

APPLICATION SUBMISSION REQUIREMENTS CHECKLIST:

In order to be considered complete, every application submission shall include at least the following information unless otherwise waived by the Preservation Planner. **All application materials should be submitted electronically to landmarkscommission@cityofmadison.com**. Please note that an individual email cannot exceed 20 MB.

- Landmarks Commission Application w/signature of the property owner.
- Narrative Description/Letter of Intent addressed to the Landmarks Commission, describing the location of the property and the scope of the proposed project.
 - Photographs of existing conditions;
 - Photographs of existing context;
 - Photographs of comparable historic resources within 200 feet of subject property;
 - Manufacturer's product information showing dimensions and materials.
- Architectural drawings reduced to 11" x 17" or smaller pages which may include:
 - Dimensioned site plans showing siting of structures, grading, landscaping, pedestrian and vehicular access, lighting, mechanicals, signage, and other features;
 - Elevations of all sides showing exterior features and finishes, subsurface construction, floor and roof;
 - Floor Plan views of levels and roof;
 - For proposals of more than two (2) commercial or residential or combination thereof units, a minimum of two (2) accurate street-view normal perspectives shown from a viewpoint of no more than five (5) feet above existing grade.
- Any other information requested by the Preservation Planner to convey the aspects of the project which may include:
 - Perspective drawing
 - Other _____

Landmarks Commission staff will preliminarily review projects related to the construction of additions and/or new construction with Zoning staff in order to determine the completeness of the submission materials. Applicants are encouraged to contact Zoning staff to discuss projects early in the process to ensure the project considered by the Landmarks Commission meets Zoning requirements.

CONTACT THE PRESERVATION PLANNER:

Please contact the Preservation Planner with any questions.

City of Madison Planning Division
215 Martin Luther King Jr Blvd, Suite 017
PO Box 2985 (mailing address)
Madison, WI 53701-2985
landmarkscommission@cityofmadison.com
(608) 266-6552

Letter of Intent

From: McFadden & Company
380 West Washington Avenue Madison, Wisconsin
53703
(608) 251-1350 james@mcfadden.co



To: City of Madison Landmarks Commission

215 Martin Luther King Blvd Madison, Wisconsin
53701

Date: July 6, 2023

Project: New Greenhouse @ 1115 Rutledge
Proposed is a new stand-alone 10'-8" x 12'-8" (135 SF) greenhouse to be installed on new concrete foundation walls located 5' to the rear the existing four-unit residence at 1115 Rutledge.

Owner:
Joan Grosse
1115 Rutledge Street
Madison, WI 53703
jgrosse@chorus.net
(608) 239-5377

Setbacks:
Side yard 10'-8"
Lake 78'-5"

Supplier
Wisconsin Greenhouse Company
2190 Pennsylvania Ave
Madison, WI 53704
(608) 284-7336
troy@wisconsingreenhousecompany.com

