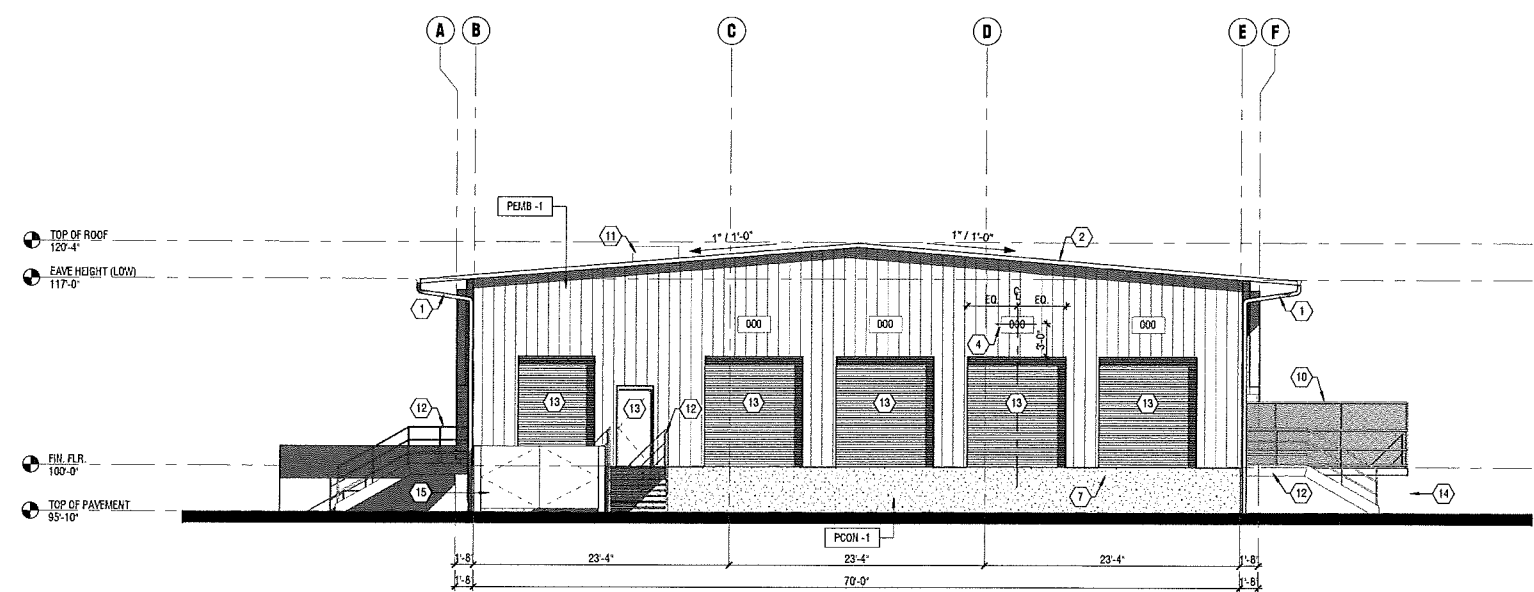
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PROJECT NUMBER: 017006
SHEET TITLE: BUILDING ELEVATIONS
SHEET NUMBER:

