

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____

Project # _____

03718

DATE SUBMITTED: <u>May 31, 2006</u>	Action Requested
UDC MEETING DATE: <u>June 7, 2006</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 5901 Sharpsburg Drive

ALDERMANIC DISTRICT: District 9, Ald. Cnare

OWNER/DEVELOPER (Partners and/or Principals) DJK Real Estate, LLC. ARCHITECT/DESIGNER/OR AGENT: Vandewalle & Associates
120 East Lakeside Street
Madison, WI 53715

CONTACT PERSON: Brian Munson
Address: 120 East Lakeside Street
Madison, WI 53715
Phone: (608) 255-3988
Fax: (608) 255-0814
E-mail address: bmunson@vandewalle.com

- TYPE OF PROJECT:
(See Section A for:)
- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
 - Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
 - Planned Residential Development (PRD)
 - New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
 - School, Public Building or Space (Fee may be required)
 - New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 50,000 Sq. Ft.
 - Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)
- Other _____



*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

May 31, 2006

Mr. Al Martin
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985

Re: 5901 Sharpsburg Drive
UDC Submittal

Dear Mr. Martin:

On behalf of David Simon, DJK Real Estate, LLC, we are pleased to submit the attached packet of information for the first phase SIP for the B1 Commercial/Office Building (5901 Sharpsburg Drive), within the Grandview Commons Neighborhood. The enclosed documents and plans have been unchanged from the previous submittal with the exception of bike racks near the southeast corner of the building. The site plan also provides more context with the B-4 building footprint (previously approved in the GDP). This graphic addition has no impact on the B1 building plans; it merely provides greater site context.

Owners:
DJK Real Estate, LLC

Design Team:
Vandewalle & Associates
120 East Lakeside Street
Madison, Wisconsin 53715
Tel: (608) 255-3988
Fax: (608) 255-0814

Mr. Brian Munson
Mr. Chris Landerud

D'Onofrio Kottke
7530 Westward Way
Madison, Wisconsin 53717
Tel: (608) 833-7530
Fax: (608) 833-1089

Mr. Dan Day

The Kubala Washatko Architects, Inc.
W61 N617 Mequon Avenue
Cedarburg, WI 53012
Tel: (262) 377-6039
Fax: (262) 377-2954

Mr. Michael Garber

Project Name:

5901 Sharpsburg Drive
B1 Building

Development Information:

Address: 5901 Sharpsburg Drive
Parcel Number: 0710-112-0106-0
Acreage: 1.63
Zoning: PUD-GDP Doc. # 3589157
Grandview Commons Adopted August 9, 2002

Proposed Use: Commercial/Office
Schedule: Commencement - Fall 2006
Completion - 2007

B1 Building:

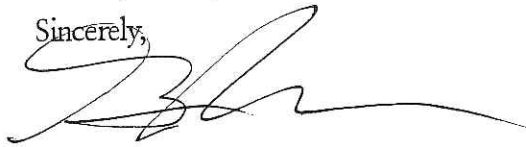
Total Supplied Parking: 28 stalls
Total Lot Parking: 23 stalls
On-Street Parking: 5 stalls (North Star frontage)

Total Square Footage: 13,911 square feet
Total Parking Ratio: 2.0 stalls/1,000 sq. ft.

Hours of Operation: 8:00am-10:00pm
Trash/Snow Removal: Private Contract

Thank you for your time in reviewing this project.