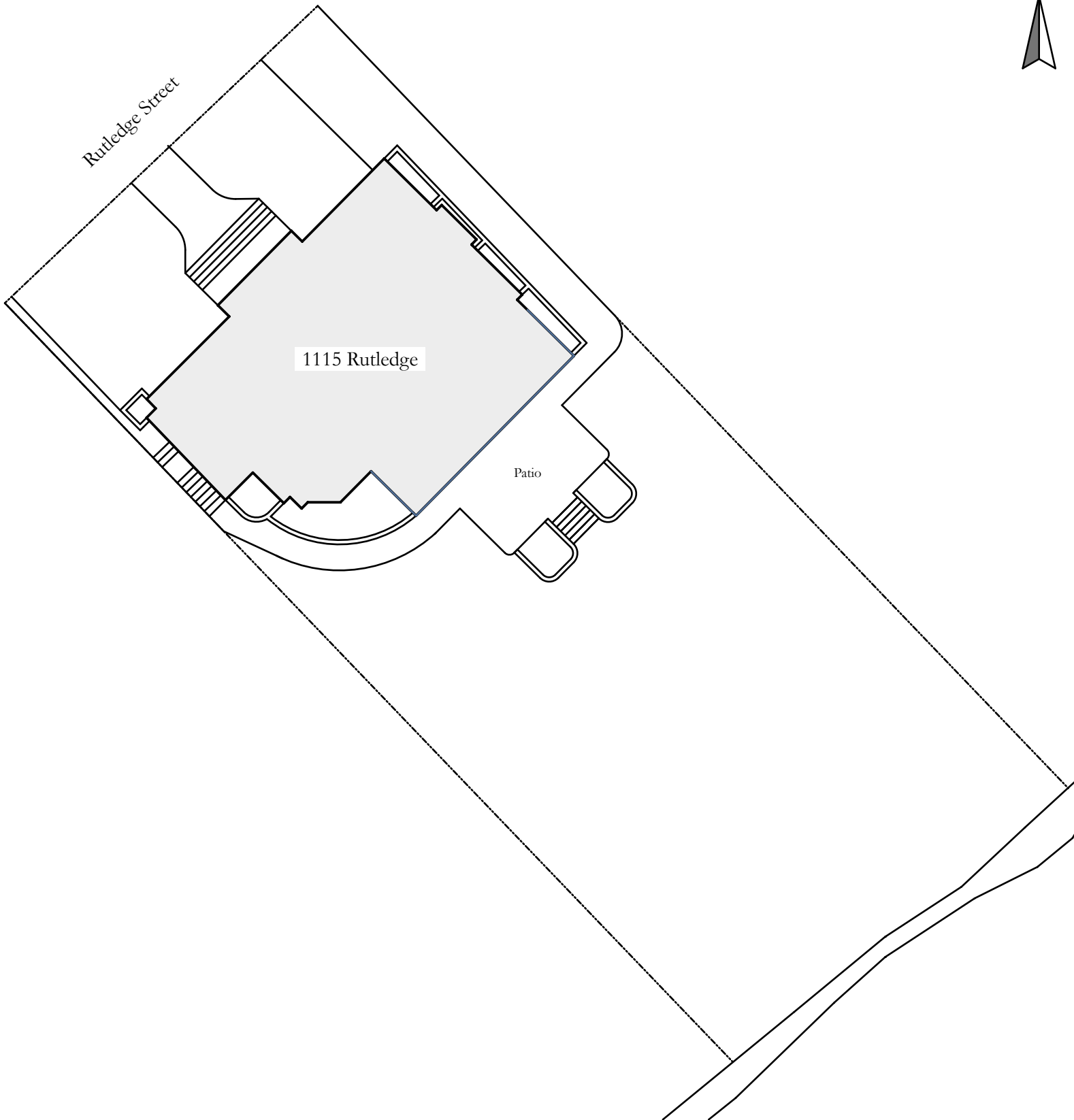
Architect:
James McFadden
McFadden & Company
380 West Washington
Madison, Wisconsin 53703