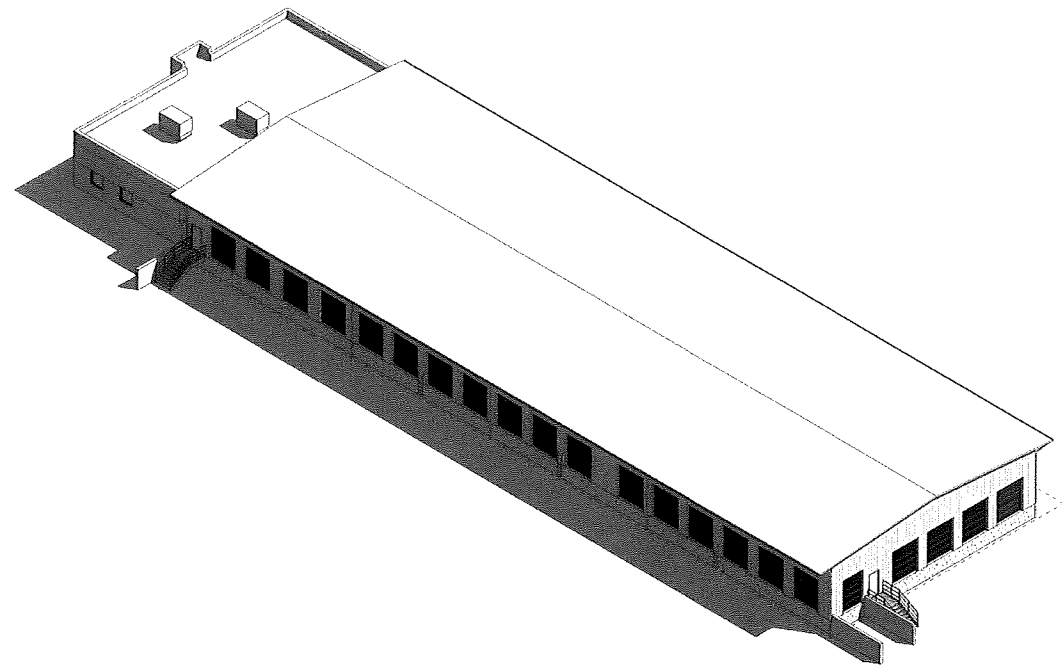
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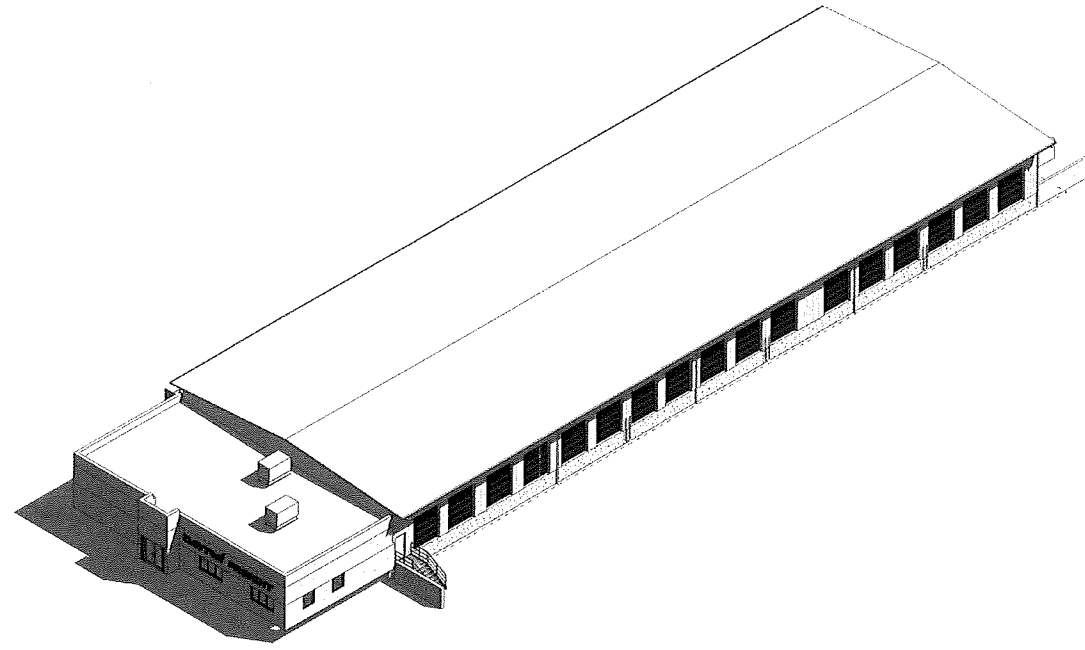
2 SOUTH BUILDING ELEVATION
SCALE 1/8" = 1'-0"



