

# Dane County Jail Consolidation South Tower Addition & Public Safety Building Renovation

115 W. Doty Street  
Madison, WI 53703

October 31, 2022 Land Use Application

Dane County Public Works  
Project No.: 318025

Mead & Hunt Project No.:  
4215400-161957.01

**Mead & Hunt**

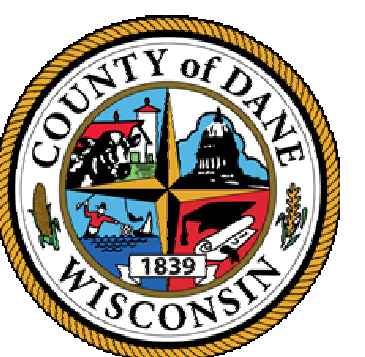
Mead & Hunt, Inc.  
2440 Deming Way  
Middleton, WI 53562  
phone: 608-273-6380  
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Success by Design

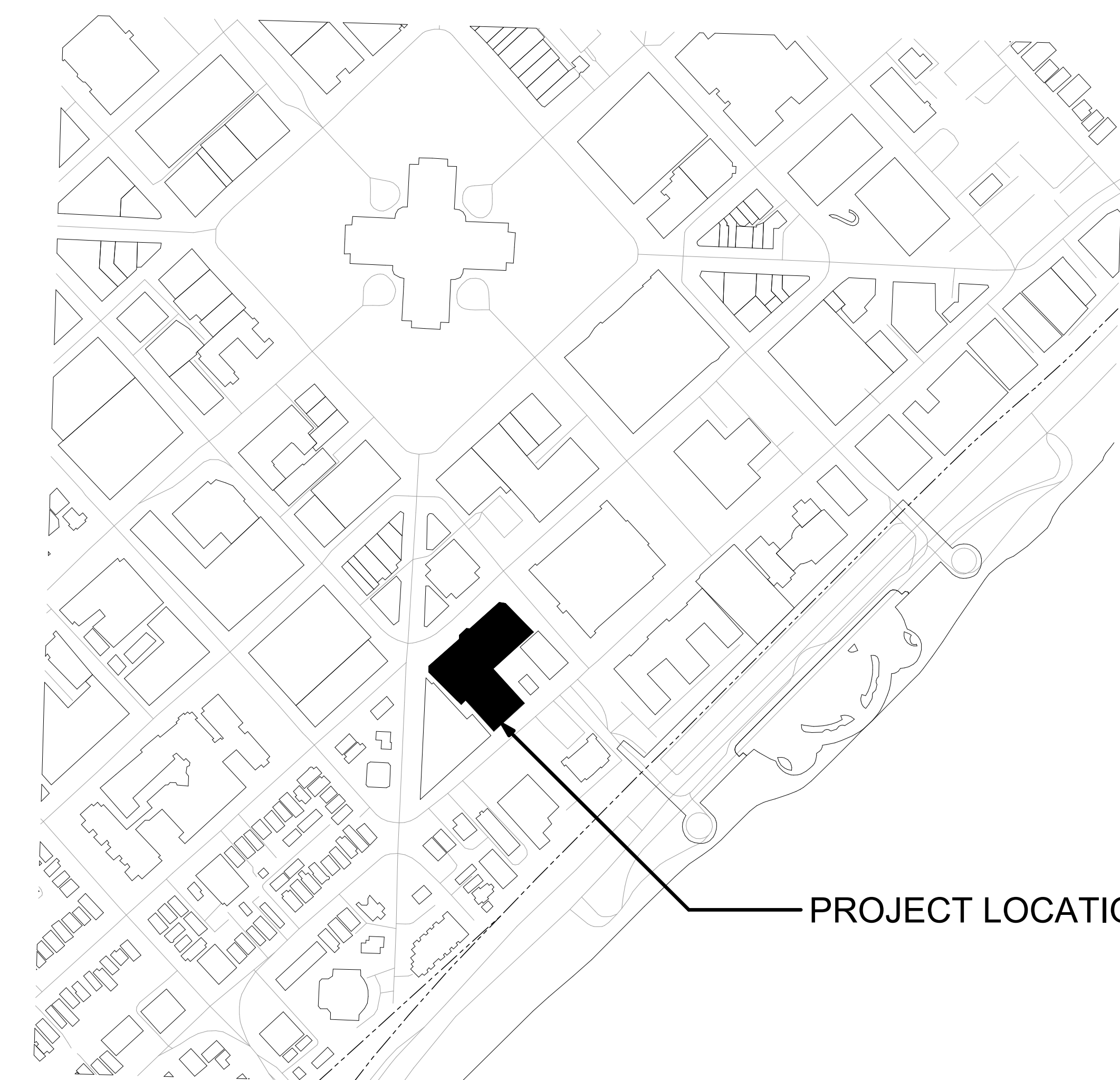
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DANE COUNTY DEPT. OF  
PUBLIC WORKS, HIGHWAY &  
TRANSPORTATION  
1919 ALLIANT ENERGY  
CENTER WAY  
MADISON, WI 53713  
PROJECT NO. 318025

DWG #	Drawing Title	DWG #	Drawing Title	DWG #	Drawing Title
<b>GENERAL</b>					
LU-CD	COVER DRAWING				
<b>CIVIL</b>					
C001	EXISTING CONDITIONS				
C002	ENLARGED EXISTING CONDITIONS - AREA A				
C003	ENLARGED EXISTING CONDITIONS - AREA B				
C101	ENLARGED DEMOLITION PLAN - AREA A				
C102	ENLARGED DEMOLITION PLAN - AREA B				
C201	OVERALL SITE PLAN				
C202	ENLARGED SITE PLAN - AREA A				
C203	ENLARGED SITE PLAN - AREA B				
C301	ENLARGED GRADING PLAN - AREA A				
C302	ENLARGED GRADING PLAN - SUB-BASEMENT 2 - AREA B				
C401	UTILITIES PLAN				
C402	UTILITIES PLAN				
C501	OVERALL FIRE ACCESS EXHIBIT				
C901	VEHICLE TURNING RADIUS EXHIBITS				
<b>ARCHITECTURAL</b>					
LU-A001	CONTEXT PHOTOS - EXISTING CONDITIONS				
LU-A002	ILLUSTRATIVE SITE PLAN				
LU-A003	AERIAL VIEWS				
LU-A004	BUILDING PERSPECTIVES				
LU-A005	BUILDING PERSPECTIVES				
LU-A101	FLOOR PLANS				
LU-A102	FLOOR PLANS				
LU-A103	FLOOR PLANS				
LU-A104	FLOOR PLANS				
LU-A105	FLOOR PLANS				
LU-A201	BUILDING ELEVATION - NORTH				
LU-A202	BUILDING ELEVATION - EAST				
LU-A203	BUILDING ELEVATION - SOUTH				
LU-A204	BUILDING ELEVATION - WEST				
LU-A205	BUILDING ELEVATION - NORTH COLOR				
LU-A206	BUILDING ELEVATION - EAST COLOR				
LU-A207	BUILDING ELEVATION - SOUTH COLOR				
LU-A208	BUILDING ELEVATION - WEST COLOR				
<b>ELECTRICAL</b>					
ES-1	SITE LIGHTING				
ES-2	SITE LIGHTING PHOTOMETRIC PLAN WILSON STREET ENTRANCE				
ES-3	SITE LIGHTING SUBMITTAL (FIXTURES)				



PROJECT LOCATION

Dane County Jail Consolidation  
South Tower Addition & Public Safety  
Building Renovation  
115 W. Doty Street  
Madison, WI 53703

ISSUED  
10/31/2022 LAND USE  
APPLICATION

NOT FOR CONSTRUCTION

MM# NO: 4215400-161957.01  
DATE: 10/31/2022  
DESIGNED BY: JDH  
DRAWN BY: EML  
CHECKED BY: JDH

DO NOT SCALE DRAWINGS  
SHEET CONTENTS  
COVER DRAWING

SHEET NO:

LU-CD





View of Dane County Courthouse along West Wilson Street



Context View from John Nolen Drive



Dane County Courthouse



View of 111 West Wilson (Left) and 131 West Wilson (Right)



View of Public Safety Building from West Wilson Street



View of 112 West Wilson Street





VIEW FROM FAIRCHILD



VIEW FROM JOHN NOLEN



SOUTH ELEVATION



VIEW FROM DOHS



FACADE DETAIL

**Mead & Hunt**

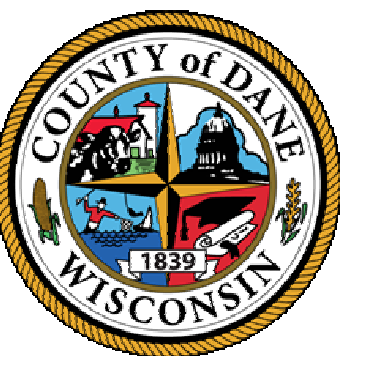
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SHEET CONTENTS  
BUILDING  
PERSPECTIVES

SHEET NO.:

**LU-A004**





STREET LEVEL EAST



STREET LEVEL WEST



STREET LEVEL EAST AT DUSK



STREET LEVEL WEST AT DUSK

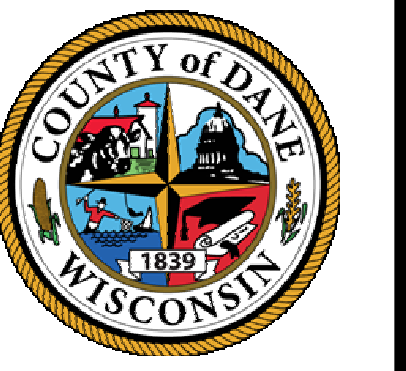
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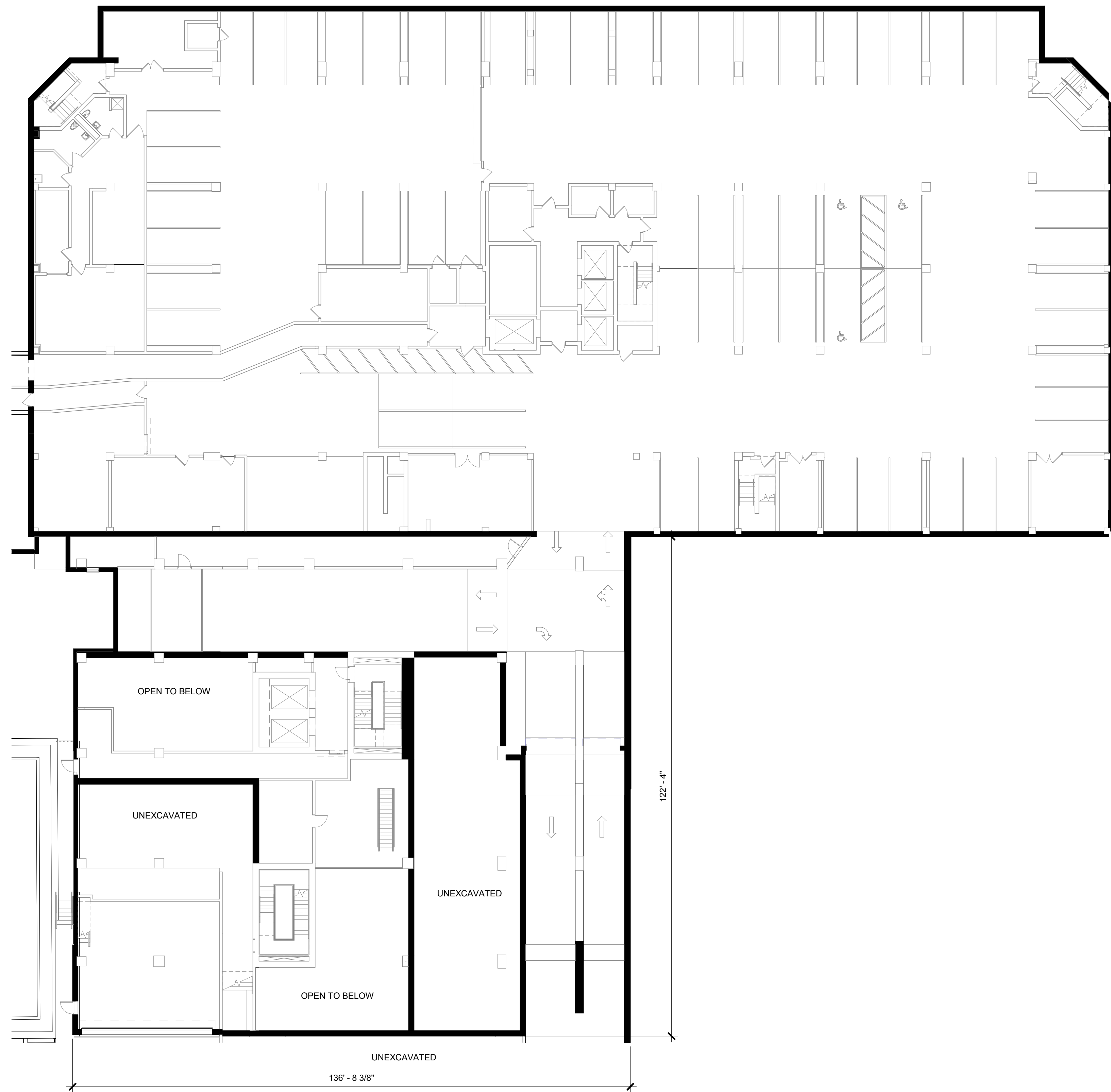
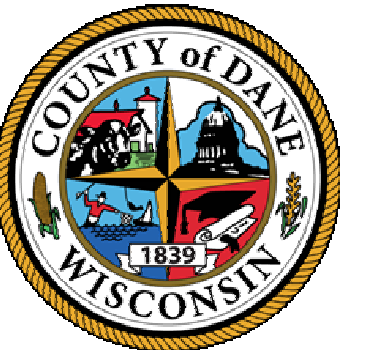
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BUILDING  
PERSPECTIVES

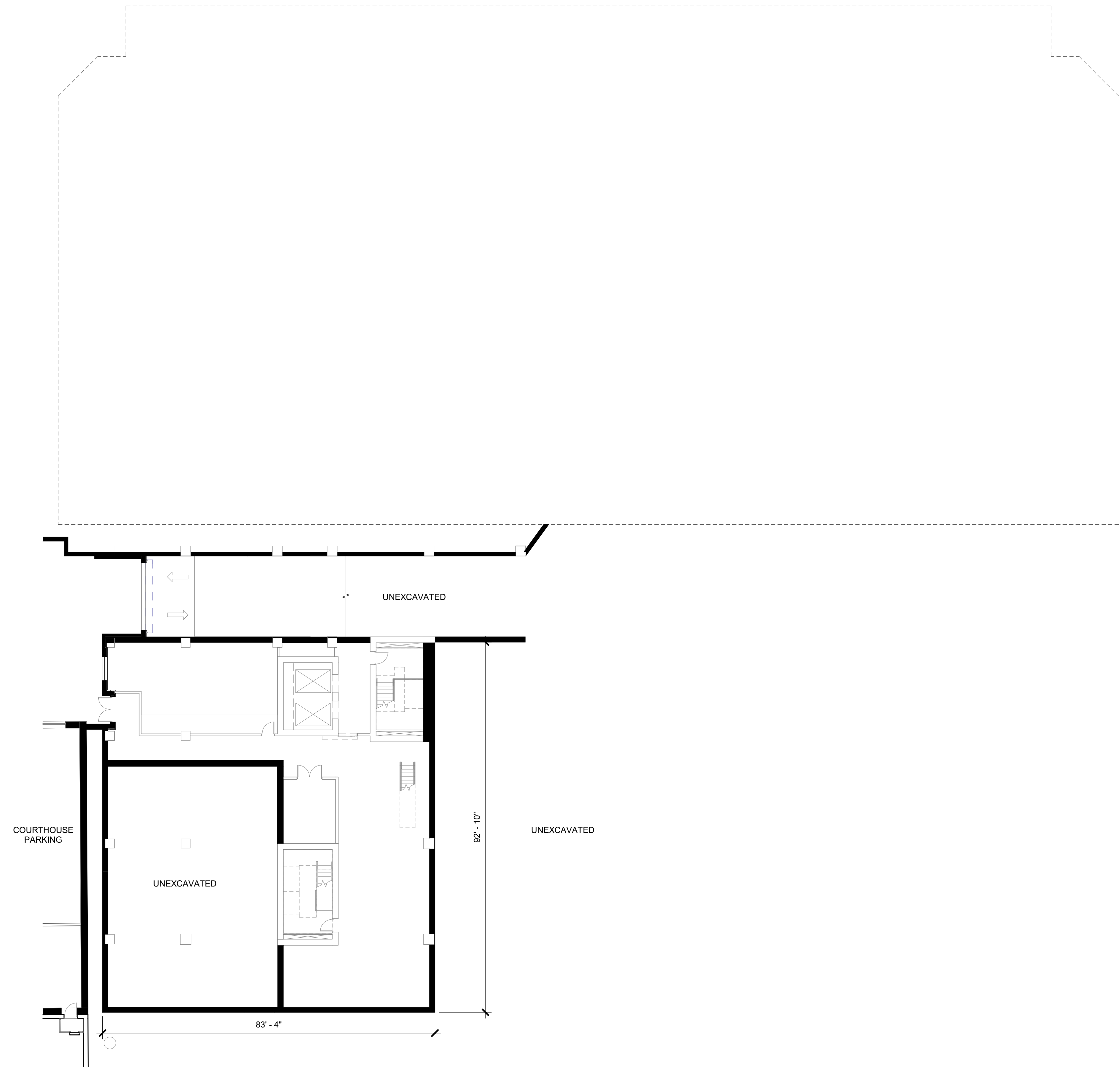
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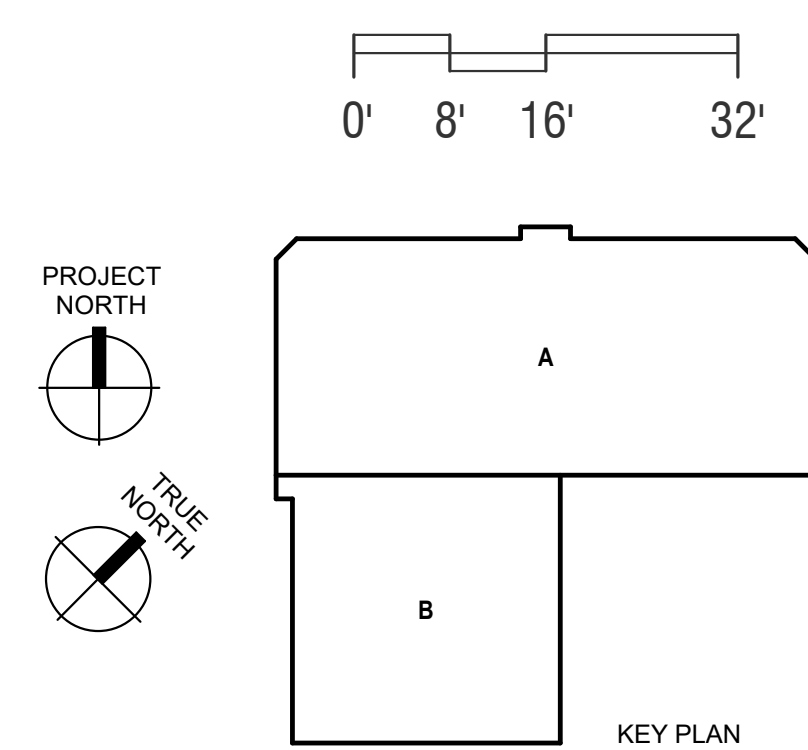




**2** SUB-BASEMENT FLOOR PLAN  
LU-A101 1/16" = 1'-0"

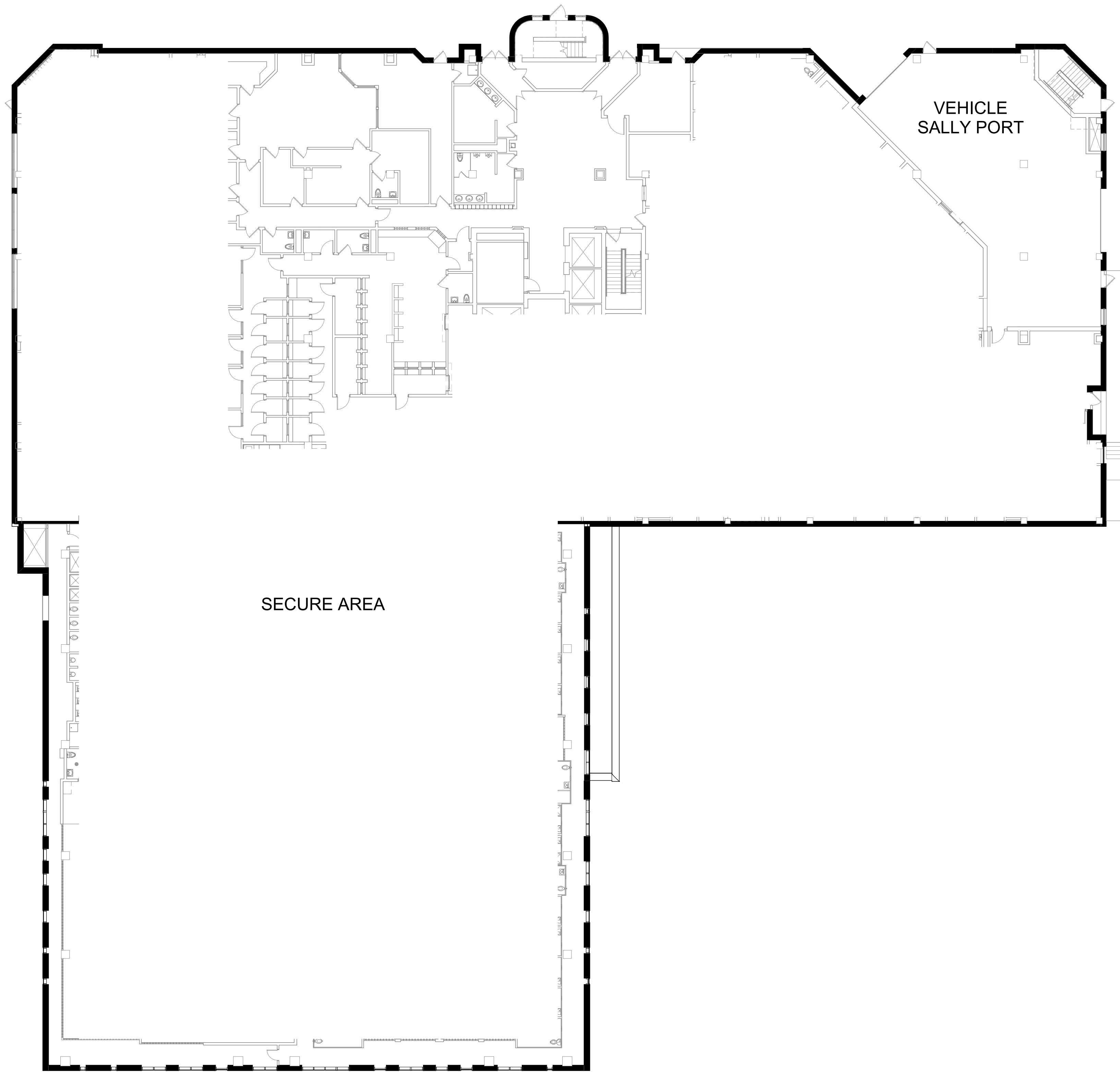


**1** SUB-BASEMENT 2 FLOOR PLAN  
LU-A101 1/16" = 1'-0"

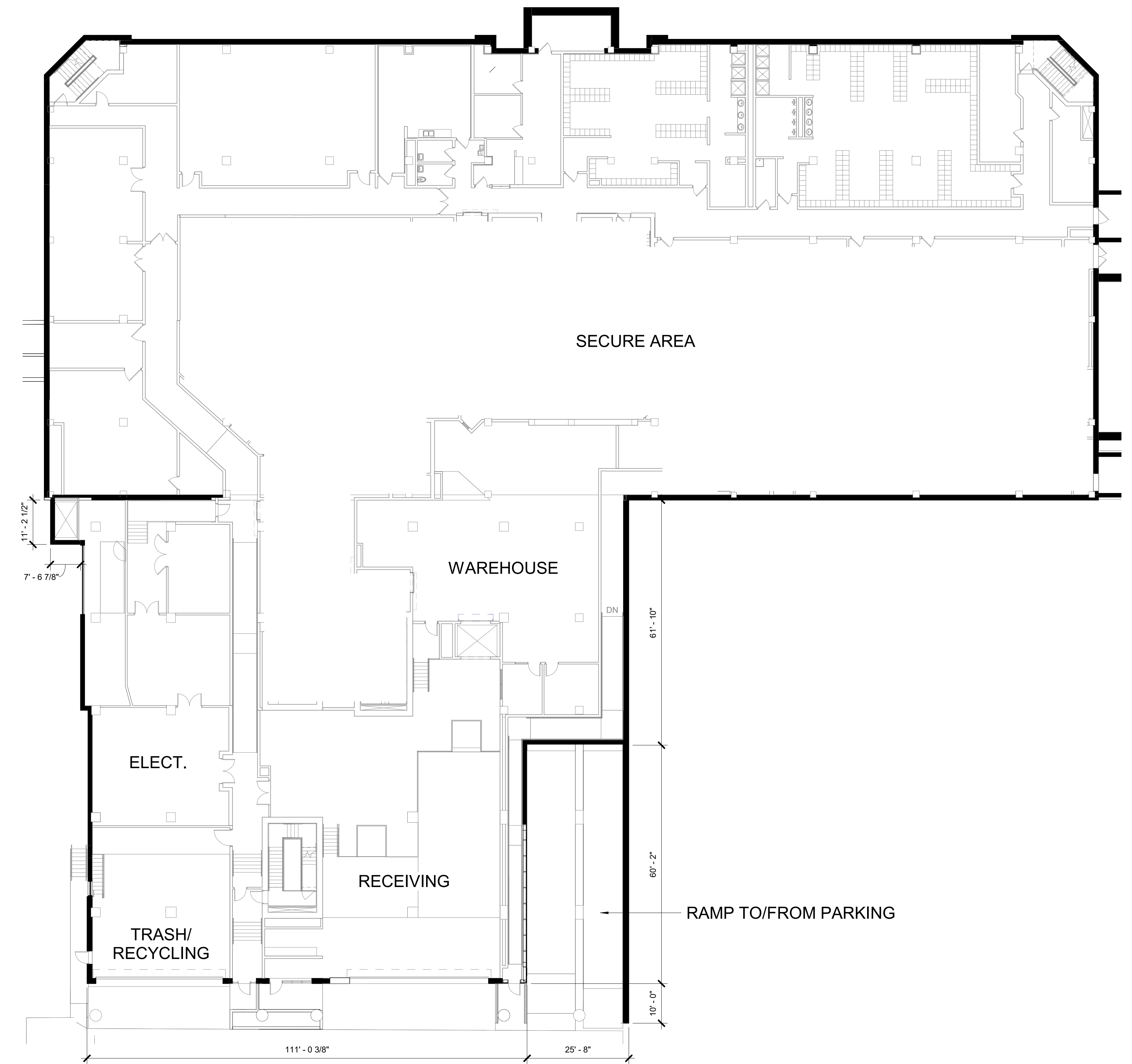


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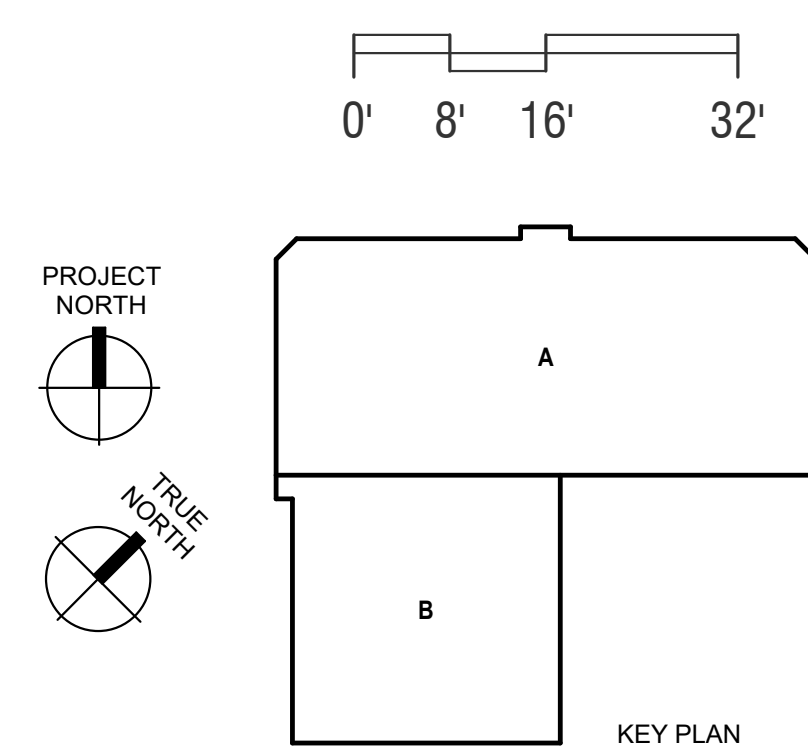




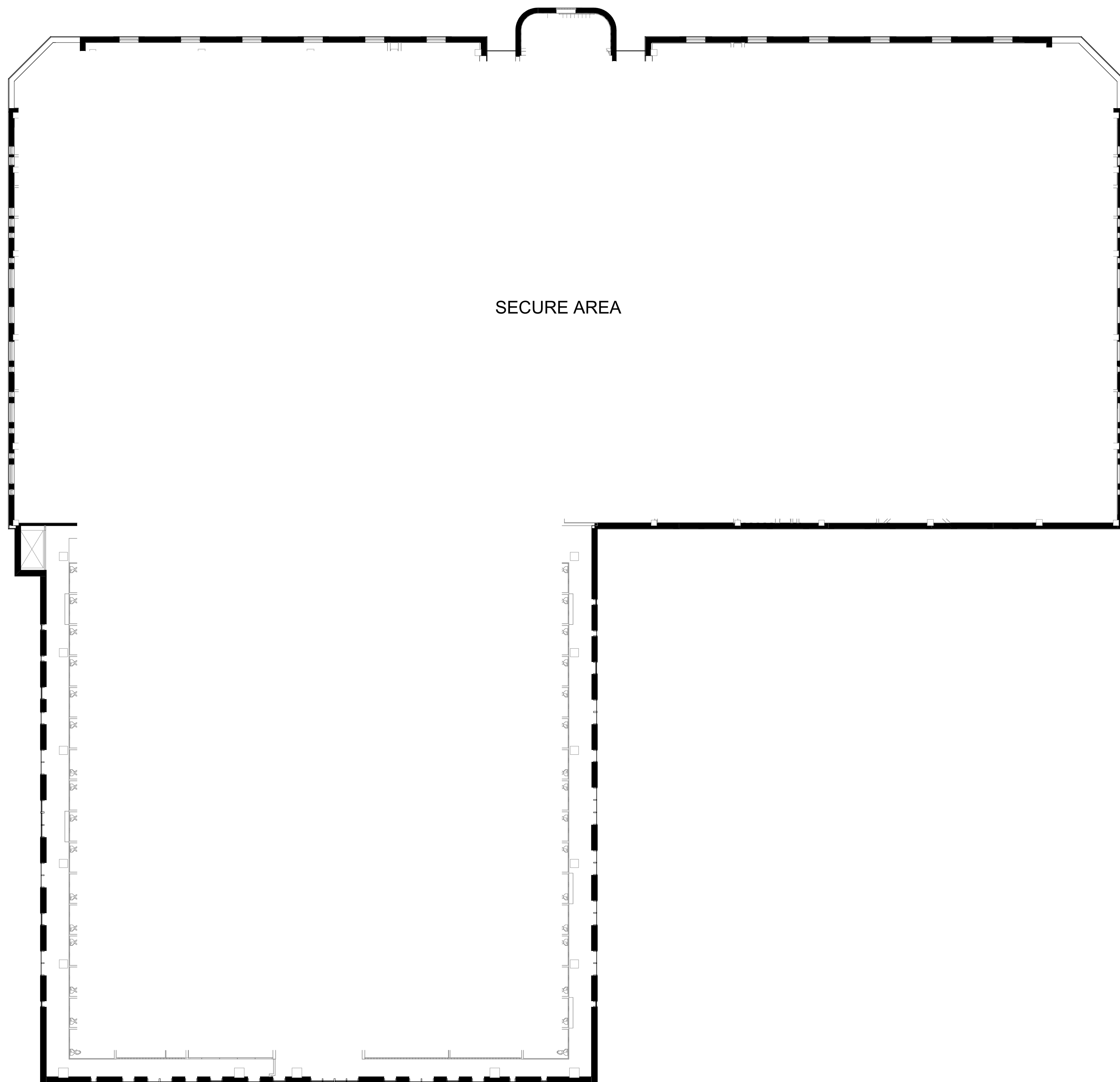
**2** FIRST FLOOR PLAN  
 LU-A102 1/16" = 1'-0"



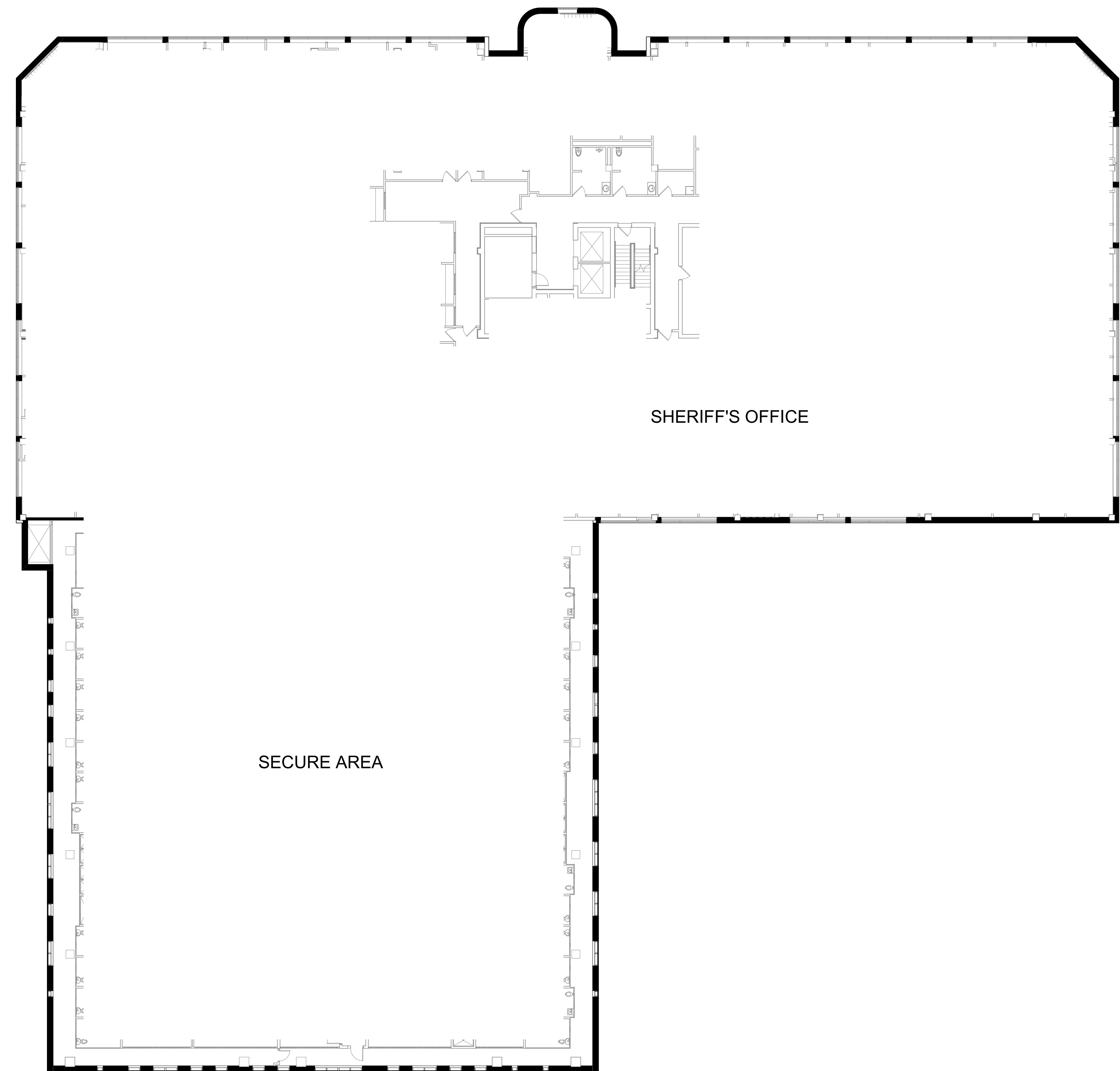
**1** BASEMENT FLOOR PLAN  
 LU-A102 1/16" = 1'-0"