Construction Schedule:
September 2023



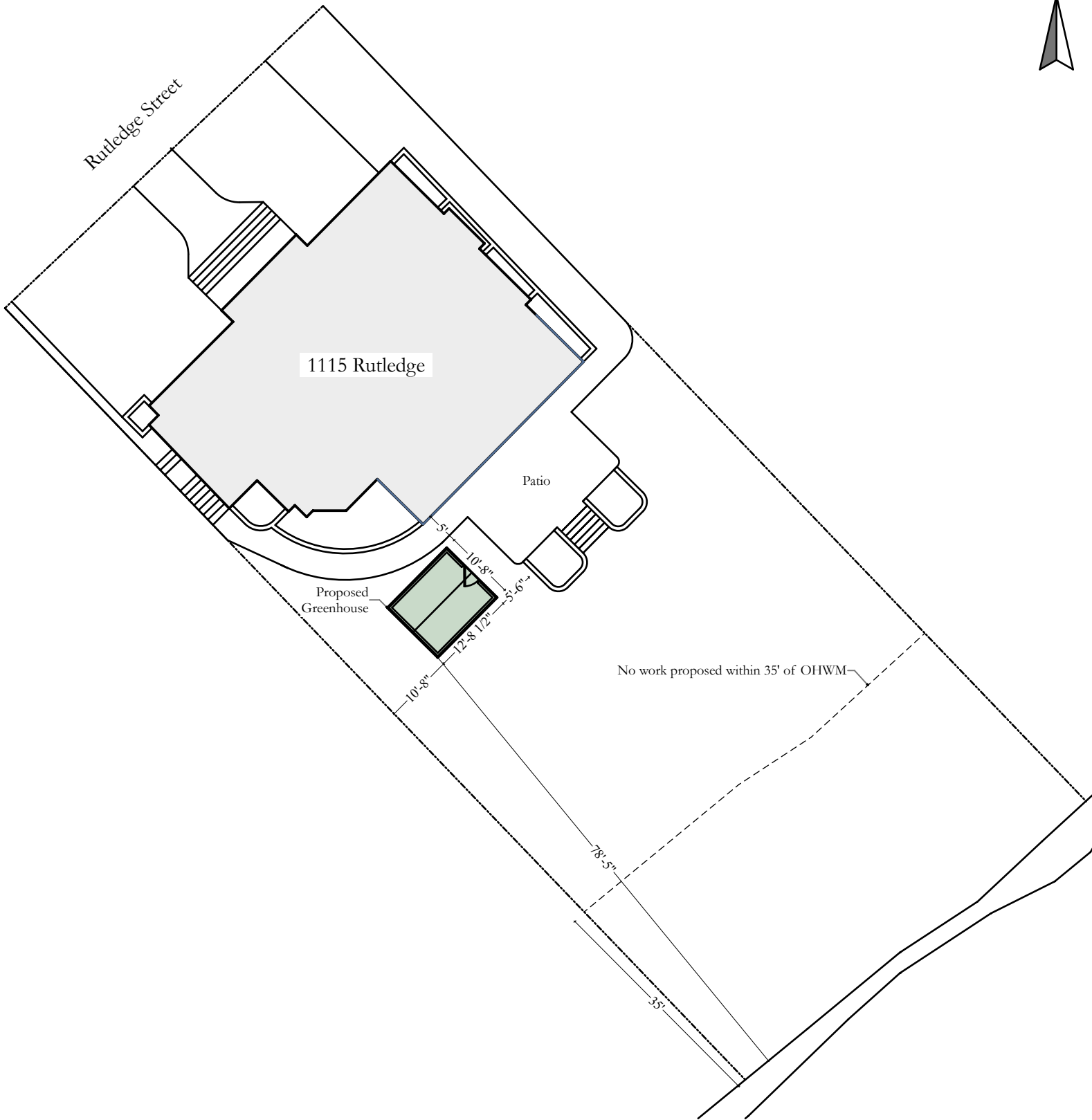


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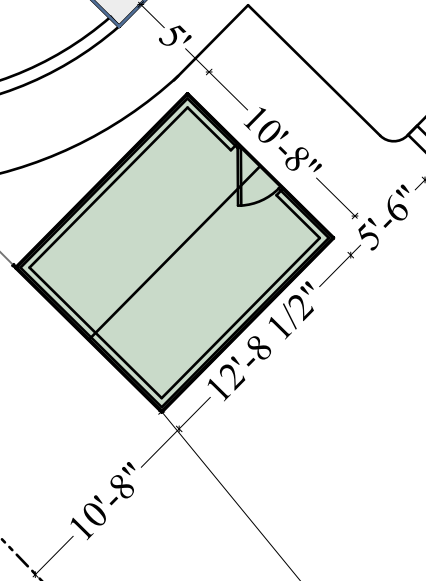