Sincerely,

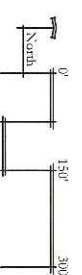


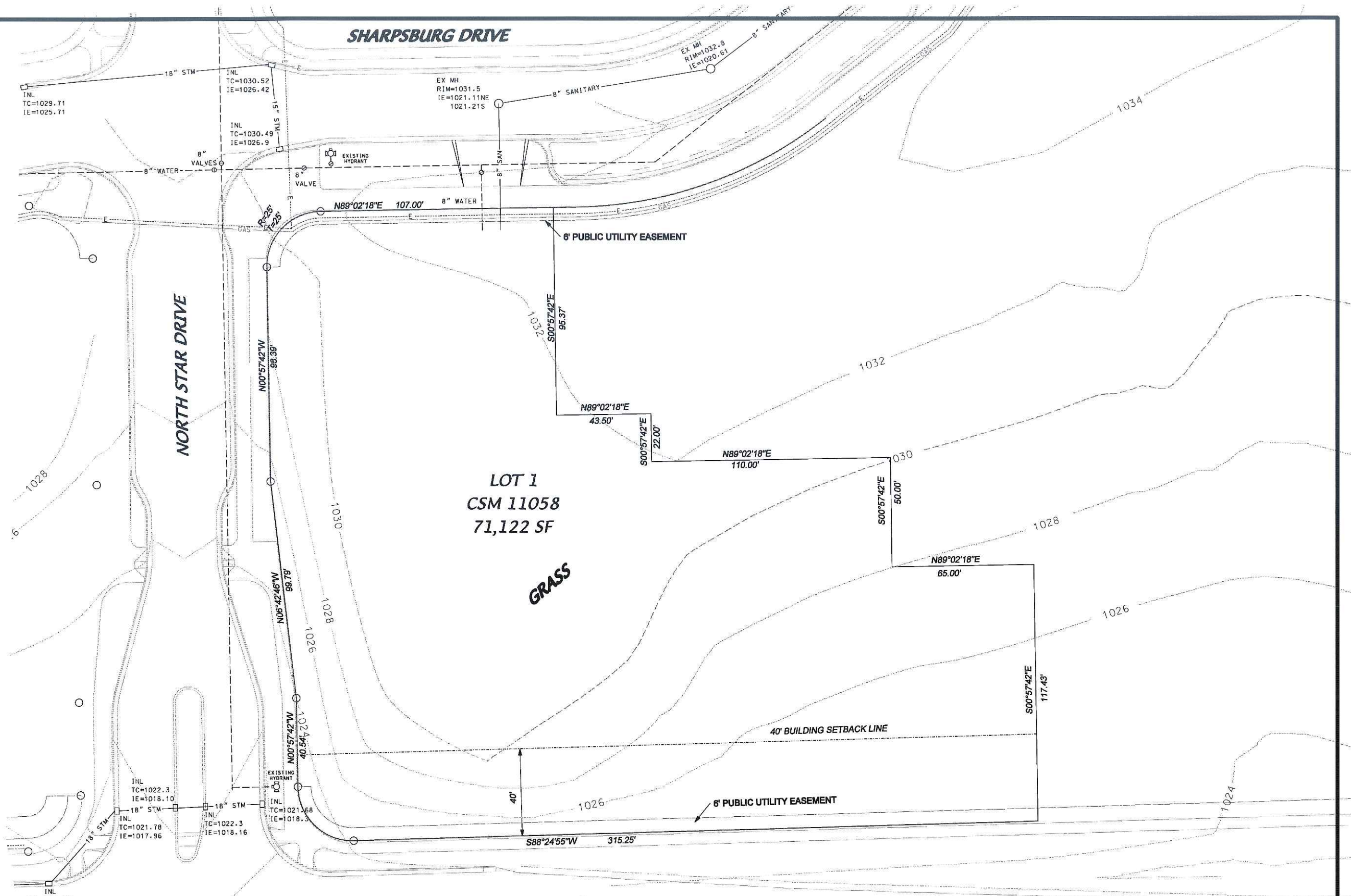
Brian Munson
Project Manager



Grandview Commons Town Center

Madison, Wisconsin





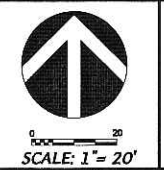
SHARPSBURG DRIVE

NORTH STAR DRIVE

**LOT 1
CSM 11058
71,122 SF**

GRASS

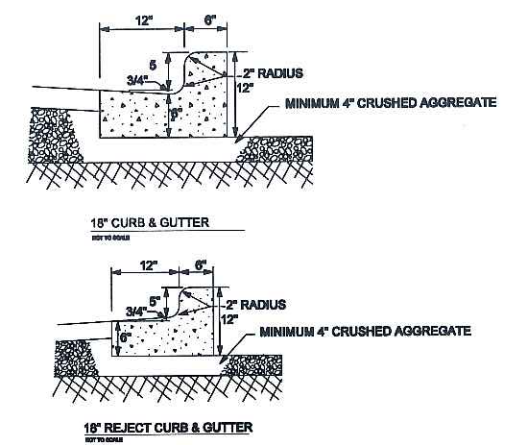
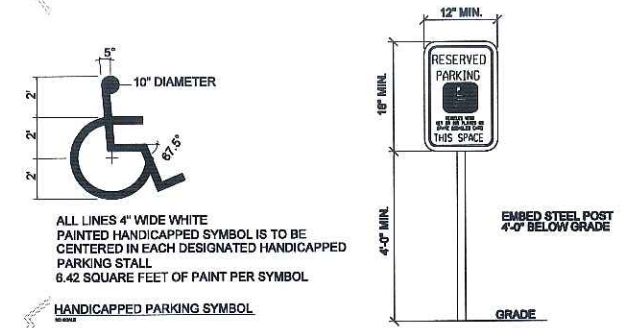
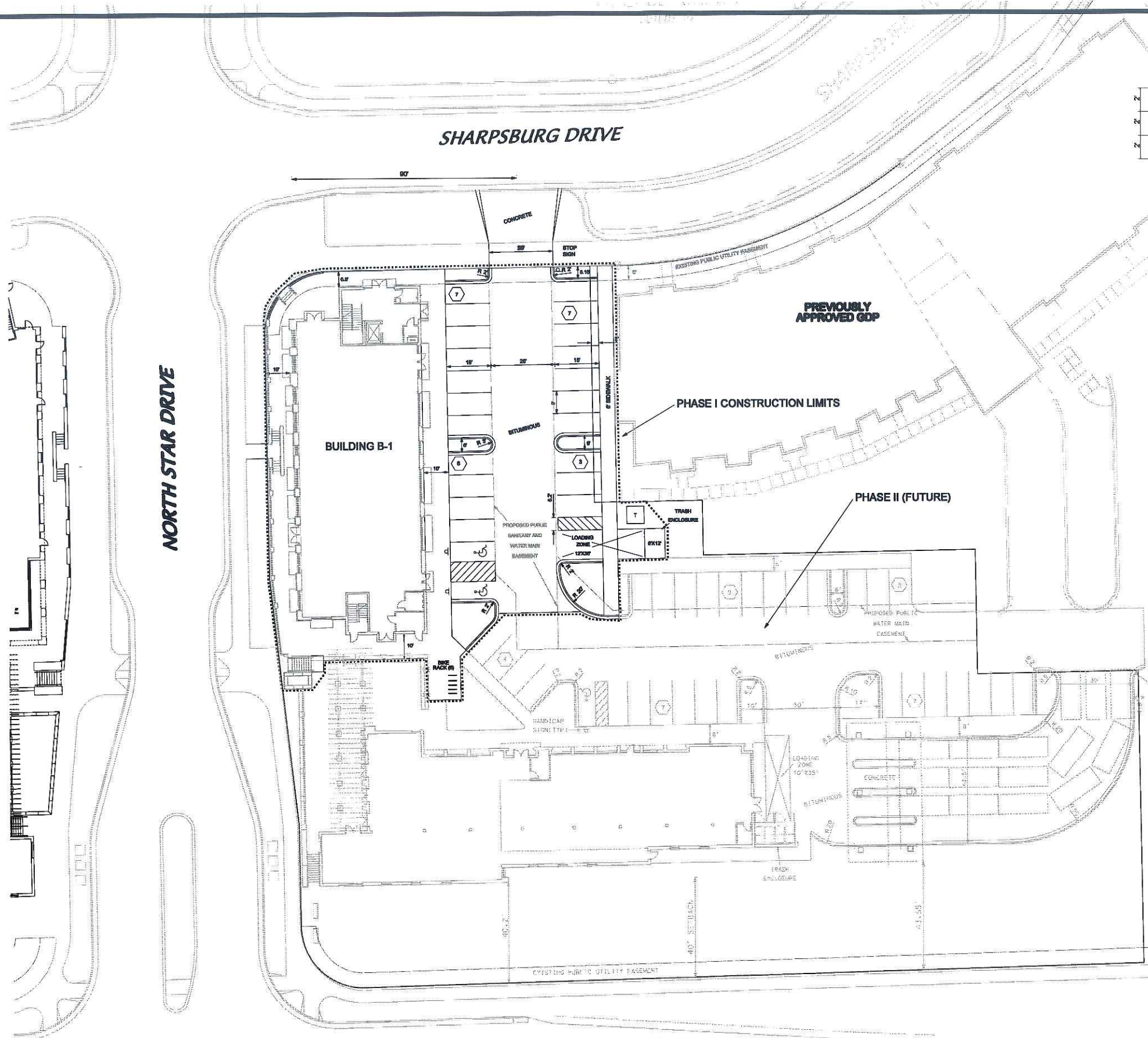
COTTAGE GROVE ROAD (C.T.H. BB)



DATE: 05-31-06
REV:
FN: 06-05-129

EXISTING SITE
GRANDVIEW COMMONS - BUILDING B-1
5901 SHARPSBURG DRIVE
MADISON, WISCONSIN 53718

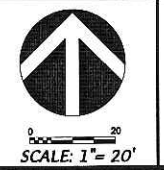
D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT
C 100



SITE INFORMATION

SITE ACREAGE = 1.83 ACRES
FLOOR AREA RATIO = 0.20
13,911 SF/71,122 SF
ON-SITE PARKING STALLS = 23
STREET PARKING STALLS = 5
ACCESSIBLE STALLS = 2

COTTAGE GROVE ROAD (C.T.H. BB)



DATE: 05-31-06
REV:

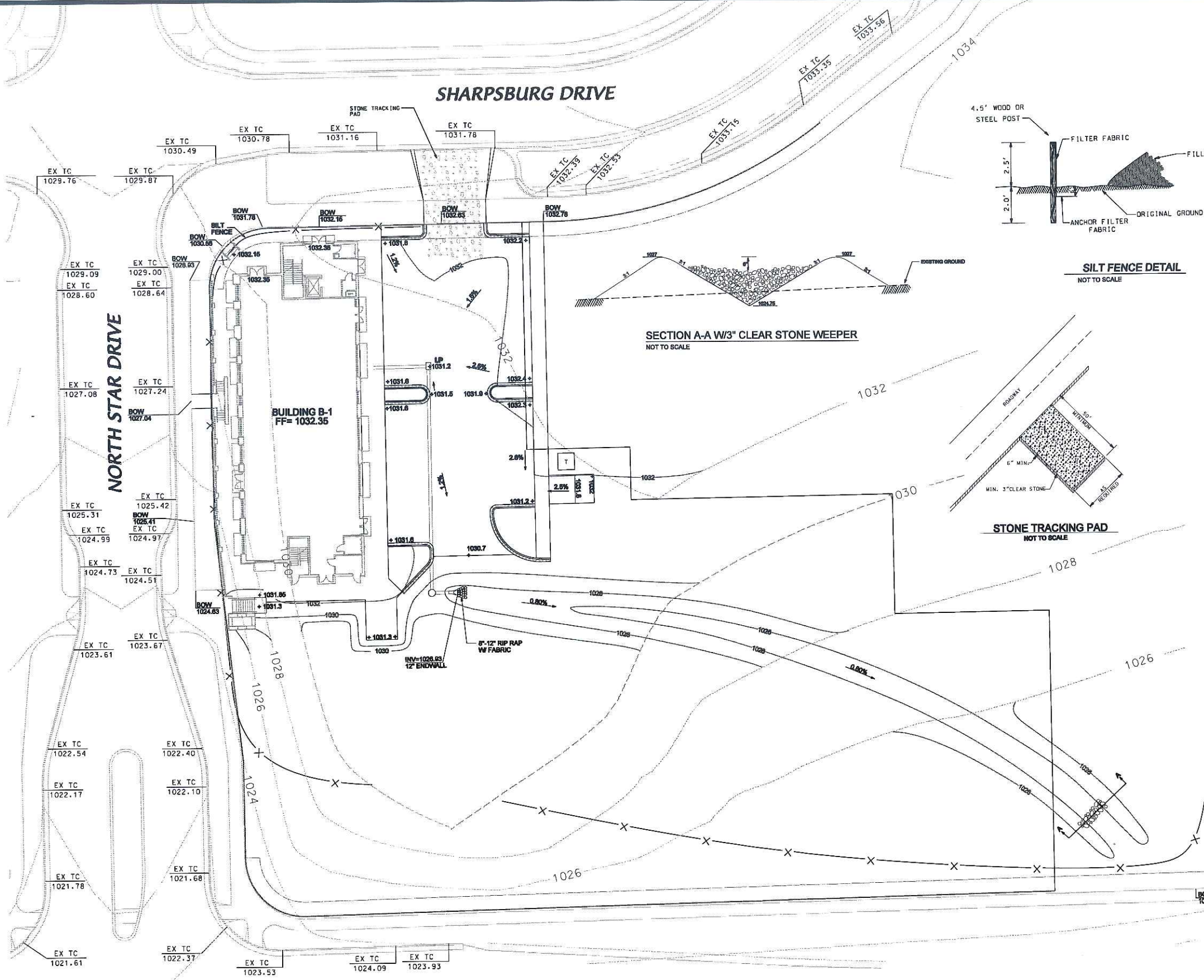
FN: 06-05-129

SITE PLAN
GRANDVIEW COMMONS - BUILDING B-1

5901 SHARPSBURG DRIVE
MADISON, WISCONSIN 53718

D'UOHOFRI WITKKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

C 101

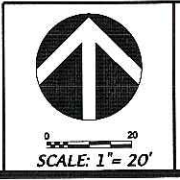


- SITE GRADING AND EROSION CONTROL NOTES**
- 1) Spot grades and parking lot slopes have been rounded off to the nearest tenth on the Site Grading Plan.
 - 2) All site grading and erosion control shall conform with the "City of Madison Standard Specifications" and all addendums issued prior to the contract bid date.
 - 3) Stone tracking pad shall be installed at the designated locations at the commencement of construction. Stone tracking pad shall be a minimum of 20 feet wide, 60 feet long and 1 foot thick, constructed with a minimum of 3" clear stone. Entrance shall be maintained in a condition which will prevent tracking of mud onto public right-of-way.
 - 4) Silt fence and 2' containment berm shall be installed at the start of site grading and maintained until the site has been stabilized.
 - 5) All storm structures accepting runoff shall be fitted with a Catch All HR Inlet filter bag, with overflow as manufactured by Marmac Manufacturing Co or approved equal. Contractor shall inspect each bag every 2 weeks or after a rainfall of 1" or more and clean bags as necessary. At the completion of construction, the engineer and Contractor shall inspect each bag and either clean or replace the bags as necessary.
 - 6) Area disturbed within any street right-of-way shall be restored with 4" topsoil, fertilizer, seed, and mulch.
 - 7) Disturbed areas outside the street right-of-way shall be restored with seed, fertilizer and mulch or in accordance with an approved landscape plan.
 - 8) Public streets shall be cleaned daily as necessary.
 - 9) Erosion control shall be the responsibility of the Contractor until the site has been stabilized. Erosion measures as listed shall be the minimum measures that will be acceptable.
 - 10) The Contractor shall install additional erosion measures as requested in writing by the project superintendent or the City of Madison within 24 hours of notification.
 - 11) All ditch slopes 3:1 or steeper shall be restored using fertilizer, seed and North American Green S75 erosion mat.