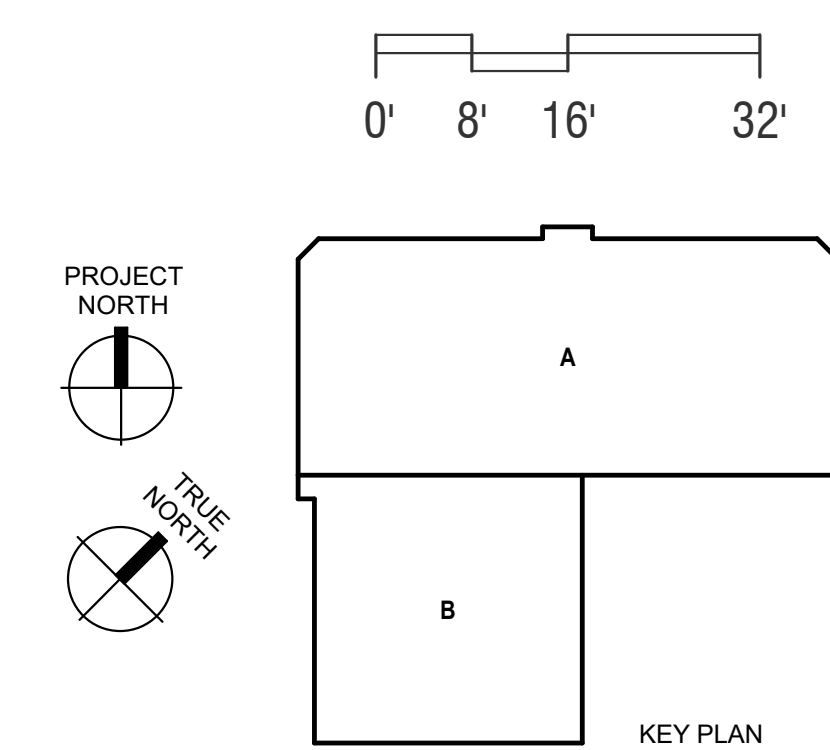




2 THIRD FLOOR PLAN  
LU-A103 1/16" = 1'-0"



1 SECOND FLOOR PLAN  
LU-A103 1/16" = 1'-0"

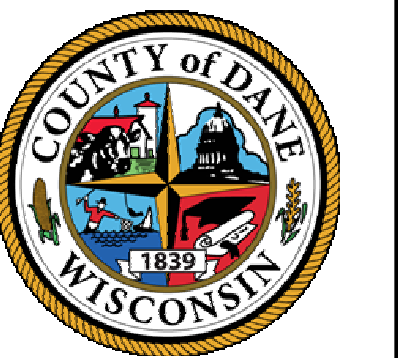


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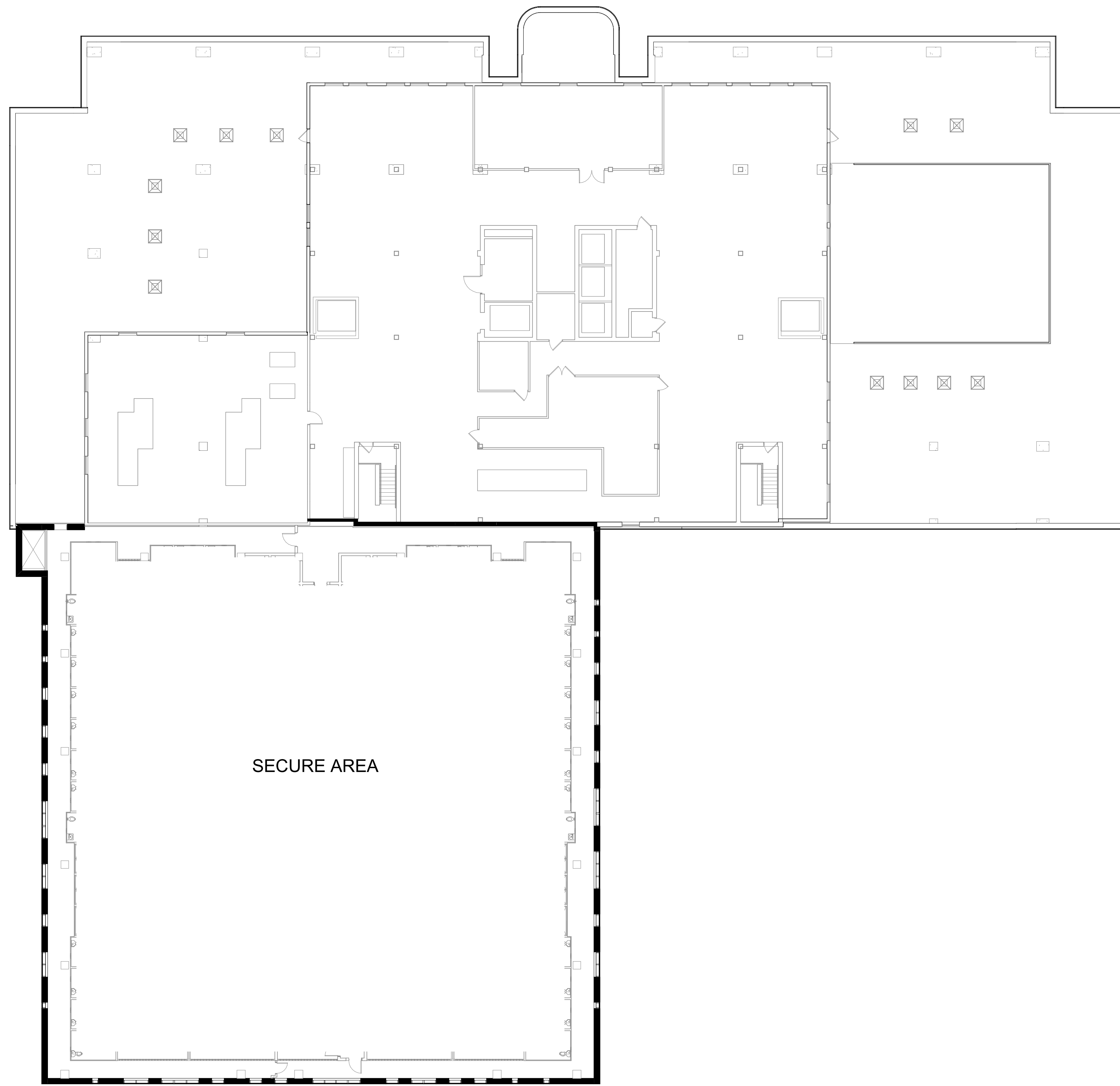
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DESIGNED BY: Designer  
DRAWN BY: Author  
CHECKED BY: Checker  
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SHEET CONTENTS  
FLOOR PLANS

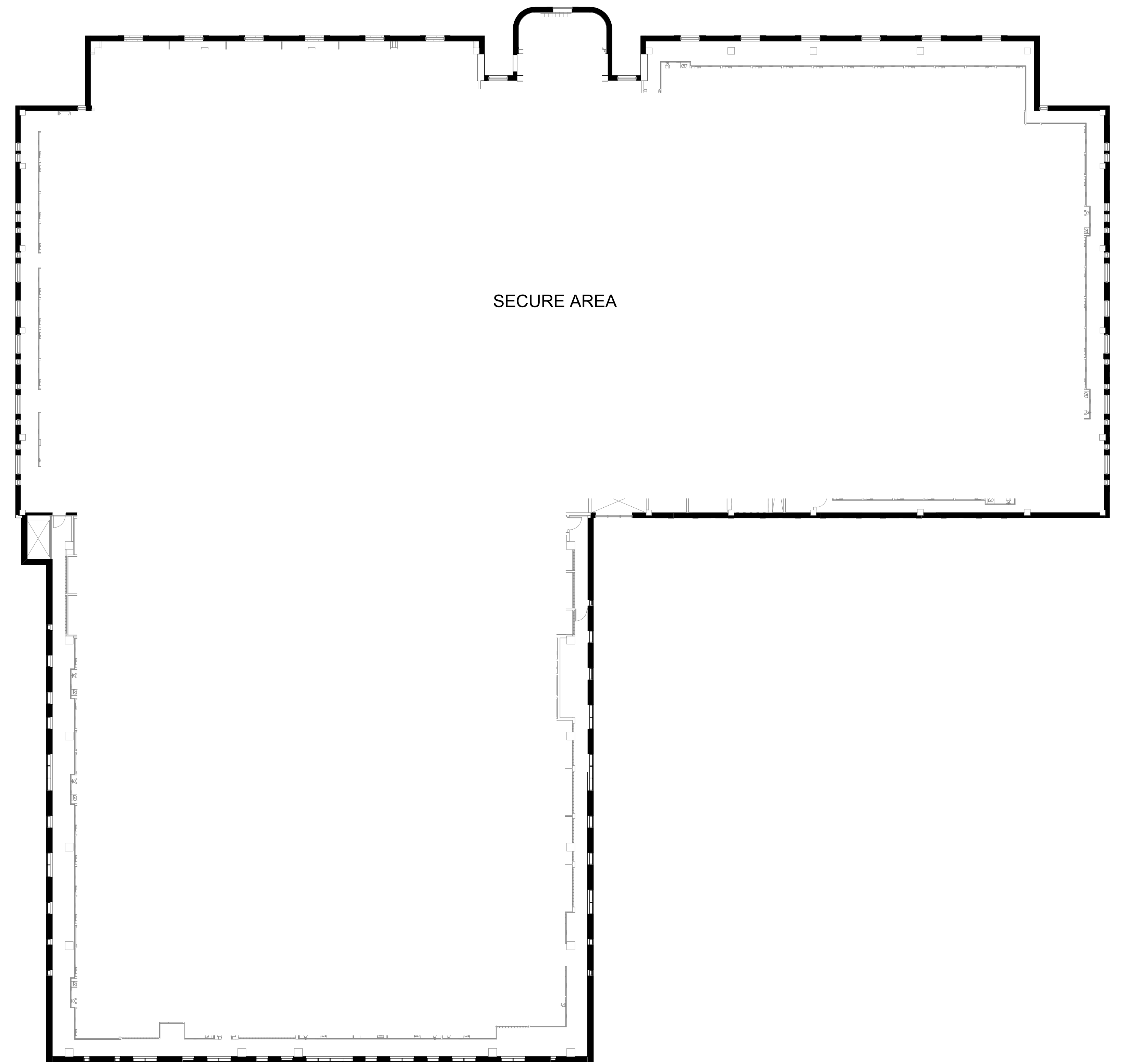
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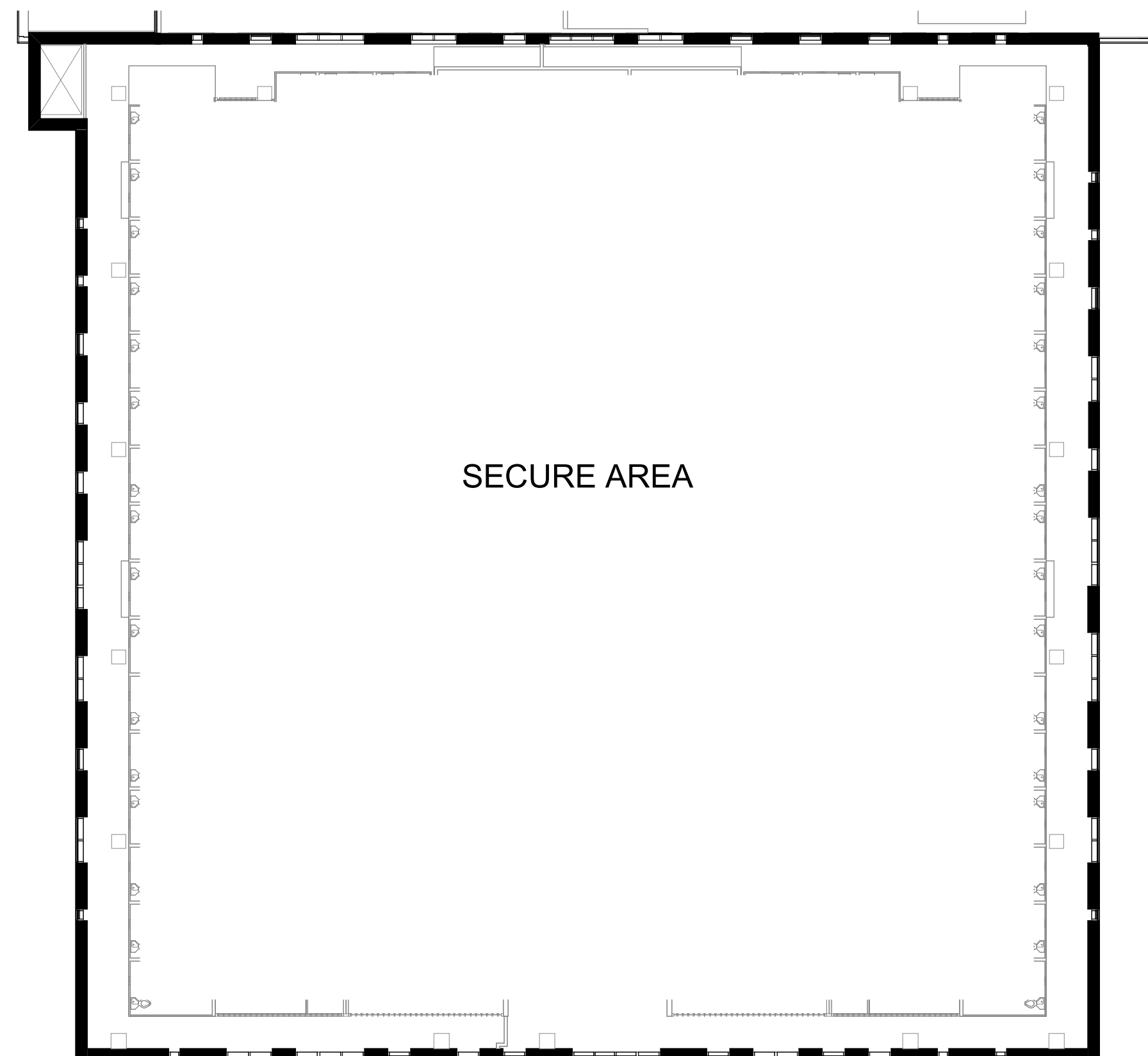




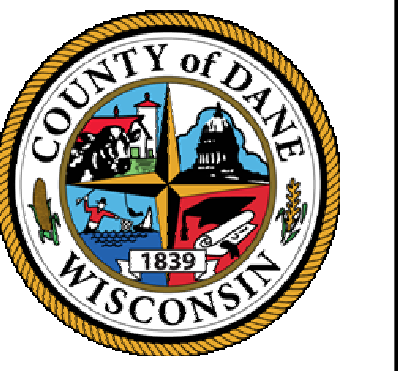
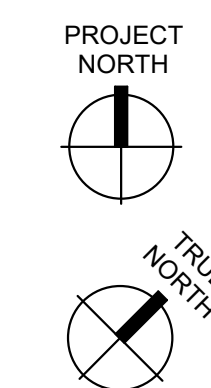
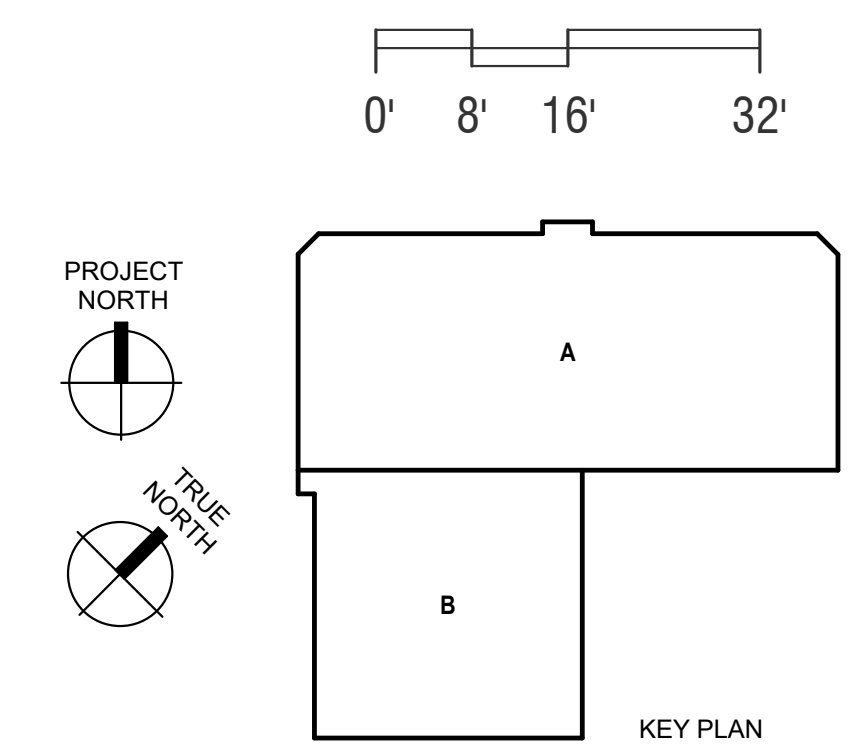
2 FIFTH FLOOR PLAN  
LU-A104 1/16" = 1'-0"



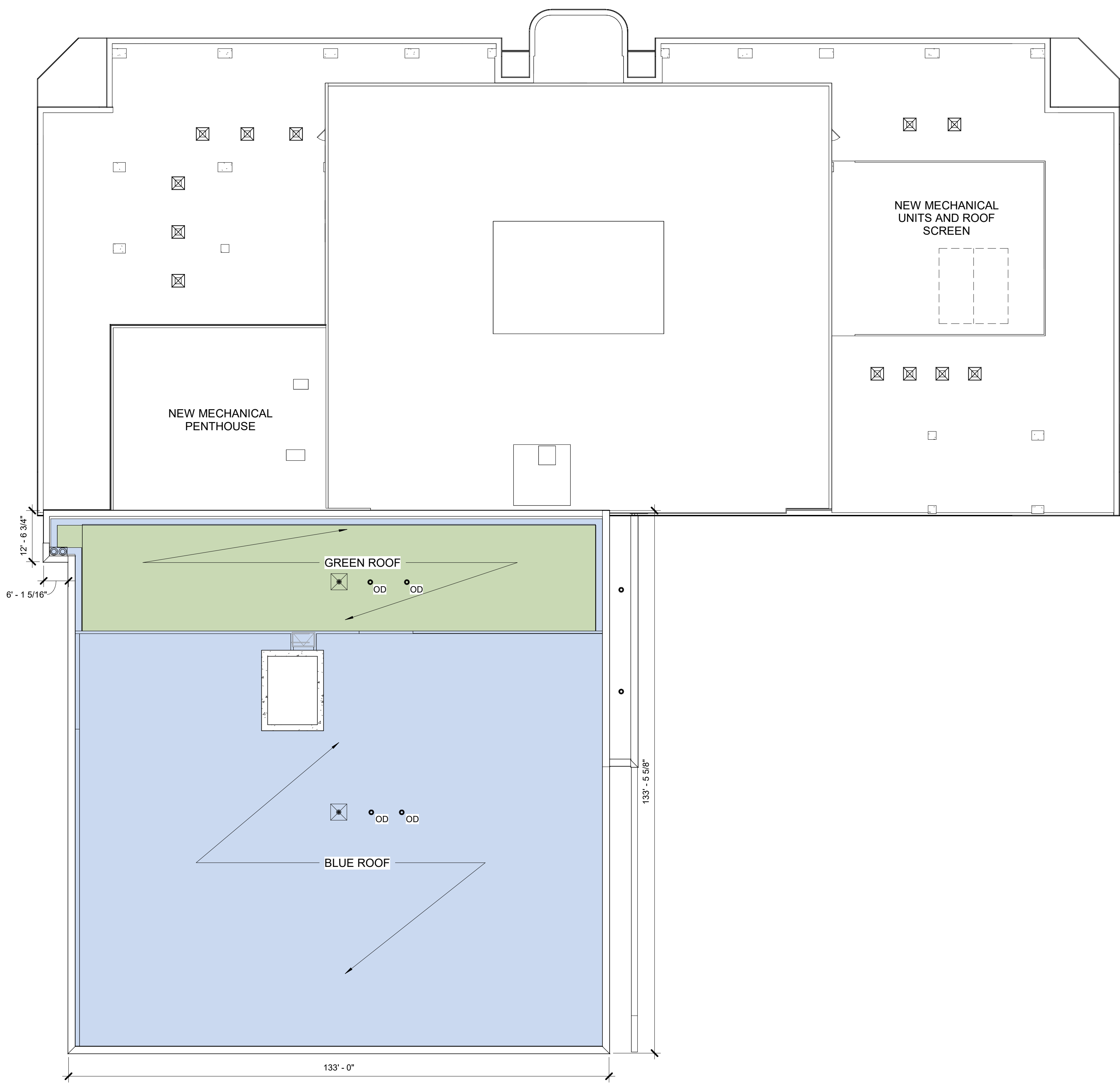
1 FOURTH FLOOR PLAN  
LU-A104 1/16" = 1'-0"



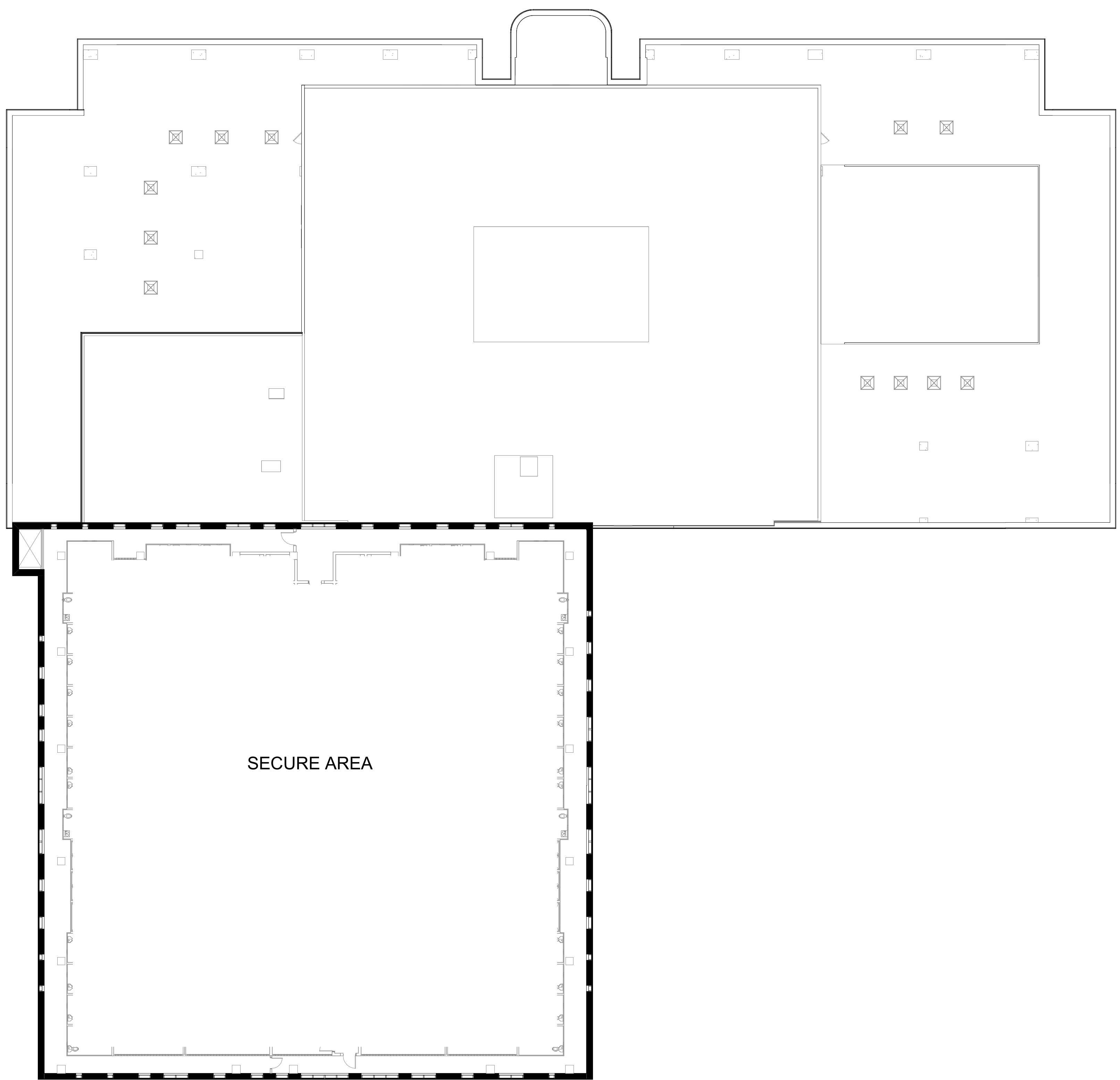
3 FIFTH M FLOOR PLAN  
LU-A104 1/16" = 1'-0"



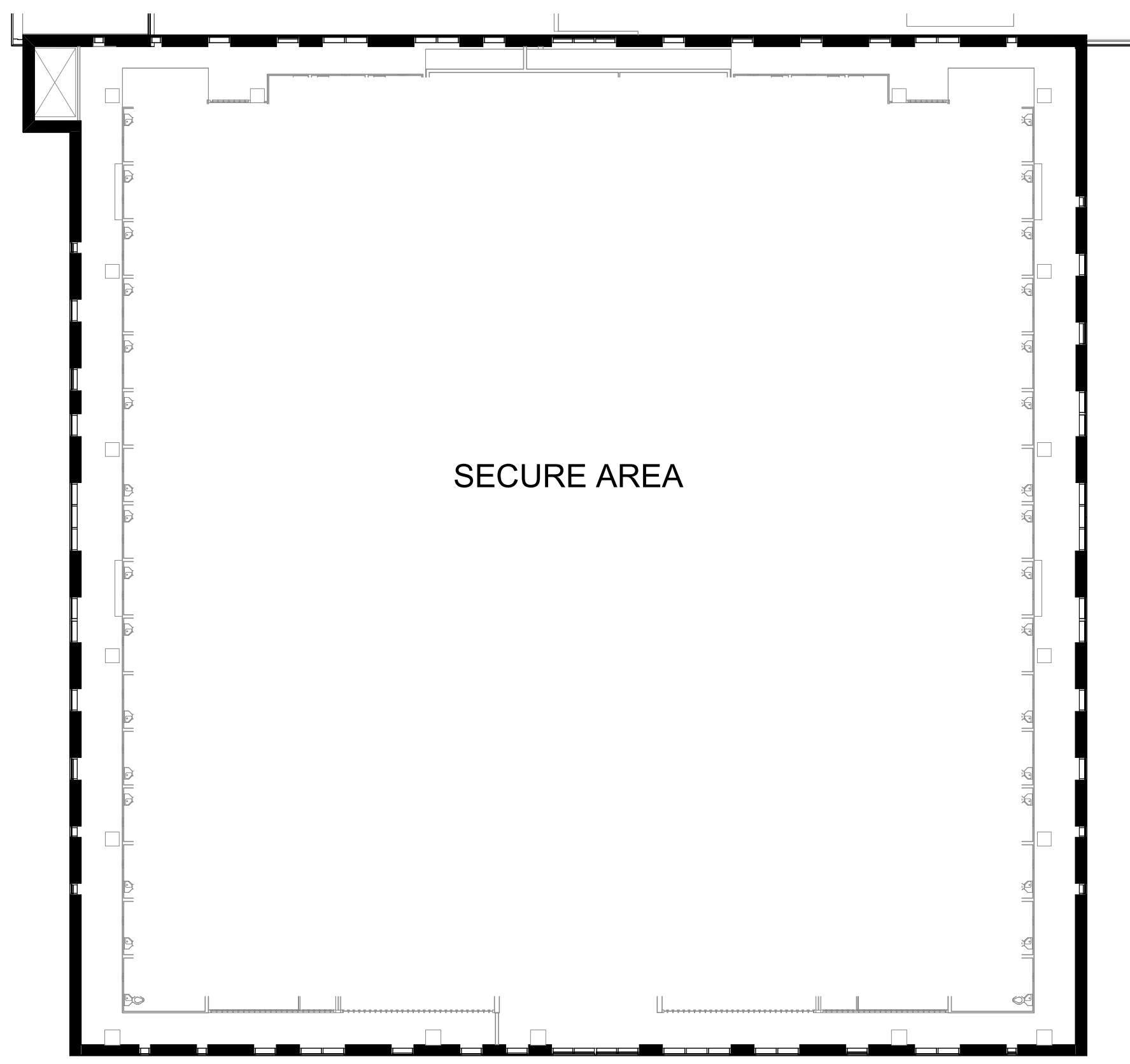




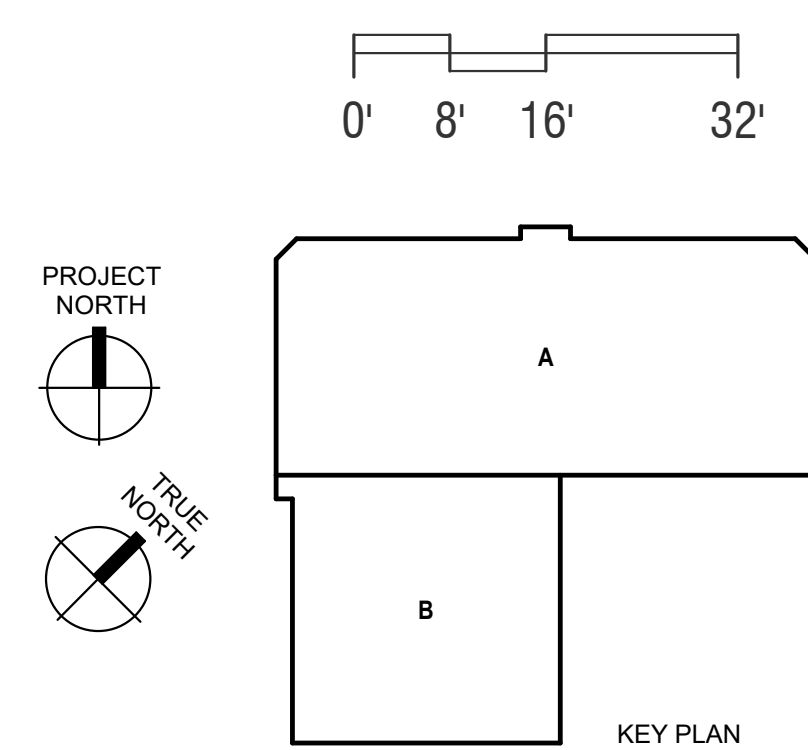
3 ROOF PLAN  
LU-A105 1/16" = 1'-0"



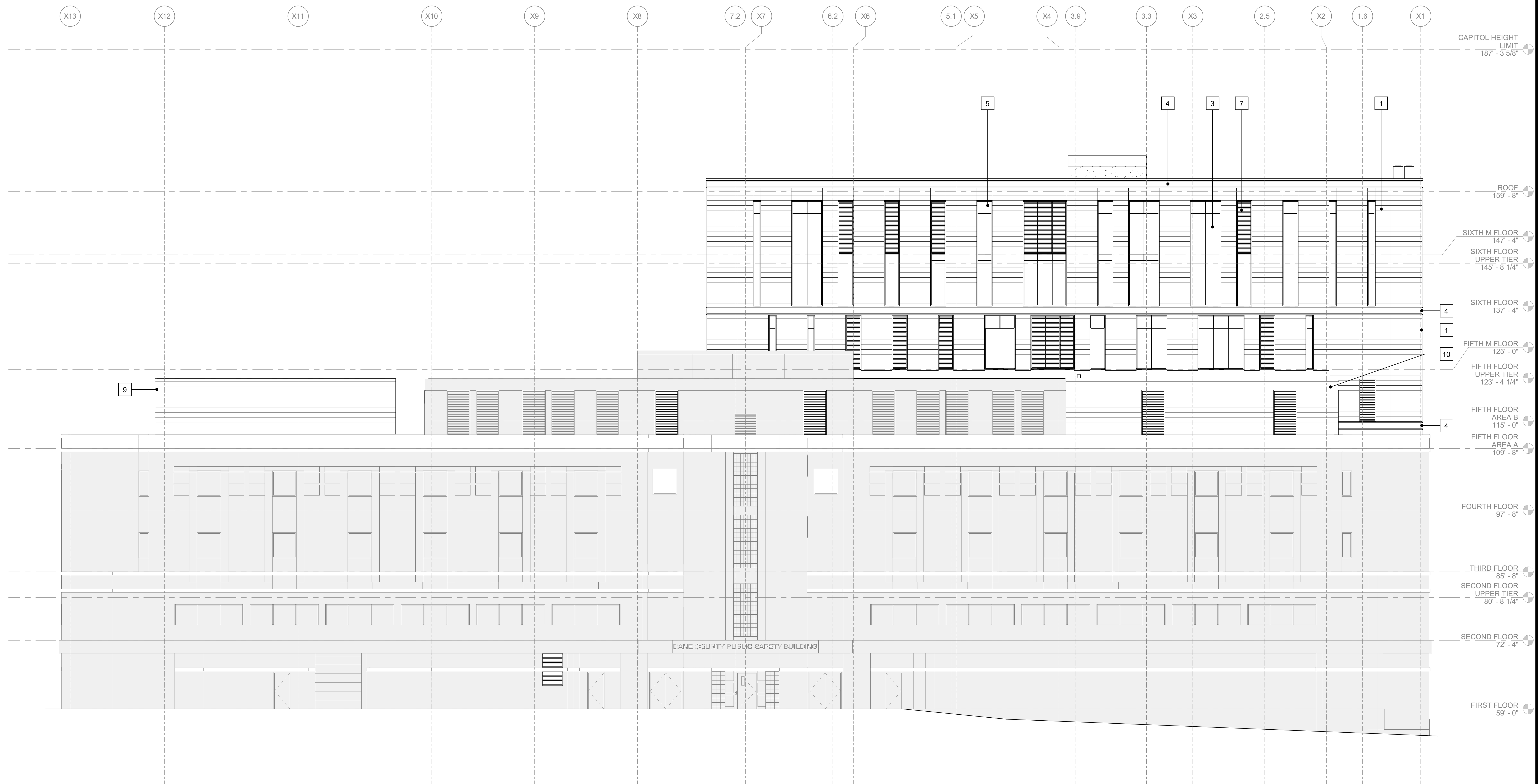
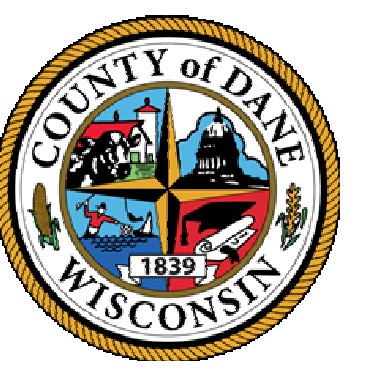
1 SIXTH FLOOR PLAN  
LU-A105 1/16" = 1'-0"