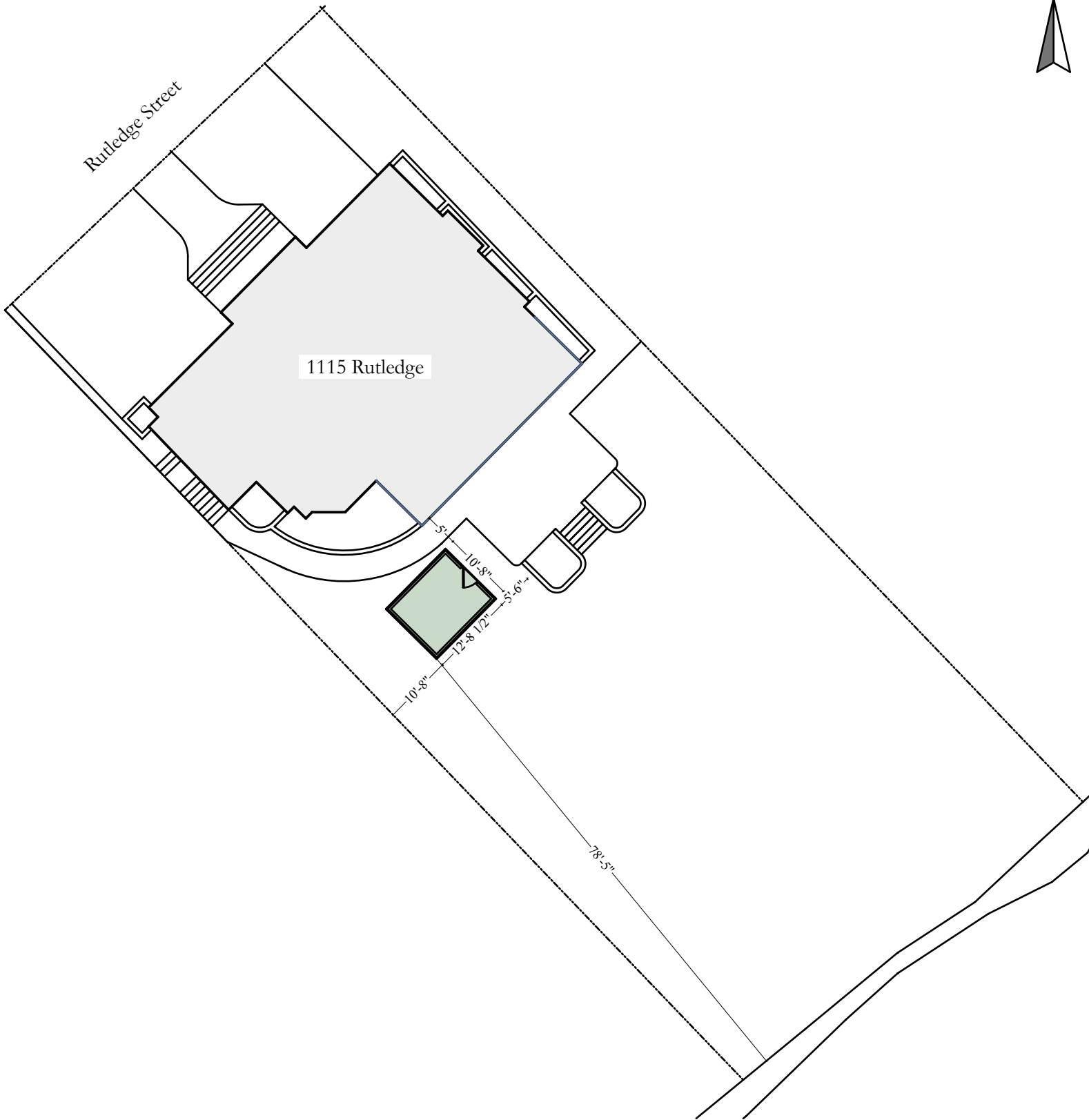


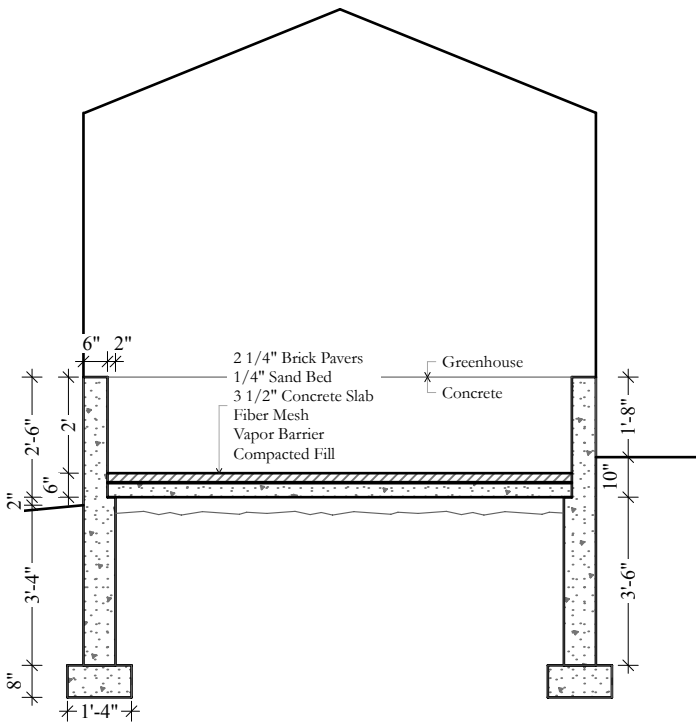
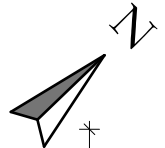
1115 Rutledge