LEGEND

	PROPERTY LINE
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING GAS MAIN
	EXISTING ELECTRIC
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	PROPOSED REJECT CURB & GUTTER
	PROPOSED PAVEMENT ELEVATIONS
	BACK OF WALK ELEVATIONS
	PROPOSED STORM SEWER
	PROPOSED INLET
	PROPOSED CATCH BASIN
	PROPOSED TRANSFORMER

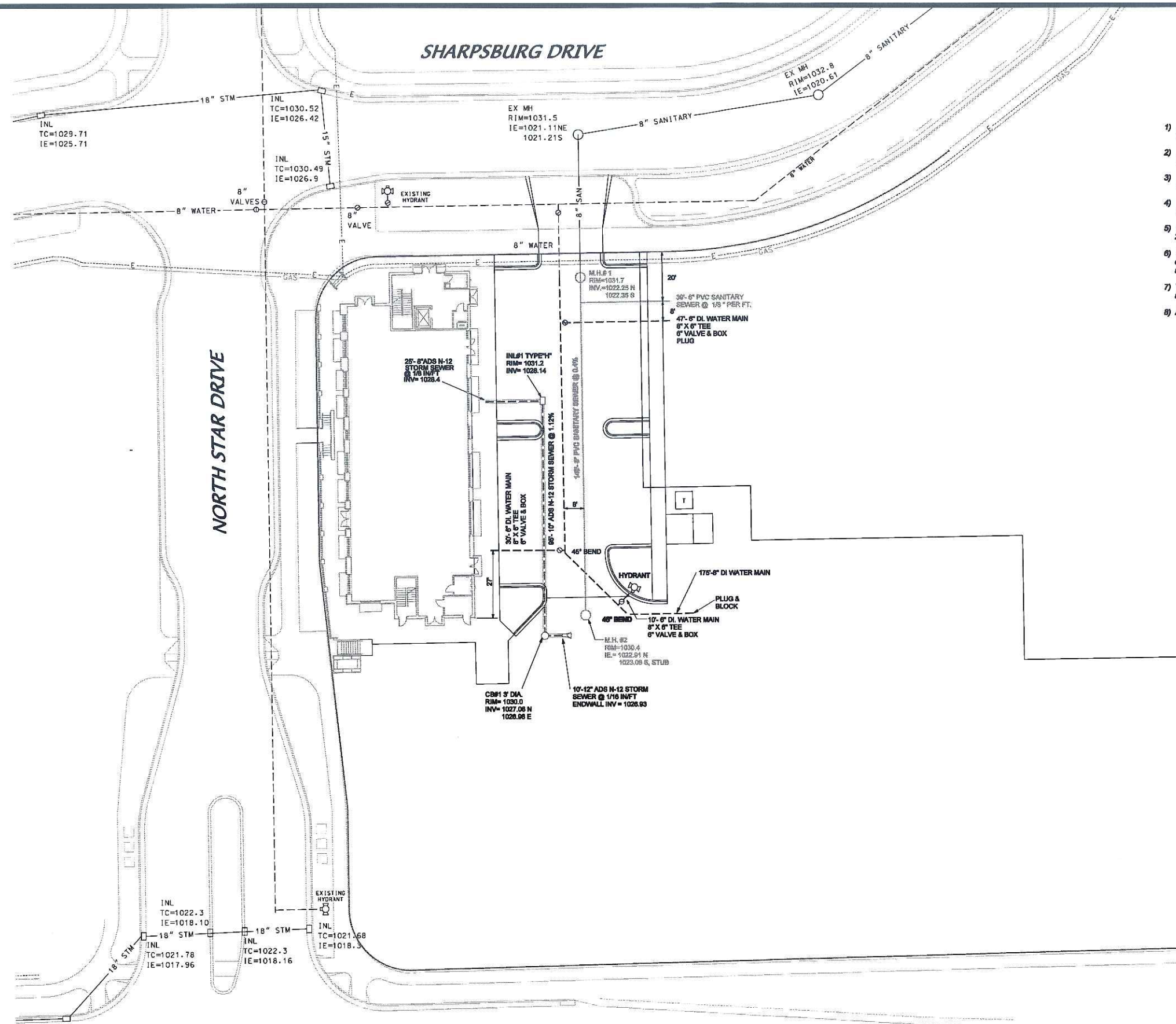
COTTAGE GROVE ROAD (C.T.H. BB)



DATE: 05-31-06
REV:
FN: 06-05-129

SITE GRADING AND EROSION CONTROL PLAN
GRANDVIEW COMMONS - BUILDING B-1
5901 SHARPSBURG DRIVE
MADISON, WISCONSIN 53718

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
7530 Woodward Way, Madison, WI 53717
Phone: 608.833.7550 • Fax: 608.833.1089
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C 102



SITE UTILITY NOTES

- 1) All site utilities shall conform with the "City of Madison Standard Specifications" and all addendums issued prior to the contract bid date.
- 2) Sanitary sewer laterals shall be marked with a 4" x 4" hardwood post. Cleanouts shall be provided in accordance with Comm 82.35.
- 3) Erosion control measures must be installed as shown on the grading and erosion control plan prior to any construction.
- 4) Water service shall be installed with a minimum of 6.5 feet of cover from finish grade.
- 5) Site Utility Contractor shall notify the City of Madison a minimum of 24 hours in prior to making connections to the water main, and storm sewer.
- 6) Contractor shall remove and replace any curb and gutter or pavement damaged during connection of the storm sewer to the existing inlet in full accordance with the City of Madison Standard Specifications.
- 7) The Contractor shall make himself familiar with existing utilities in the area and be responsible for their protection during construction.
- 8) All ADS storm sewer shall be installed with water tight joints.

LEGEND

○	PLACED IRON STAKE
SS	SANITARY SEWER
W	WATER MAIN
G	GAS MAIN
E	UNDERGROUND ELECTRIC
STM	STORM SEWER
□	ELECTRIC TRANSFORMER
○	MANHOLE
⊗	CATCH BASIN
⊕	POWER POLE
⊖	TELEPHONE PEDESTAL
⊙	HYDRANT
⊗	VALVE
⊖	SKIN
=====	EXISTING CONC. CURB
=====	PROPOSED CURB & GUTTER
-----	PROPOSED STORM SEWER
-----	PROPOSED WATER SERVICE
-----	PROPOSED SANITARY SEWER

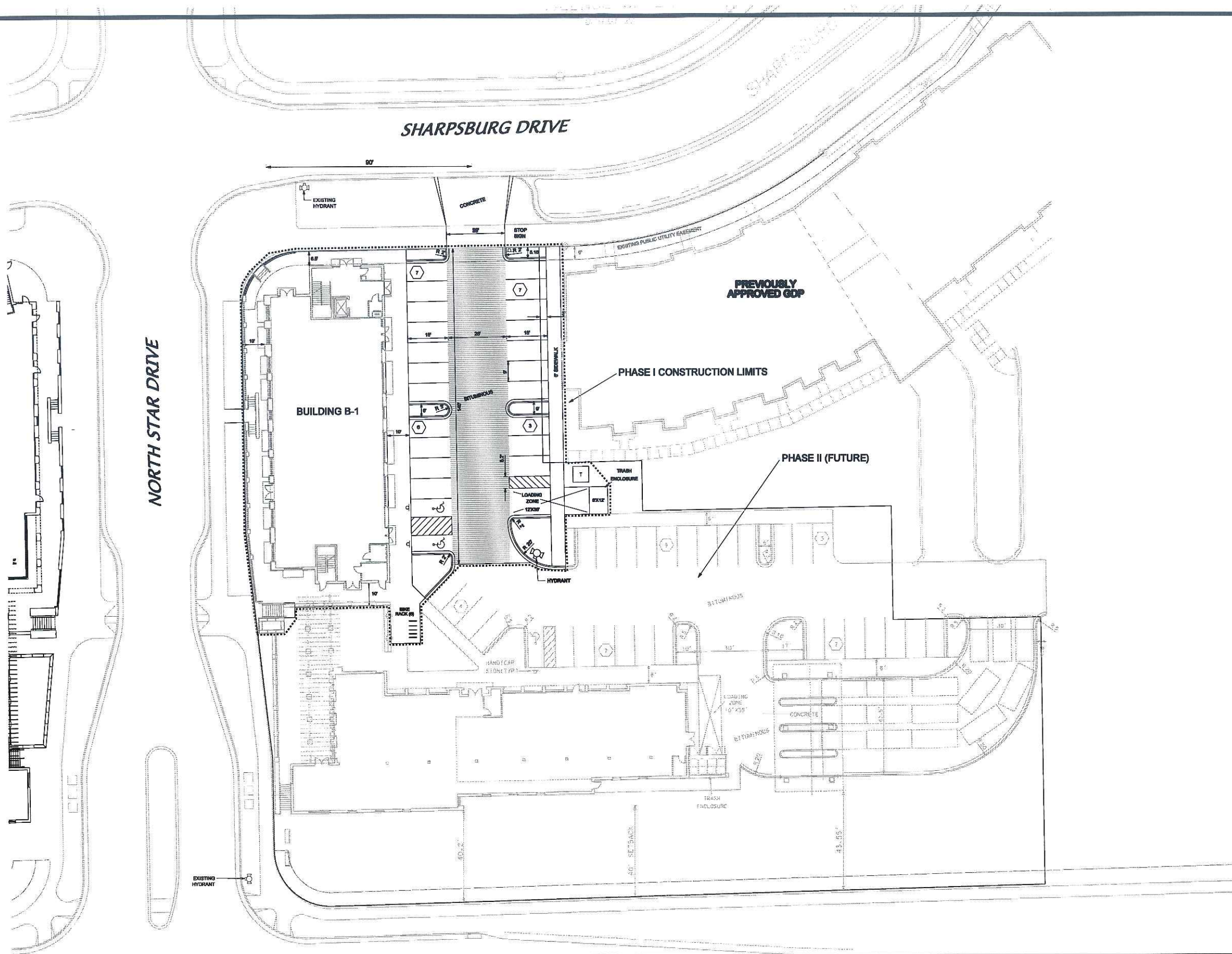
COTTAGE GROVE ROAD (C.T.H. BB)