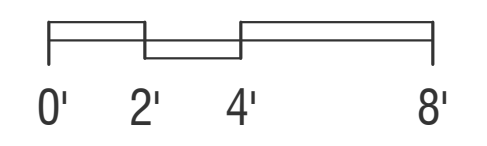
2 SIXTH M FLOOR PLAN  
LU-A105 1/16" = 1'-0"







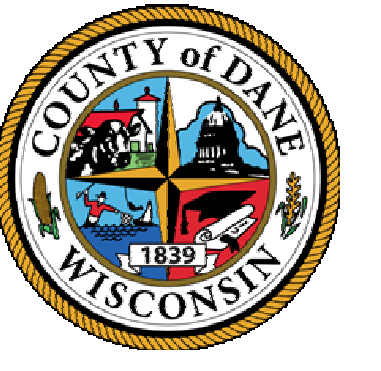
**1** NORTH ELEVATION  
LU-A201



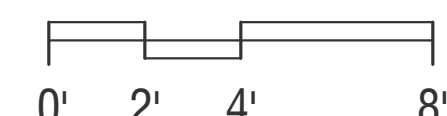
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|---|--------------------|---------------------|
| 1 TERRACOTTA VENEER                         | 5 SPANDREL GLAZING | 9 MECHANICAL SCREEN |
| 2 BRICK VENEER                              | 6 CONCRETE COLUMN  | 10 METAL WALL PANEL |
| 3 SSG ANODIZED ALUMINUM CURTAIN WALL SYSTEM | 7 LOUVER           |                     |
| 4 GRAPHITE GREY TERRACOTTA BAND             | 8 OVERHEAD DOOR    |                     |

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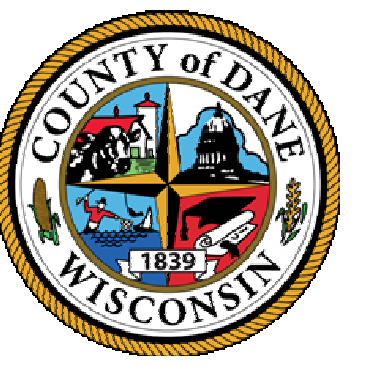
**1 EAST ELEVATION**  
1/8" = 1'-0"



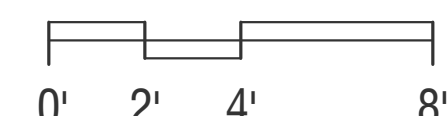
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| 2 BRICK VENEER                              | 6 CONCRETE COLUMN  | 10 METAL WALL PANEL |
| 3 SSS ANODIZED ALUMINUM CURTAIN WALL SYSTEM | 7 LOUVER           |                     |
| 4 GRAPHITE GREY TERRACOTTA BAND             | 8 OVERHEAD DOOR    |                     |

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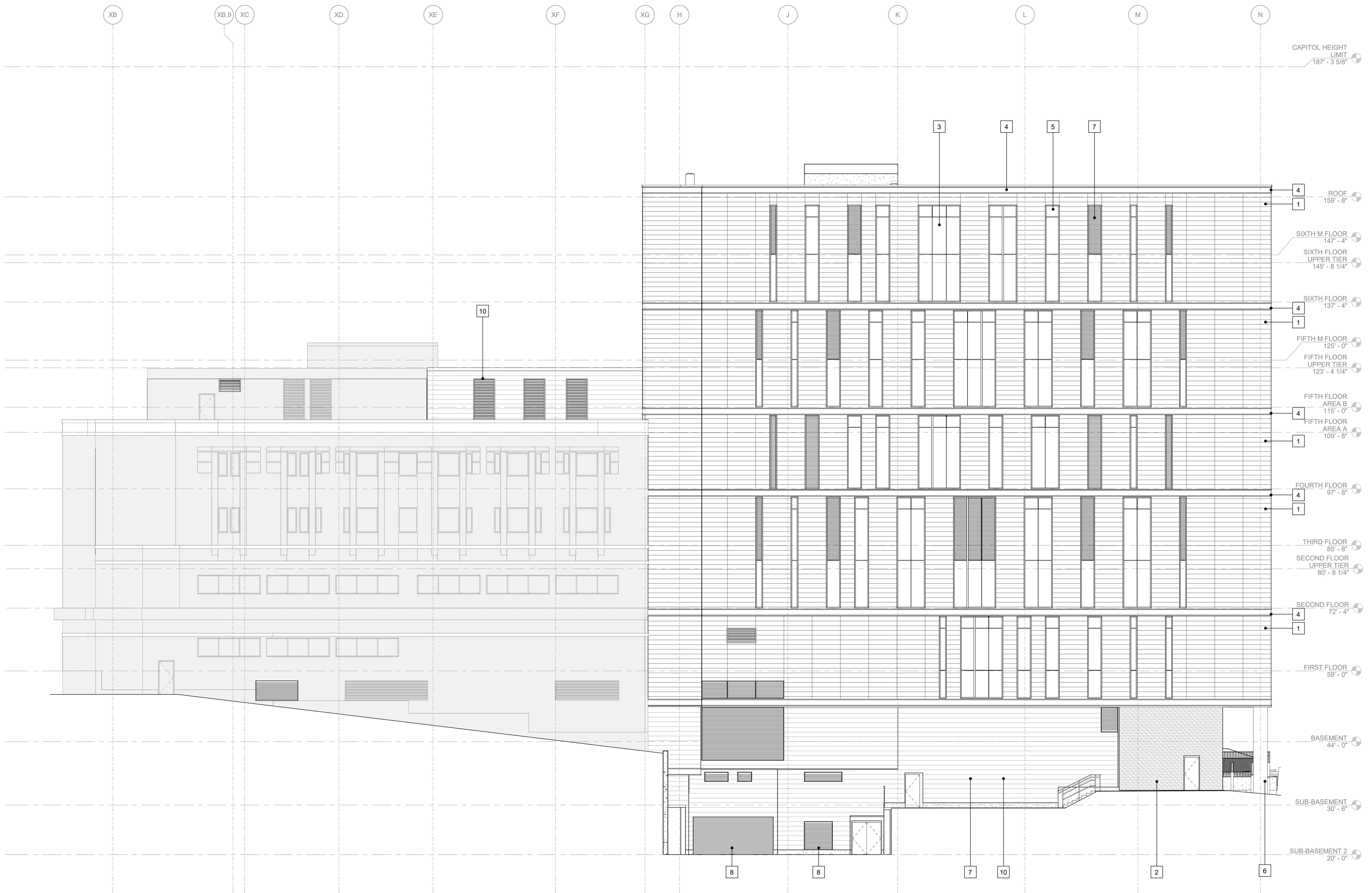
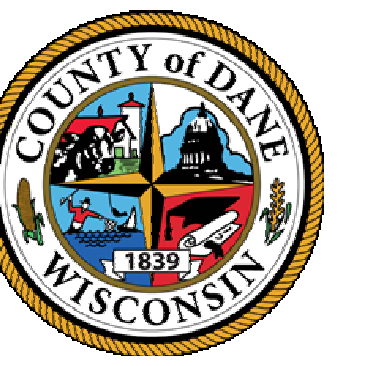
**1 SOUTH ELEVATION**  
1/8" = 1'-0"



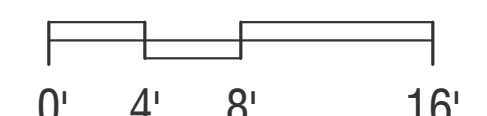
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| 1 TERRACOTTA VENEER                         | 5 SPANDREL GLAZING | 9 MECHANICAL SCREEN |
| 2 BRICK VENEER                              | 6 CONCRETE COLUMN  | 10 METAL WALL PANEL |
| 3 SSG ANODIZED ALUMINUM CURTAIN WALL SYSTEM | 7 LOUVER           |                     |
| 4 TERRACOTTA BAND                           | 8 OVERHEAD DOOR    |                     |

10/31/2022 11:41:51 AM Autodesk Docs/DCJ Consolidation/2018.18.00/DCJ-AD-2023.MXD





**1 WEST ELEVATION**  
1/8" = 1'-0"



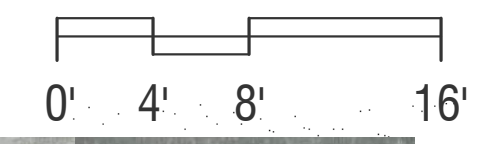
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| 1 TERRACOTTA VENEER                         | 5 SPANDREL GLAZING | 9 MECHANICAL SCREEN |
| 2 BRICK VENEER                              | 6 CONCRETE COLUMN  | 10 METAL WALL PANEL |
| 3 SSG ANODIZED ALUMINUM CURTAIN WALL SYSTEM | 7 LOUVER           |                     |
| 4 TERRACOTTA BAND                           | 8 OVERHEAD DOOR    |                     |

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**1 NORTH ELEVATION COLOR**  
LU-A205  
1/8" = 1'-0"



**11** CENTRIA METAL PANEL SYSTEM  
SURREY BEIGE



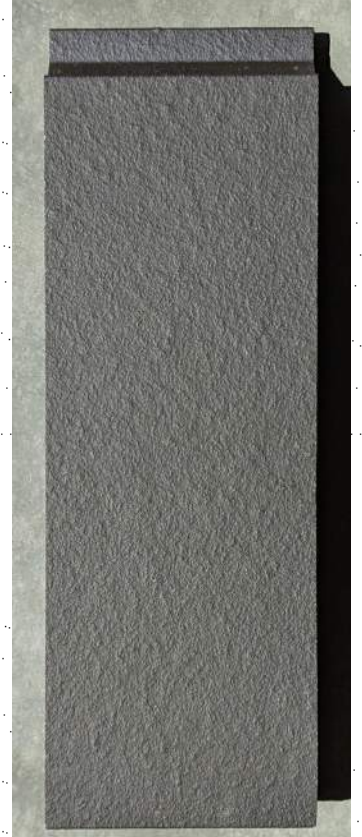
**9** CENTRIA CS210 METAL PANEL SYSTEM  
SURREY BEIGE



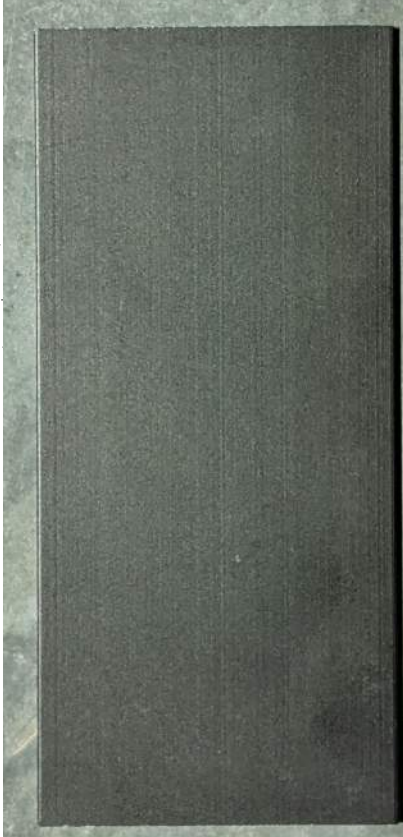
**5** SOLARBAN 70 TRANSLUCENT GLASS  
SATINLITE 1 ON 3RD SURFACE  
(TO RECEIVE 2" X 4" BLACK BIRD GLAZING PATTERN)



**6** CONCRETE COLUMN  
STAINED: POLISHED



**4** SHILDAN: TERRACOTTA BAND  
VOLCANO GREY: STANDARD



**3** WAUSAU: CURTAIN WALL SYSTEM  
BLACK ANODIZED ALUMINUM  
**7** CONSTRUCTION SPECIALTIES BS157 LOUVER  
BLACK ANODIZED ALUMINUM  
**8** OVERHEAD DOOR  
BLACK ANODIZED ALUMINUM



**2** HEBRON BRICK CO.: BRICK VENEER  
SLATE GREY



**1** SHILDAN: TERRACOTTA VENEER  
NATURAL RED: RANDOMIZED PATTERN WITH 3  
FINISHES: BRUSHED, STANDARD AND PATINATED



CAPITOL HEIGHT LIMIT  
187' - 3 5/8"

ROOF  
159' - 8"

SIXTH FLOOR  
137' - 4"

FIFTH FLOOR  
AREA B  
115' - 0"

FIFTH FLOOR  
AREA A  
109' - 8"

FOURTH FLOOR  
97' - 8"

THIRD FLOOR  
85' - 8"

SECOND FLOOR  
72' - 4"

FIRST FLOOR  
59' - 0"

BASEMENT  
44' - 0"

**1 EAST ELEVATION COLOR**  
LU-A206  
1/8" = 1'-0"

0' 4' 8' 16'



**11** CENTRIA METAL PANEL SYSTEM

**9** CENTRIA CS210 METAL PANEL SYSTEM  
SURREY BEIGE

**10** CONSTRUCTION SPECIALTIES BS157 LOUVER  
MUSHROOM

**5** SOLARBAN 70 TRANSLUCENT GLASS  
SATINLITE 1 ON 3RD SURFACE  
(TO RECEIVE 2' X 4' BLACK BIRD GLAZING PATTERN)

**6** CONCRETE COLUMN  
STAINED: POLISHED

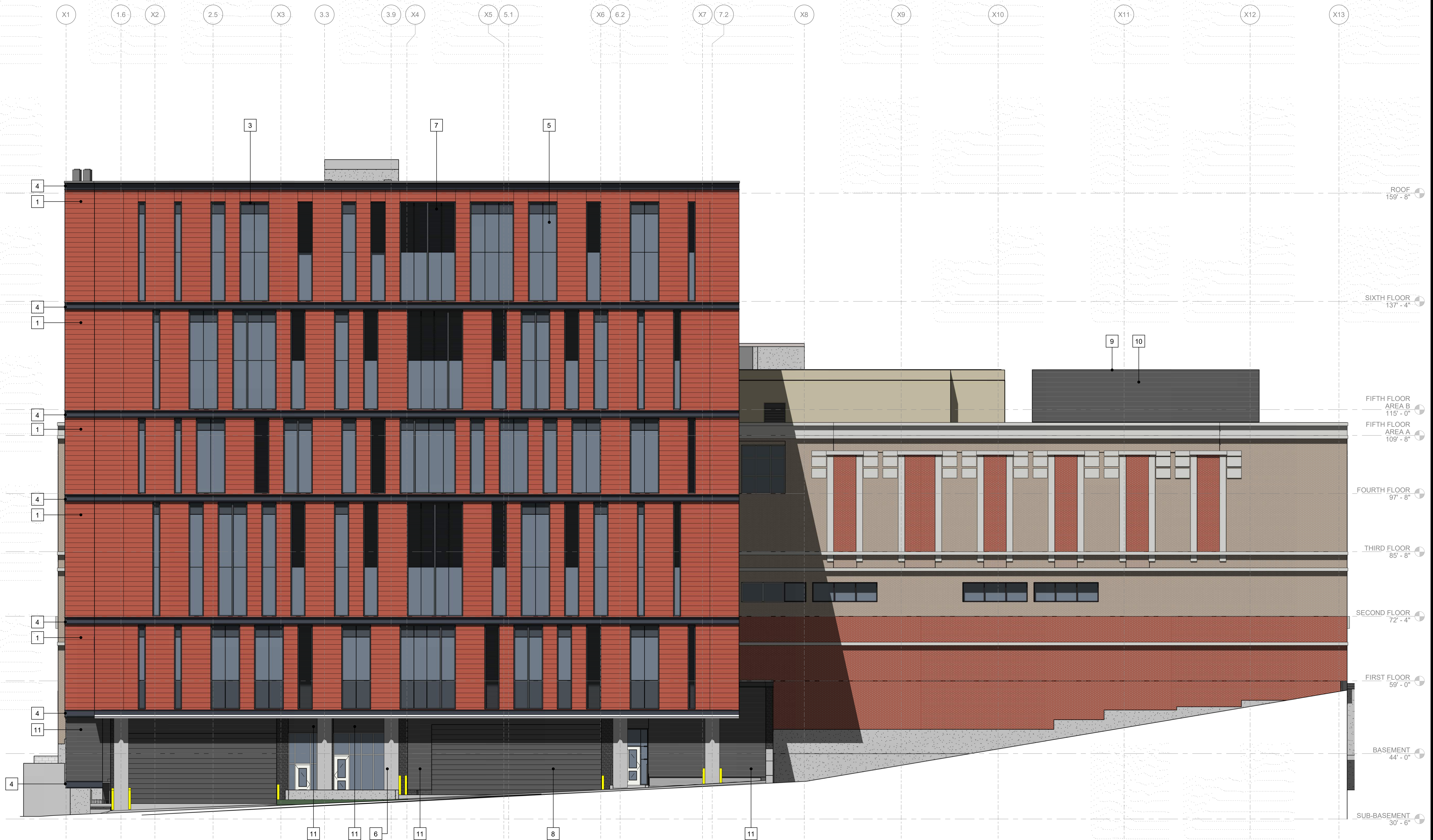
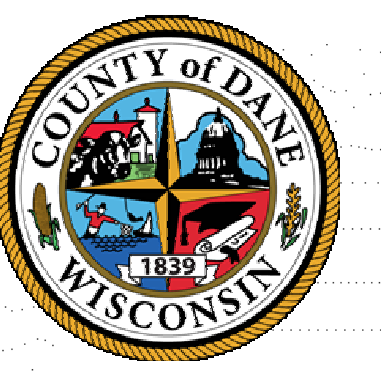
**4** SHILDAN: TERRACOTTA BAND  
VOLCANO GREY: STANDARD

**3** WAUSAU: CURTAIN WALL SYSTEM  
BLACK ANODIZED ALUMINUM  
**7** CONSTRUCTION SPECIALTIES BS157 LOUVER  
BLACK ANODIZED ALUMINUM  
**8** OVERHEAD DOOR  
BLACK ANODIZED ALUMINUM

**2** HEBRON BRICK CO: BRICK VENEER  
SLATE GREY

**1** SHILDAN: TERRACOTTA VENEER  
NATURAL RED: RANDOMIZED PATTERN WITH 3  
FINISHES: BRUSHED, STANDARD AND PATINATED





**1 SOUTH ELEVATION COLOR**  
1/8" = 1'-0"



**11** CENTRIA METAL PANEL SYSTEM  
SURREY BEIGE



**9** CENTRIA CS210 METAL PANEL SYSTEM  
SURREY BEIGE



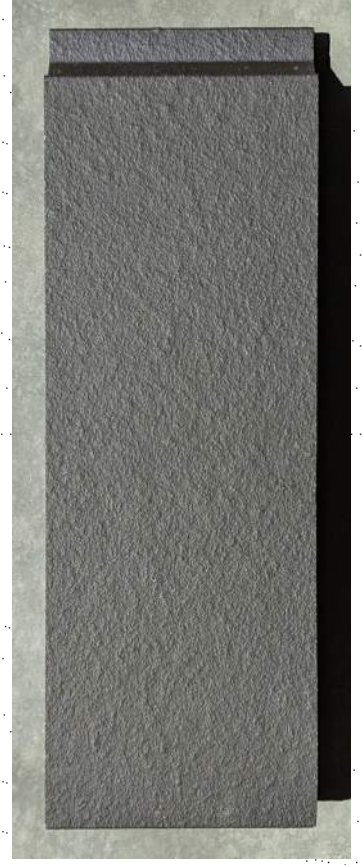
**5** SOLARBAN 70 TRANSLUCENT GLASS  
SATINLITE 1 ON 3RD SURFACE  
(TO RECEIVE 2" X 4" BLACK BIRD GLAZING PATTERN)



**10** CONSTRUCTION SPECIALTIES BS157 LOUVER  
MUSHROOM



**6** CONCRETE COLUMN  
STAINED: POLISHED



**4** SHILDAN: TERRACOTTA BAND  
VOLCANO GREY: STANDARD



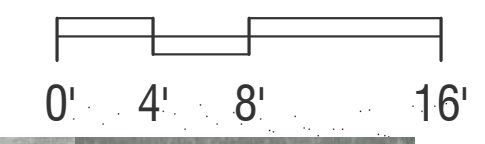
**3** WAUSAU: CURTAIN WALL SYSTEM  
BLACK ANODIZED ALUMINUM



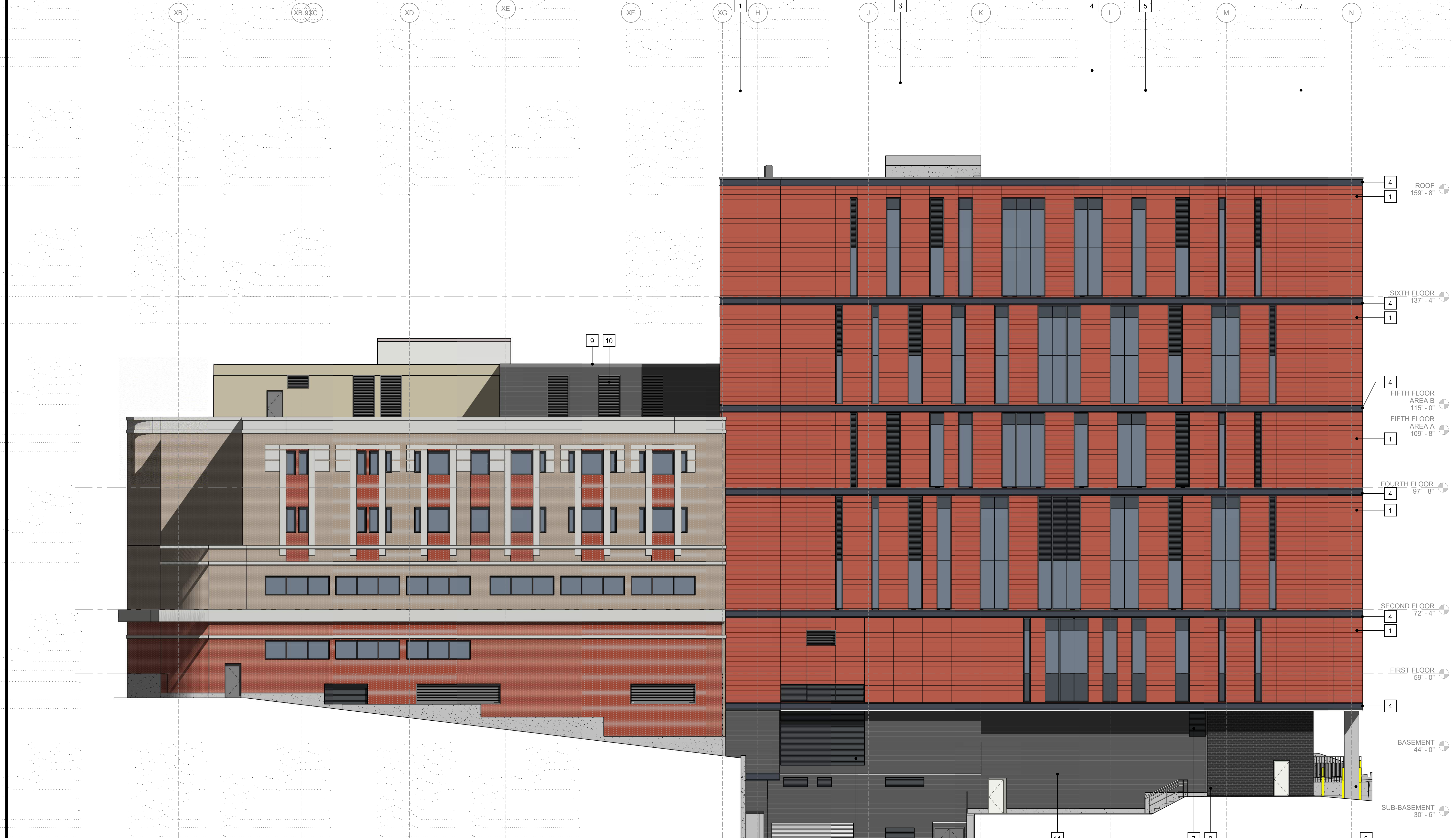
**2** HEBRON BRICK CO.: BRICK VENEER  
SLATE GREY



**1** SHILDAN: TERRACOTTA VENEER  
NATURAL RED: RANDOMIZED PATTERN WITH 3  
FINISHES: BRUSHED, STANDARD AND PATINATED







**1 WEST ELEVATION COLOR**  
LU-A208  
1/8" = 1'-0"



**11** CENTRIA METAL PANEL SYSTEM  
SURREY BEIGE



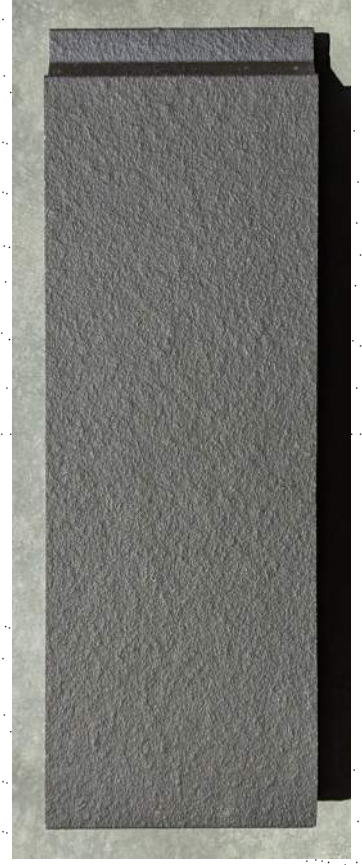
**9** CENTRIA CS210 METAL PANEL SYSTEM  
SURREY BEIGE



**5** SOLARBAN 70 TRANSLUCENT GLASS  
SATINLITE 1 ON 3RD SURFACE  
(TO RECEIVE 2" X 4" BLACK BIRD GLAZING PATTERN)



**6** CONCRETE COLUMN  
STAINED, POLISHED



**4** SHILDAN: TERRACOTTA BAND  
VOLCANO GREY: STANDARD



**3** WAUSAU: CURTAIN WALL SYSTEM  
BLACK ANODIZED ALUMINUM



**2** HEBRON BRICK CO: BRICK VENEER  
SLATE GREY



**1** SHILDAN: TERRACOTTA VENEER  
NATURAL RED, RANDOMIZED PATTERN WITH 3  
FINISHES: BRUSHED, STANDARD AND PATINATED

10/31/2022 11:48:41 AM Autodesk Docs//DCJ Consolidation/2018.18.00.DCJ.AID-2023.M



# Dane County Jail Consolidation South Tower Addition & Public Safety Building Renovation

115 W. Doty Street  
Madison, WI 53703

## October 31, 2022 Land Use Application

Dane County Public Works  
Project No.: 318025

Mead & Hunt Project No.:  
4215400-161957.01

**Mead & Hunt**

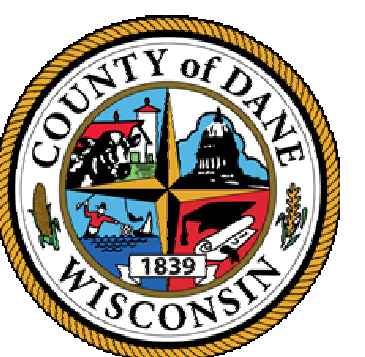
Mead & Hunt, Inc.  
2440 Deming Way  
Middleton, WI 53562  
phone: 608-273-6380  
meadhunt.com

**Potter  
Lawson**

Success by Design

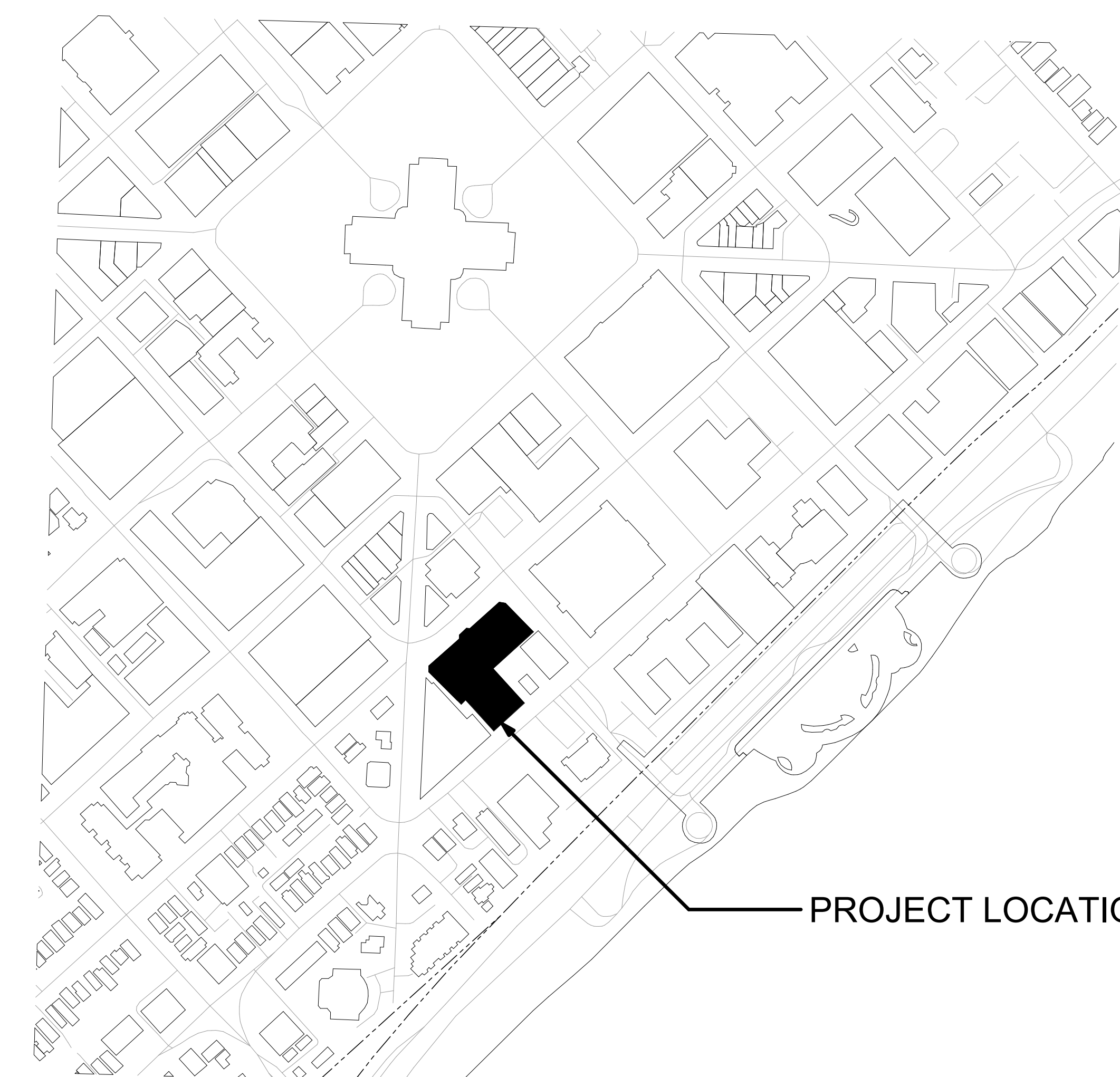
**HR**

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DANE COUNTY DEPT. OF  
PUBLIC WORKS, HIGHWAY &  
TRANSPORTATION  
1919 ALLIANT ENERGY  
CENTER WAY  
MADISON, WI 53713  
PROJECT NO. 318025

DWG #	Drawing Title	DWG #	Drawing Title	DWG #	Drawing Title
<b>GENERAL</b>					
LU-CD	COVER DRAWING				
<b>CIVIL</b>					
C001	EXISTING CONDITIONS				
C002	ENLARGED EXISTING CONDITIONS - AREA A				
C003	ENLARGED EXISTING CONDITIONS - AREA B				
C101	ENLARGED DEMOLITION PLAN - AREA A				
C102	ENLARGED DEMOLITION PLAN - AREA B				
C201	OVERALL SITE PLAN				
C202	ENLARGED SITE PLAN - AREA A				
C203	ENLARGED SITE PLAN - AREA B				
C301	ENLARGED GRADING PLAN - AREA A				
C302	ENLARGED GRADING PLAN - SUB-BASEMENT 2 - AREA B				
C401	UTILITIES PLAN				
C402	UTILITIES PLAN				
C501	OVERALL FIRE ACCESS EXHIBIT				
C901	VEHICLE TURNING RADIUS EXHIBITS				
<b>ARCHITECTURAL</b>					
LU-A001	CONTEXT PHOTOS - EXISTING CONDITIONS				
LU-A002	ILLUSTRATIVE SITE PLAN				
LU-A003	AERIAL VIEWS				
LU-A004	BUILDING PERSPECTIVES				
LU-A005	BUILDING PERSPECTIVES				
LU-A101	FLOOR PLANS				
LU-A102	FLOOR PLANS				
LU-A103	FLOOR PLANS				
LU-A104	FLOOR PLANS				
LU-A105	FLOOR PLANS				
LU-A201	BUILDING ELEVATION - NORTH				
LU-A202	BUILDING ELEVATION - EAST				
LU-A203	BUILDING ELEVATION - SOUTH				
LU-A204	BUILDING ELEVATION - WEST				
LU-A205	BUILDING ELEVATION - NORTH COLOR				
LU-A206	BUILDING ELEVATION - EAST COLOR				
LU-A207	BUILDING ELEVATION - SOUTH COLOR				
LU-A208	BUILDING ELEVATION - WEST COLOR				
<b>ELECTRICAL</b>					
ES-1	SITE LIGHTING				
ES-2	SITE LIGHTING PHOTOMETRIC PLAN WILSON STREET ENTRANCE				
ES-3	SITE LIGHTING SUBMITTAL (FIXTURES)				



Dane County Jail Consolidation  
South Tower Addition & Public Safety  
Building Renovation  
115 W. Doty Street  
Madison, WI 53703

ISSUED  
10/31/2022 LAND USE  
APPLICATION

NOT FOR CONSTRUCTION

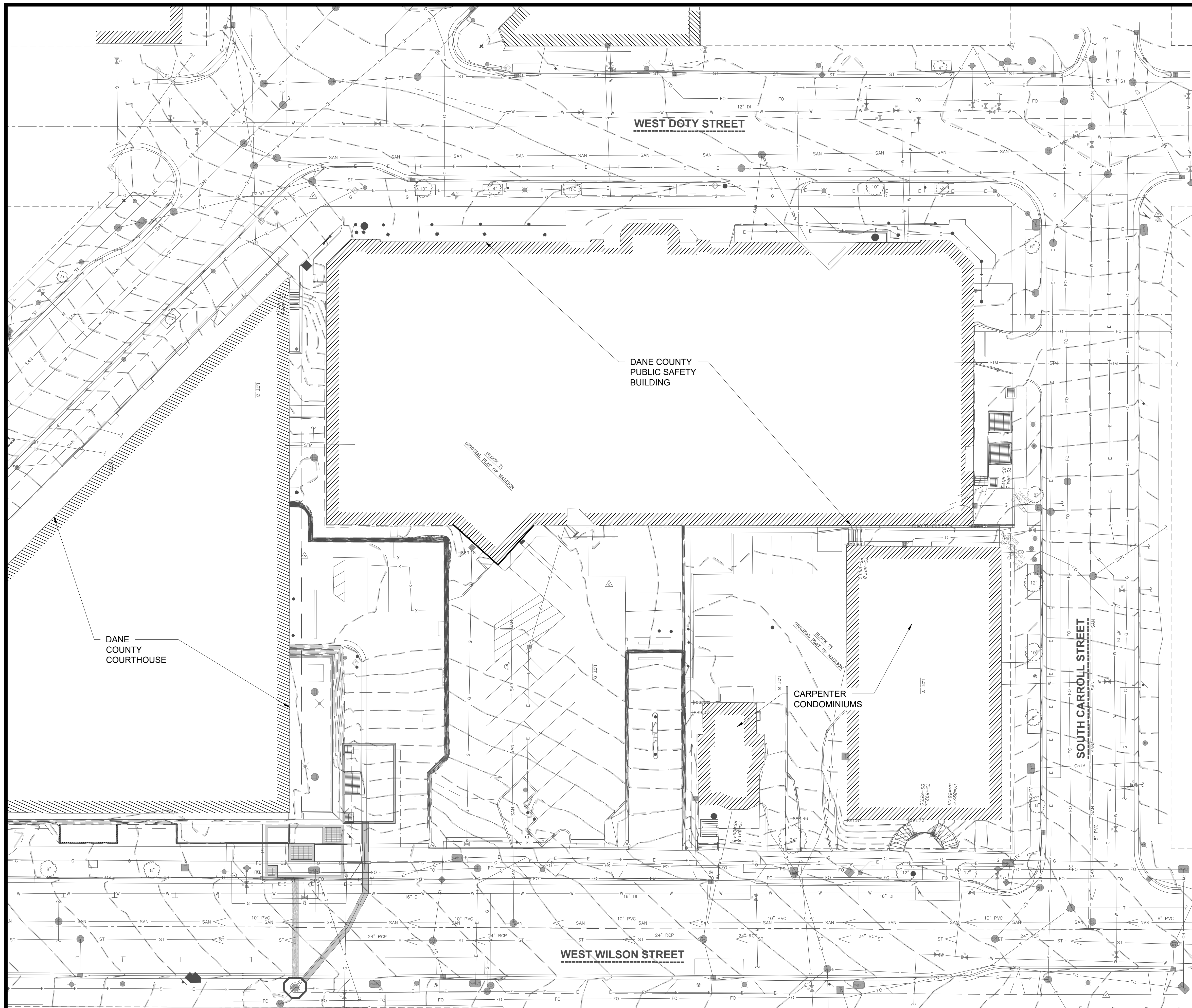
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DATE: 10/31/2022  
DESIGNED BY: JDH  
DRAWN BY: EML  
CHECKED BY: JDH

DO NOT SCALE DRAWINGS  
SHEET CONTENTS  
COVER DRAWING

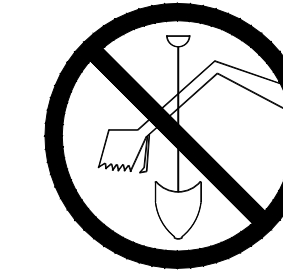
SHEET NO:

LU-CD





TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



CALL DIGGERS HOTLINE  
1-800-242-9511  
TOLL FREE  
WS STATUTE 182.0175(1974)  
REQUIRES MIN. 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE

**ATTENTION:**  
ALL UTILITY LOCATIONS ARE SHOWN FROM FIELD OBSERVATION BASED UPON LOCATES AND/OR INFORMATION RECEIVED FROM OTHER SURVEYS AND VARIOUS UTILITY COMPANIES. BEFORE THE START OF ANY EXCAVATION, A COMPLETE LOCATE OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA SHOULD BE COMPLETED.