Patio

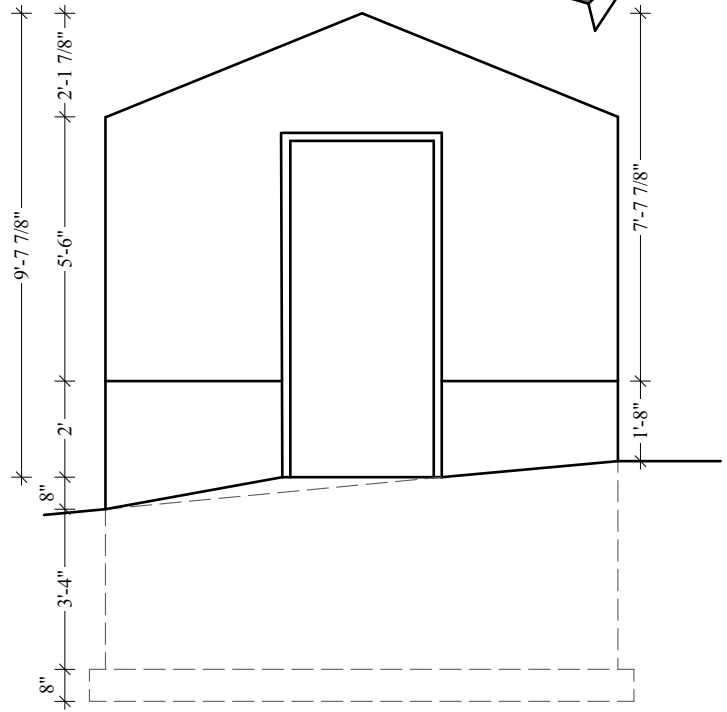
Proposed
Greenhouse



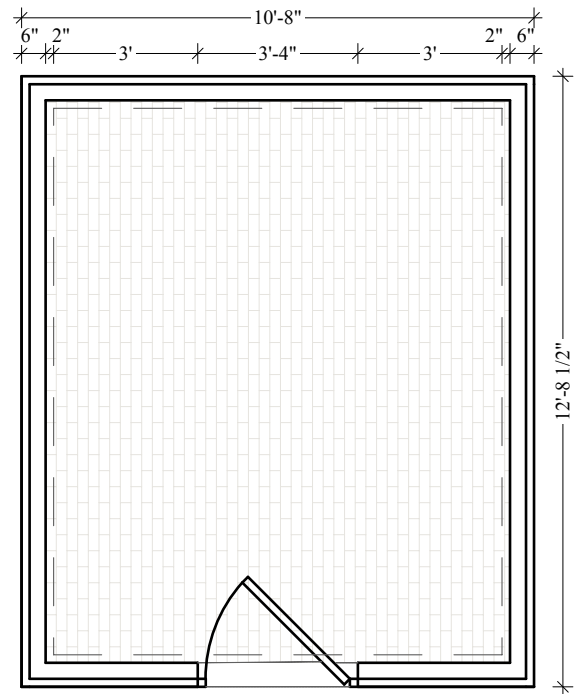




Section



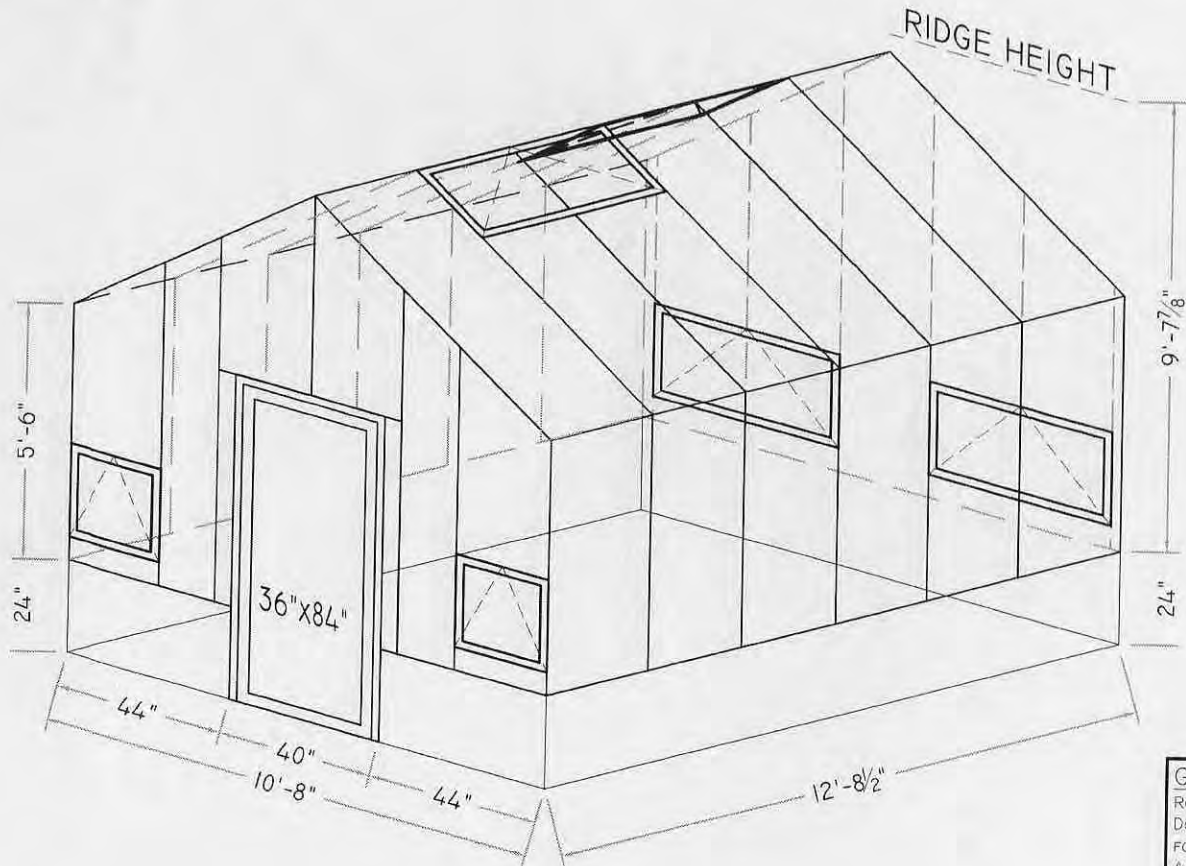
East Elevation



Plan

IMPORTANT NOTES:

- ALL DIMENSIONS ARE TO THE OUTSIDE OF GREENHOUSE FRAME
- FOR LAYOUT PURPOSES ONLY, DRAWING DOES NOT SHOW ALL INFRASTRUCTURE INCLUDED
- SOME ACCESSORIES MAY NEED TO SHIFT POSITION DEPENDING ON INFRASTRUCTURE DESIGN
- FOUNDATION, ELECTRICAL & PLUMBING TO BE PROVIDED BY OTHERS

