LANDMARKS COMMISSION APPLICATION

Complete all sections of this application, making sure to note the requirements on the accompanying checklist (reverse).

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call (608) 266-4635

1 LOCATION

City of Madison Planning Division 215 Martin Luther King Jr Blvd, Ste 017 PO Box 2985 Madison, WI 53701-2985 (608) 266-4635



I. LOCATION							
Project Address:				Alder District:			
2. <u>PROJECT</u>							
Project Title / Description:							
Project inter Description:							
This is an application for: (cl	heck all that apply)		Le	gistar#:			
□ New Construction/Alte or Designated Landman	eration/Addition in a Local Hist rk (specify):	coric District		P.044			
☐ Mansion Hill	☐ Third Lake Ridge	☐ First Settlement		DATE STA	MP		
☐ University Heights	☐ Marquette Bungalows	☐ Landmark					
or to Designated Landn			۲۸				
☐ Mansion Hill	☐ Third Lake Ridge	☐ First Settlement	SE ON				
☐ University Heights	☐ Marquette Bungalows	☐ Landmark	DPCED USE ONLY				
□ Demolition			DPC				
☐ Development adjacent	to a Designated Landmark						
\square Variance from the Histo	oric Preservation Ordinance (C	Chapter 41)					
	Rescission or Historic District storic Preservation Planner for spe						
☐ Informational Presenta	ation						
☐ Other (specify):							
3. <u>APPLICANT</u>							
Applicant's Name:		Company:					
Address:							
(dd) C331	Street		City	State	Zip		
Telephone:		Email:					
Property Owner (if not appli	icant):						
Address:							
Property Owner's Signature	Street Jan C	Trosse	City Date:	State	Zip		

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

4. APPLICATION SUBMISSION REQUIREMENTS (see checklist on reverse)

All applications must be filed by 12:00pm on the submission date with the Preservation Planner. Applications submitted after the submission date *or* incomplete applications will be postponed to the next scheduled filing time. Submission deadlines can be viewed here: https://www.cityofmadison.com/dpced/planning/documents/LC Meeting Schedule Dates.pdf

In un	PLICATION SUBMISSION REQUIREMENTS CHECKLIST: order to be considered complete, every application submission shall include at least the following information less otherwise waived by the Preservation Planner. All application materials should be submitted electronically to admarkscommission@cityofmadison.com. Please note that an individual email cannot exceed 20 MB.
	Landmarks Commission Application w/signature of the property owner.
	Narrative Description/Letter of Intent addressed to the Landmarks Commission, describing the location of the property and the scope of the proposed project.
	□ Photographs of existing conditions;
	□ Photographs of existing context;
	□ Photographs of comparable historic resources within 200 feet of subject property;
	☐ Manufacturer's product information showing dimensions and materials.
	Architectural drawings reduced to 11" x 17" or smaller pages which may include:
	□ Dimensioned site plans showing siting of structures, grading, landscaping, pedestrian and vehicular access, lighting, mechanicals, signage, and other features;
	☐ Elevations of all sides showing exterior features and finishes, subsurface construction, floor and roof;
	☐ Floor Plan views of levels and roof;
	□ For proposals of more than two (2) commercial or residential or combination thereof units, a minimum of two (2) accurate street-view normal perspectives shown from a viewpoint of no more than five (5) feet above existing grade.
	Any other information requested by the Preservation Planner to convey the aspects of the project which may include:
	□ Perspective drawing
	□ Other

Landmarks Commission staff will preliminarily review projects related to the construction of additions and/or new construction with Zoning staff in order to determine the completeness of the submission materials. Applicants are encouraged to contact Zoning staff to discuss projects early in the process to ensure the project considered by the Landmarks Commission meets Zoning requirements.

CONTACT THE PRESERVATION PLANNER:

Please contact the Preservation Planner with any questions.

City of Madison Planning Division 215 Martin Luther King Jr Blvd, Suite 017 PO Box 2985 (mailing address) Madison, WI 53701-2985 landmarkscommission@cityofmadison.com (608) 266-6552

Letter of Intent

From: McFadden & Company

380 West Washington Avenue Madison, Wisconsin

53703

(608) 251-1350 james@mcfadden.co

To: City of Madison Landmarks Commission

215 Martin Luther King Blvd Madison, Wisconsin

53701

Date:

July 6, 2023

Project:

New Greenhouse @ 1115 Rutledge

Proposed is a new stand-alone 10'-8' x 12'-8" (135 SF) greenhouse to be installed on new concrete foundation walls located 5' to the rear the existing four-unit residence at 1115 Rutledge.