**LEGEND**

SEE LEGEND ON "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY" DATED 05/28/20 PREPARED BY JSD PROFESSIONAL SERVICES, INC., PROVIDED IN THIS PLAN SET.

**CIVIL NOTES (SHEETS C001-C003, C101- 102)**

- "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY" DATED 05/28/20 PREPARED BY JSD PROFESSIONAL SERVICES, INC.
- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
- ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE FEDERAL AND LOCAL LAWS, CODES, AND ORDINANCES.
- THE LOCATIONS OF COVERED SLABS, ASPHALT CONCRETE PAVEMENTS, PIPES, UNDERGROUND STRUCTURES, OR OTHER UTILITIES SHOWN ON THESE PLANS ARE BASED ON VISIBLE FEATURES ON THE GROUND OR AVAILABLE DRAWINGS PROVIDED BY OTHERS; THEREFORE, THEY ARE APPROXIMATE. VERIFY THE TYPE OF MATERIALS, EXACT LOCATION, SIZE AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF WORK.
- RESTORE TO ORIGINAL CONDITION EXISTING ASPHALT CONCRETE PAVEMENT, CEMENTITIOUS CONCRETE PAVEMENT, CONCRETE WALKS, LANDSCAPED AREAS, AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED DURING CONSTRUCTION.
- PROTECT EXISTING UTILITIES, VALVE BOXES, AND MANHOLES, WHETHER SHOWN OR NOT SHOWN ON THE PLANS, AFFECTED BY TRENCHING WORK. IF DISTURBED, RESTORE TO ORIGINAL CONDITION.
- VERIFY THE LOCATIONS, SIZES, AND MATERIALS OF PROPOSED CONNECTIONS TO EXISTING UTILITIES. EXERCISE EXTREME CAUTION DURING EXCAVATION ACTIVITIES IN THESE LOCATIONS.
- CONDUCT CONSTRUCTION OPERATIONS WITH MINIMAL INTERFERENCE TO ROADS, DRIVEWAYS, PARKING AREAS, SIDEWALKS, AND OTHER PEDESTRIAN AND VEHICULAR FACILITIES. PROVIDE CONTINUOUS TRAFFIC FLOW IN ALL DIRECTIONS AT ALL TIMES.
- REVIEW THE PLANS AND NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND BEFORE PROCEEDING WITH THE WORK.
- COORDINATE AND OBTAIN CLEARANCES AND PERMITS FROM THE CITY OF MADISON DEPARTMENT OF PUBLIC WORKS PRIOR TO EXCAVATION ACTIVITIES.
- PROTECT EXISTING SURVEY MONUMENTS. REPORT DAMAGED SURVEY MONUMENTS. RESTORE AND REPAIR DISTURBED SURVEY MONUMENTS.
- MINIMIZE DISRUPTION OF UTILITY SERVICES. THE OWNER SHALL APPROVE IN ADVANCE ANY SERVICE INTERRUPTIONS AND THE REMOVAL OF EXISTING UTILITY LINES. PROVIDE WRITTEN NOTIFICATION TO OWNER 72 HOURS IN ADVANCE OF INTERRUPTIONS OF SERVICE. MAXIMUM UTILITY OUTAGE FOR ANY ONE (1) INTERRUPTION SHALL NOT EXCEED FOUR (4) HOURS PER DAY.
- RESTORE UNPAVED AREAS DISTURBED DURING CONSTRUCTION BY SODDING.
- PROVIDE TEMPORARY CONNECTION TO EXISTING LINES AS REQUIRED TO MINIMIZE UTILITY SERVICE INTERRUPTIONS BEFORE THE REMOVAL OF ANY PORTION OF EXISTING LINES.
- PROVIDE TEMPORARY ACCESS PROTECTION FOR EQUIPMENT, TRUCKS OR OTHER CONSTRUCTION VEHICLES TO PREVENT ANY DAMAGE TO EXISTING AND/OR NEWLY INSTALLED CONCRETE SIDEWALKS, CURBS, AND PAVING.
- ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND AVOID PONDING CONDITIONS ANYWHERE ON SITE. DIRECT STORM WATER TO STORM WATER CONVEYANCE STRUCTURES.
- DUE TO VARIATIONS AND CONSTRAINTS, DETERMINE EACH UTILITY TIE IN LAYOUT BY ITS ACTUAL FIELD CONDITIONS. CHANGES TO THE DESIGN CONFIGURATION REQUIRE APPROVAL OF THE ARCHITECT/ENGINEER AND DOCUMENTATION ON THE AS-BUILT DRAWINGS.
- EXERCISE EXTREME CAUTION IN EXCAVATING AREAS THAT ARE KNOWN TO HAVE UNDERGROUND UTILITIES. HAND EXCAVATE WITHIN 3 FEET OF ANY EXISTING UTILITIES. IN CASES WHERE THE DEPTH OR ELEVATION ARE NOT INDICATED ON THE PLANS, PROCEED WITH CAUTION.
- PROVIDE SHORING FOR TRENCH EXCAVATION WORK THAT EXCEEDS 4 FEET IN DEPTH.
- PRESERVE AND PROTECT ALL EXISTING TREES AND PLANT MATERIALS NOT IDENTIFIED ON THE PLANS FOR REMOVAL OR RELOCATION. IF PROPOSED IMPROVEMENTS MAY NEGATIVELY AFFECT THE MAJOR ROOT SYSTEMS, OBTAIN APPROVAL OF THE ARCHITECT/ENGINEER TO REMOVE OR RELOCATE THE EXISTING TREE OR PLANT MATERIAL.
- THE EXISTING COMMUNICATIONS VAULT AND DUCT BANK IS TO BE REMOVED AND PROPERLY DISPOSED.
- THE NEWLY CONSTRUCTED VAULT AND DUCT BANK IS TO BE PROTECTED AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE FOR THE SUPPORT AND PROTECTION OF THE NEWLY CONSTRUCTED FIBER OPTIC CABLES AND OR DUCTS FOR THE DURATION OF THE PROJECT. ANY COSTS ASSOCIATED WITH THE DAMAGE AND REPAIR OF THE NEWLY CONSTRUCTED FIBER OPTIC CABLES AND VAULT ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
- CONTRACTOR SHALL PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO CITY OF MADISON TRAFFIC ENGINEERING. CONTRACTOR SHALL BE RESPONSIBLE FOR FEES ASSOCIATED WITH THE TEMPORARY LOSS OF PARKING SPACES DURING CONSTRUCTION. IN MARCH 2021, THE FEE WAS \$18/STALL/DAY.

**1** OVERALL EXISTING CONDITIONS  
C001 1" = 20'

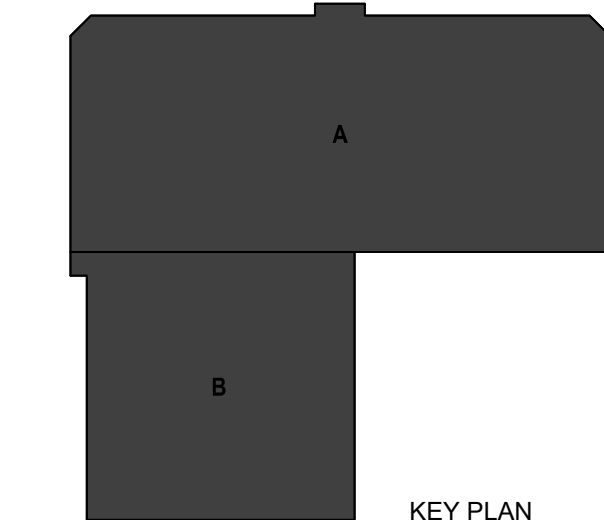
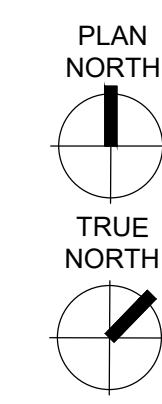
**GENERAL NOTES:**

- CONTRACTOR SHALL CONTACT DIGGERS HOTLINE PRIOR TO DOING ANY EXCAVATION.
- DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL AND STATE BUILDING CODES AND ORDINANCES AND GENERAL DESIGN STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY WATER DAMAGE THAT OCCURS IN THE VAULT OR IN AREAS ADJACENT TO THE VAULT REGARDLESS OF THE CAUSE OF THE WATER INFILTRATION.
- CONTRACTOR SHALL OBTAIN A STREET EXCAVATION PERMIT PRIOR TO DOING ANY REPAIR WORK THAT INVOLVES EXCAVATION WITHIN THE PUBLIC RIGHT OF WAY.
- CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGES TO THE VAULT INCLUDING DAMAGE TO ANY WATER PROOFING MEMBRANES OR OTHER FEATURES REGARDLESS OF WHO CAUSED THE DAMAGE.
- CONTRACTOR SHALL PROVIDE A SIGNED AND SEALED PLAT OF SURVEY AND LEGAL DESCRIPTION BY A PROFESSIONAL LAND SURVEYOR COMPLIANT WITH CHAPTER A-E 7 OF THE WISCONSIN ADMINISTRATIVE CODE SHOWING THE IMPROVEMENTS WITH A FULLY DIMENSIONED AND LEGALLY DESCRIBED PERIMETRICAL BOUNDARY OF THE ENCROACHMENT AREA REFERENCED TO THE DANE COUNTY COORDINATE SYSTEM TIED TO A QUARTER SECTION LINE AS REQUIRED BY CHAPTER 236 OF THE WISCONSIN STATUTES. THE MAP AND LEGAL DESCRIPTION SHALL ALSO DEFINE AND DESCRIBE THE THREE DIMENSIONAL LOCATION OF THE UPPER AND LOWER LIMITS OF THE IMPROVEMENTS. ALL VERTICAL LOCATIONS SHALL BE REFERENCED TO THE NAVD 88 (91) DATUM.

**UTILITY COORDINATION INFORMATION:**

CONTRACTOR SHALL COORDINATE WITH ALL PRIVATE AND PUBLIC UTILITIES TO ASCERTAIN EACH UTILITY'S DESIRED DEMOLITION AND RELAY.

<b>GAS &amp; ELECTRIC:</b> MADISON GAS & ELECTRIC 133 S. BLAIR ST. MADISON, WI	<b>INTERNET &amp; COMMUNICATIONS:</b> CENTURYLINK 10 E. DOTY ST. MADISON, WI	<b>PUBLIC WORKS (ROADS, SIDEWALK, TERRACE, LANDSCAPING, SANITARY, STORM):</b> CITY OF MADISON DEPARTMENT OF PUBLIC WORKS 211 S. CARROLL ST. MADISON, WI 53703
<b>WATER:</b> MADISON WATER UTILITY 523 E. MAIN ST. MADISON, WI	<b>CHARTER COMMUNICATIONS ADMINISTRATION</b> 2701 DANIELS STREET MADISON, WI	<b>AT&amp;T</b> 316 W. WASHINGTON AVE. MADISON, WI 53703



**Mead & Hunt**  
Mead & Hunt, Inc.  
2440 Deming Way  
Middleton, WI 53562  
phone: 608-273-6380  
meadhunt.com

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DANE COUNTY DEPT. OF PUBLIC WORKS, HIGHWAY & TRANSPORTATION  
1919 ALLIANT ENERGY CENTER WAY  
MADISON, WI 53713  
PROJECT NO. 318025

**Dane County Jail Consolidation  
South Tower Addition & Public Safety  
Building Renovation**  
115 W. Doty Street  
Madison, WI 53703

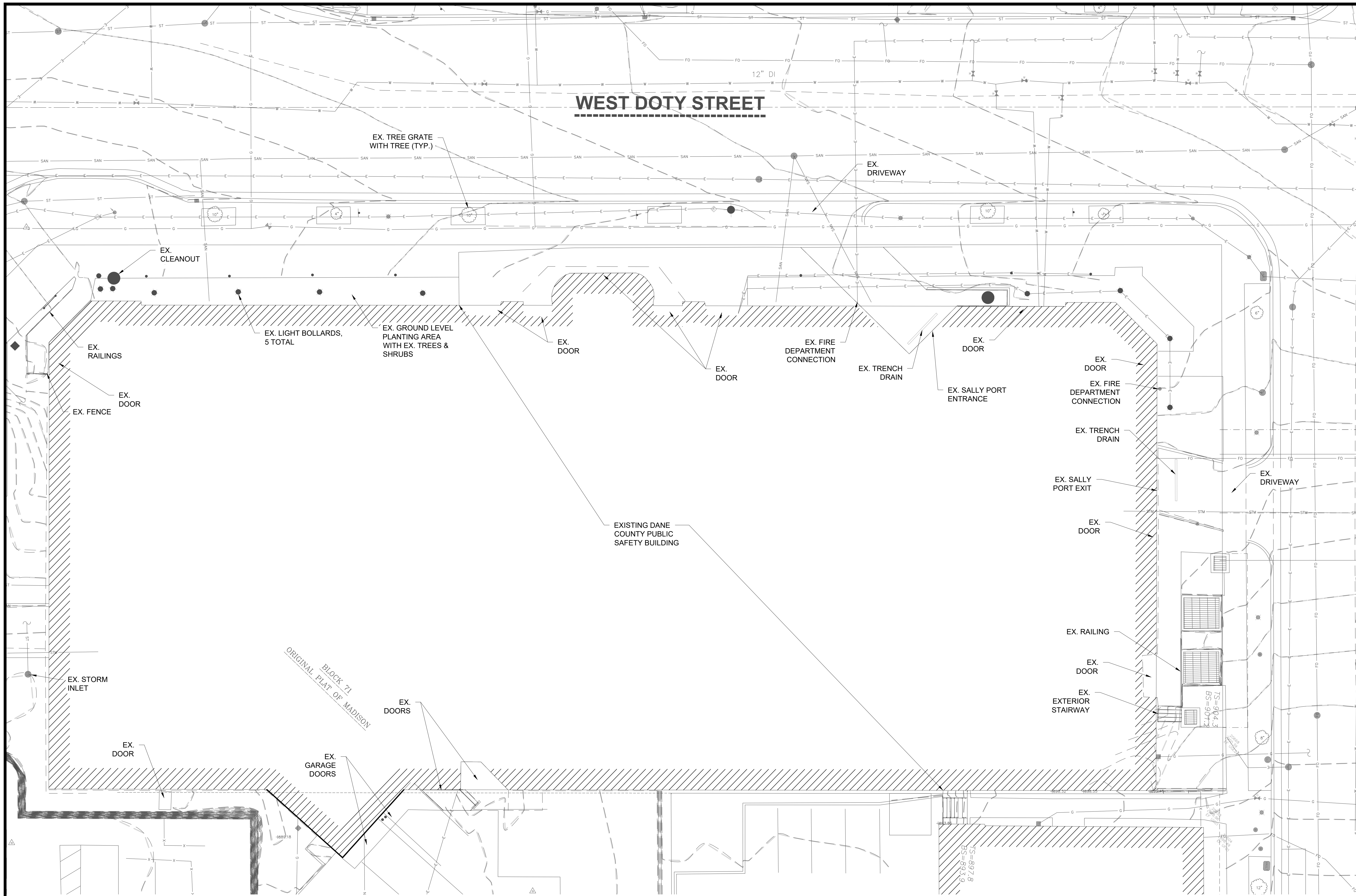
PROJECT: 19012022 LAND USE APPLICATION

NOT FOR CONSTRUCTION

MEAN NO.: 4215400-161957.01  
DATE: 04/07/2022  
DESIGNED BY: BRB  
DRAWN BY: RH  
CHECKED BY: RJ  
DO NOT SCALE DRAWINGS  
SHEET CONTENTS  
OVERALL EXISTING CONDITIONS  
SHEET NO.:

**C001**

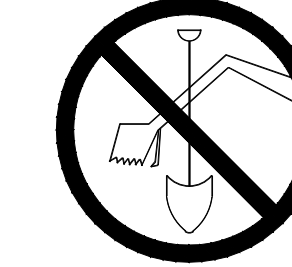




1 ENLARGED EXISTING CONDITIONS - AREA A  
 C002 1" = 10'

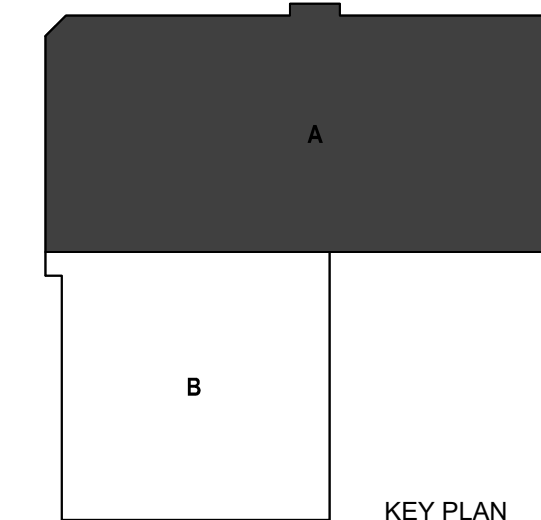
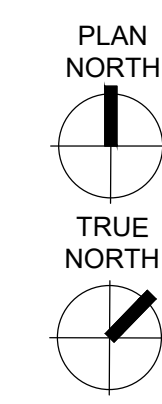
**LEGEND**  
 SEE LEGEND ON "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY" DATED 05/28/20 PREPARED BY JSD PROFESSIONAL SERVICES, INC., PROVIDED IN THIS PLAN SET.

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



CALL DIGGERS HOTLINE  
 1-800-242-8511  
 TOLL FREE  
 WI STATUTE 182.0175(1974)  
 REQUIRES MIN. 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE

**ATTENTION:**  
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**Mead & Hunt**

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 2440 Deming Way  
 Middleton, WI 53562  
 phone: 608-273-6380  
 meadhunt.com

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 1919 ALLIANT ENERGY CENTER WAY  
 MADISON, WI 53713  
 PROJECT NO. 318025

**Dane County Jail Consolidation  
 South Tower Addition & Public Safety  
 Building Renovation**  
 115 W. Doty Street  
 Madison, WI 53703

ISSUE: 10/12/2022 LAND USE APPLICATION

**NOT FOR CONSTRUCTION**

MEAN NO: 4215400-161957.01  
 DATE: 04/07/2022  
 DESIGNED BY: BRB  
 DRAWN BY: RH  
 CHECKED BY: RJ

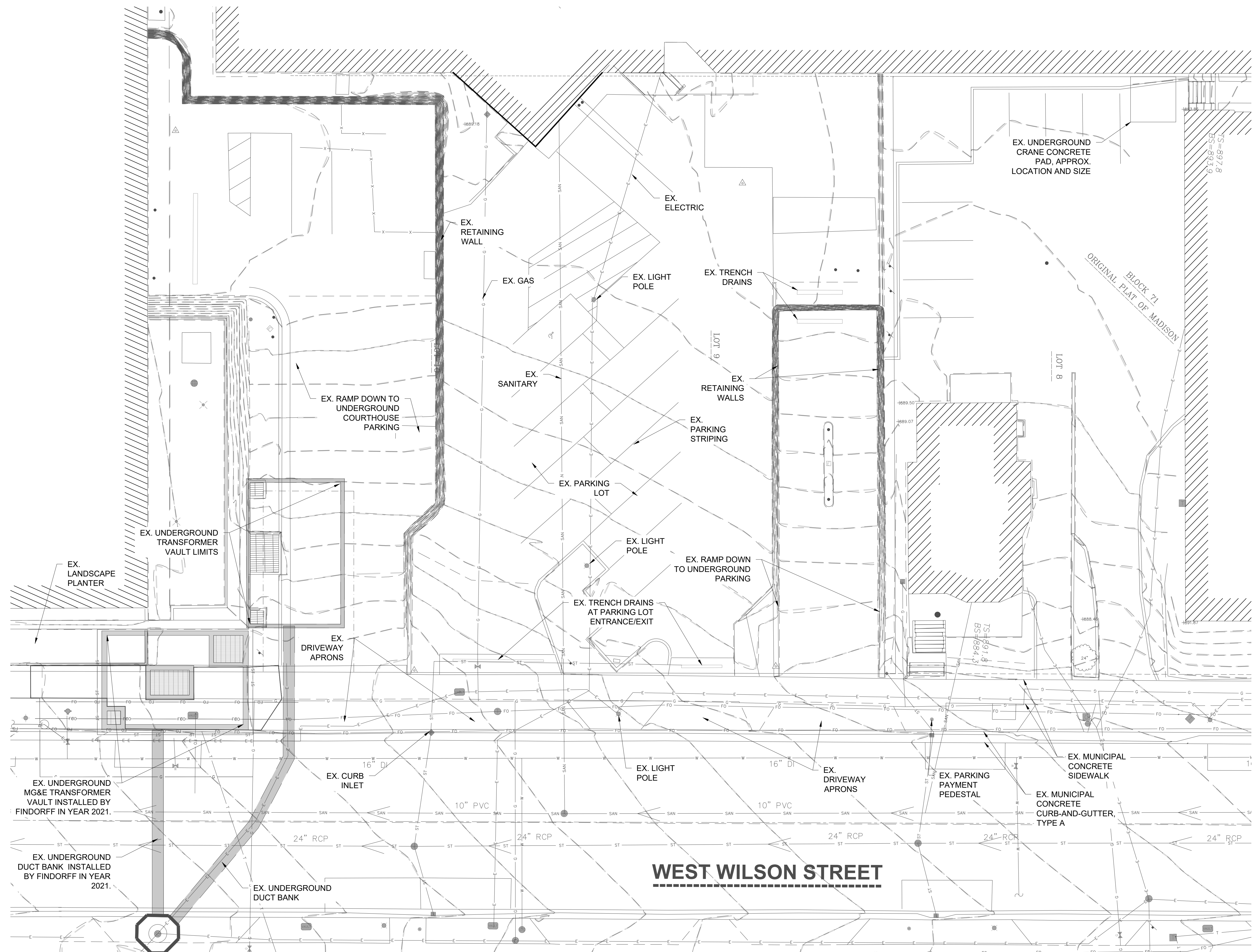
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 ENLARGED EXISTING CONDITIONS - AREA A

SHEET NO:

**C002**

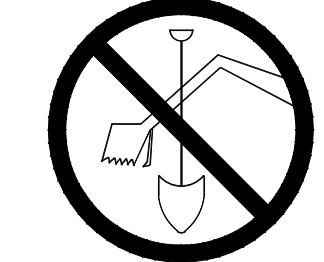


**LEGEND**  
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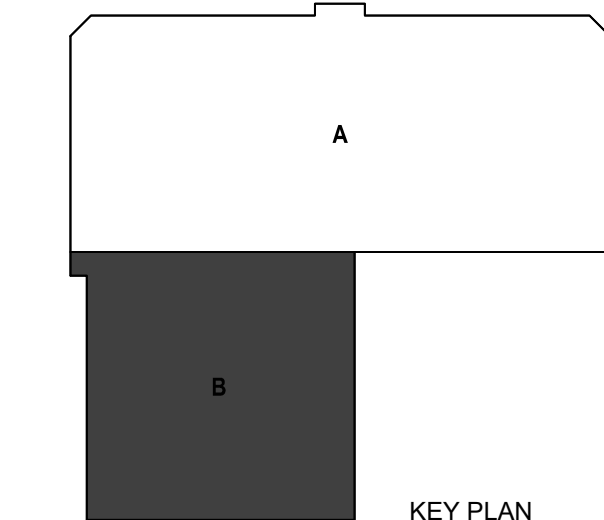
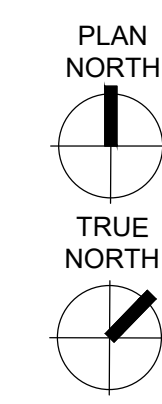
**1**  
**C003** ENLARGED EXISTING CONDITIONS - AREA B  
 1" = 10'

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



**CALL DIGGERS HOTLINE**  
 1-800-242-8511  
 TOLL FREE  
 WIS. STATUTE 182.0175(1974)  
 REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

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 1919 ALLIANT ENERGY CENTER WAY  
 MADISON, WI 53713  
 PROJECT NO. 318025

**Dane County Jail Consolidation  
 South Tower Addition & Public Safety  
 Building Renovation**  
 115 W. Doty Street  
 Madison, WI 53703

19012022 LAND USE APPLICATION

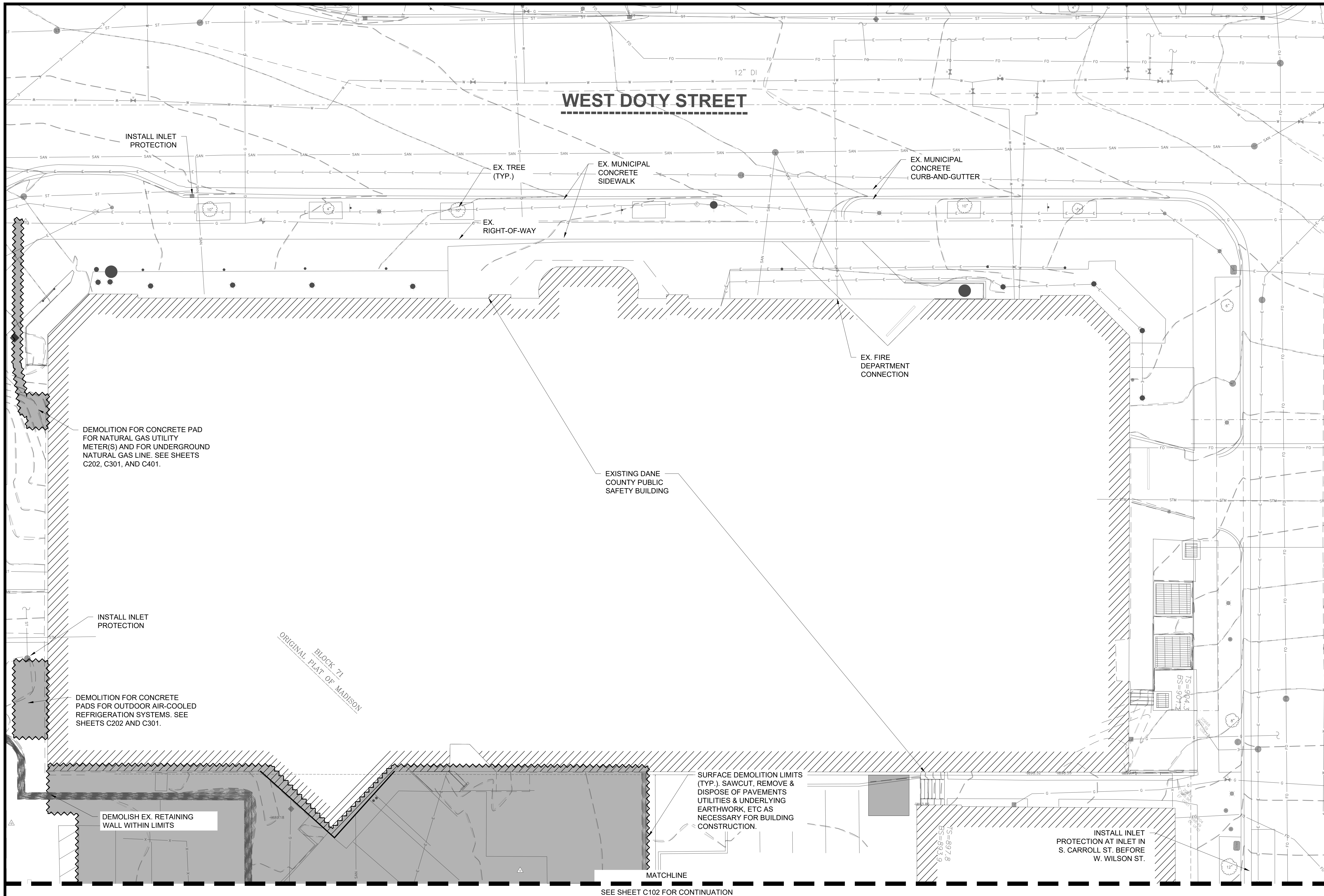
**NOT FOR CONSTRUCTION**

SHEET NO.: 4215400-161957-01  
 DATE: 04/07/2022  
 DESIGNED BY: BRB  
 DRAWN BY: RH  
 CHECKED BY: RJJ  
 DO NOT SCALE DRAWINGS

SHEET CONTENTS  
 ENLARGED EXISTING CONDITIONS - AREA B

**C003**





**LEGEND**  
 SEE LEGEND ON "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY" DATED 05/28/20 PREPARED BY JSD PROFESSIONAL SERVICES, INC., PROVIDED IN THIS PLAN SET.  
 PROPOSED SURFACE DEMOLITION LIMITS

**Mead & Hunt**  
 Mead & Hunt, Inc.  
 2440 Deming Way  
 Middleton, WI 53562  
 phone: 608-273-6380  
 meadhunt.com

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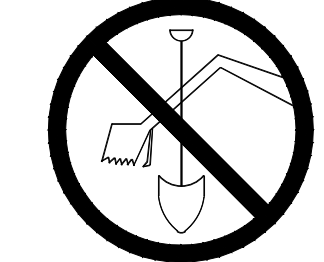
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 PROJECT NO. 318025

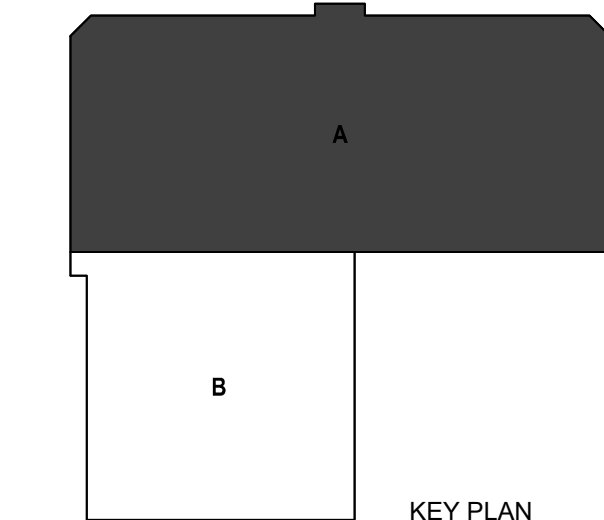
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**1**  
**C101** ENLARGED DEMOLITION PLAN - AREA A  
 1" = 10'

- DEMOLITION PLAN NOTES:**
- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
  - EARTH MOVING: CONFORM TO SECTION 312000 "EARTH MOVING" OF PROJECT SPECIFICATIONS.
  - INLET PROTECTION: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 1.04 "INLET PROTECTION TYPE C AND TYPE C "MODIFIED".