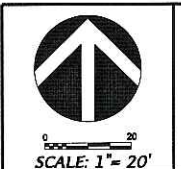
DATE: 05-31-06
REV:
FN: 06-05-129

SITE UTILITY PLAN
GRANDVIEW COMMONS - BUILDING B-1
5901 SHARPSBURG DRIVE
MADISON, WISCONSIN 53718

D'ONDRO KUTTKE AND ASSOCIATES, INC.
7330 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
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C 103



COTTAGE GROVE ROAD (C.T.H. BB)

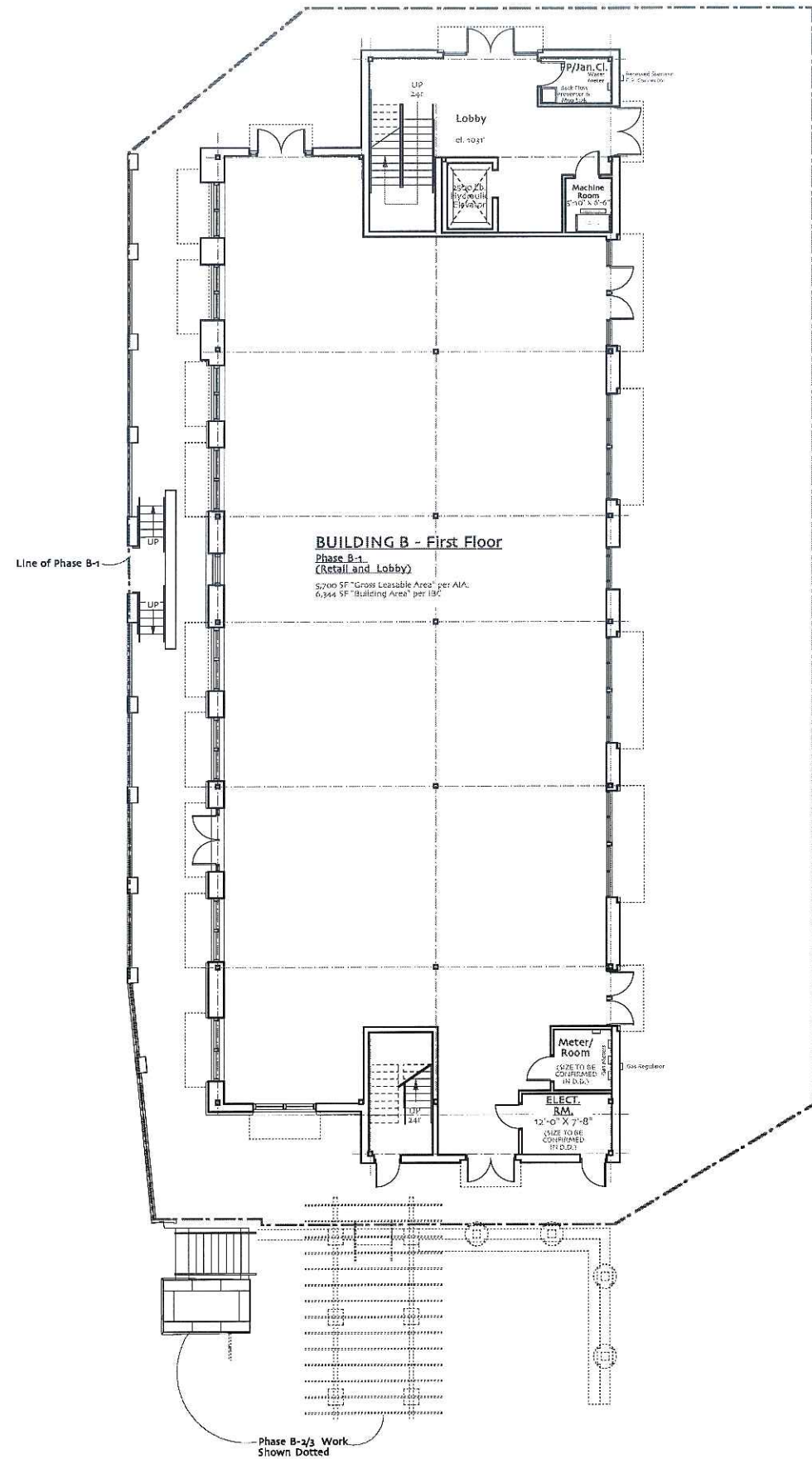


DATE: 05-31-06
REV:
FN: 06-05-129

FIRE ACCESS PLAN
GRANDVIEW COMMONS - BUILDING B-1
5901 SHARPSBURG DRIVE
MADISON, WISCONSIN 53718

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7530 Westwind Way, Madison, WI 53717
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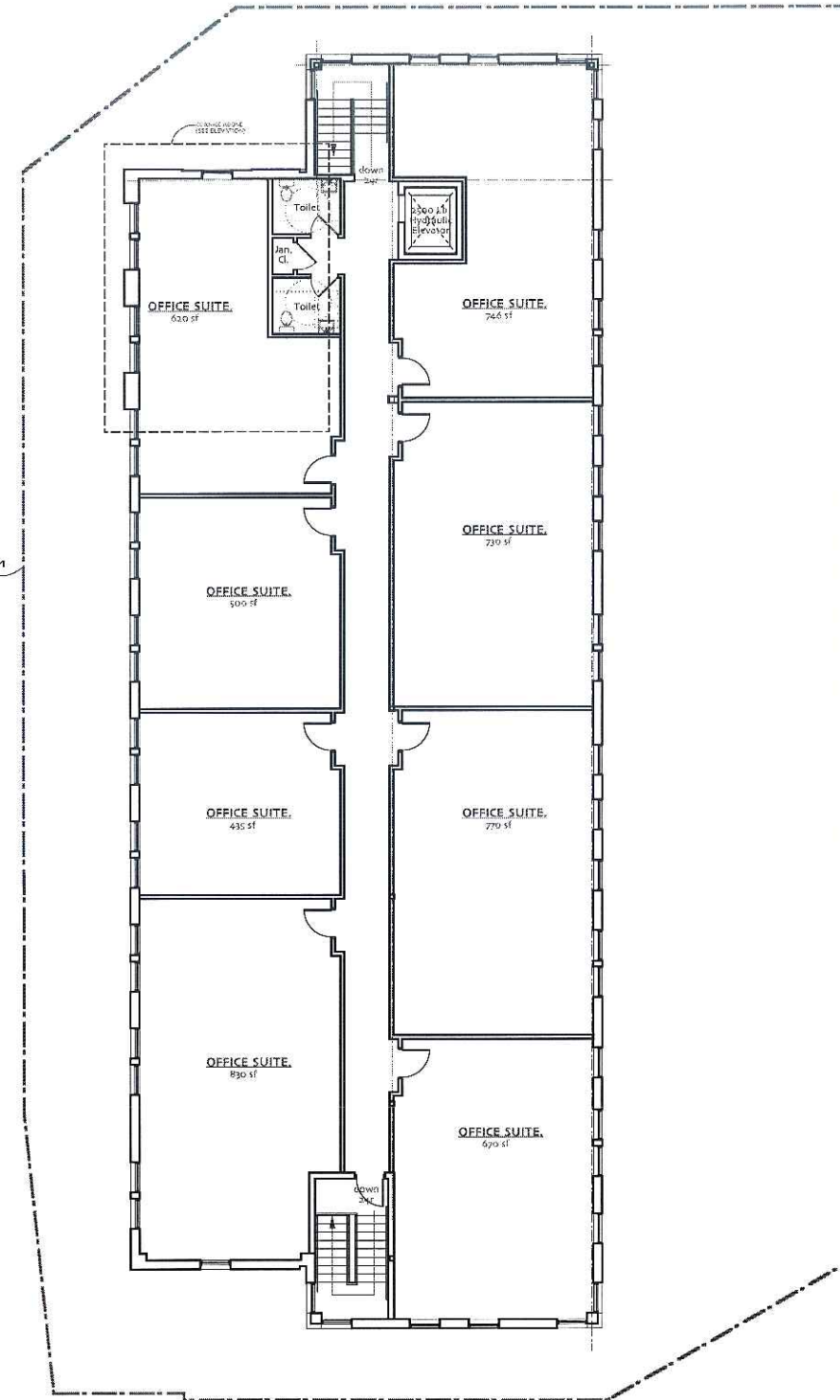
C 104



BUILDING B: Phase B-1 First Floor Plan

NOTE: Landscape and site information not shown, see landscape and site plans for information.