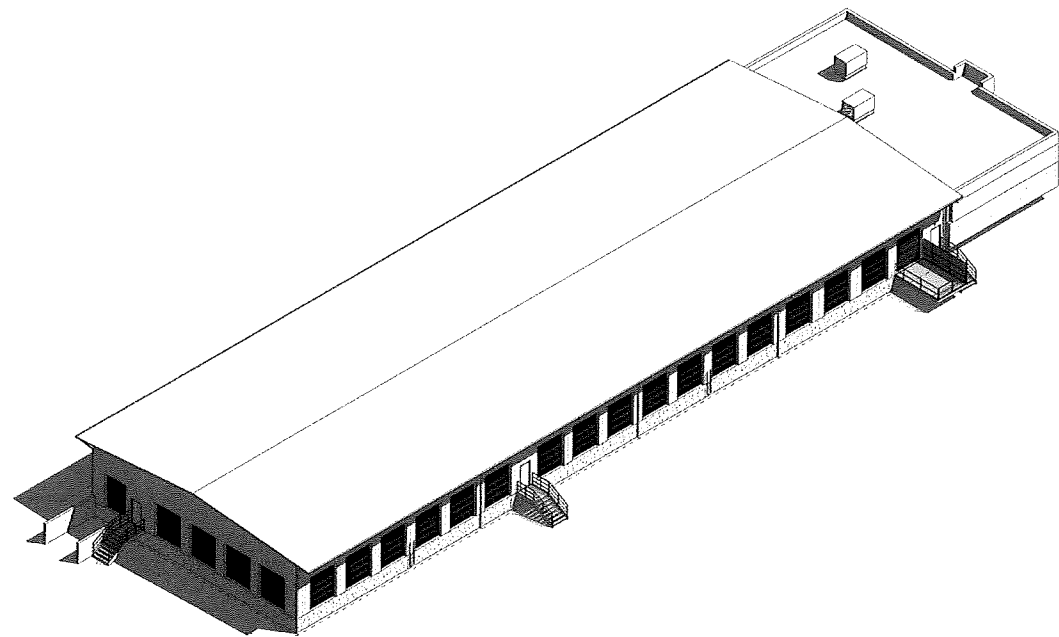
1 WEST BUILDING ELEVATION
SCALE 1/8" = 1'-0"