19012022 LAND USE APPLICATION

**NOT FOR CONSTRUCTION**

MAN NO: 4215400-161957.01  
 DATE: 04/07/2022  
 DESIGNED BY: BRB  
 DRAWN BY: RH  
 CHECKED BY: RJ  
 DO NOT SCALE DRAWINGS

SHEET CONTENTS  
 ENLARGED DEMOLITION PLAN - AREA A

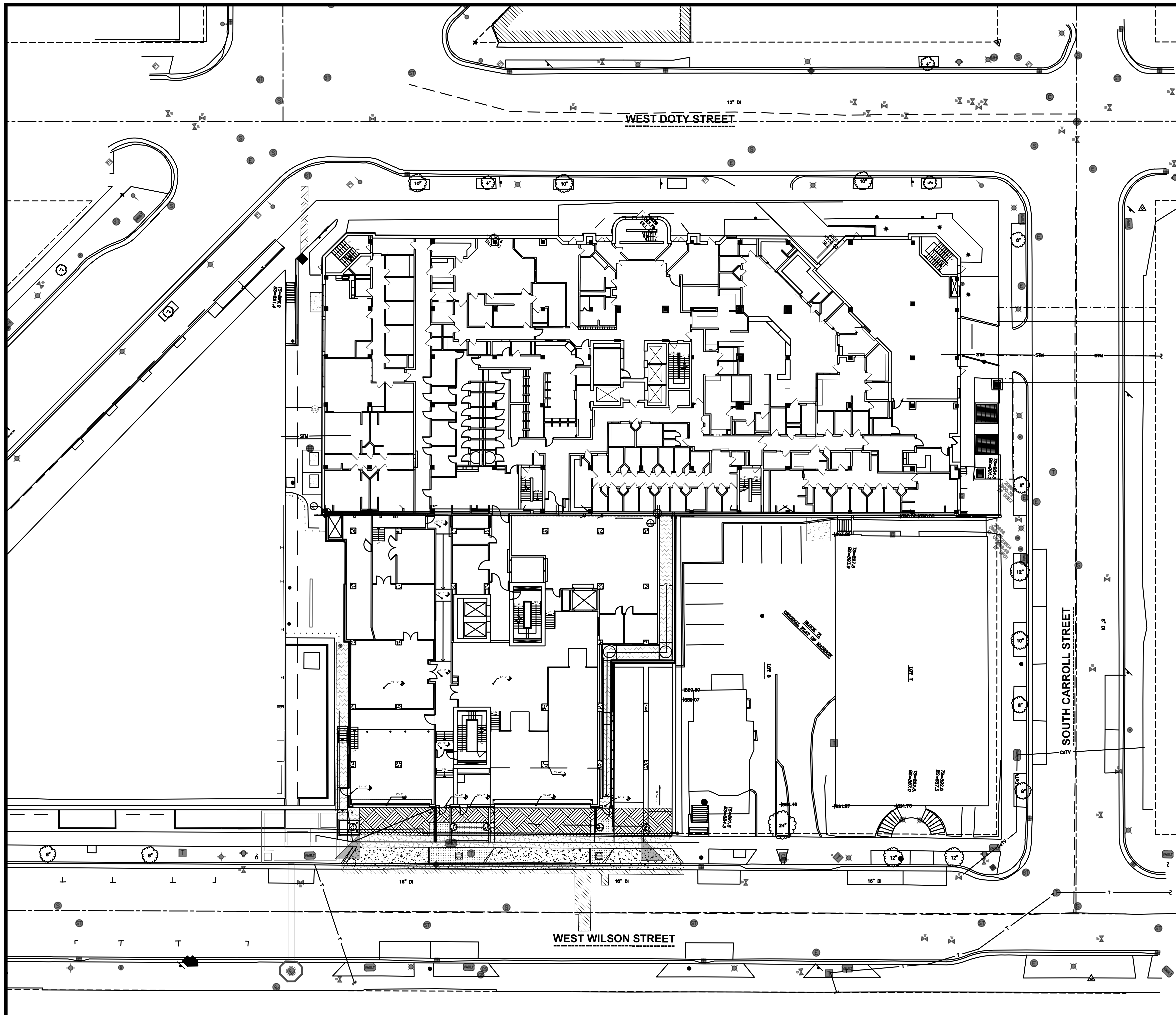
SHEET NO:

**C101**









**CIVIL NOTES (SHEETS C201-C203, C301- 302, & C402)**

- "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY" DATED 05/28/20 PREPARED BY JSD PROFESSIONAL SERVICES, INC.
- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
- ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE FEDERAL AND LOCAL LAWS, CODES, AND ORDINANCES.
- THE LOCATIONS OF COVERED SLABS, ASPHALT CONCRETE PAVEMENTS, PIPES, UNDERGROUND STRUCTURES, OR OTHER UTILITIES SHOWN ON THESE PLANS ARE BASED ON VISIBLE FEATURES ON THE GROUND OR AVAILABLE DRAWINGS PROVIDED BY OTHERS; THEREFORE, THEY ARE APPROXIMATE. VERIFY THE TYPE OF MATERIALS, EXACT LOCATION, SIZE AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF WORK.
- RESTORE TO ORIGINAL CONDITION EXISTING ASPHALT CONCRETE PAVEMENT, CEMENTITIOUS CONCRETE PAVEMENT, CONCRETE WALKS, LANDSCAPED AREAS, AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED DURING CONSTRUCTION.
- PROTECT EXISTING UTILITIES, VALVE BOXES, AND MANHOLES, WHETHER SHOWN OR NOT SHOWN ON THE PLANS, AFFECTED BY TRENCHING WORK. IF DISTURBED, RESTORE TO ORIGINAL CONDITION.
- VERIFY THE LOCATIONS, SIZES, AND MATERIALS OF PROPOSED CONNECTIONS TO EXISTING UTILITIES. EXERCISE EXTREME CAUTION DURING EXCAVATION ACTIVITIES IN THESE LOCATIONS.
- CONDUCT CONSTRUCTION OPERATIONS WITH MINIMAL INTERFERENCE TO ROADS, DRIVEWAYS, PARKING AREAS, SIDEWALKS, AND OTHER PEDESTRIAN AND VEHICULAR FACILITIES. PROVIDE CONTINUOUS TRAFFIC FLOW IN ALL DIRECTIONS AT ALL TIMES.
- REVIEW THE PLANS AND NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND BEFORE PROCEEDING WITH THE WORK.
- COORDINATE AND OBTAIN CLEARANCES AND PERMITS FROM THE CITY OF MADISON DEPARTMENT OF PUBLIC WORKS PRIOR TO EXCAVATION ACTIVITIES.
- PROTECT EXISTING SURVEY MONUMENTS. REPORT DAMAGED SURVEY MONUMENTS. RESTORE AND REPAIR DISTURBED SURVEY MONUMENTS.
- MINIMIZE DISRUPTION OF UTILITY SERVICES. THE OWNER SHALL APPROVE IN ADVANCE ANY SERVICE INTERRUPTIONS AND THE REMOVAL OF EXISTING UTILITY LINES. PROVIDE WRITTEN NOTIFICATION TO OWNER 72 HOURS IN ADVANCE OF INTERRUPTIONS OF SERVICE. MAXIMUM UTILITY OUTAGE FOR ANY ONE (1) INTERRUPTION SHALL NOT EXCEED FOUR (4) HOURS PER DAY.
- RESTORE UNPAVED AREAS DISTURBED DURING CONSTRUCTION BY SODDING.
- PROVIDE TEMPORARY CONNECTION TO EXISTING LINES AS REQUIRED TO MINIMIZE UTILITY SERVICE INTERRUPTIONS BEFORE THE REMOVAL OF ANY PORTION OF EXISTING LINES.
- PROVIDE TEMPORARY ACCESS PROTECTION FOR EQUIPMENT, TRUCKS OR OTHER CONSTRUCTION VEHICLES TO PREVENT ANY DAMAGE TO EXISTING AND/OR NEWLY INSTALLED CONCRETE SIDEWALKS, CURBS, AND PAVING.
- ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND AVOID PONDING CONDITIONS ANYWHERE ON SITE. DIRECT STORM WATER TO STORM WATER CONVEYANCE STRUCTURES.
- DUE TO VARIATIONS AND CONSTRAINTS, DETERMINE EACH UTILITY TIE IN LAYOUT BY ITS ACTUAL FIELD CONDITIONS. CHANGES TO THE DESIGN CONFIGURATION REQUIRE APPROVAL OF THE ARCHITECT/ENGINEER AND DOCUMENTATION ON THE AS-BUILT DRAWINGS.
- EXERCISE EXTREME CAUTION IN EXCAVATING AREAS THAT ARE KNOWN TO HAVE UNDERGROUND UTILITIES. HAND EXCAVATE WITHIN 3 FEET OF ANY EXISTING UTILITIES. IN CASES WHERE THE DEPTH OR ELEVATION ARE NOT INDICATED ON THE PLANS, PROCEED WITH CAUTION.
- PROVIDE SHORING FOR TRENCH EXCAVATION WORK THAT EXCEEDS 4 FEET IN DEPTH.
- PRESERVE AND PROTECT ALL EXISTING TREES AND PLANT MATERIALS NOT IDENTIFIED ON THE PLANS FOR REMOVAL OR RELOCATION. IF PROPOSED IMPROVEMENTS MAY NEGATIVELY AFFECT THE MAJOR ROOT SYSTEMS, OBTAIN APPROVAL OF THE ARCHITECT/ENGINEER TO REMOVE OR RELOCATE THE EXISTING TREE OR PLANT MATERIAL.
- THE EXISTING COMMUNICATIONS VAULT AND DUCT BANK IS TO BE REMOVED AND PROPERLY DISPOSED.
- THE NEWLY CONSTRUCTED VAULT AND DUCT BANK IS TO BE PROTECTED AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE FOR THE SUPPORT AND PROTECTION OF THE NEWLY CONSTRUCTED FIBER OPTIC CABLES AND OR DUCTS FOR THE DURATION OF THE PROJECT. ANY COSTS ASSOCIATED WITH THE DAMAGE AND REPAIR OF THE NEWLY CONSTRUCTED FIBER OPTIC CABLES AND VAULT ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
- CONTRACTOR SHALL PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO CITY OF MADISON TRAFFIC ENGINEERING. CONTRACTOR SHALL BE RESPONSIBLE FOR FEES ASSOCIATED WITH THE TEMPORARY LOSS OF PARKING SPACES DURING CONSTRUCTION. IN MARCH 2021, THE FEE WAS \$18/STALL/DAY.

**LEGEND**

SEE LEGEND ON "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY" DATED 05/28/20 PREPARED BY JSD PROFESSIONAL SERVICES, INC., PROVIDED IN THIS PLAN SET, FOR EXISTING FEATURES.

EXISTING	PROPOSED	
— W —	— W —	WATER PIPE
— SAN —	— SAN —	SANITARY PIPE
— ST —	— ST —	STORM PIPE
— E —	— E —	ELECTRICAL CONDUIT
	○	WATER VALVE
	○	SANITARY CLEANOUT
	○	ROOF DRAIN CONNECTION
	○	HYDRANT
	○	LIGHT POLE
	○	LIGHT POLE
	[Pattern]	PROPOSED MUNICIPAL CONCRETE SIDEWALK (DETAIL 2/C203 AND MADISON SDD 4.02)
	[Pattern]	PROPOSED MUNICIPAL CONCRETE DRIVEWAY (DETAIL 3/C203 AND MADISON SDD 3.02)
	[Pattern]	PROPOSED PERMEABLE CONCRETE DRIVEWAY PAVEMENT (DETAIL 4/C203)
	[Pattern]	PROPOSED CONCRETE SIDEWALK PAVEMENT (DETAIL 5/C203)
	[Pattern]	PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
	[Pattern]	PROPOSED TREE TRENCH
	[Pattern]	PROPOSED ASPHALT ROADWAY PAVEMENT
	[Pattern]	PROPOSED TURF

**GENERAL NOTES:**

- CONTRACTOR SHALL CONTACT DIGGERS HOTLINE PRIOR TO DOING ANY EXCAVATION.
- DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL AND STATE BUILDING CODES AND ORDINANCES AND GENERAL DESIGN STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY WATER DAMAGE THAT OCCURS IN THE VAULT OR IN AREAS ADJACENT TO THE VAULT REGARDLESS OF THE CAUSE OF THE WATER INFILTRATION.
- CONTRACTOR SHALL OBTAIN A STREET EXCAVATION PERMIT PRIOR TO DOING ANY REPAIR WORK THAT INVOLVES EXCAVATION WITHIN THE PUBLIC RIGHT OF WAY.
- CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGES TO THE VAULT INCLUDING DAMAGE TO ANY WATER PROOFING MEMBRANES OR OTHER FEATURES REGARDLESS OF WHO CAUSED THE DAMAGE.
- CONTRACTOR SHALL PROVIDE A SIGNED AND SEALED PLAT OF SURVEY AND LEGAL DESCRIPTION BY A PROFESSIONAL LAND SURVEYOR COMPLIANT WITH CHAPTER A-E 7 OF THE WISCONSIN ADMINISTRATIVE CODE SHOWING THE IMPROVEMENTS WITH A FULLY DIMENSIONED AND LEGALLY DESCRIBED PERIMETRICAL BOUNDARY OF THE ENCROACHMENT AREA REFERENCED TO THE DANE COUNTY COORDINATE SYSTEM TIED TO A QUARTER SECTION LINE AS REQUIRED BY CHAPTER 236 OF THE WISCONSIN STATUTES. THE MAP AND LEGAL DESCRIPTION SHALL ALSO DEFINE AND DESCRIBE THE THREE DIMENSIONAL LOCATION OF THE UPPER AND LOWER LIMITS OF THE IMPROVEMENTS. ALL VERTICAL LOCATIONS SHALL BE REFERENCED TO THE NAVD 88 (91) DATUM.

**1 OVERALL SITE PLAN**  
1" = 20'

**UTILITY COORDINATION INFORMATION:**

CONTRACTOR SHALL COORDINATE WITH ALL PRIVATE AND PUBLIC UTILITIES TO ASCERTAIN EACH UTILITY'S DESIRED DEMOLITION AND RELAY.

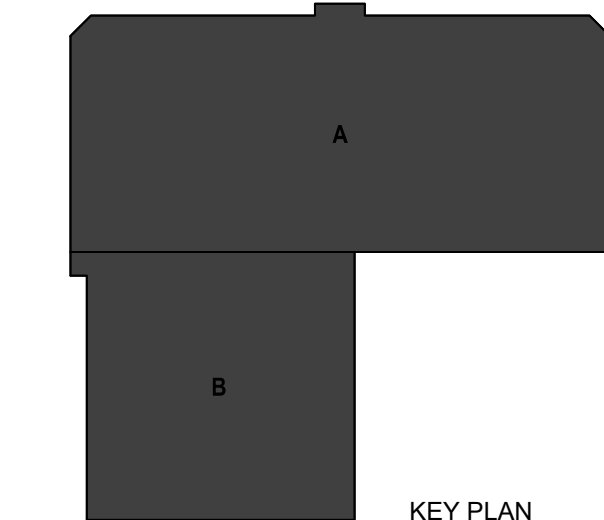
GAS & ELECTRIC:	INTERNET & COMMUNICATIONS:	PUBLIC WORKS (ROADS, SIDEWALK, TERRACE, LANDSCAPING, SANITARY, STORM):
MADISON GAS & ELECTRIC 133 S. BLAIR ST. MADISON, WI	CENTURYLINK 10 E. DOTY ST. MADISON, WI	CITY OF MADISON DEPARTMENT OF PUBLIC WORKS 211 S. CARROLL ST. MADISON, WI 53703
WATER: MADISON WATER UTILITY 523 E. MAIN ST. MADISON, WI	CHARTER COMMUNICATIONS ADMINISTRATION 2701 DANIELS STREET MADISON, WI	
	AT&T 316 W. WASHINGTON AVE. MADISON, WI 53703	

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



CALL DIGGERS HOTLINE  
1-800-242-8511  
TOLL FREE  
WIS STATUTE 182.0175(1974)  
REQUIRES MIN. 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE

**ATTENTION:**  
ALL UTILITY LOCATIONS ARE SHOWN FROM FIELD OBSERVATION BASED UPON LOCATES AND/OR INFORMATION RECEIVED FROM OTHER SURVEYS AND VARIOUS UTILITY COMPANIES. BEFORE THE START OF ANY EXCAVATION, A COMPLETE LOCATE OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA SHOULD BE COMPLETED.



**Mead & Hunt**  
Mead & Hunt, Inc.  
2440 Deming Way  
Middleton, WI 53562  
phone: 608-273-6380  
meadhunt.com

**Potter Lawson**  
Success by Design

**DR**

**ONEIDA**  
Total Integrated Enterprises

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DANE COUNTY DEPT. OF PUBLIC WORKS, HIGHWAY & TRANSPORTATION  
1919 ALLIANT ENERGY CENTER WAY  
MADISON, WI 53713  
PROJECT NO. 318025

**Dane County Jail Consolidation  
South Tower Addition & Public Safety  
Building Renovation**  
115 W. Doty Street  
Madison, WI 53703

19012802 LAND USE APPLICATION

**NOT FOR CONSTRUCTION**

MEAN NO: 4215400-161957-01  
DATE: 04/07/2022  
DESIGNED BY: BRB  
DRAWN BY: RH  
CHECKED BY: RJ  
DO NOT SCALE DRAWINGS

SHEET CONTENTS  
**OVERALL SITE PLAN**

SHEET NO:  
**C201**



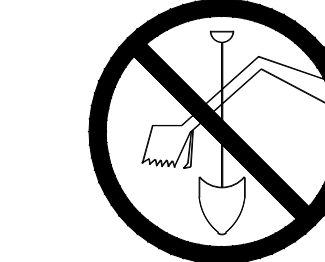
**LEGEND**

SEE LEGEND ON "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY" DATED 05/28/20 PREPARED BY JSD PROFESSIONAL SERVICES, INC., PROVIDED IN THIS PLAN SET, FOR EXISTING FEATURES.

EXISTING	PROPOSED	
		WATER PIPE
		SANITARY PIPE
		STORM PIPE
		ELECTRICAL CONDUIT
		WATER VALVE
		SANITARY CLEANOUT
		ROOF DRAIN CONNECTION
		HYDRANT
		LIGHT POLE
		LIGHT POLE

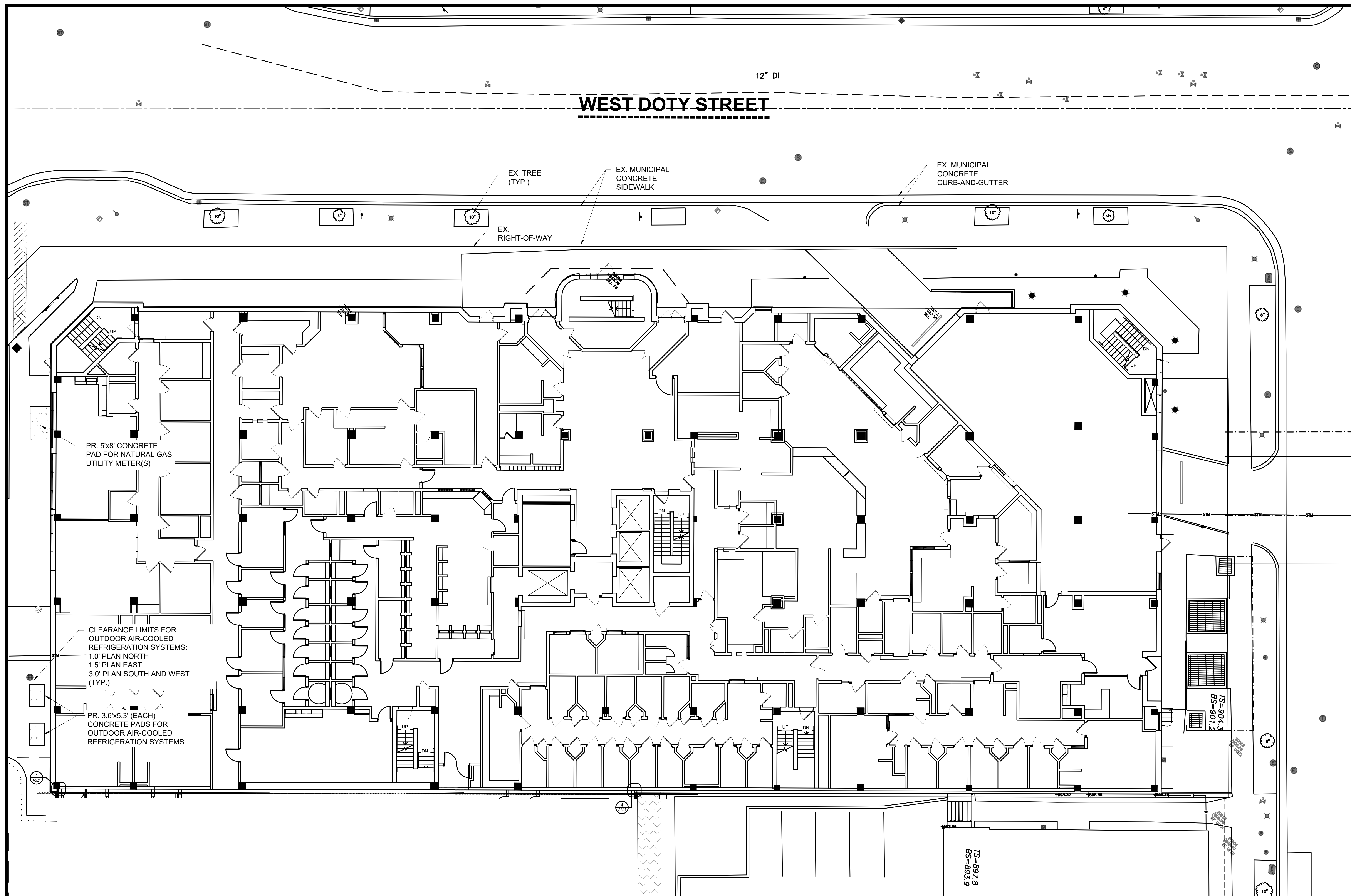
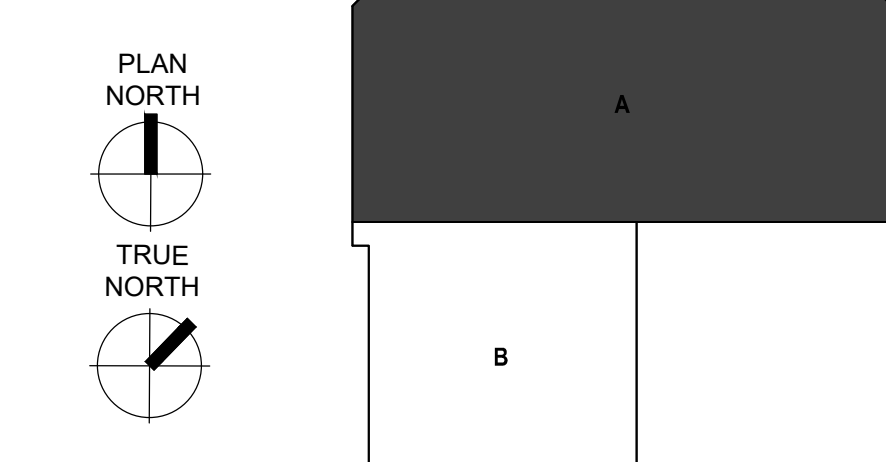
	PROPOSED MUNICIPAL CONCRETE SIDEWALK (DETAIL 2/C203 AND MADISON SDD 4.02)
	PROPOSED MUNICIPAL CONCRETE DRIVEWAY (DETAIL 3/C203 AND MADISON SDD 3.02)
	PROPOSED PERMEABLE CONCRETE DRIVEWAY PAVEMENT (DETAIL 4/C203)
	PROPOSED CONCRETE SIDEWALK PAVEMENT (DETAIL 5/C203)
	PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
	PROPOSED TREE TRENCH
	PROPOSED ASPHALT ROADWAY PAVEMENT
	PROPOSED TURF

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



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WIS STATUTE 182.0175(1974)  
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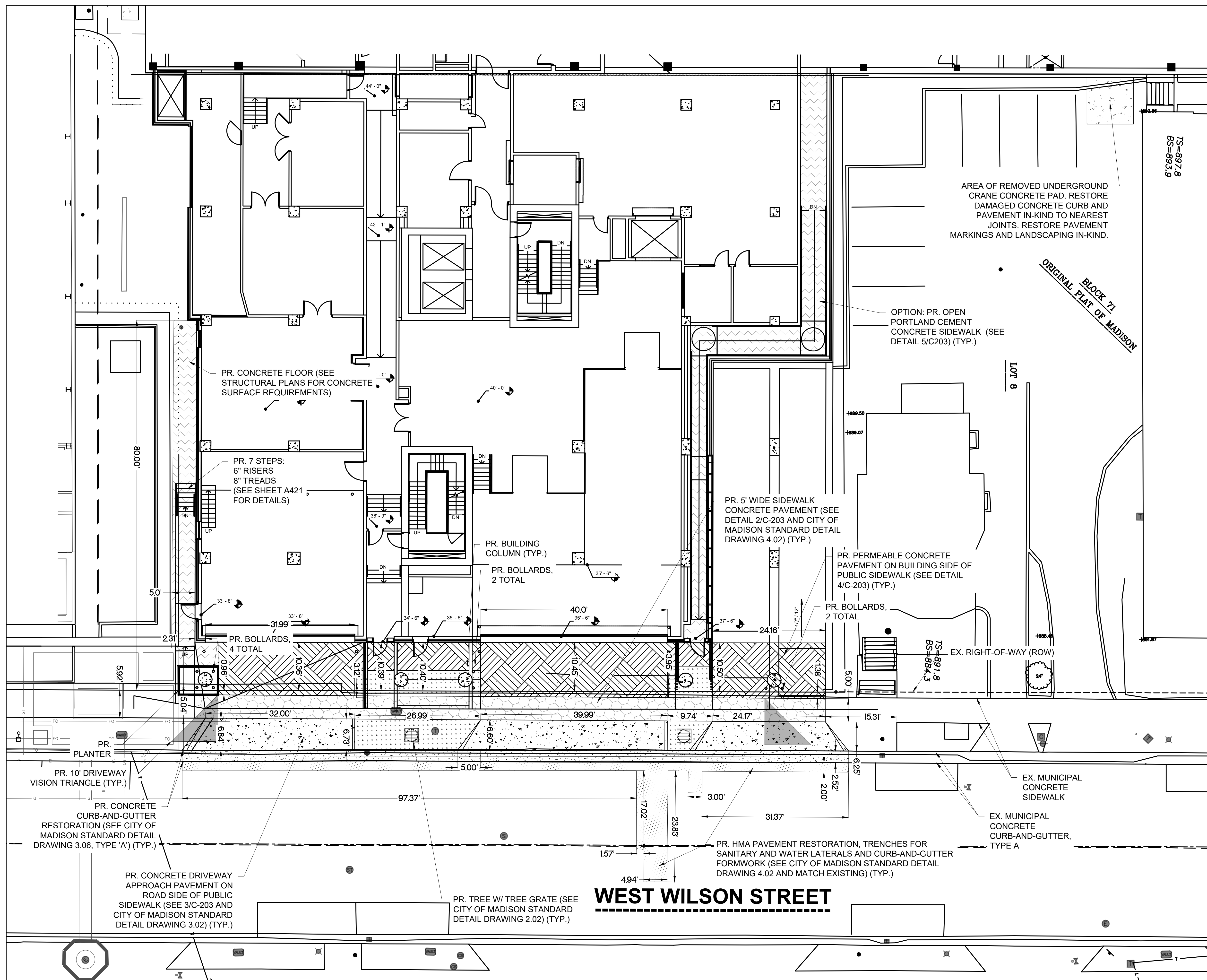
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**1**  
C202 ENLARGED SITE PLAN - AREA A  
1" = 10'

- SITE AND GRADING PLAN NOTES:**
- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
  - EARTH MOVING: CONFORM TO SECTION 312000 "EARTH MOVING" OF PROJECT SPECIFICATIONS.
  - ASPHALT: CONFORM TO SECTION 321216 "ASPHALT PAVING" OF PROJECT SPECIFICATIONS.
  - CONCRETE: CONFORM TO SECTION 321313 "CONCRETE PAVING" OF PROJECT SPECIFICATIONS.
  - CURB-AND-GUTTER: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 3.06 "MADISON STANDARD CONCRETE CURB & GUTTER" AND STANDARD DETAIL DRAWING 3.10 "LONGITUDINAL JOINTS AND PAVEMENT TIES DETAIL. CONFORM TO TYPE 'A' CONCRETE CURB & GUTTER AND TO DRIVEWAY SECTION TYPE 'A' CURB & GUTTER IN DRAWING 3.06 AND TO PAVEMENT TIES ON DRAWING 3.10.
  - DRIVEWAYS: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 3.02 "MADISON STANDARD CURB CUT DETAILS" AND STANDARD DETAIL DRAWING 3.09 "MADISON STANDARD COMMERCIAL DRIVE DETAILS." CONFORM TO COMMERCIAL DETAIL AND TO DRIVEWAY SECTION TYPE "A" CONCRETE CURB & GUTTER DETAIL IN DRAWING 3.02.
  - ALL PAVEMENT WORK IN THE PUBLIC ROW WILL BE DESIGNED BY THE CITY OF MADISON ENGINEERING DEPARTMENT.





**SITE AND GRADING PLAN NOTES:**

- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
- EARTH MOVING: CONFORM TO SECTION 312000 "EARTH MOVING" OF PROJECT SPECIFICATIONS.
- ASPHALT: CONFORM TO SECTION 321216 "ASPHALT PAVING" OF PROJECT SPECIFICATIONS.
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- DRIVEWAYS: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 3.02 "MADISON STANDARD CURB CUT DETAILS" AND STANDARD DETAIL DRAWING 3.09 "MADISON STANDARD COMMERCIAL DRIVE DETAILS." CONFORM TO COMMERCIAL DETAIL AND TO DRIVEWAY SECTION TYPE "A" CONCRETE CURB & GUTTER DETAIL IN DRAWING 3.02.
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**LEGEND**

SEE LEGEND ON "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY" DATED 05/28/20 PREPARED BY JSD PROFESSIONAL SERVICES, INC., PROVIDED IN THIS PLAN SET, FOR EXISTING FEATURES.