Line of Phase B-1

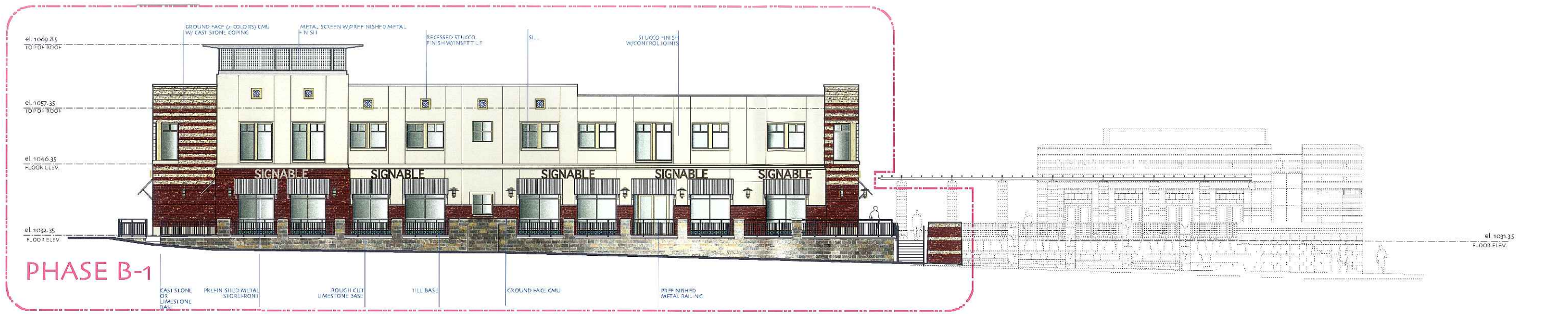


BUILDING B: Phase B-1 Second Floor Plan

NOTE: Landscape and site information not shown, see landscape and site plans for information.
 NOTE: Unit areas based on AIA standard (wall thickness included) stairs, mech. shafts, and lobby not included.

NOTE: THESE DRAWINGS REPRESENT SCHEMATIC INTENT ONLY. SYSTEMS ARE SUBJECT TO CHANGE TO COMPLY WITH LOCAL REGULATORY REQUIREMENTS AS WELL AS STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, CIVIL, LANDSCAPE, ARCHITECTURAL REQUIREMENTS AND SYSTEM AVAILABILITY.





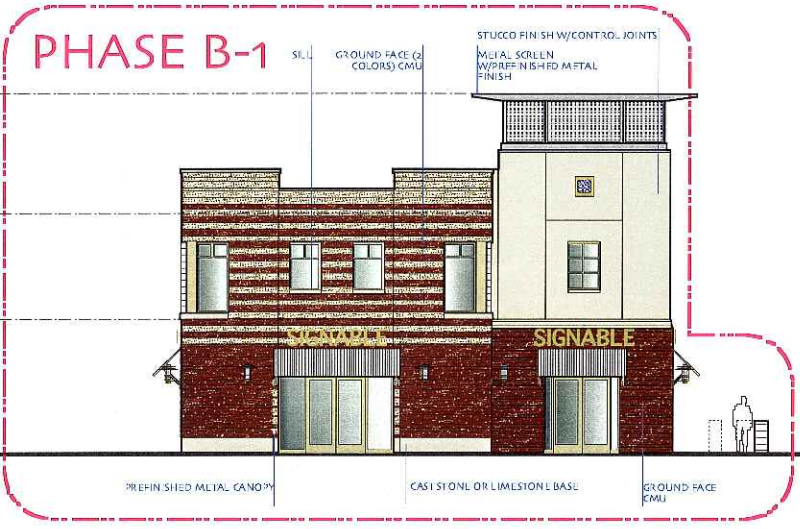
PHASE B-1

Phase B-2 and B-3 (future) West Elevation
NOTE: Landscape not shown, see landscape plans for landscape information



BUILDING B: Phase B-2 and B-3 East Elevation
NOTE: Landscape not shown, see landscape plans for landscape information

PHASE B-1



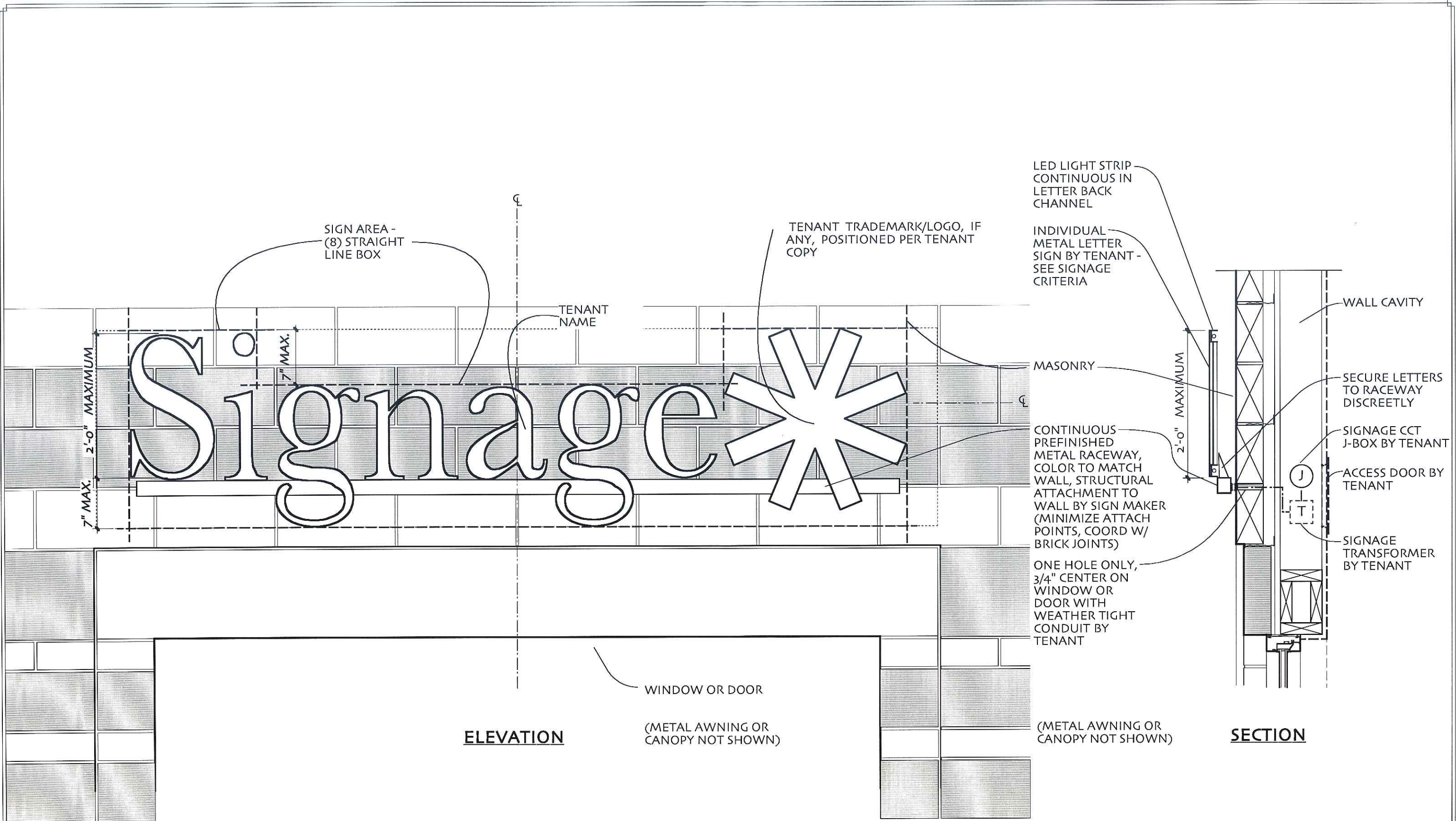
BUILDING B: Phase B-1 North Elevation
NOTE: Landscape not shown, see landscape plans for landscape information



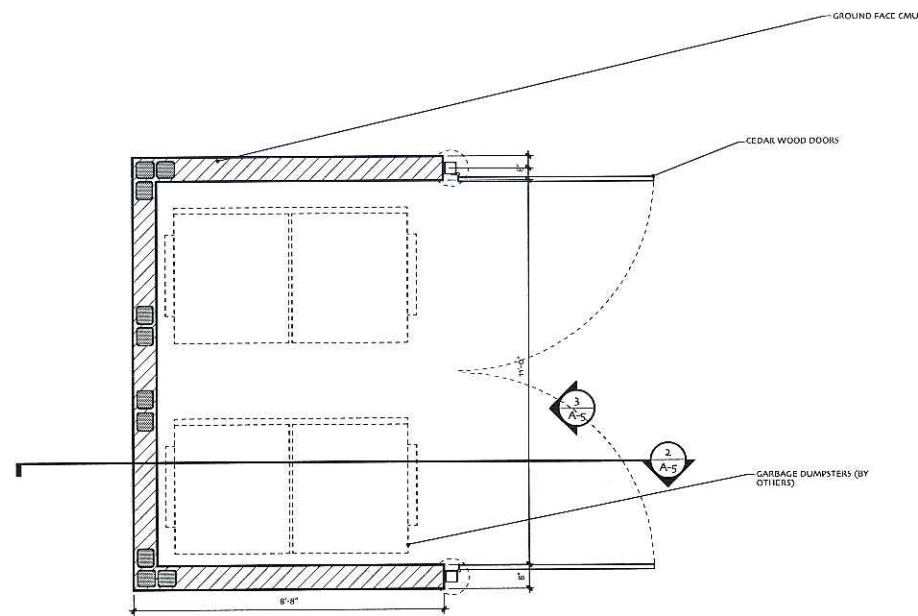
Phase B-1 South Elevation
NOTE: Landscape not shown, see landscape plans for landscape information