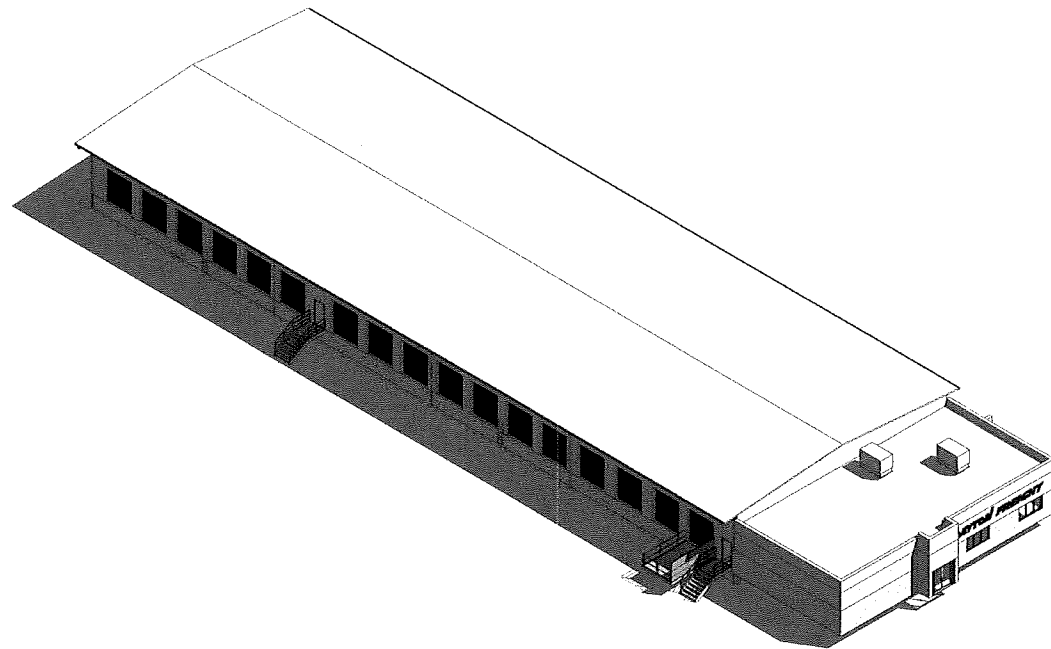
4 NORTHWEST
DETAIL
SCALE



3 NORTHEAST
DETAIL
SCALE



2 SOUTHWEST
DETAIL
SCALE



1 SOUTHEAST
DETAIL
SCALE

DRAWING SET

■	03/02/2017	prelim
□		check
□		bid
□		permit
□		construction

REVISIONS

△		
△		
△		
△		

SEAL

**NOT FOR
CONSTRUCTION**

PROJECT NUMBER	017006
SHEET TITLE	3D VIEWS
SHEET NUMBER	