Owner:

Joan Grosse 1115 Rutledge Street Madison, WI 53703 jgrosse@chorus.net (608) 239-5377

Setbacks:

Side yard 10'-8" Lake 78'-5"

Supplier

Wisconsin Greenhouse Company 2190 Pennsylvania Ave Madison, WI 53704 (608) 284-7336 troy@wisconsingreenhousecompany.com

Architect:

James McFadden McFadden & Company 380 West Washington Madison, Wisconsin 53703

Construction Schedule:

September 2023

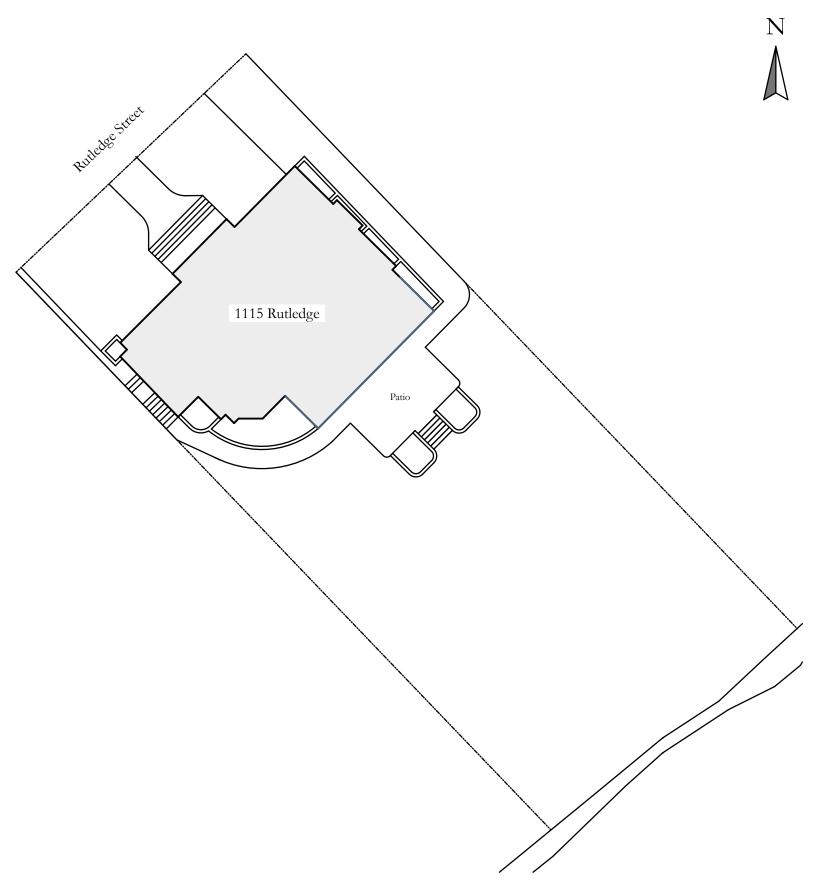


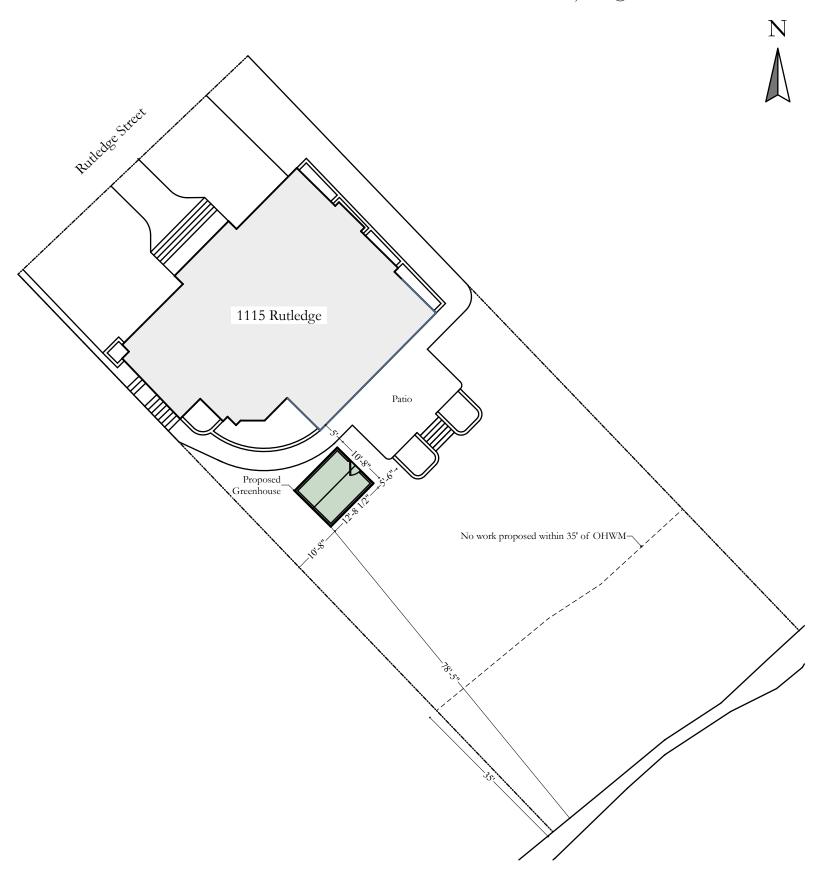


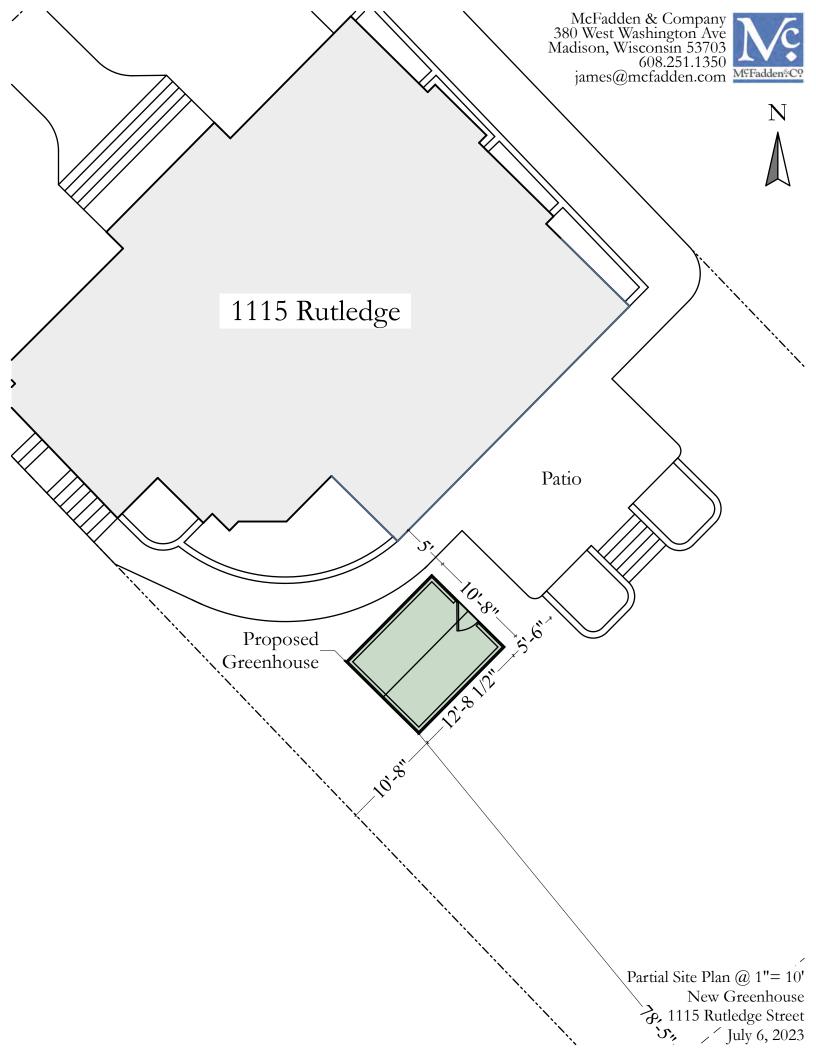


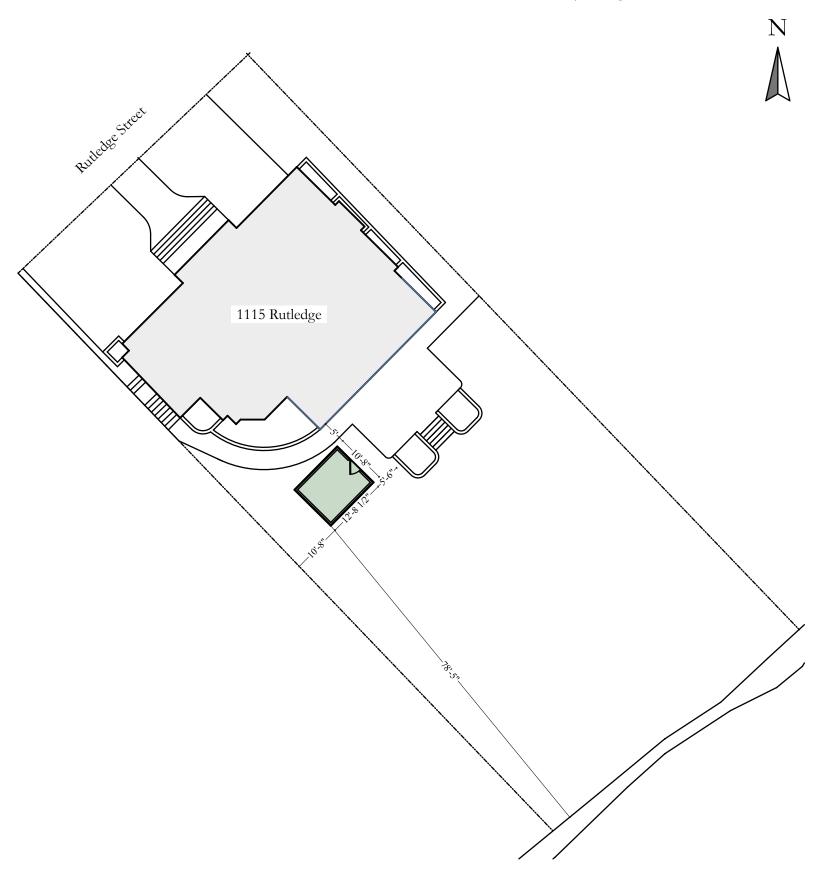


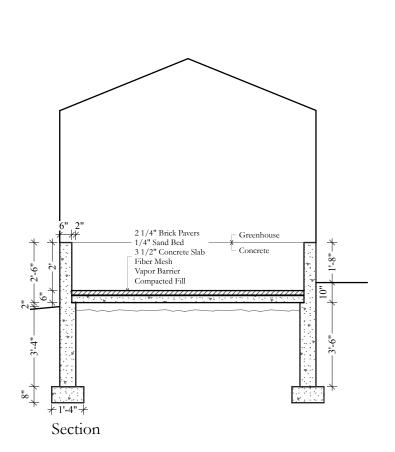


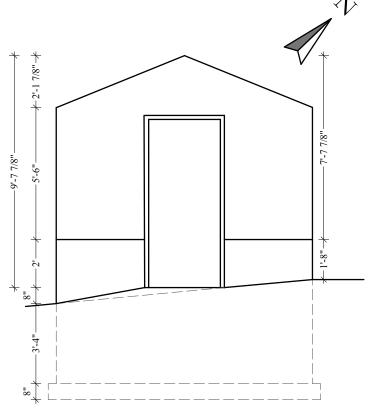




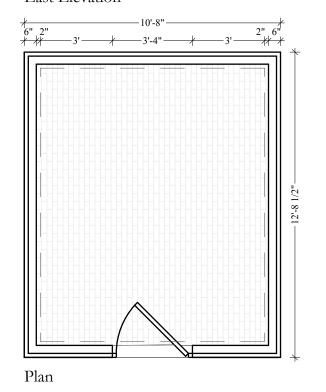








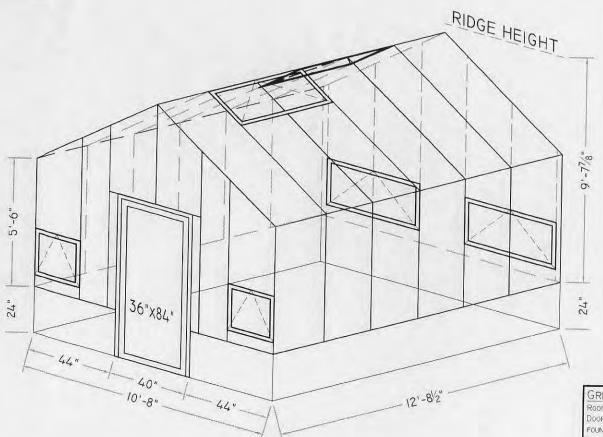
East Elevation



Plan, Section & Elevation @ 1/4" - 1'-0" New Greenhouse 1115 Rutledge Street July 6, 2023

IMPORTANT NOTES:

- · ALL DIMENSIONS ARE TO THE OUTSIDE OF GREENHOUSE FRAME
- · FOR LAYOUT PURPOSES ONLY, DRAWING DOES NOT SHOW ALL INFRASTRUCTURE INCLUDED
- . SOME ACCESSORIES MAY NEED TO SHIFT POSITION DEPENDING ON INFRASTRUCTURE DESIGN
- FOUNDATION, ELECTRICAL & PLUMBING TO BE PROVIDED BY