PHASE B-1

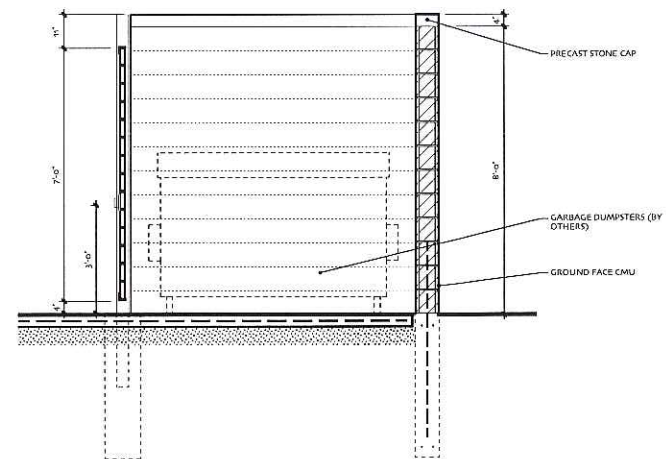
NOTE: THESE DRAWINGS REPRESENT SOLELY INTENT ONLY. SYSTEMS ARE SUBJECT TO CHANGE TO COMPLY WITH LOCAL REGULATORY REQUIREMENTS AS WELL AS STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, CIVIL, LANDSCAPE, ARCHITECTURAL REQUIREMENTS AND SYSTEM AVAILABILITY.



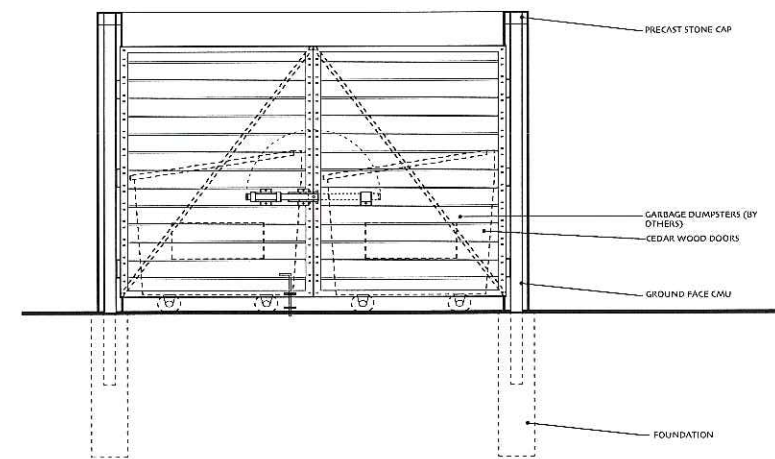
BUILDING MOUNTED SIGN
SCALE 1" = 1'-0"



1 TRASH ENCLOSURE PLAN
 PHASE B - BUILDING A
 (SEE SITE AND LANDSCAPE PLANS FOR LOCATION OF TRASH ENCLOSURE)
 SCALE: NOT TO SCALE



2 TRASH ENCLOSURE SECTION
 PHASE B - BUILDING B-1
 SCALE: NOT TO SCALE




3 TRASH ENCLOSURE ELEVATION
 PHASE B - BUILDING B-1
 SCALE: NOT TO SCALE

NOTE: ALL STEEL TO BE GALVANIZED AND PAINTED UNLESS OTHERWISE NOTED. ALL WOOD TO BE CEDAR W/ STAIN FINISH. ALL CMU TO HAVE GROUND FACE FINISH. METAL ROOF TO BE PREFINISHED

SPECTRA™ 500W - Double Ended
page 2 of 3

1/2 Fixture / Hood 4 Lamp Ballast 5 Colors **Reset** **Print**

1/2 Fixture / Hood

 1/2 Fixture / Hood Type 3
 GR3 glass reflector type 3
 GR5 glass reflector type 3
 LDL lighted glass lens

4 Lamp Ballast
 50MH 50Watt Medium Base Metal Halide
 70MH 70Watt Medium Base Metal Halide
 70MH16 70Watt Medium Base Metal Halide
 70MH16 70Watt Medium Base Metal Halide
 100MH 100Watt Medium Base Metal Halide
 150MH 150Watt Medium Base Metal Halide
 50HPS 50Watt High Pressure Sodium
 70HPS 70Watt High Pressure Sodium
 100HPS 100Watt High Pressure Sodium
 150HPS 150Watt High Pressure Sodium

5 Colors
 WHIT
 BLK
 MTB
 DYN
 DBZ
 WRZ
 BRM
 VGR
 CRT
 MAL
 MDG
 ATG
 LDF
 RAL COLOR
 CUSTOM COLOR

6 Optional Hood Finish
 BTR
 COP

7 Options
 347
 A1W1C
 SAP2
 TAP2
 AD1

Architectural Area Lighting
 10000 W. Grand Ave., Suite 100, Madison, WI 53726
 Tel: 608/278-1100 Fax: 608/278-1101
 www.arnoldandsheridan.com

KIM LIGHTING
 Type: Job
 Page: 2 of 5

Standard Features

Mounting
 3Y (3 Year) warranty available on most models

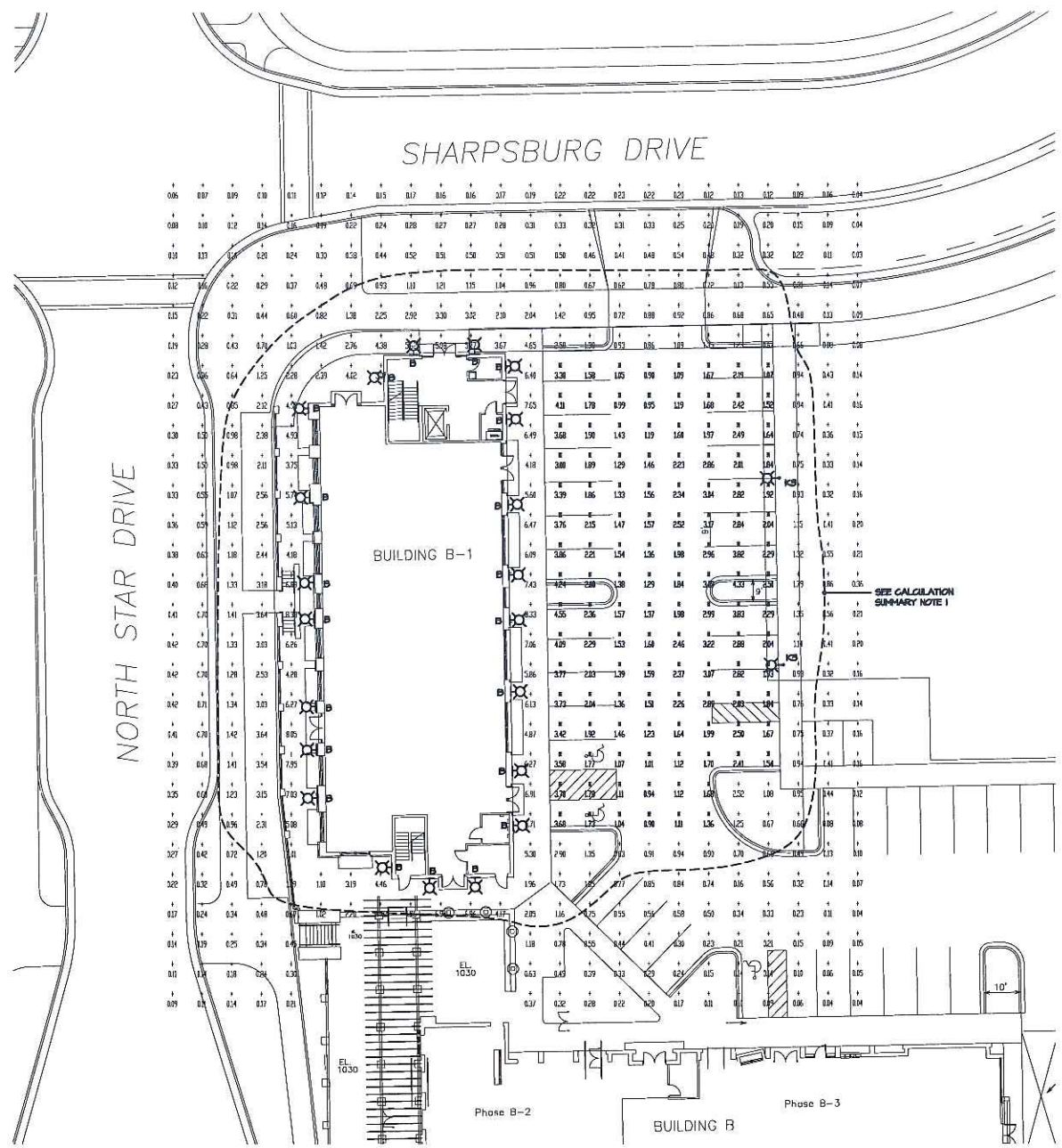
Fixtures
 Cut the designation down and distribute
 See the fixture drawings
 Optical systems Catalog to
 determine the distribution of
 light for design and
 application