DRAWING SET

■	03/20/2017	prelim
□		check
□		bid
□		permit
□		construction

REVISIONS

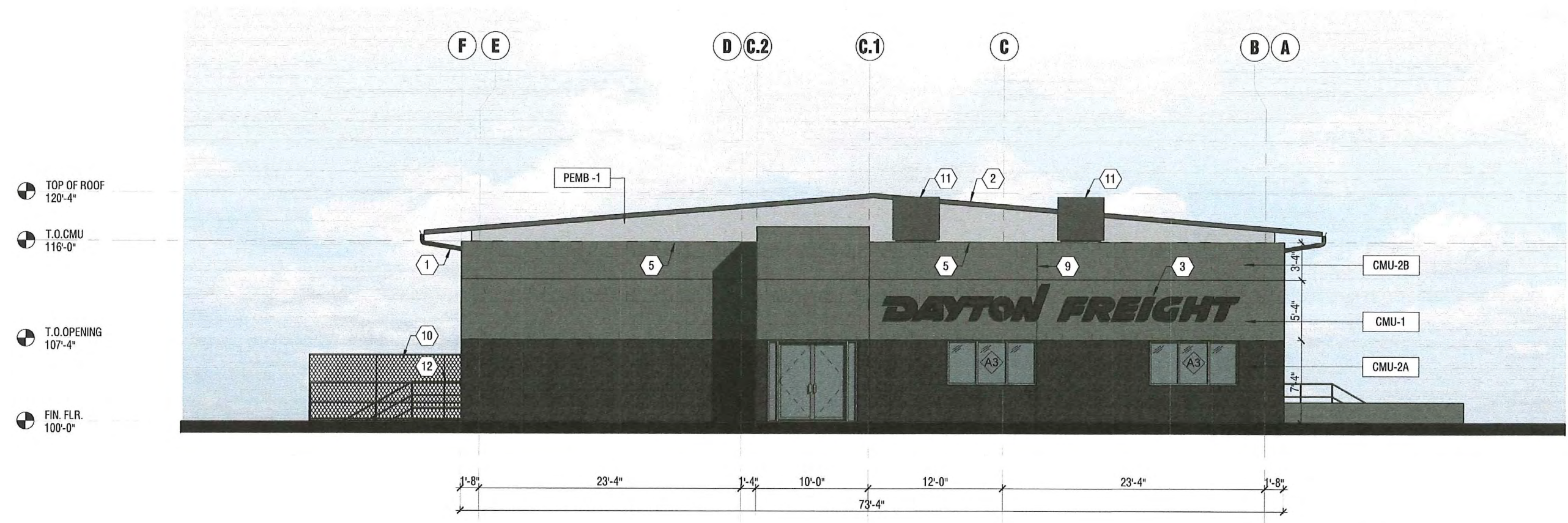
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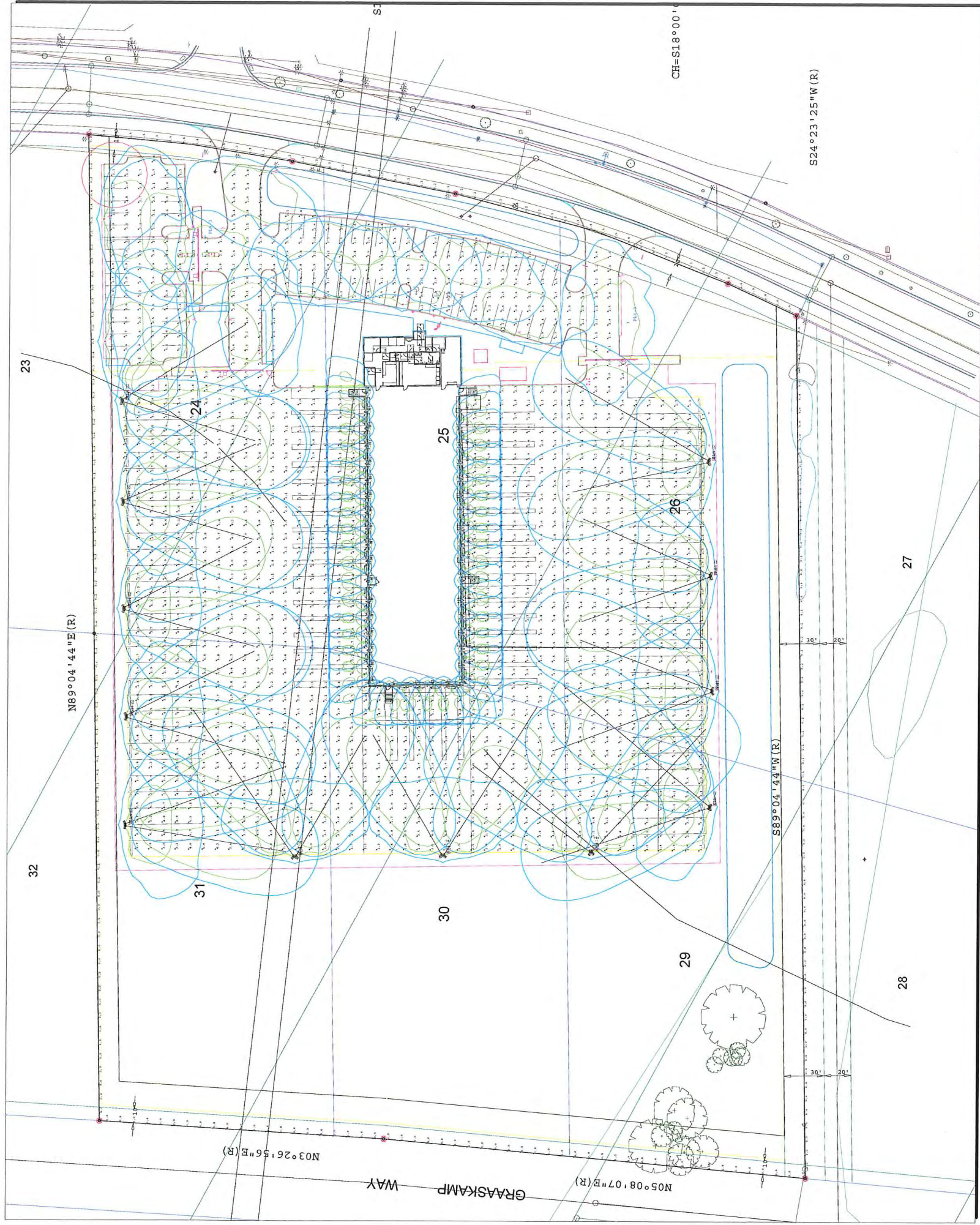
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PROJECT NUMBER	017006
SHEET TITLE	PERSPECTIVE VIEW
SHEET NUMBER	