ROOF SLOPE: 8.5/12

Door Drop: 24"

FOUNDATION THICKNESS REQUIRED (MINIMUM): TBC ACCESSORY LOCATIONS CONFIRMED: TBC

FOUNDATION DESIGN & NOTES:

TYPE: ----

- . TOP OF FOUNDATION REQUIRED TO BE SQUARE & LEVEL
- . DO NOT USE LEVELING STRIPS OR ANCHOR BOLTS IN TOP
- . EXTENDED DOOR THRESHOLD REQUIRED: TBC
- . FOUNDATION R/O (ROUGH OPENINGS) ALLOW FOR A Z

WISCONSIN GREENHOUSE CO. JOAN GROSSE

III5 RUTLEDGE STREET MADISON, WI 53703

CTI012SG

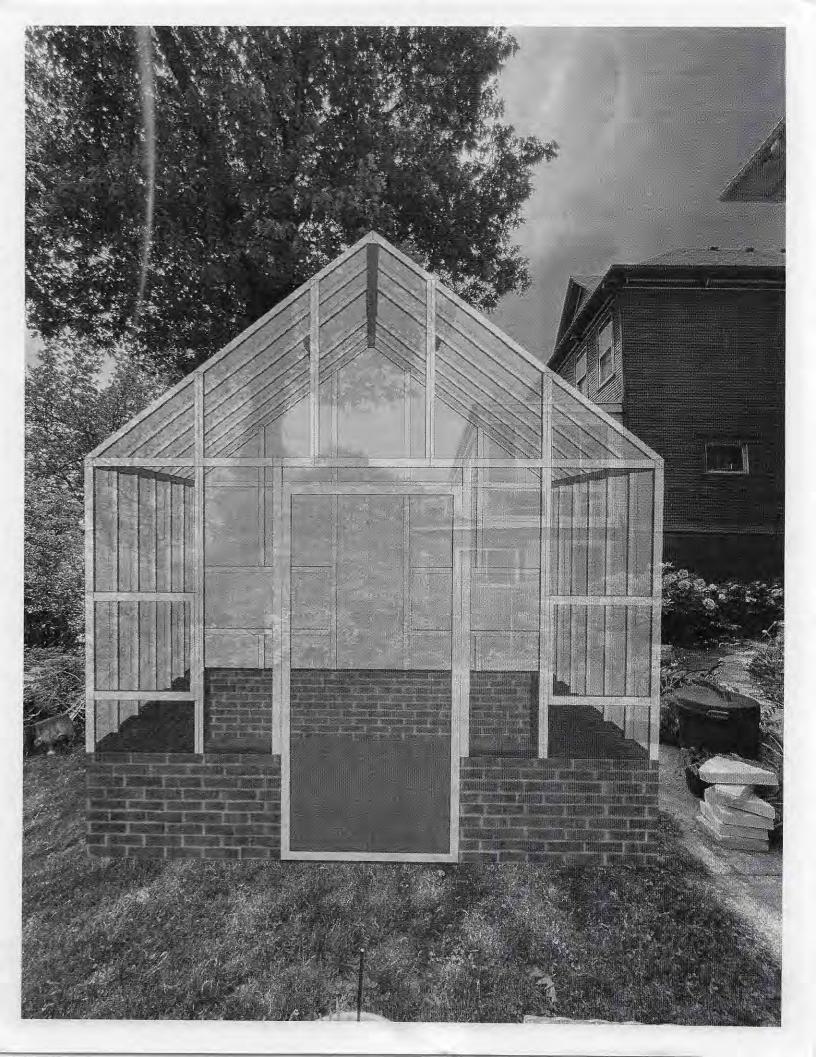
LAYOUT 8.5XII

001

DRAWN NB CHECK -







Bailey, Heather

From: James McFadden < mcfaddenarchitect@gmail.com>

Sent: Monday, August 7, 2023 12:06 PM

To: PLLCApplications

Subject: Re: 1115 Rutledge Green house

Attachments: 1115 Rutledge Greenhouse.pdf; ATT00001.htm

Caution: This email was sent from an external source. Avoid unknown links and attachments.

Meri Rose,

Awaiting updated images from Wisconsin Greenhouse but hopefully these suffice for the moment.

The glazing is clear glass, the framing white and the base concrete.

Will update with addition images when I get them.

James

James McFadden McFadden & Company 380 W Washington Ave Madison, Wisconsin 53703 (608) 251-1350