EXISTING	PROPOSED	DESCRIPTION
— W —	— W —	WATER PIPE
— SAN —	— SAN —	SANITARY PIPE
— ST —	— ST —	STORM PIPE
— E —	— E —	ELECTRICAL CONDUIT
○	○	WATER VALVE
○	○	SANITARY CLEANOUT
○	○	ROOF DRAIN CONNECTION
○	○	HYDRANT
○	○	LIGHT POLE
○	○	LIGHT POLE
[Pattern]	[Pattern]	PROPOSED MUNICIPAL CONCRETE SIDEWALK (DETAIL 2/C203 AND MADISON SDD 4.02)
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[Pattern]	[Pattern]	PROPOSED ASPHALT ROADWAY PAVEMENT
[Pattern]	[Pattern]	PROPOSED TURF

**Mead & Hunt**

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2440 Deming Way  
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phone: 608-273-6380  
meadhunt.com

**Potter Lawson**

Success by Design

**DR**

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Total Integrated Enterprises

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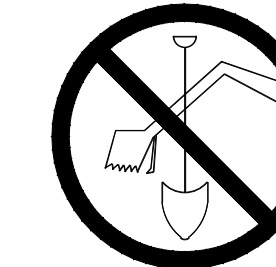
DANE COUNTY DEPT. OF PUBLIC WORKS, HIGHWAY & TRANSPORTATION  
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PROJECT NO. 318025

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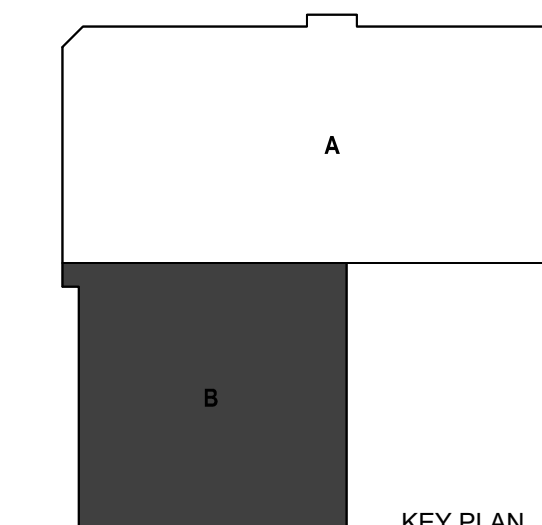
**WEST WILSON STREET**

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

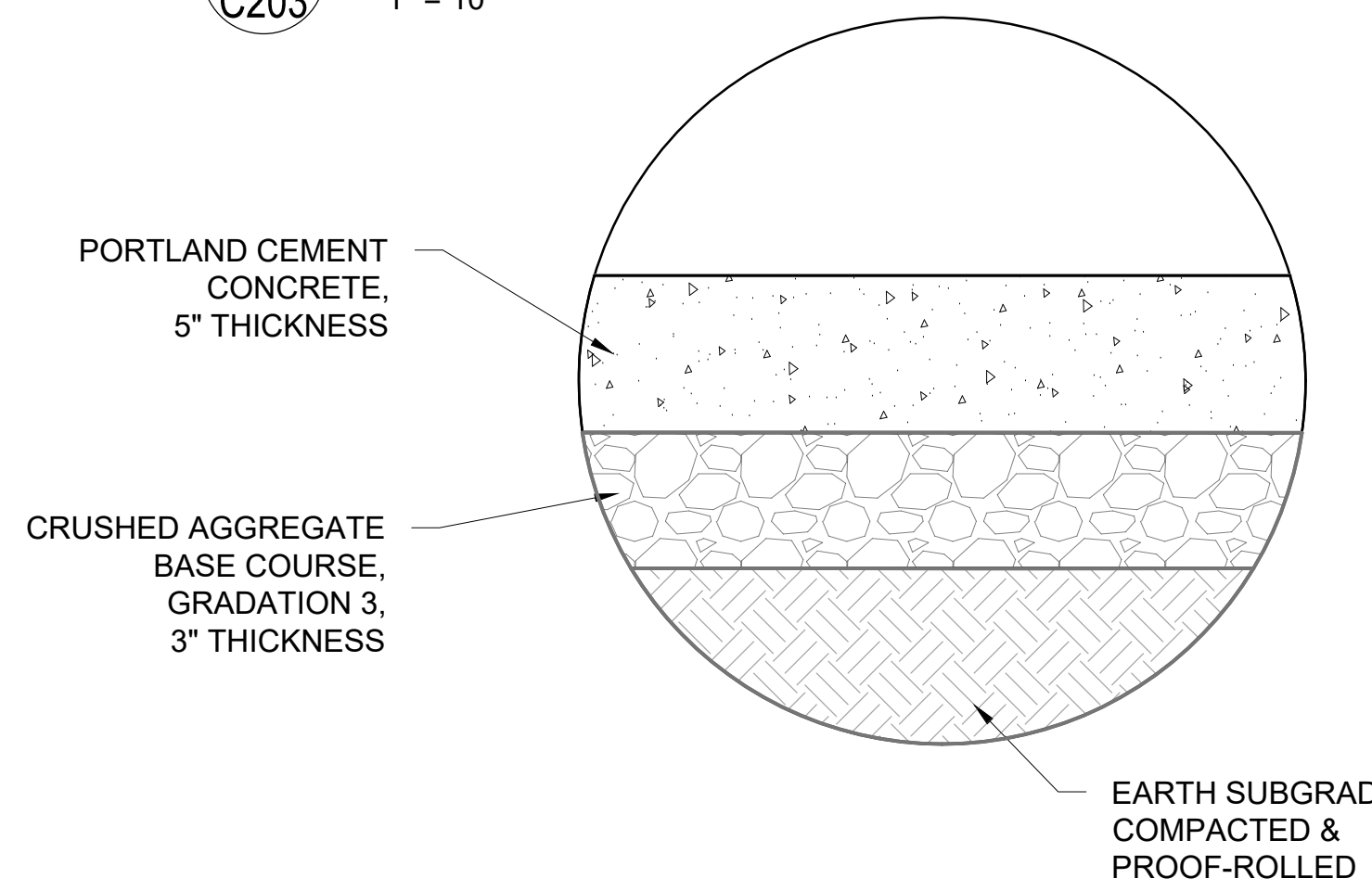


CALL DIGGERS HOTLINE  
1-800-242-8511  
TOLL FREE  
WS STATUTE 182.0175(1974)  
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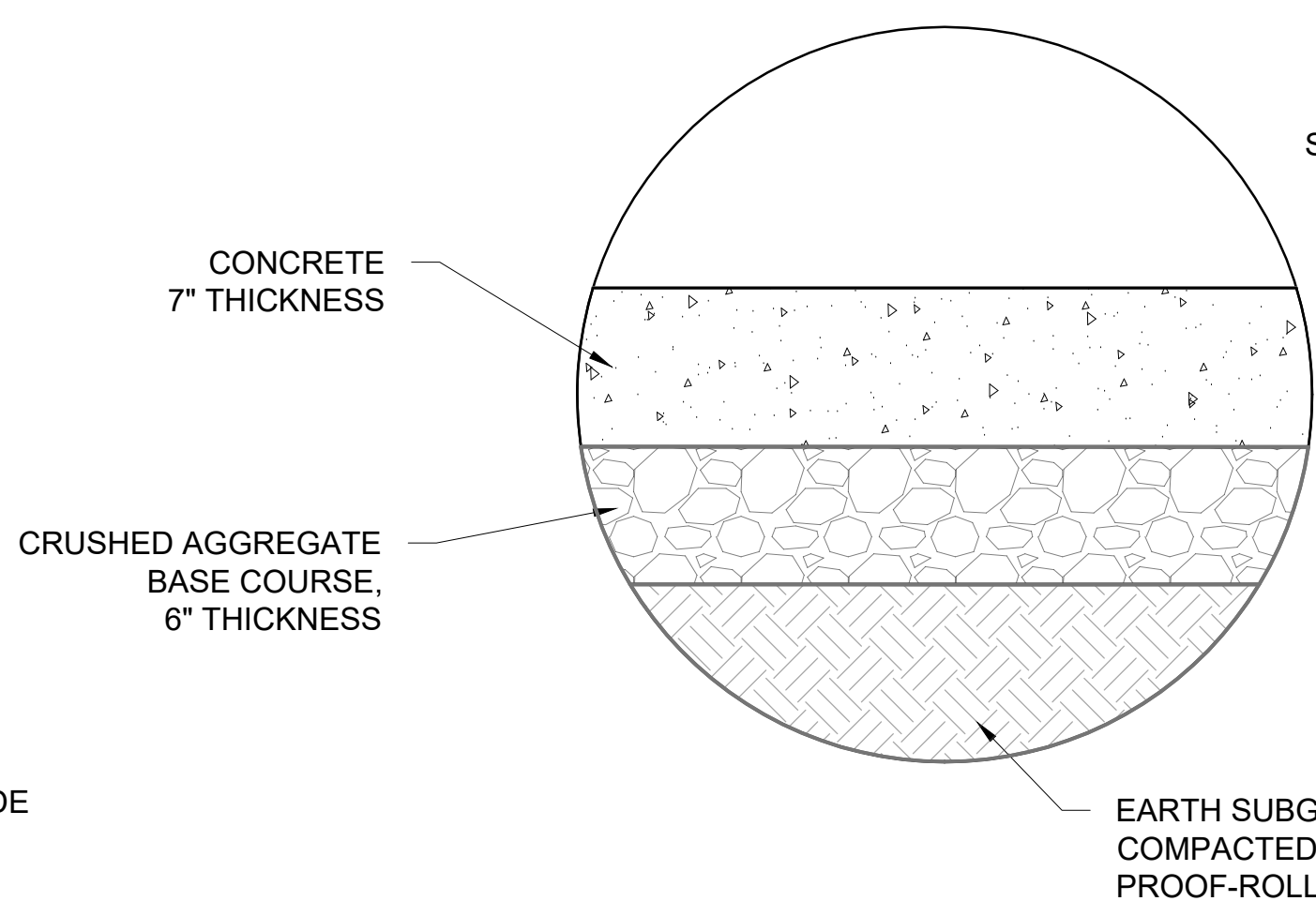
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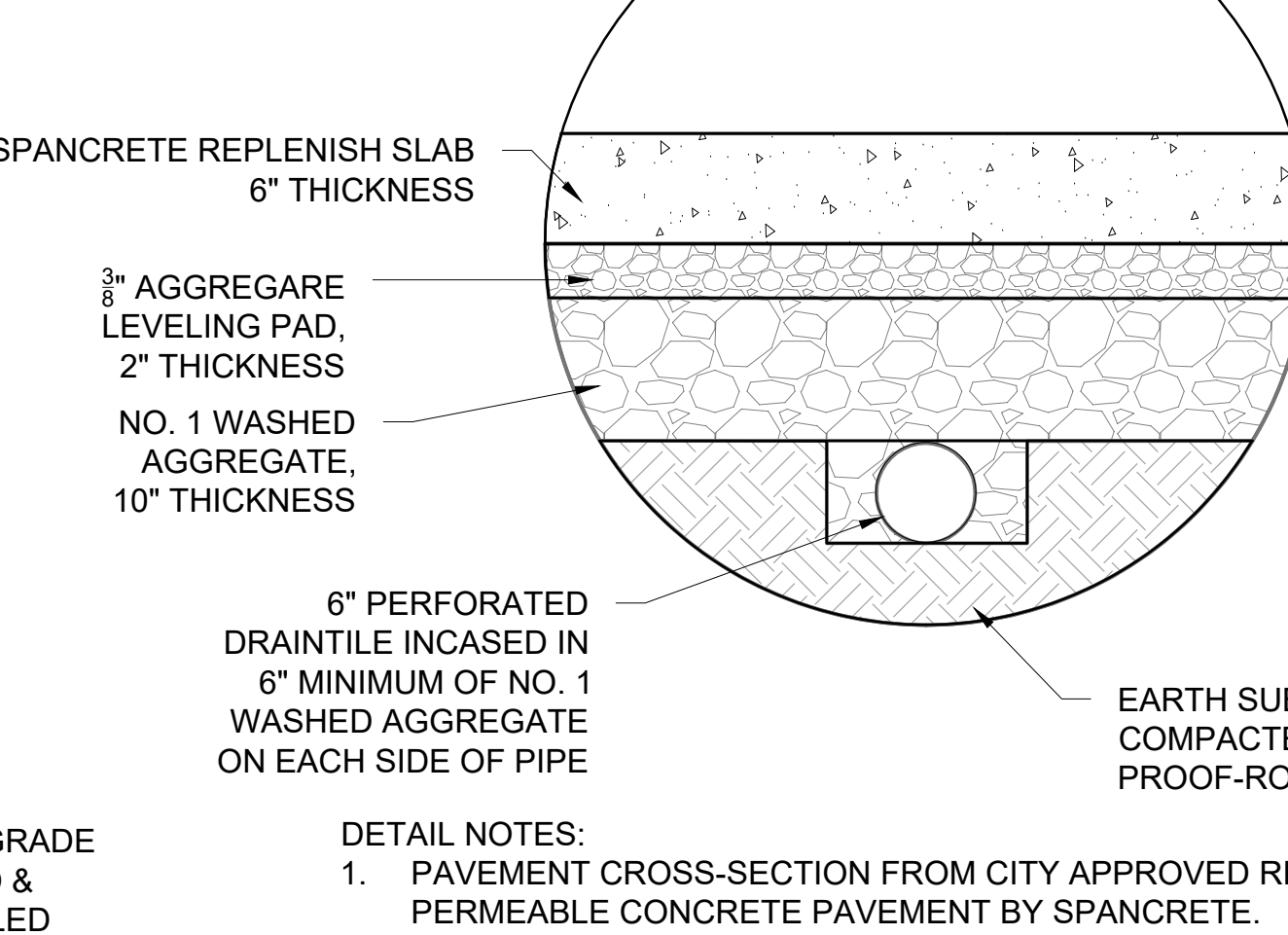
**1 ENLARGED SITE PLAN - AREA B**  
1" = 10'



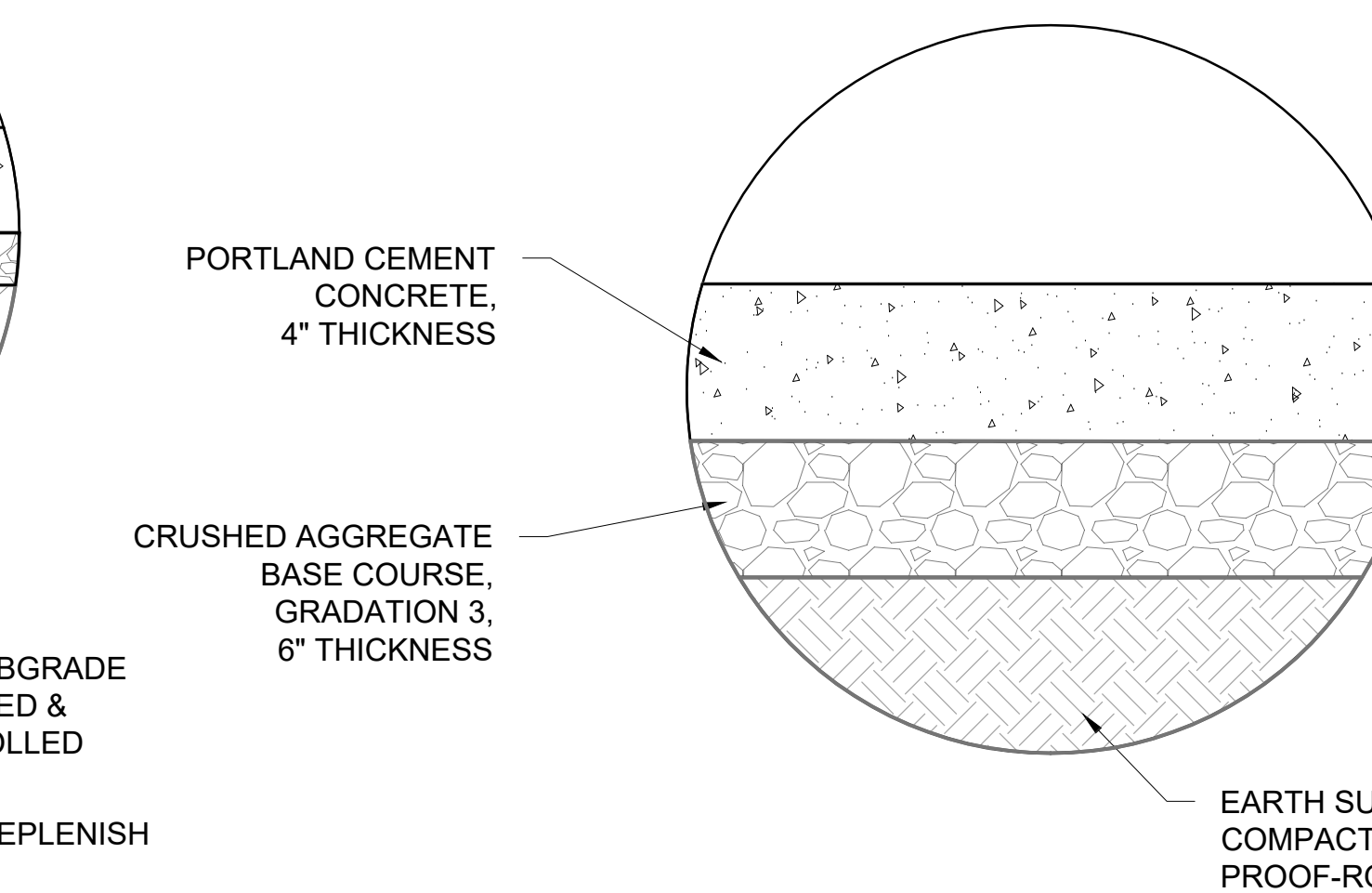
**2**  
C203  
NTS



**3**  
C203  
NTS



**4**  
C203  
NTS



**5**  
C203  
NTS

**DETAIL NOTES:**  
1. PAVEMENT CROSS-SECTION FROM CITY APPROVED REPLENISH PERMEABLE CONCRETE PAVEMENT BY SPANCRETE.  
2. DETAIL FOR USE ON DANE COUNTY JAIL PROPERTY ONLY. NOT FOR USE IN CITY RIGHT OF WAY.

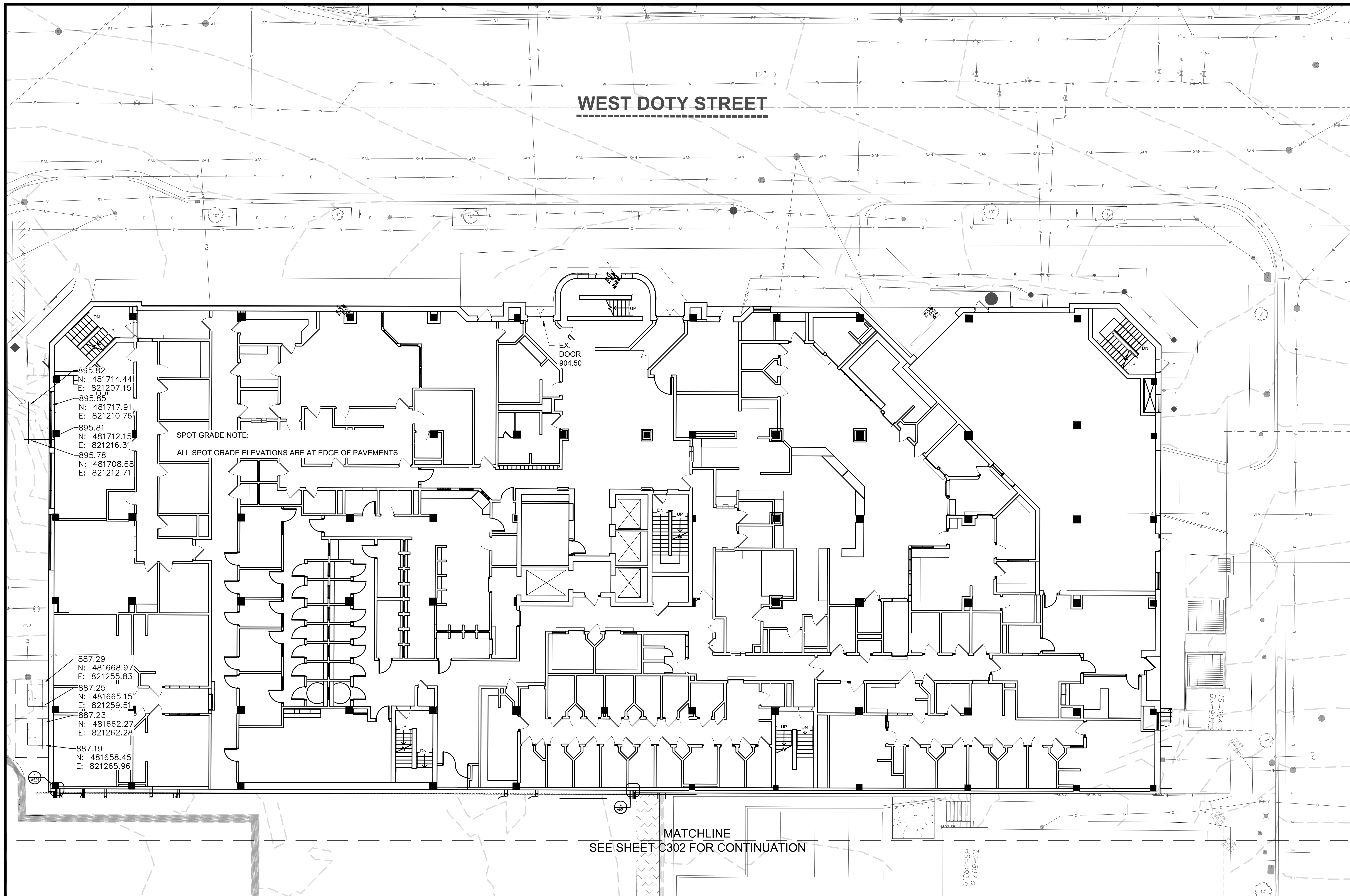
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MAN NO: 4215400-161957.01  
DATE: 04/07/2022  
DESIGNED BY: BRB  
DRAWN BY: RH  
CHECKED BY: RJ  
DO NOT SCALE DRAWINGS

SHEET NO. ENLARGED SITE PLAN - AREA B

**C203**





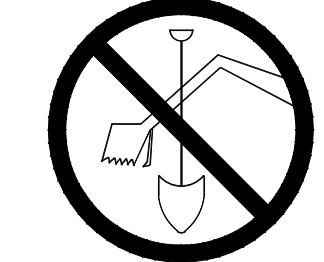
**LEGEND**

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EXISTING	PROPOSED	
		WATER PIPE
		SANITARY PIPE
		STORM PIPE
		ELECTRICAL CONDUIT
		WATER VALVE
		SANITARY CLEANOUT
		ROOF DRAIN CONNECTION
		HYDRANT
		LIGHT POLE
		LIGHT POLE

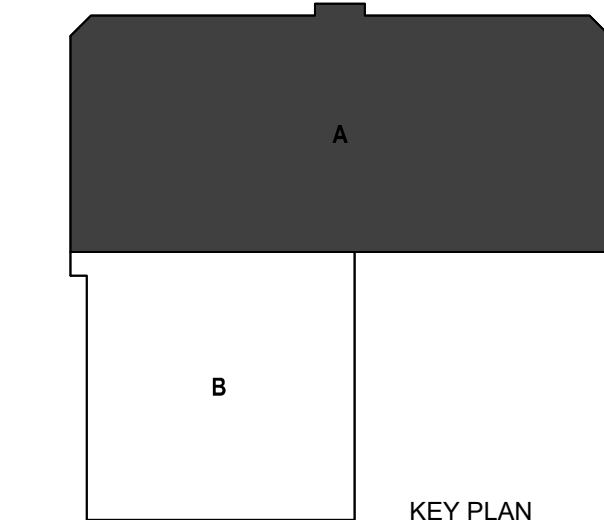
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	PROPOSED TREE TRENCH
	PROPOSED ASPHALT ROADWAY PAVEMENT
	PROPOSED TURF
	MAJOR CONTOUR
	MINOR CONTOUR
XXX.XX N: E:	PROPOSED SPOT GRADE ELEVATION WITH NORTHING & EASTING
XXX.XX (M) N: E:	PROPOSED SPOT GRADE ELEVATION (MATCH EXISTING) WITH NORTHING & EASTING

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



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**1** ENLARGED GRADING PLAN - AREA A  
C301 1" = 10'

- SITE AND GRADING PLAN NOTES:**
- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
  - EARTH MOVING: CONFORM TO SECTION 312000 "EARTH MOVING" OF PROJECT SPECIFICATIONS.
  - ASPHALT: CONFORM TO SECTION 321216 "ASPHALT PAVING" OF PROJECT SPECIFICATIONS.
  - CONCRETE: CONFORM TO SECTION 321313 "CONCRETE PAVING" OF PROJECT SPECIFICATIONS.
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  - DRIVEWAYS: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 3.02 "MADISON STANDARD CURB CUT DETAILS" AND STANDARD DETAIL DRAWING 3.09 "MADISON STANDARD COMMERCIAL DRIVE DETAILS." CONFORM TO COMMERCIAL DETAIL AND TO DRIVEWAY SECTION TYPE "A" CONCRETE CURB & GUTTER DETAIL IN DRAWING 3.02.

**Mead & Hunt**  
Mead & Hunt, Inc.  
2440 Deming Way  
Middleton, WI 53562  
phone: 608-273-6380  
meadhunt.com

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DANE COUNTY DEPT. OF PUBLIC WORKS, HIGHWAY & TRANSPORTATION  
1919 ALLIANT ENERGY CENTER WAY  
MADISON, WI 53713  
PROJECT NO. 318025

**Dane County Jail Consolidation  
South Tower Addition & Public Safety  
Building Renovation**  
115 W. Doty Street  
Madison, WI 53703

ISSUED 10/12/2022 LAND USE APPLICATION

**NOT FOR CONSTRUCTION**

MAN NO: 4215400-161957.01  
DATE: 04/07/2022  
DESIGNED BY: BRB  
DRAWN BY: RH  
CHECKED BY: RJ  
DO NOT SCALE DRAWINGS

SHEET CONTENTS  
ENLARGED GRADING PLAN - AREA A

SHEET NO. **C301**



**LEGEND**

SEE LEGEND ON "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY" DATED 05/28/20 PREPARED BY JSD PROFESSIONAL SERVICES, INC., PROVIDED IN THIS PLAN SET, FOR EXISTING FEATURES.

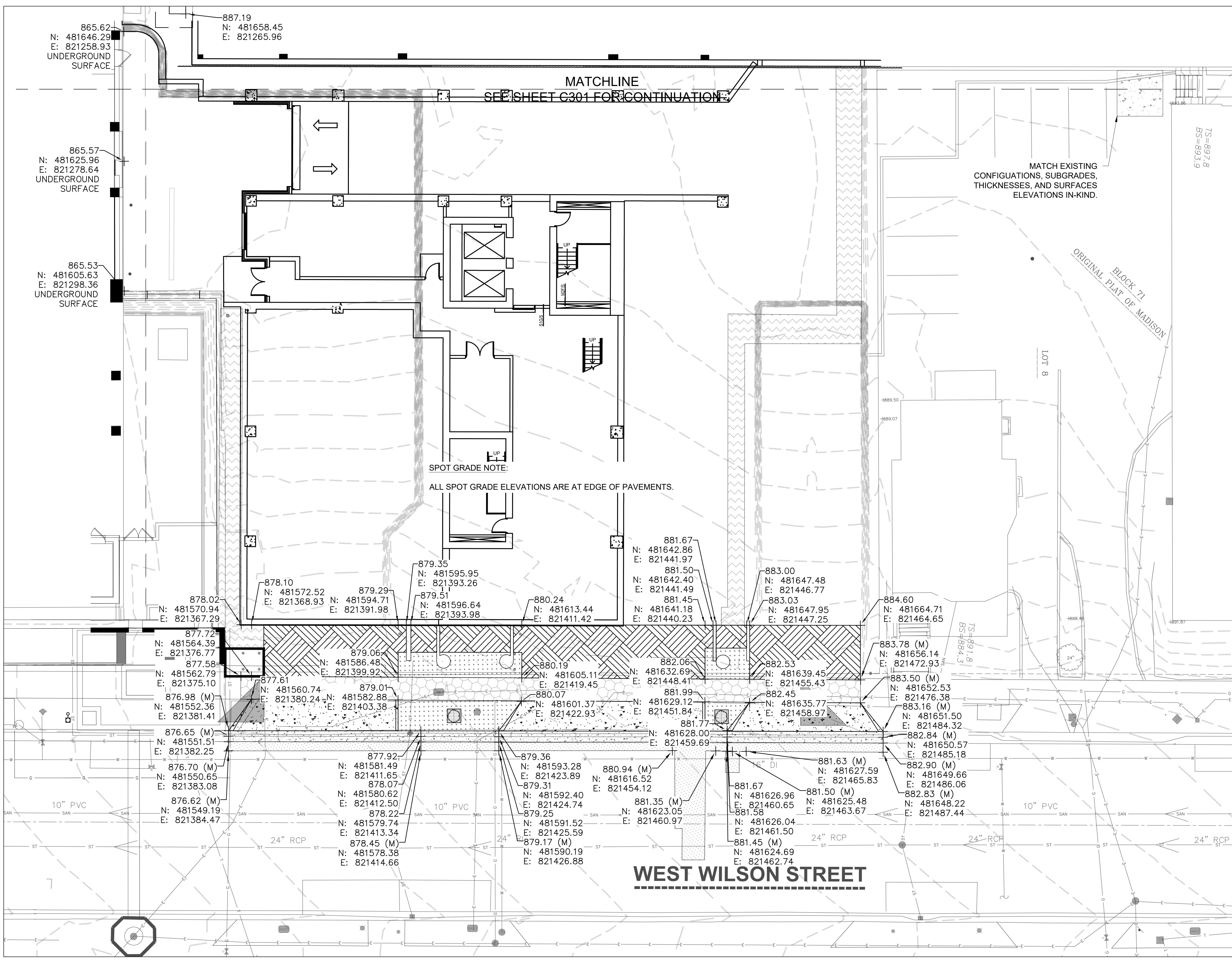
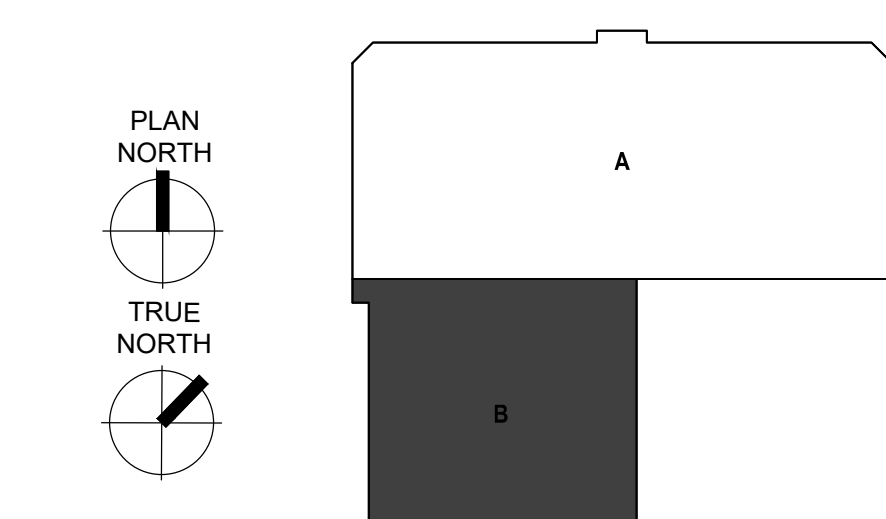
EXISTING	PROPOSED	
— W —	— W —	WATER PIPE
— SAN —	— SAN —	SANITARY PIPE
— ST —	— ST —	STORM PIPE
— E —	— E —	ELECTRICAL CONDUIT
	⊙	WATER VALVE
	○	SANITARY CLEANOUT
	○	ROOF DRAIN CONNECTION
	○	HYDRANT
	⊙	LIGHT POLE
	○	LIGHT POLE

	PROPOSED MUNICIPAL CONCRETE SIDEWALK (DETAIL 2/C203 AND MADISON SDD 4.02)
	PROPOSED MUNICIPAL CONCRETE DRIVEWAY (DETAIL 3/C203 AND MADISON SDD 3.02)
	PROPOSED PERMEABLE CONCRETE DRIVEWAY PAVEMENT (DETAIL 4/C203)
	PROPOSED CONCRETE SIDEWALK PAVEMENT (DETAIL 5/C203)
	PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
	PROPOSED TREE TRENCH
	PROPOSED ASPHALT ROADWAY PAVEMENT
	PROPOSED TURF
	MAJOR CONTOUR
	MINOR CONTOUR
XXX.XX N: E:	PROPOSED SPOT GRADE ELEVATION WITH NORTHING & EASTING
XXX.XX (M) N: E:	PROPOSED SPOT GRADE ELEVATION (MATCH EXISTING) WITH NORTHING & EASTING

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE  
1-800-242-8511  
TOLL FREE  
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REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

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**1 ENLARGED GRADING PLAN - SUB-BASEMENT 2 - AREA B**  
C302 1" = 10'

- SITE AND GRADING PLAN NOTES:**
- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
  - EARTH MOVING: CONFORM TO SECTION 312000 "EARTH MOVING" OF PROJECT SPECIFICATIONS.
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**LEGEND**

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- |          |          |                       |
|----------|----------|-----------------------|
| EXISTING | PROPOSED |                       |
| — W —    | — W —    | WATER PIPE            |
| — SAN —  | — SAN —  | SANITARY PIPE         |
| — ST —   | — ST —   | STORM PIPE            |
| — E —    | — E —    | ELECTRICAL CONDUIT    |
|          | ⊙        | WATER VALVE           |
|          | ○        | SANITARY CLEANOUT     |
|          | ○        | ROOF DRAIN CONNECTION |
|          | ○        | HYDRANT               |
|          | ⊙        | LIGHT POLE            |
|          | ○        | LIGHT POLE            |

PROPOSED MUNICIPAL CONCRETE SIDEWALK (DETAIL 2/C203 AND MADISON SDD 4.02)

PROPOSED MUNICIPAL CONCRETE DRIVEWAY (DETAIL 3/C203 AND MADISON SDD 3.02)

PROPOSED PERMEABLE CONCRETE DRIVEWAY PAVEMENT (DETAIL 4/C203)

PROPOSED CONCRETE SIDEWALK PAVEMENT (DETAIL 5/C203)

PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A

PROPOSED TREE TRENCH

PROPOSED ASPHALT ROADWAY PAVEMENT

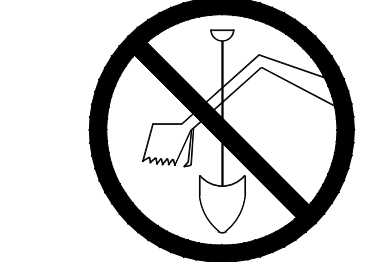
PROPOSED TURF

MAJOR CONTOUR  
MINOR CONTOUR

XXX.XX PROPOSED SPOT GRADE ELEVATION WITH NORTHING & EASTING

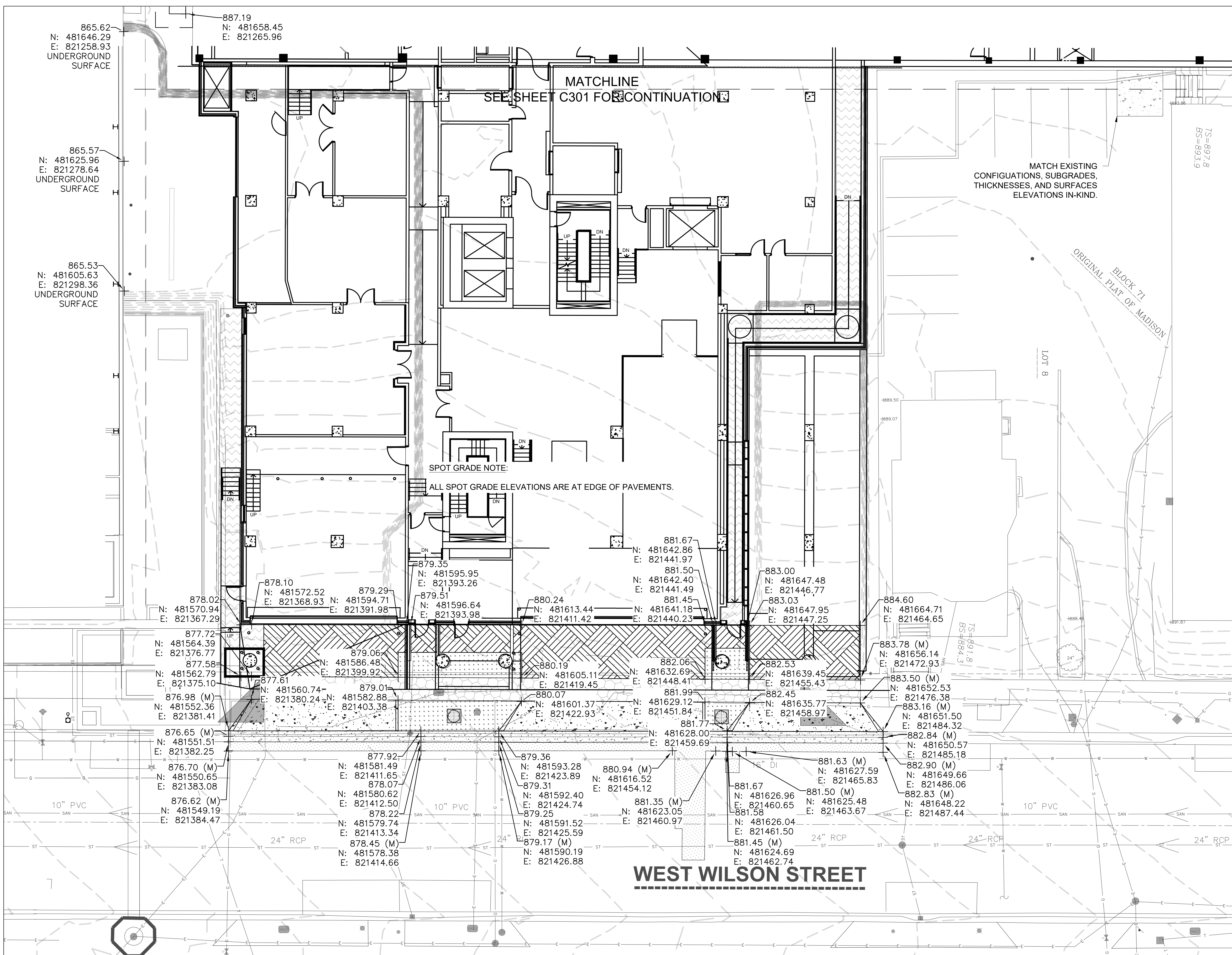
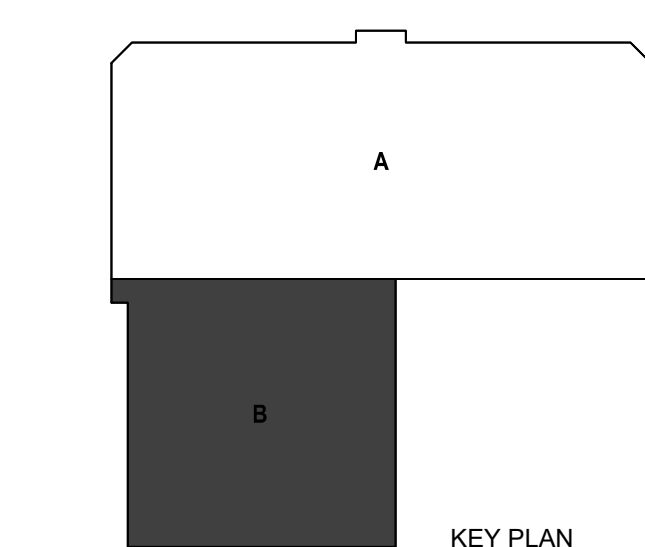
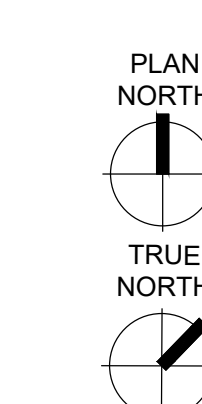
XXX.XX (M) PROPOSED SPOT GRADE ELEVATION (MATCH EXISTING) WITH NORTHING & EASTING