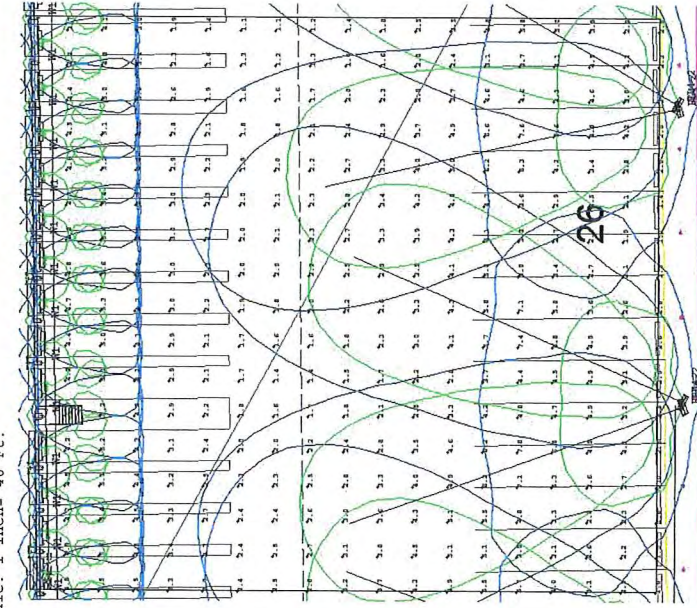
A4.03



1 RENDERING
SCALE N.T.S.



Scale: 1 inch= 40 Ft.



TYPICAL LOT

Luminaire Schedule

Symbol	Qty	Tag	Description
□	23	A	STERNBERG LIGHTING
□	2	PL6-3	STERNBERG LIGHTING
□	24	PL4-2	METEOR LIGHTING
□	40	W1	HUBBELL LIGHTING

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
DF - MADISON, WI_1	Illuminance	FC	3.67	8.0	0.8	4.59	10.00
PROPERTY LINE	Illuminance	FC	0.12	0.5	0.0	N.A.	N.A.
TYPICAL LOT	Illuminance	FC	3.41	7.8	1.1	3.10	7.09

1. PL4A fixtures has floodlights mounted on top of pole at 27' AFG and area fixture mounted to side of pole at 24' AFG
2. W1 wallpack fixtures mounted 17' AFG
3. Calculation points are 10' x 10' and are at grade
4. Calculations are the expected maintained illumination at the rated life of fixtures



Terminal Poles shall be 27' Round Tapered Aluminum, 8" anchor base .188 wall thickness, internal damper, black finish, extra hand hole at drilling point, and cross arm for two floodlights. Shoebox to be mounted at 24' AFG.

Parking lot poles to be 24' Round Tapered Aluminum, .156 wall thickness, Internal Damper, Black finish. Shoeboxes to be mounted at 24' AFG.

Fixtures to have appropriate lumen package and beam distribution to accomplish footcandle levels and uniformity indicated on previous page.

Label	Description	Tag	Qty	Lum. Lumens	Lum. Watts	LLF
AP650-CA-20L45T4BL-F-MD_21_2	STERNBERG LIGHTING	A	23	7704	141.9	0.950
AP650-CA-20L45T3-MD_21	STERNBERG LIGHTING	PL6-3	2	10099	141.8	0.950
BTS-220-408-XXX-XXX-30-XXX	METEOR LIGHTING	PL4-2	24	26113	220.3	0.950
LNC2-12LU-5K-4	HUBBELL LIGHTING	W1	40	2716	27.9	0.950

1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OWNER TO LIGHTING UNLIMITED. SITE DETAILS PROVIDED HEREON ARE REPRODUCED AS SHOWN AND NOT TO BE USED FOR CONSTRUCTION. LIGHTING UNLIMITED MAKES NO WARRANTY AS TO THE ACCURACY OF THE INFORMATION PROVIDED. LIGHTING UNLIMITED IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DESIGN. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THIS PROJECT.
2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. LUMINAIRE DATA IS BASED ON AVERAGE CONDITIONS. LUMINAIRE DATA IS NOT TO BE USED FOR CONSTRUCTION. LIGHTING UNLIMITED IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DESIGN. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THIS PROJECT.
3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.



ROLE	DATE	NET AGENCY	REP. DENCE.
DRAWN BY	DJR		
CHECKED BY			
APPROVED BY			
APPROVED BY			
DRAWN ORDER			
PROJECT NO.			

POINT-BY-POINT FOOTCANDLE PLOT FOR:
DAYTON FREIGHT
MADISON, WI
 DRAWING NUMBER: **LU17-36139**