Electrical Module
 HPS High Pressure Sodium
 MH Metal Halide
 MH Metal Halide
 MH Metal Halide

Color
 BLK Dark Bronze
 LDP Light Gray
 LGP Light Gray
 PWP White
 WHP White
 CCP Cream



FINISH
 Super TEAC powder coat
 paint finish - aluminum
 mechanical finish

9000100176



1 SITE LIGHTING PLAN
 SCALE: 1"=20'

FIXTURE SCHEDULE

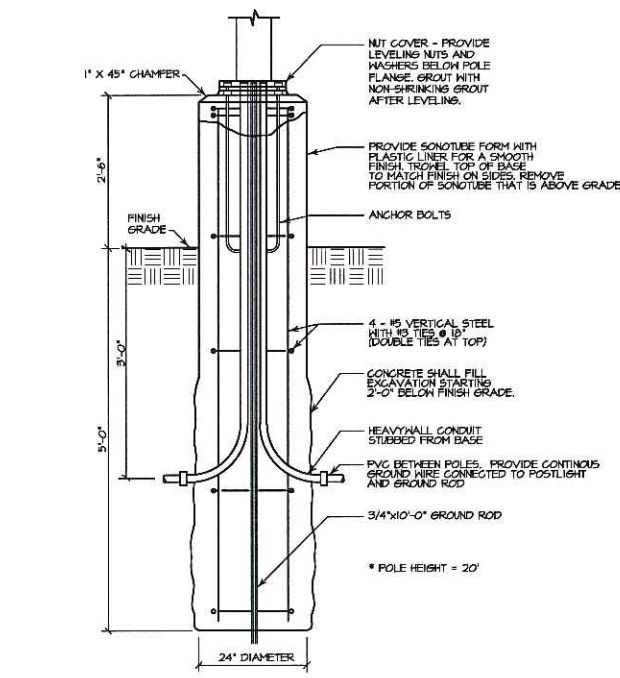
TYPE	SYMBOL	DESCRIPTION	LAMP	LUMENS	LLF	NOTES
K3		KIM LIGHTING AR3-250MH-DBZ-H6	(1) 250 M.H.	23000	0.75	1
B		ARCH. AREA LIGHTING SF2-DBL-GLA-100MH-DBZ	(1) 100 M.H.	8640	0.75	2

1. FIXTURE MOUNTED ON 20' POLE.
2. FIXTURE WALL MOUNTED AT ELEVATION 1039.85

CALCULATION SUMMARY

	AVE	MAX	MIN	MAX/MIN	AVE/MIN	WATTS/SQ.FT.
PHASE 1 PARKING LOT	4.1 fc	4.6 fc	0.9 fc	5.1	2.4	0.07

1. DASHED LINE INDICATES POINT WHERE 0.5 HORIZONTAL FOOTCANDLES OCCURS AT 4 FEET ABOVE THE GROUND.



ARNOLD AND O'SHERIDAN INC.
 CONSULTING ENGINEERS
 STRUCTURAL ■ CIVIL ■ HVAC ■ PLUMBING
 ELECTRICAL ■ TECHNOLOGY
 MADISON, WISCONSIN (608) 821-8500
 BROOKFIELD, WISCONSIN (262) 783-6130
 WWW.ARNOLDANDOSHERIDAN.COM

BUILDING B-1
 5901 SHARPSBURG DRIVE
 MADISON, WI 53718
GREAT NEIGHBORHOOD, INC.

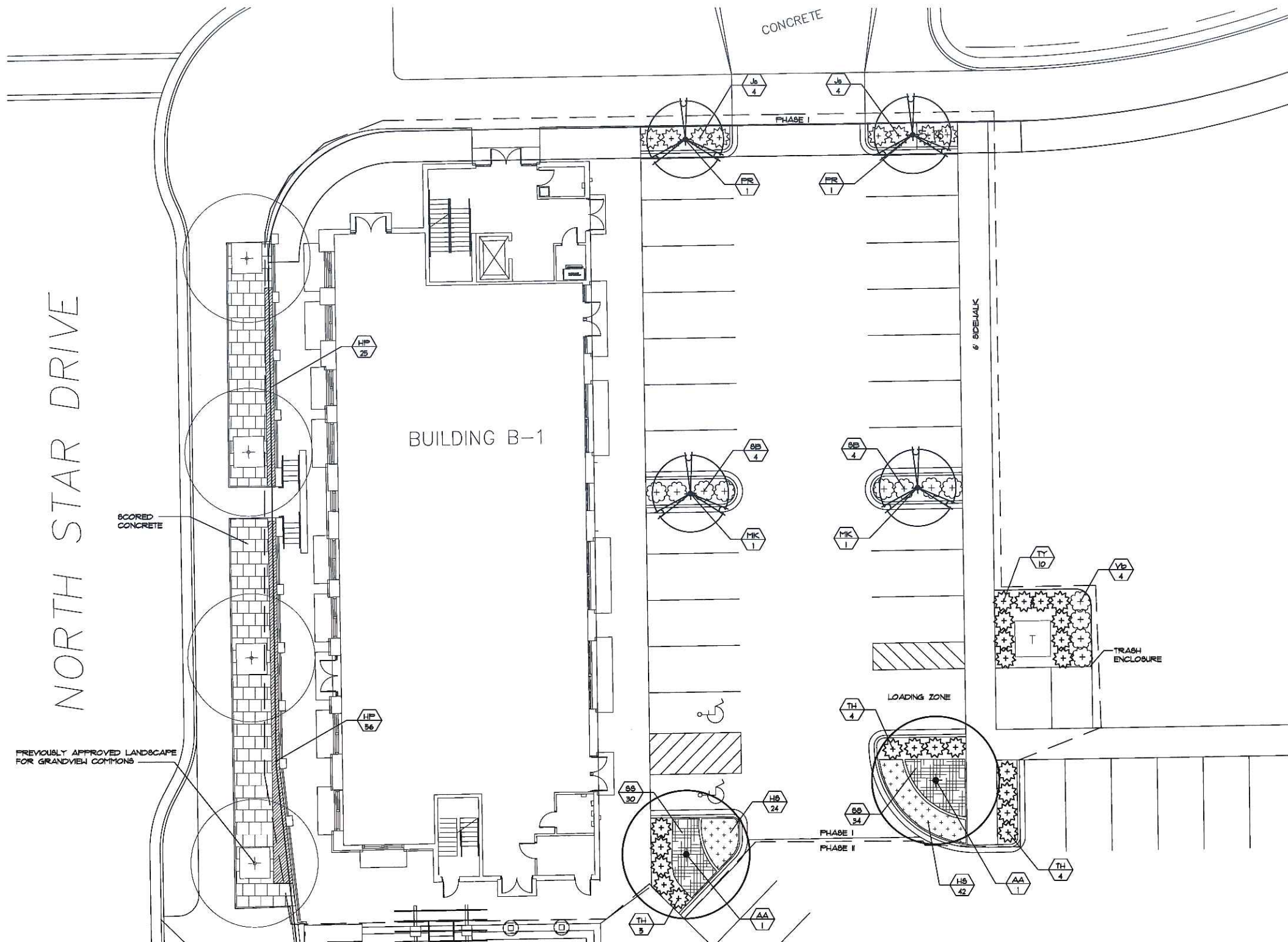
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SITE LIGHTING PLAN

Revisions:

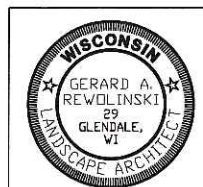
No.	Date	Description	By
00-00-00	-	-	ABC

Project Number: **080173** Designed By: **DTM**
 Date Issued: **05-09-06** Reviewed By: **DTM**

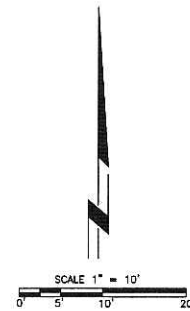
Sheet Number:
E1



Building B-1 Plant List						
Key	Botanical Name	Common Name	QTY	Size	Root	Spacing
Trees						
AA	Acer x freemanii 'Armstrong'	Armstrong Maple	2	2-2.5" Cal.	B&B	as shown
MK	Malus 'Pink Spires'	Pink Spires Crab	2	1.75-2" Cal.	B&B	as shown
PR	Pyrus calleryana 'Cleveland Select'	Cleveland Select Pear	2	2-2.5" Cal.	B&B	as shown
Evergreens						
Js	Juniperus chinensis 'Sargentii'	Sargent Juniper	8	24" spread	Container	48" o.c.
TH	Taxus x media 'Hicksii'	Hicks Yew	13	30" High	B&B	as shown
TY	Thuja occidentalis 'Techny'	Techny Arborvitae	10	5' High	B&B	as shown
Shrubs						
SB	Spiraea x bumalda 'Anthony Water'	Anthony Waterer Spiraea	8	18" High	Container	48" o.c.
Vb	Viburnum dentatum 'Christom'	Blue Mufin Viburnum	4	30" High	B&B	as shown
Perennials/Grasses/Ground Covers						
HP	Helictotrichon sempervirens	Blue Oat Grass	81	1 Gal.	Container	18" o.c.
HS	Hemerocallis 'Stella d'Oro'	Stella d'Oro Daylily	66	1 Gal.	Container	18" o.c.
SS	Schizachyrium scoparium	Little Bluestem	64	1 Gal.	Container	20" o.c.