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TOLL FREE  
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**1 GRADING PLAN - SUB-BASEMENT - AREA B**  
C302 1" = 10'

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**LEGEND**

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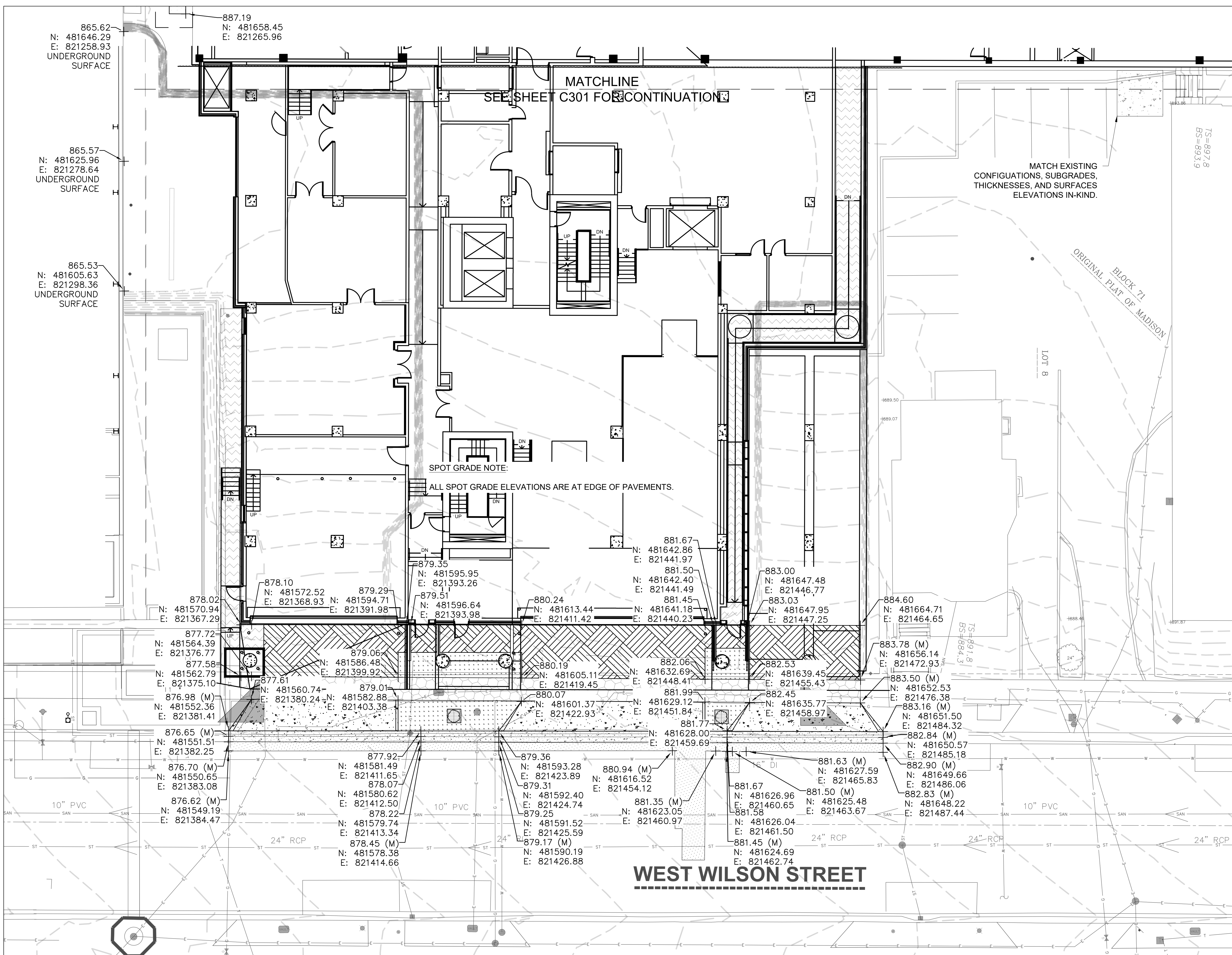
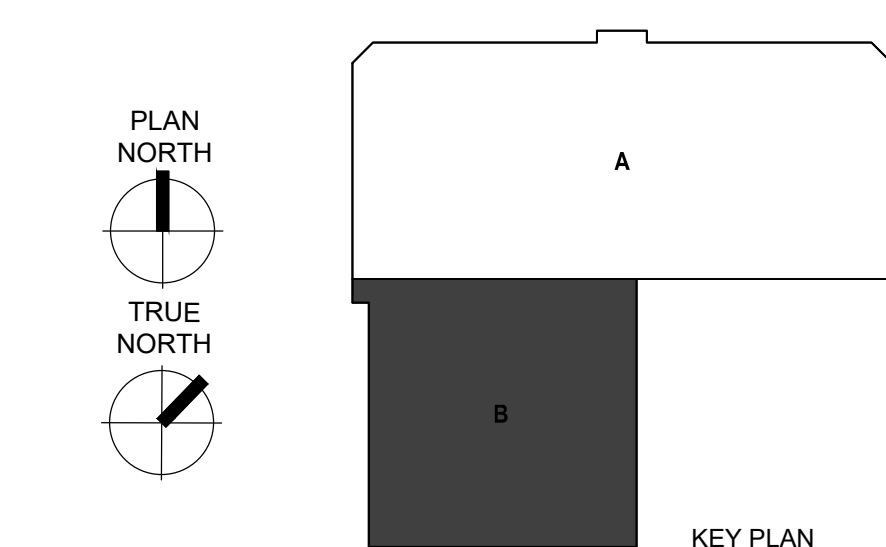
EXISTING	PROPOSED	
		WATER PIPE
		SANITARY PIPE
		STORM PIPE
		ELECTRICAL CONDUIT
		WATER VALVE
		SANITARY CLEANOUT
		ROOF DRAIN CONNECTION
		HYDRANT
		LIGHT POLE
		LIGHT POLE

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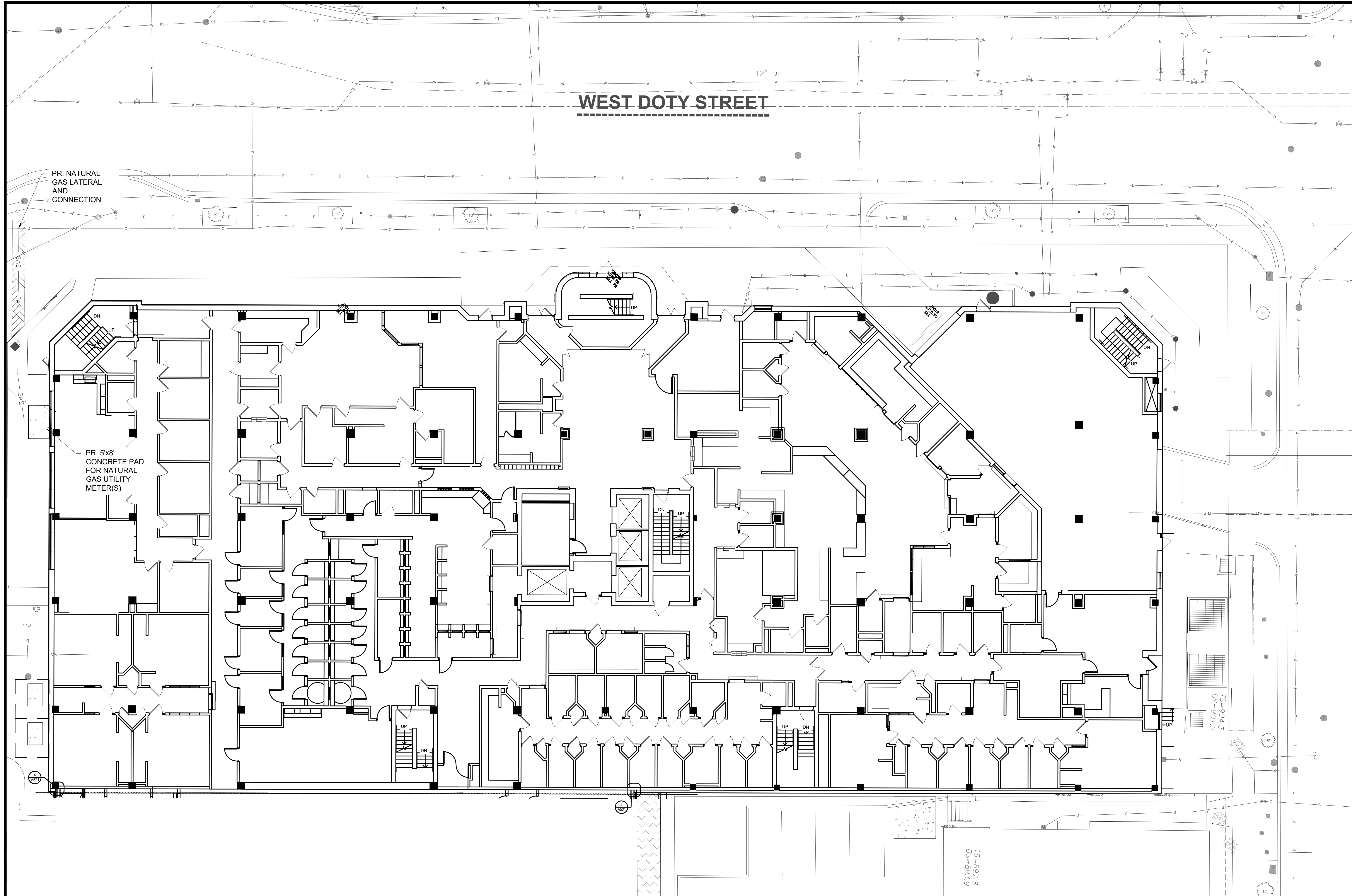
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**1 GRADING PLAN - BASEMENT - AREA B**  
C302 1" = 10'

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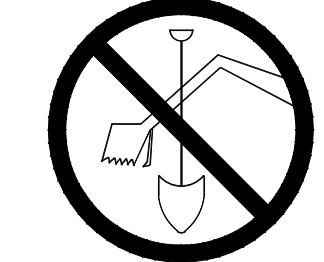


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EXISTING	PROPOSED	
— W —	— W —	WATER PIPE
— SAN —	— SAN —	SANITARY PIPE
— ST —	— ST —	STORM PIPE
— E —	— E —	ELECTRICAL CONDUIT
	⊙	WATER VALVE
	○	SANITARY CLEANOUT
	•	ROOF DRAIN CONNECTION
	○	HYDRANT
⊙	⊙	LIGHT POLE
○	○	LIGHT POLE

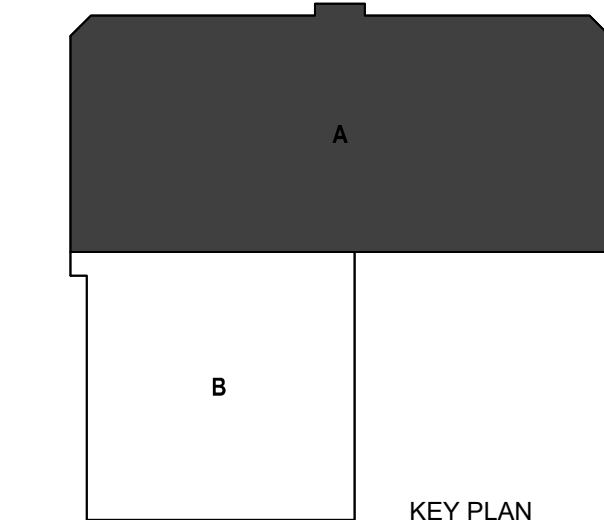
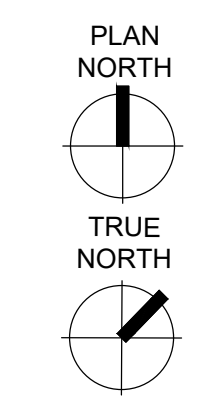
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	PROPOSED TURF

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**1**  
**C401** UTILITIES PLAN - AREA A  
1" = 10'

**UTILITY PLAN NOTES:**

1. CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
2. ALL UTILITIES: CONFORM TO SECTION 330500 "COMMON WORK RESULTS FOR UTILITIES" AND SECTION 315000 "EXCAVATION SUPPORT AND PROTECTION" OF PROJECT SPECIFICATIONS.
3. SANITARY: CONFORM TO SECTION 221313 "FACILITY SANITARY SEWERS" OF PROJECT SPECIFICATIONS.
4. WATER: CONFORM TO SECTION 221113 "FACILITY WATER DISTRIBUTION PIPING" OF PROJECT SPECIFICATIONS.
5. STORM: CONFORM TO SECTION 334200 "STORMWATER CONVEYANCE" OF PROJECT SPECIFICATIONS.

**Mead & Hunt**  
Mead & Hunt, Inc.  
2440 Deming Way  
Middleton, WI 53562  
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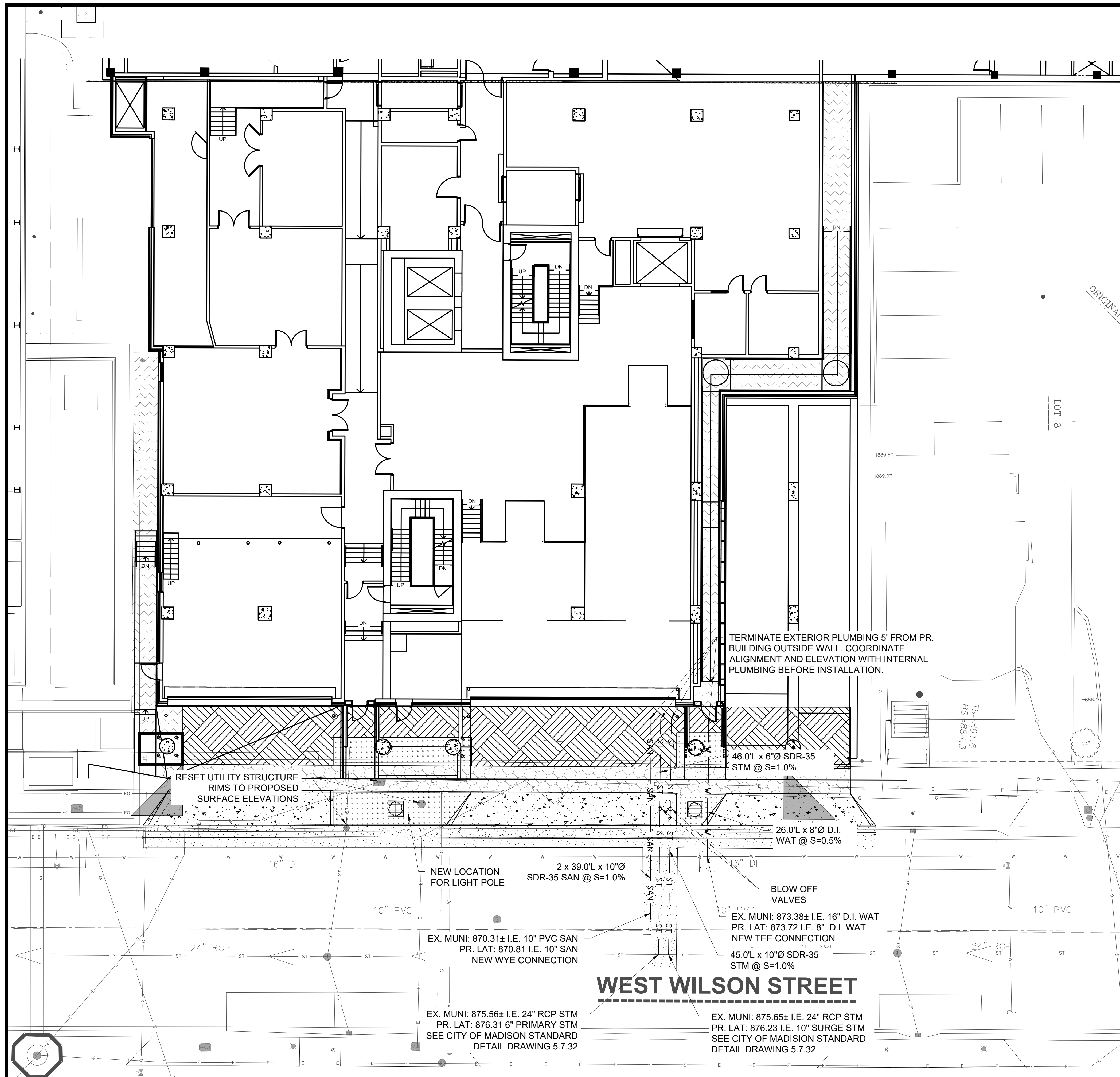
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**NOT FOR CONSTRUCTION**

MEAN NO: 4215400-161957-01  
DATE: 04/07/2022  
DESIGNED BY: BRB  
DRAWN BY: RH  
CHECKED BY: RJ  
DO NOT SCALE DRAWINGS  
SHEET CONTENTS  
UTILITIES PLAN - AREA A  
SHEET NO:

**C401**





**1**  
C402  
**UTILITIES PLAN - AREA B**  
1" = 10'

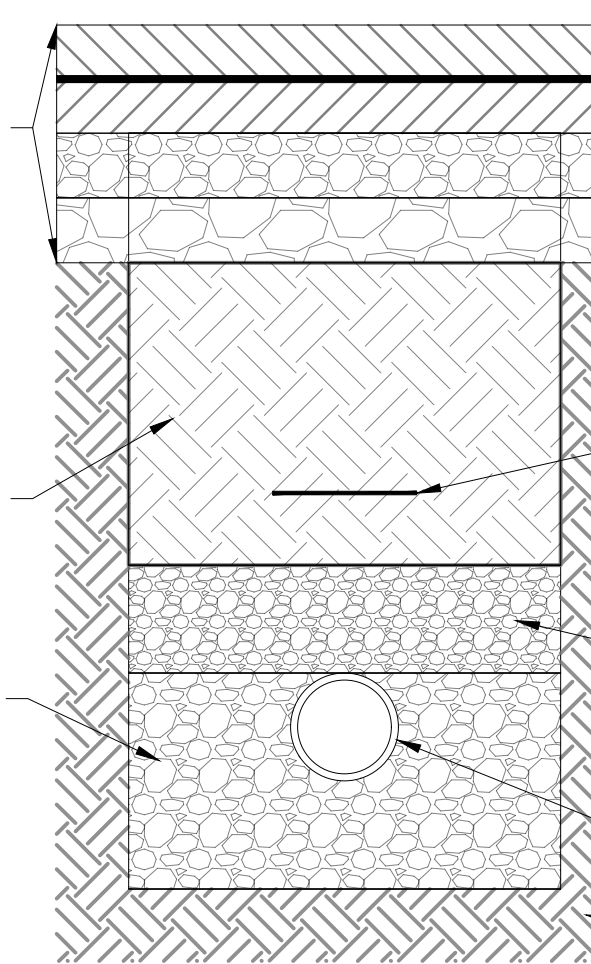
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- STORM: CONFORM TO SECTION 334200 "STORMWATER CONVEYANCE" OF PROJECT SPECIFICATIONS.
- CONTRACTOR TO OBTAIN MARKER BALLS FROM THE CITY AND EMBED THEM IN THE CONCRETE NEAR THE BUILDING PENETRATIONS.

SEE DETAIL 2/C203 FOR ASPHALT PAVEMENT CROSS-SECTION

SPOIL BACKFILL COMPACTED TO 95% MAXIMUM DENSITY PER THE MODIFIED PROCTOR TESTING

CRUSHED AGGREGATE BEDDING, 3/4" CHIP STONE OR SAND, 2 x DIA. THICKNESS (MIN.)



WARNING AND IDENTIFICATION TAPE

CRUSHED AGGREGATE COVER, 3/4" CHIP STONE OR SAND, 1 x DIA. THICKNESS (MIN.)

UTILITY

EXISTING SUBGRADE COMPACTED TO 95% MAXIMUM DENSITY PER THE MODIFIED PROCTOR TESTING

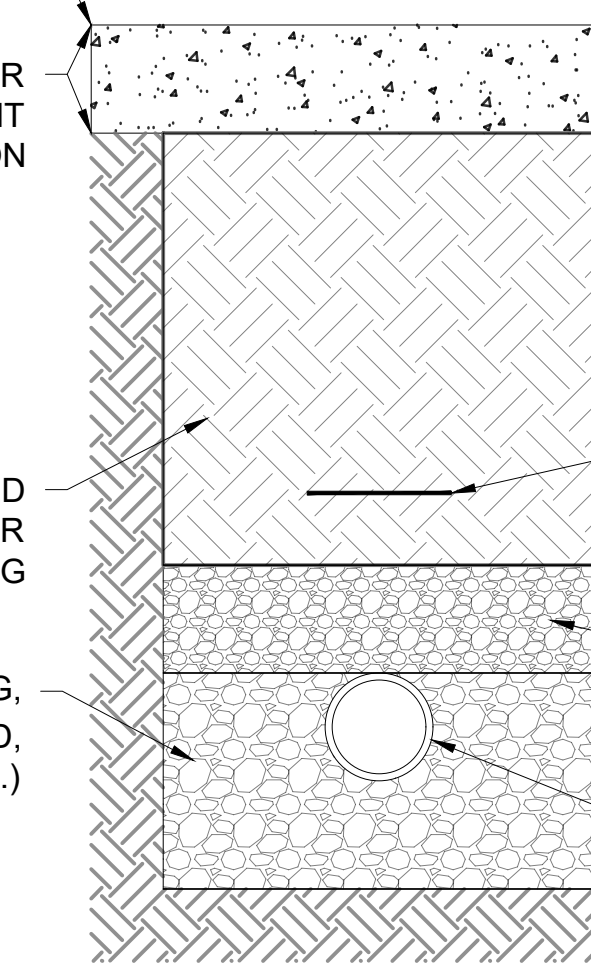
**2**  
C402  
**UTILITY TRENCH SECTION, ASPHALT PAVEMENT CONDITION**  
NTS

REPLACE TO NEAREST JOINT

SEE DETAIL 3/C203 FOR CONCRETE PAVEMENT CROSS-SECTION

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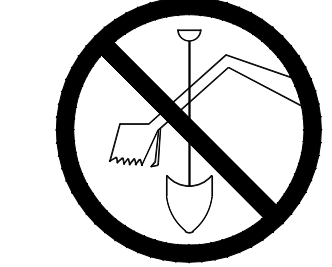
**3**  
C402  
**UTILITY TRENCH SECTION, CONCRETE PAVEMENT CONDITION**  
NTS

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— W —	— W —	WATER PIPE
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	○	SANITARY CLEANOUT
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	○	LIGHT POLE

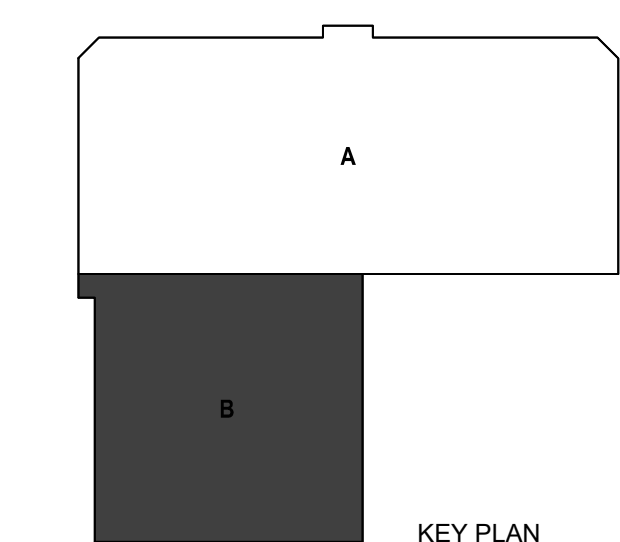
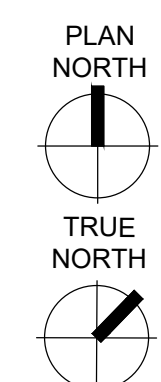
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Building Renovation**  
115 W. Doty Street  
Madison, WI 53703

ISSUED 10/12/2022 LAND USE APPLICATION

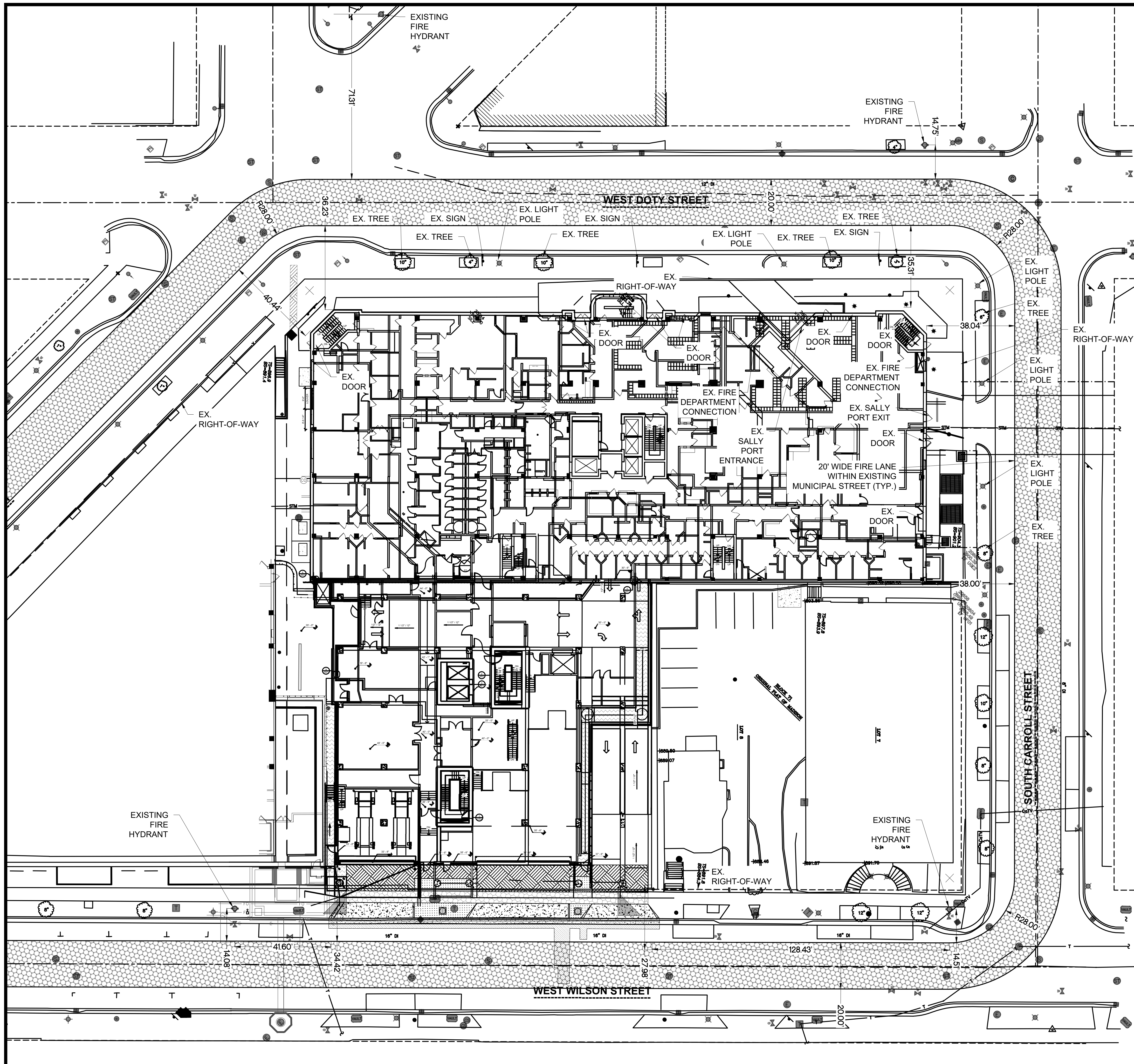
**NOT FOR CONSTRUCTION**

MEAN NO: 4215400-161957-01  
DATE: 04/07/2022  
DESIGNED BY: BRB  
DRAWN BY: RH  
CHECKED BY: RJ  
DO NOT SCALE DRAWINGS

SHEET CONTENTS  
UTILITIES PLAN

SHEET NO.  
**C402**





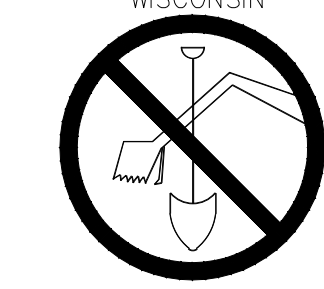
**LEGEND**

SEE LEGEND ON "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY" DATED 05/28/20 PREPARED BY JSD PROFESSIONAL SERVICES, INC., PROVIDED IN THIS PLAN SET, FOR EXISTING FEATURES.

EXISTING	PROPOSED	
— W —	— W —	WATER PIPE
— SAN —	— SAN —	SANITARY PIPE
— ST —	— ST —	STORM PIPE
— E —	— E —	ELECTRICAL CONDUIT
	⊙	WATER VALVE
	○	SANITARY CLEANOUT
	•	ROOF DRAIN CONNECTION
	○	HYDRANT
	⊙	LIGHT POLE
	○	LIGHT POLE
	[Pattern]	PROPOSED MUNICIPAL CONCRETE SIDEWALK (DETAIL 2/C203 AND MADISON SDD 4.02)
	[Pattern]	PROPOSED MUNICIPAL CONCRETE DRIVEWAY (DETAIL 3/C203 AND MADISON SDD 3.02)
	[Pattern]	PROPOSED PERMEABLE CONCRETE DRIVEWAY PAVEMENT (DETAIL 4/C203)
	[Pattern]	PROPOSED CONCRETE SIDEWALK PAVEMENT (DETAIL 5/C203)
	[Pattern]	PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
	[Pattern]	PROPOSED TREE TRENCH
	[Pattern]	PROPOSED ASPHALT ROADWAY PAVEMENT
	[Pattern]	PROPOSED TURF
	[Pattern]	FIRE LANE

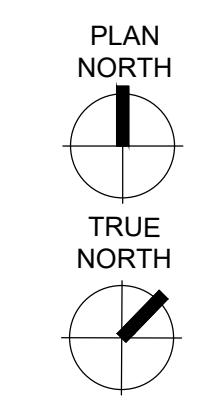
**1** OVERALL FIRE ACCESS EXHIBIT  
 C501 1" = 20'

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



CALL DIGGERS HOTLINE  
 1-800-242-8511  
 TOLL FREE  
 WS STATUTE 182.0175(1974)  
 REQUIRES MIN. 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE

**ATTENTION:**  
 ALL UTILITY LOCATIONS ARE SHOWN FROM FIELD OBSERVATION BASED UPON LOCATES AND/OR INFORMATION RECEIVED FROM OTHER SURVEYS AND VARIOUS UTILITY COMPANIES. BEFORE THE START OF ANY EXCAVATION, A COMPLETE LOCATE OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA SHOULD BE COMPLETED.