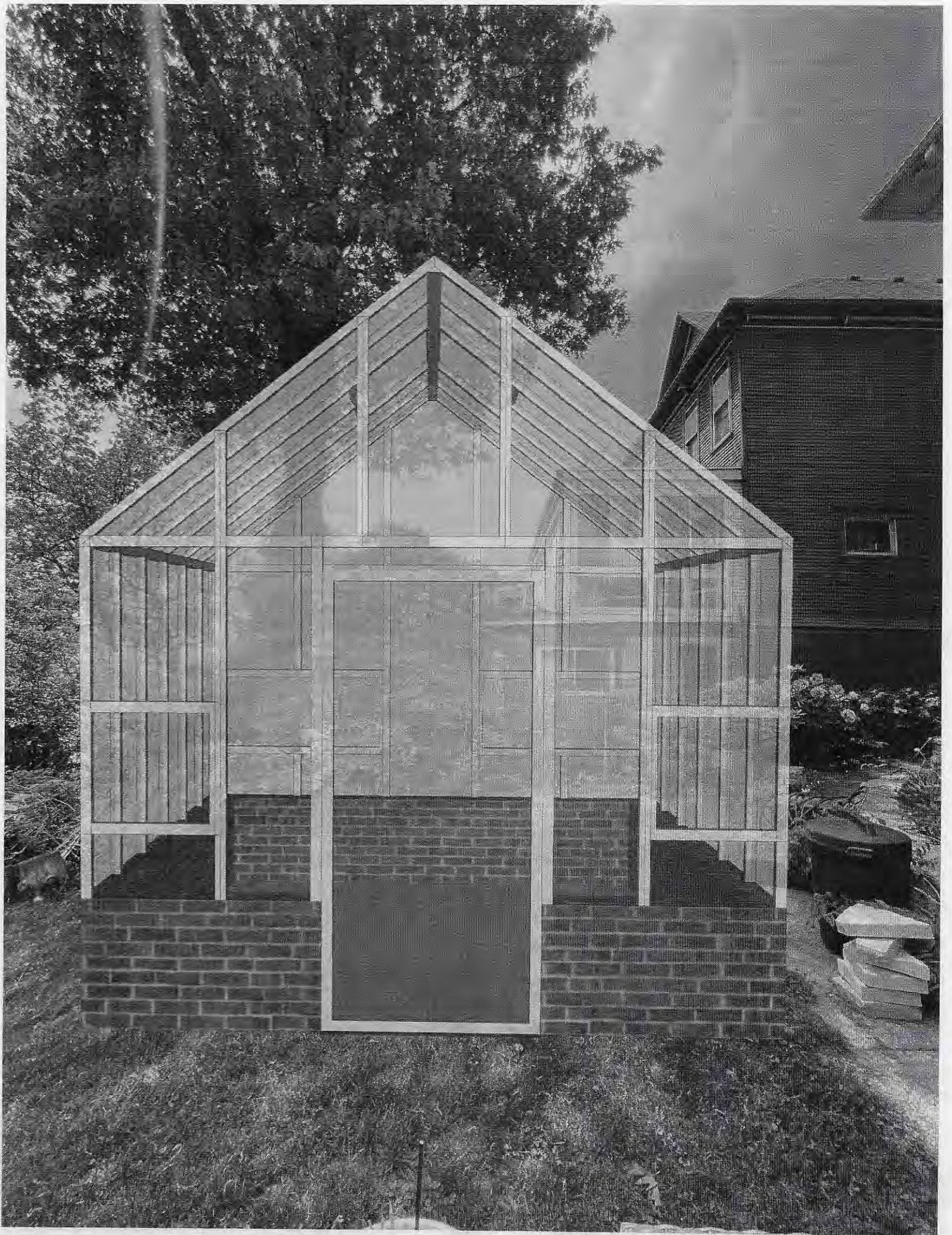


GREENHOUSE DESIGN:	
ROOF SLOPE: 8.5/12	
DOOR DROP: 24"	
FOUNDATION THICKNESS REQUIRED (MINIMUM): TBC	
ACCESSORY LOCATIONS CONFIRMED: TBC	
FOUNDATION DESIGN & NOTES:	
TYPE: ---	
<ul style="list-style-type: none"> • TOP OF FOUNDATION REQUIRED TO BE SQUARE & LEVEL • DO NOT USE LEVELING STRIPS OR ANCHOR BOLTS IN TOP OF WALL • EXTENDED DOOR THRESHOLD REQUIRED: TBC • FOUNDATION R/O (ROUGH OPENINGS) ALLOW FOR A 1/4" BETWEEN DOORS AND FOUNDATION 	
MODEL	CT1012SG
VIEW	LAYOUT 8.5x11
PAGE	001
DRAWN	NB
CHECK	----

CUSTOMER
WISCONSIN GREENHOUSE CO.
 JOAN GROSSE
 1115 RUTLEDGE STREET
 MADISON, WI
 53703







Bailey, Heather

From: James McFadden <mcfaddenarchitect@gmail.com>
Sent: Monday, August 7, 2023 12:06 PM
To: PLLCApplications
Subject: Re: 1115 Rutledge Green house
Attachments: 1115 Rutledge Greenhouse.pdf; ATT00001.htm

Caution: This email was sent from an external source. Avoid unknown links and attachments.

Meri Rose,

Awaiting updated images from Wisconsin Greenhouse but hopefully these suffice for the moment.

The glazing is clear glass, the framing white and the base concrete.

Will update with addition images when I get them.

James

James McFadden
McFadden & Company
380 W Washington Ave
Madison, Wisconsin 53703
(608) 251-1350