Gerard A. Rewolinski
This work complies with the City of Madison Non-Residential Landscape Standards.



ARNOLD AND O'SHERIDAN INC.
 CONSULTING ENGINEERS
 STRUCTURAL ■ CIVIL ■ HVAC ■ PLUMBING
 ELECTRICAL ■ TECHNOLOGY
 MADISON, WISCONSIN (608) 821-8500
 BROOKFIELD, WISCONSIN (262) 783-6138
 WWW.ARNOLDAANDOSHERIDAN.COM

BUILDING B-1
 5901 SHARPSBURG DRIVE
 MADISON, WI 53718
 GREAT NEIGHBORHOOD, INC.

Sheet Title:
LANDSCAPE PLAN

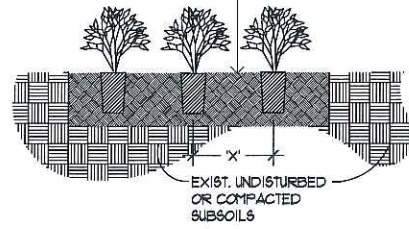
Revisions:		
No.	Date	Description
1	00-00-00	

Project Number:	Designed By:
060173	GAR
Date Issued:	Reviewed By:
05-09-06	GAR

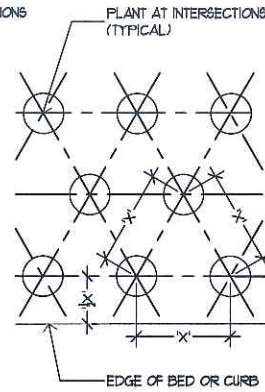
Sheet Number:
LS1

NOTES: FOR ANNUAL, PERENNIALS, VINES & OTHER GROUND COVERS.

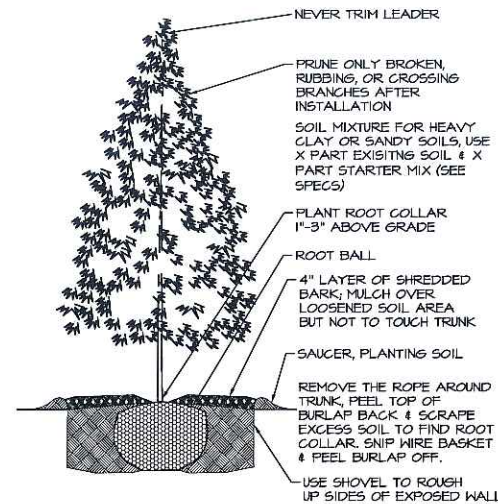
X = TYPICAL SPACING AS SPECIFIED IN PLANT SCHEDULE
 ALL BED PLANTINGS SHALL BE PLANTED WITH TRI-ANGULAR SPACING. SEE PLANT SCHEDULE PLANT SPACING.



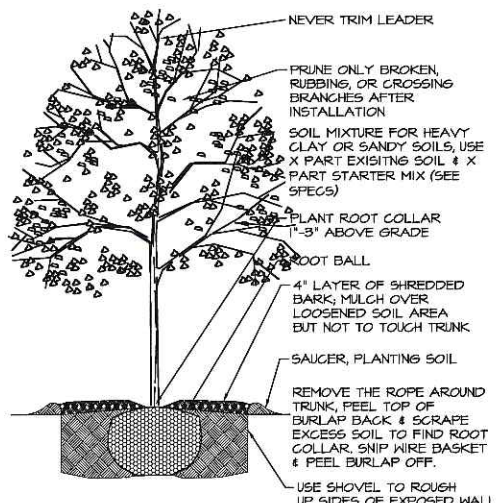
SEE PLANTING SPECIFICATIONS FOR BED ESTABLISHMENT



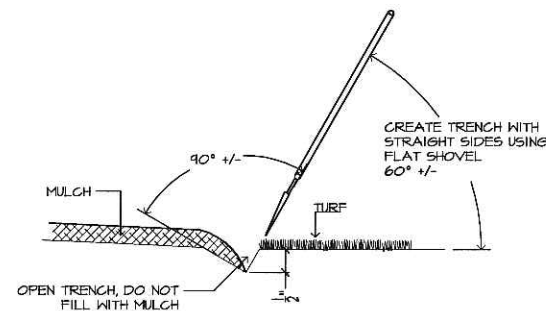
XX **GROUND COVER & PERENNIAL PLANTING**
NTS



XX **EVERGREEN TREE**
NTS



XX **DECIDUOUS TREE**
NTS



XX **SHOVEL-CUT EDGE**
NTS

Landscape Worksheet

Parking Lots, Storage Areas and Loading Areas
(Section 28.24 Uniform General Ordinances)

<small>Project Location/Address</small>	<small>CONTRACT NUMBER</small>
<small>Name of Project</small>	<small>BLDG. #</small>
<small>Plant/Species</small>	<small>DATE RECEIVED BY PUBLIC ENTITY</small>
<small>Address</small>	<small>SOIL SURVEYING DATA</small>

FOR PARKING LOTS WITH GREATER THAN 20 STALLS, LANDSCAPE PLAN MUST BE STAMPED BY A REGISTERED LANDSCAPE ARCHITECT.

1. **Number of Trees Required**
The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Landscaping Elements, determine the number of plants required. (Example: 48.0 points are required for 10 stalls). A point fraction of (.5) or less may be disregarded, while a fraction in excess of (.5) must be rounded up to one point. Trees of 5 points would be rounded down to 48.0 points required.

Number of Parking Stalls _____ **23**

Total Square Footage of the Storage Area
(Shaded by Zone Number (DN) Square Feet) _____ **NA**

Number of Canopy Shade Trees Required (2 - 3 1/2' Caliper)
(See Schedule on reverse side) _____ **2**

2. **Number of Landscaping Points Required**
The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscaping Elements, determine the number of points required. (Example: 48.0 points are required for 10 stalls). A point fraction of (.5) or less may be disregarded, while a fraction in excess of (.5) must be rounded up to one point. Trees of 5 points would be rounded down to 48.0 points required.

The number of points required for **landscaping** is (DN) points for each loading berth.
(See Schedule on reverse side) _____ **NA**

Number of Points Required (See Schedule on reverse side) _____ **112.4**

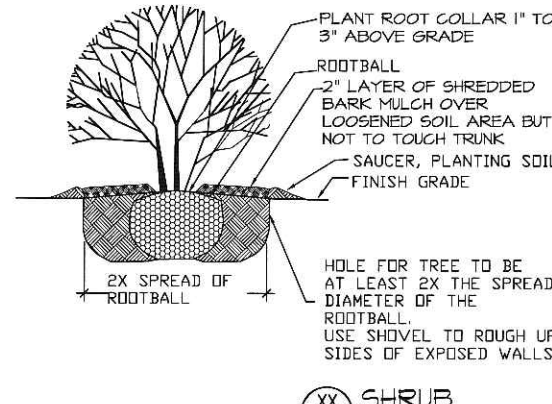
Additional Points and Credits
Additional points for all pertinent landscape elements. Also, credit information for the boundary landscaping and any existing elements to be retained.

Element	Point Value	Points		Credits	
		Quantity	Points	Quantity	Points
Canopy Tree 2" - 3 1/2"	20	(2)	0		
Deciduous Shrub	2	12	24		
Evergreen Shrub	2	31	93		
Deciduous Tree or Shrub (over 10 L.F.)	5				
Earth Berm (over 10 L.F.)	5				
Avg. Height 20'	5				
Avg. Spread 12'	2				
Evergreen Tree	15				
Canopy Tree or Shrub 1 1/2" - 2" Caliper (Oak, Crab, Hawthorn)	15	4	60		
Sub Totals			177		

Total No. of Points Provided (Equal to or greater than points required) **177**

*Trees required in Part 1 above, are not to be included in the point count.

Approved by: _____ Date: _____



XX **SHRUB**
NTS

B&B NOTES: REMOVE THE ROPE AROUND TRUNK, PEEL THE TOP OF BURLAP BACK & SCRAPE EXCESS SOIL TO FIND ROOT COLLAR. SNIP THE WIRE BASKET & PEEL THE BURLAP OFF. SOIL NOTES: SOIL MIXTURE FOR HEAVY CLAY OR SANDY SOILS, USE 1/3 PART EXISTING SOIL REMOVED FROM HOLE & FREE OF DEBRIS & 2/3 PART STARTER MIX. (SEE SPECS FOR STARTER MIX)

CONTAINERIZED NOTES: CUT OR REMOVE CONTAINER, & SET BALL ON UNDISTURBED FLOOR IF ROOT COLLAR IS NOT VISIBLE, SCRAPE EXCESS SOIL AWAY FROM THE TRUNK UNTIL IT IS AND PLANT ACCORDINGLY. BARE ROOT NOTES: INSPECT THE ROOTS & CLIP W/ SHARP HAND PRUNERS THE DAMAGED OR BROKEN PARTS. ELIMINATE ANY ROOTS THAT COULD BECOME A GIRDLING ROOT. SPREAD ROOTS OUT RADIALLY DOWN ON THE UNDISTURBED FLOOR.

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MADISON, WI 53718
GREAT NEIGHBORHOODS, INC.

Sheet Title:
LANDSCAPE DETAILS

Revisions:

No.	Date	Description	By
1	00-00-00	-	ABC

Project Number: 060173	Designed By: GAR
Date Issued: 05-09-06	Reviewed By: GAR

Sheet Number:
LD1