**Mead & Hunt**  
 Mead & Hunt, Inc.  
 2440 Deming Way  
 Middleton, WI 53562  
 phone: 608-273-6380  
 meadhunt.com

**Potter Lawson**  
 Success by Design

**ONEIDA**  
 Total Integrated Enterprises

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DANE COUNTY DEPT. OF PUBLIC WORKS, HIGHWAY & TRANSPORTATION  
 1919 ALLIANT ENERGY CENTER WAY  
 MADISON, WI 53713  
 PROJECT NO. 318025

**Dane County Jail Consolidation  
 South Tower Addition & Public Safety  
 Building Renovation**  
 115 W. Doty Street  
 Madison, WI 53703

19012802 LAND USE APPLICATION

NOT FOR CONSTRUCTION

MEAN NO: 4215400-161957.01  
 DATE: 04/07/2022  
 DESIGNED BY: BRB  
 DRAWN BY: RH  
 CHECKED BY: RJ  
 DO NOT SCALE DRAWINGS

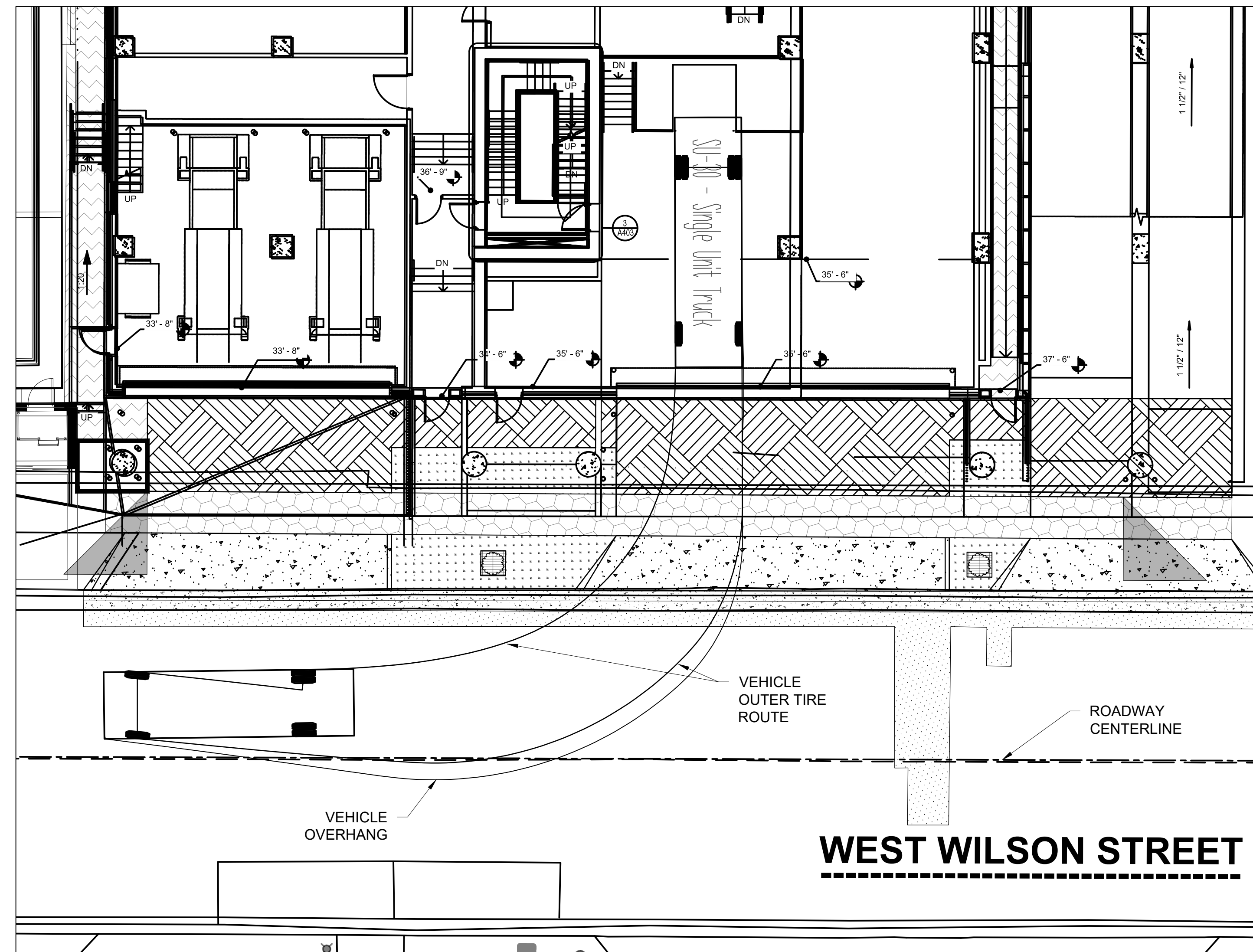
SHEET CONTENTS

OVERALL FIRE ACCESS EXHIBIT

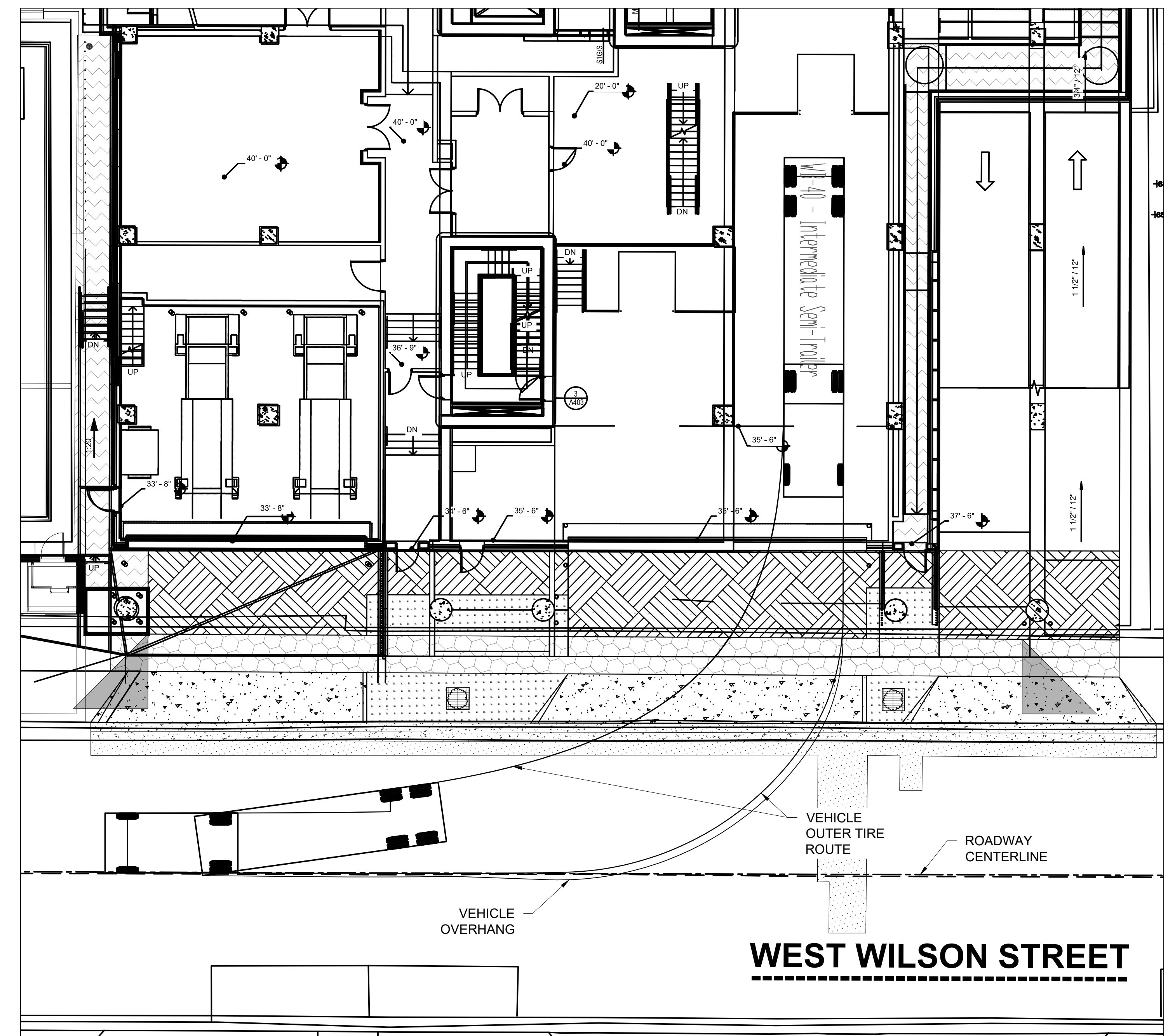
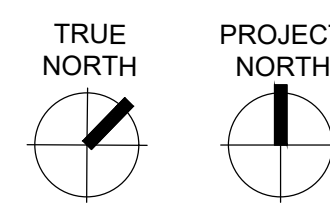
SHEET NO.

**C501**

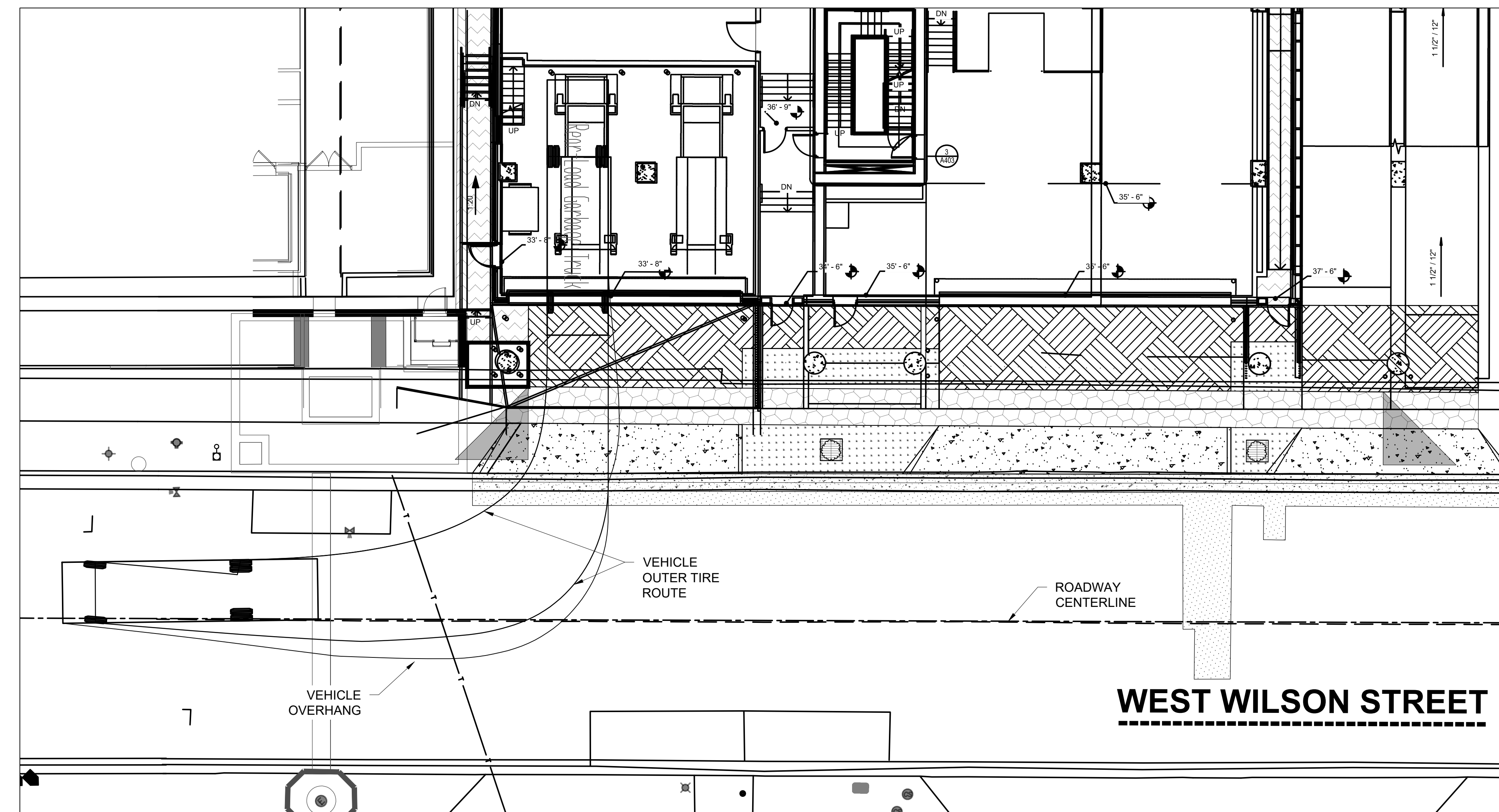
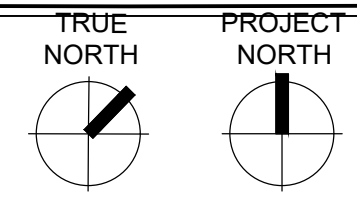




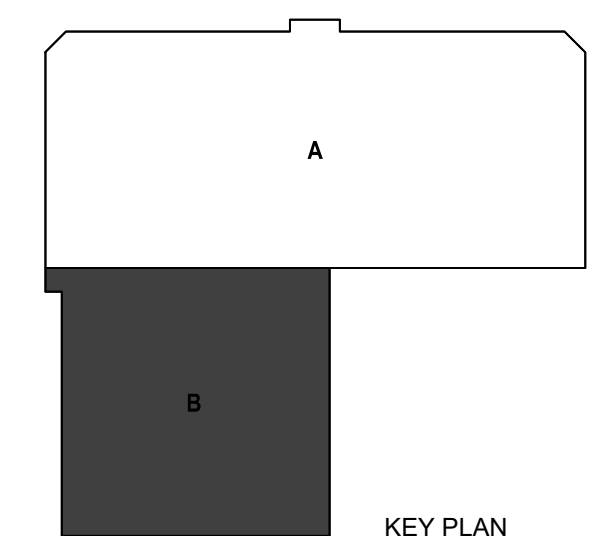
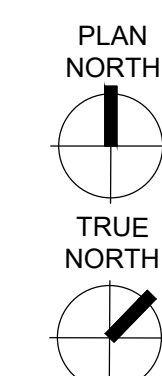
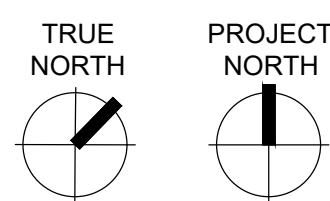
1 VEHICLE TURNING RADIUS - SU-30 SINGLE UNIT TRUCK  
1" = 10'



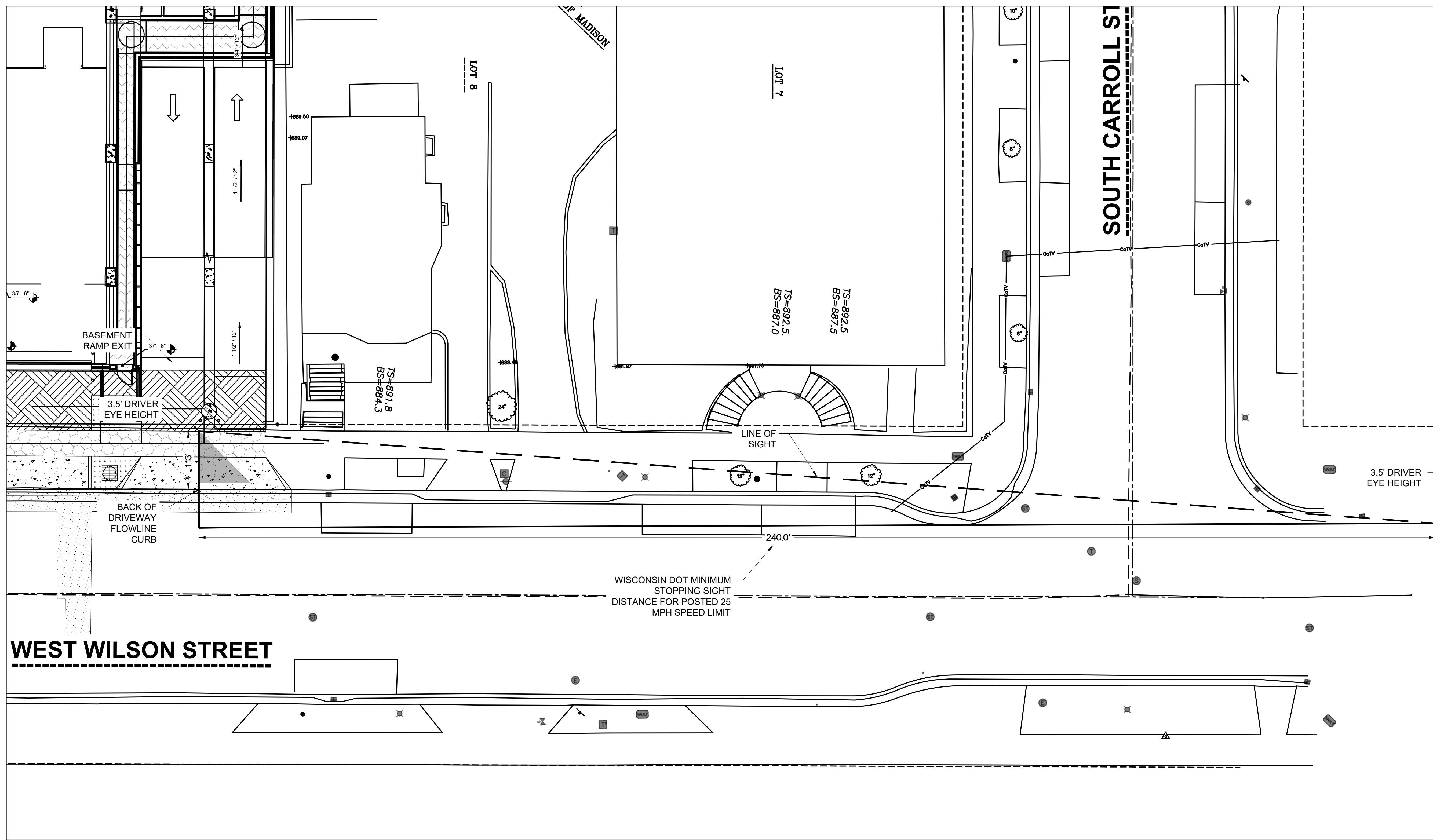
2 VEHICLE TURNING RADIUS- WB-40 SEMI-TRAILER  
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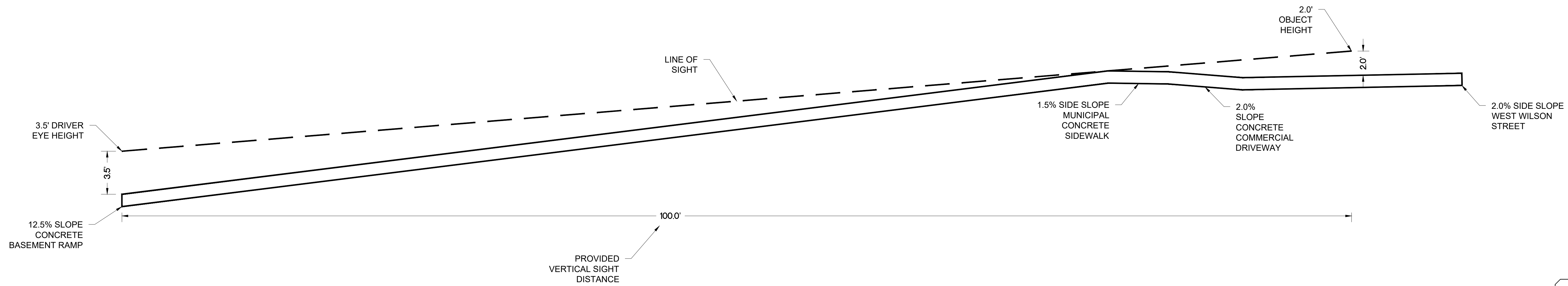
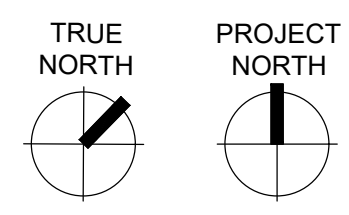
3 VEHICLE TURNING RADIUS - GARBAGE TRUCK  
1" = 10'



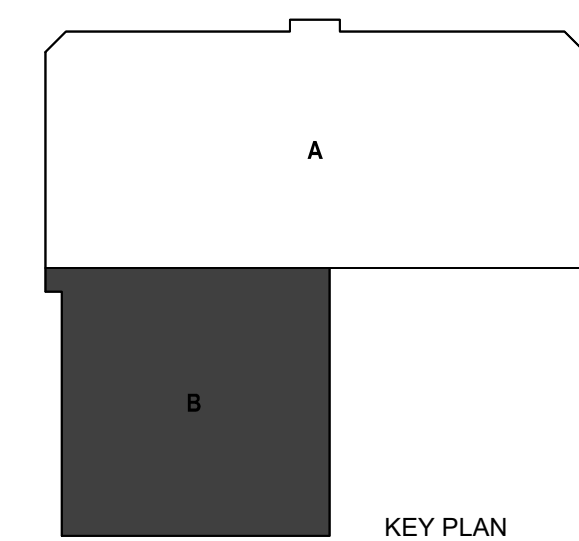
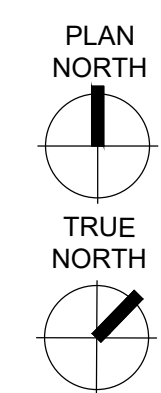




1 SIGHT DISTANCE EXHIBIT - BASEMENT RAMP EXIT - HORIZONTAL  
1" = 10'



2 SIGHT DISTANCE EXHIBIT - BASEMENT RAMP EXIT - VERTICAL  
1" = 4'







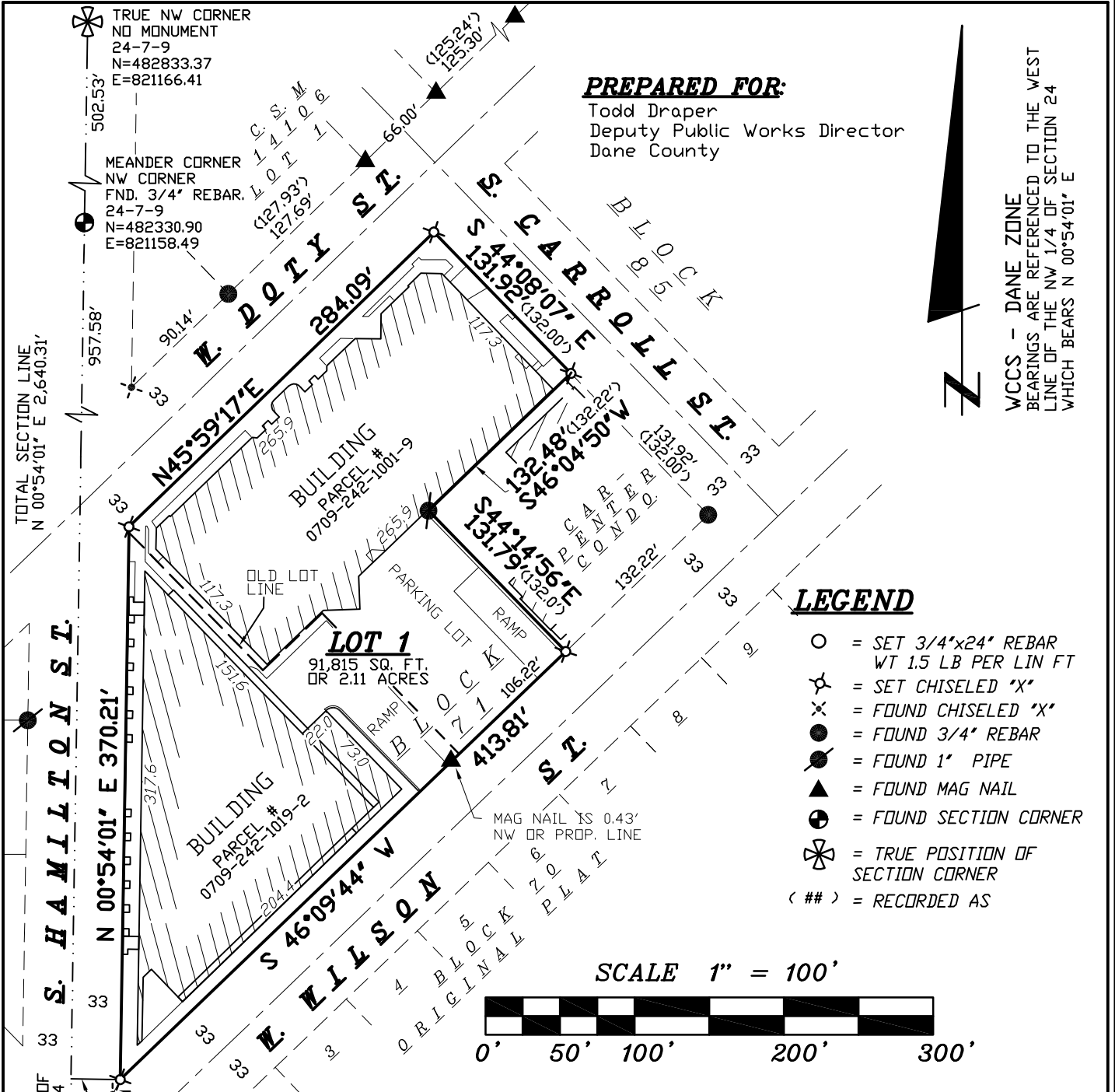
# CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NDA T. PRIEVE & CHRIS W. ADAMS, PROFESSIONAL LAND SURVEYORS

104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Located in the NW and SW 1/4's of the NW 1/4 of Section 24, T7N, R9E, City of Madison, Dane County, Wisconsin. Including all of Lots 1, 2, 3, 4, 5, 6, 9, 10, 11, 12, 13 and 14 of Block 71, Original Plat of Madison, Vol. A, Page 3



DOCUMENT NO. \_\_\_\_\_

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

**SURVEYORS SEAL**





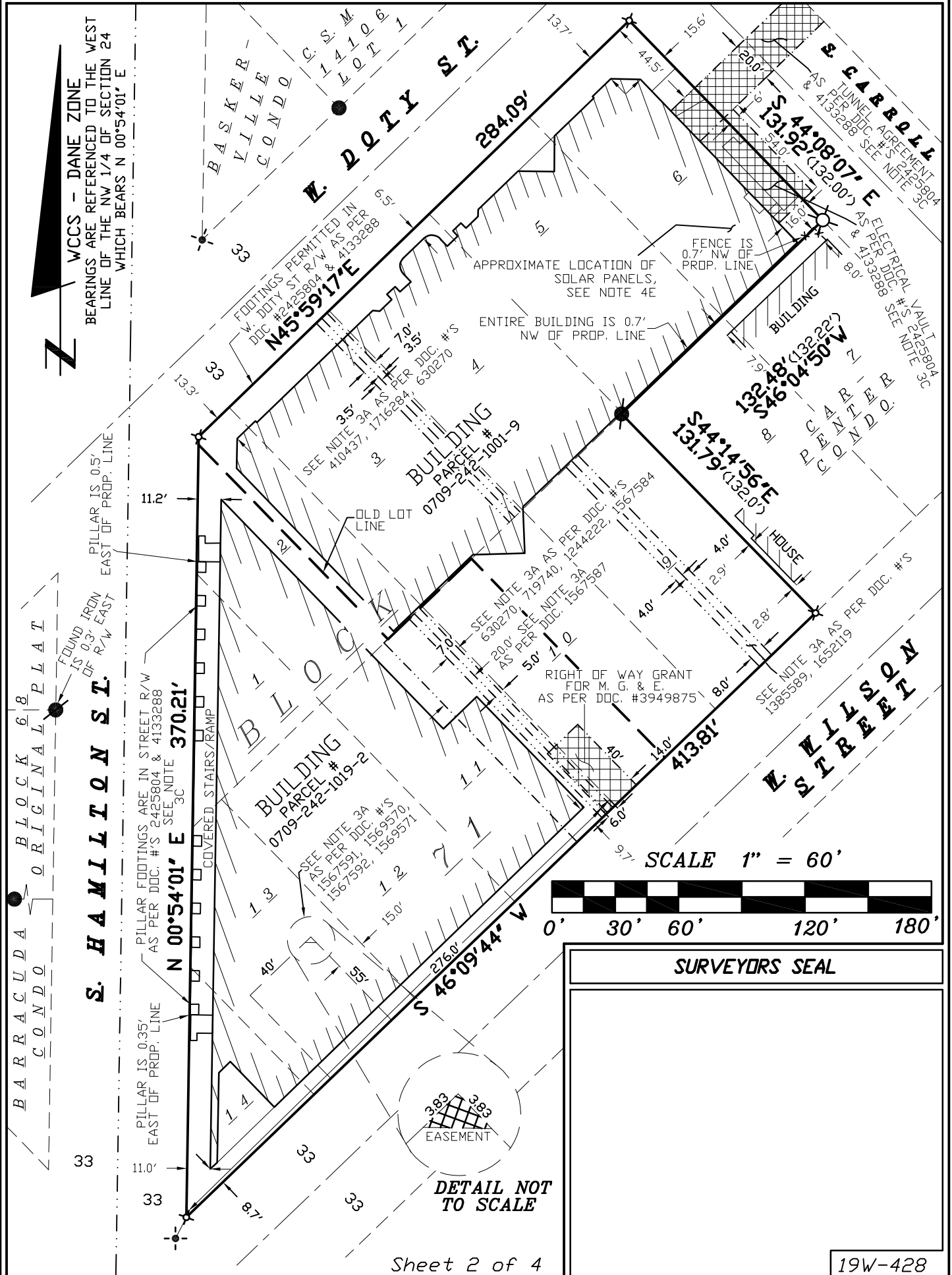
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**SURVEYORS SEAL**

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_





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### **SURVEYOR'S CERTIFICATE**

I, Chris W. Adams, Registered Land Surveyor hereby certify that in full compliance with the provisions of Chapter 236.34 Wisconsin Statutes, the subdivision regulations of City of Madison, and by the direction of the owners listed below, I have surveyed and mapped a correct representation of all of the exterior boundaries of the land surveyed, being part of the NW and SW 1/4's of the NW 1/4 of Section 24, T7N, R9E, City of Madison, Dane County, Wisconsin. Including all of Lots 1, 2, 3, 4, 5, 6, 9, 10, 11, 12, 13 and 14 of Block 71, Original Plat of Madison, Vol. A, Page 3, more particularly described as follows:

Commencing at the Meander Corner for the West 1/4 Corner of said Section 24 being N 00°54'01" E, 521.85 feet of the True West 1/4 corner; thence N 00°54'01" E along the west line of the NW 1/4 of said Section 24, 658.35 feet; thence due East, 33.00 feet to the east right of way line of South Hamilton Street and also the point of beginning.

Thence N 00°54'01" E along said east right of way line, 370.21 feet to the southeast right of way line of West Doty Street; thence N 45°59'17" E along said southeast right of way line, 284.09 feet to the southwest right of way line of South Carroll Street; thence S 44°08'07" E along said southwest right of way line, 131.92 feet; thence S 46°04'50" W, 132.48 feet; thence S 44°14'56" E, 131.79 feet to the northwest right of way line of West Wilson Street; thence S 46°09'44" W along said northwest right of way line, 413.81 feet to the point of beginning. The above described parcel contains 91,815 square feet or 2.11 acres.

Date \_\_\_\_\_

\_\_\_\_\_  
Chris W. Adams S-2748  
Professional Land Surveyor

### **OWNERS' CERTIFICATE:**

As owner, I hereby certify that I caused the land described on this certified survey map to be surveyed, divided, mapped and dedicated as represented on the certified survey map. I also certify that this certified survey map is required to be submitted to the City of Madison for approval.

As owner, I also certify that this Certified Survey Map shall not have an adverse affect on any of the leasehold or possessory interests located within the limits of the mapped lands hereon.

WITNESS the hand seal of said owners this \_\_\_\_\_day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Greg Brockmeyer - Director of Administration for Dane County  
COUNTY OF DANE

STATE OF WISCONSIN)  
DANE COUNTY)

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ the above named Greg Brockmeyer to me known to be the person who executed the foregoing instrument and acknowledge the same.

\_\_\_\_\_ County, Wisconsin.

My commission expires \_\_\_\_\_

\_\_\_\_\_  
Notary Public

\_\_\_\_\_  
Print Name

**SURVEYORS SEAL**





# CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NOA T. PRIEVE & CHRIS W. ADAMS, PROFESSIONAL LAND SURVEYORS  
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Located in the NW and SW 1/4's of the NW 1/4 of Section 24, T7N, R9E, City of Madison, Dane County, Wisconsin. Including all of Lots 1, 2, 3, 4, 5, 6, 9, 10, 11, 12, 13 and 14 of Block 71, Original Plat of Madison, Vol. A, Page 3

### **CITY OF MADISON COMMON COUNCIL:**

Resolved that this Certified Survey Map located in the City of Madison was hereby approved by Enactment number \_\_\_\_\_, File ID Number \_\_\_\_\_, adopted on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and that said enactment further provided for the acceptance of those lands dedicated and rights conveyed by said Certified Survey Map to the City of Madison for public use.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
Maribeth Witzel-Behl - City Clerk  
City of Madison, Dane County

### **CITY OF MADISON PLAN COMMISSION:**

Approved for recording per Secretary, Madison Planning Commission action of \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

By: \_\_\_\_\_ Date: \_\_\_\_\_  
Secretary Plan Commission  
Matthew Wachter

### **NOTES:**

- 1.) WETLANDS AND FLOOD PLAIN, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.
- 2.) ALL SECTION TIES FOR THE MEANDER CORNERS OF THE NW CORNER AND THE WEST 1/4 WERE FOUND AND CHECKED.
- 3.) THIS SURVEY WAS MAPPED ACCORDING TO TWO 60 YEAR TITLE REPORTS DONE BY PREFERRED TITLE, FILE #'S 120010099 & 120010122.
  - A.) DOC. #'S 1385589, 1652119, 410437, 1716284, 630270, 719740, 1567587, 1567591, 1569570, 1567592, 1569571 ARE NULL AND VOID DUE TO THE COMBINATION OF LOTS. (DOCTRINE OF TITLE MERGER) (AS SHOWN ON MAP)
  - B.) ZONING DECLARATIONS ARE RECORDED AS DOC. #'S 2382515, 2390411, 3689110, (AFFECTS SUBJECT PROPERTY BUT IS BLANKET IN NATURE)
  - C.) THESE PROPERTIES ARE SUBJECT TO AN AGREEMENT RECORDED IN VOL. 21320 OF RECORDS, PAGE 54, AS #2425804; AMENDED AS #4133288. (AS SHOWN ON MAP)
  - D.) ALL OF LOTS 3, 4, 5, 6, 9 AND NE 22 FT OF LOT 2, BLOCK 71, PRITCHETTE PLAT IS SUBJECT TO PLANS RECORDED AS #4405050. (THE PURPOSE IS FOR A 50' RADIO TOWER) (PLANS ARE ILLEGIBLE)
  - E.) ALL OF LOTS 3, 4, 5, 6, 9 AND NE 22 FT OF LOT 2, BLOCK 71, PRITCHETTE PLAT IS SUBJECT TO PLANS RECORDED AS #4727797. (THE PURPOSE IS FOR SOLAR PANELS) (APPROXIMATE LOCATION IS SHOWN ON MAP)
  - G.) ALL OF LOTS 2, 11, 12, 13, 14 AND SW 44 FT OF LOT 2, BLOCK 71, PRITCHETTE PLAT IS SUBJECT TO A RIGHT OF WAY GRANT UNDERGROUND ELECTRIC TO MADISON GAS AND ELECTRIC COMPANY RECORDED AS DOC. #3949875. (AS SHOWN ON MAP)

### **REGISTER OF DEEDS:**

Received for recording this \_\_\_ day of \_\_\_\_\_, 20\_\_ at \_\_\_ o'clock \_\_\_.M. and recorded in Volume \_\_\_\_\_ of Dane County Certified Surveys on pages \_\_\_\_\_ through \_\_\_\_\_.

\_\_\_\_\_  
Kristi Chlekowski  
Register of Deeds

DOCUMENT NO. \_\_\_\_\_

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

### **SURVEYORS SEAL**



March 27, 2020

**RE: Tax Key No.: 251/0709-242-1001-9:  
Dane County Jail Consolidation Project:  
Storm Water Management Plan Hydrology Concept Report**

This report demonstrates that this project's proposed blue and green roof combination will satisfy City of Madison storm water management requirements.

Exhibit A displayed below presents the proposed project area represented within a red polygon. The proposed project will demolish the existing paved parking lot and construct a new eight-story County detention center, making it a redevelopment project.

Exhibit A: Aerial of Project Area



The City of Madison has incorporated new storm water management requirements that require the use of green infrastructure that captures the first ½-inch of rainfall and reduces peak runoff rates and volumes. Specifically, the following reductions are required:

- Reduce peak runoff rates from the site by 15% compared to existing conditions during a 10-year design storm.
- Reduce runoff volumes from the site by 5% compared to existing conditions during a 10-year design storm.

OTIE performed a hydrology analysis using Hydraflow software. Technical Release 55 (TR-55) "Urban Hydrology for Small Watersheds" developed by the United State Department of Agriculture (USDA), Natural Resources Conservation Service (NRCS) methodology was used to perform this analysis.



Table B displayed below presents a summary of the hydrology analysis results. One single 6-in diameter roof drain was used to accomplish these results.

Table B: Hydrology Analysis Summary

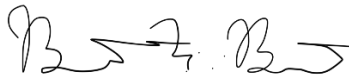
	Existing	Proposed	Reduction
Area, impervious	18,000 s.f. (0.425 ac)	14,500 s.f. (0.345 ac)	19.4%
Area, pervious	None	3,500 s.f. (0.080 ac) Green roof	N/A
Peak flow, 10-year design storm	2.612 cfs	2.077 cfs	20.5% > 15% required
Volume, 10-year design storm	6,038 c.f.	5,570 c.f.	7.75% > 5% required

These results demonstrate that the proposed blue and green roof combination will satisfy City of Madison storm water management requirements;

Please contact Mr. Brionne R. Bischke, P.E. at 414.607.6757 or [bbischke@otie.com](mailto:bbischke@otie.com) if you have any questions or require further clarification.

Respectfully,

**Oneida Total Integrated Enterprises**



---

Brionne R. Bischke, P.E.  
Project Civil Engineer

Enclosure:

Storm Water Management Plan Hydrology Report



<b>Watershed Model Schematic.....</b>	<b>1</b>
<b>Hydrograph Return Period Recap.....</b>	<b>2</b>
<b>2 - Year</b>	
<b>Summary Report.....</b>	<b>3</b>
<b>Hydrograph Reports.....</b>	<b>4</b>
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Precipitation Report.....	5
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Precipitation Report.....	7
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Pond Report - Roof Drain (8in).....	9
Hydrograph No. 6, SCS Runoff, Prop.....	10
Precipitation Report.....	11
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<b>Summary Report.....</b>	<b>23</b>
<b>Hydrograph Reports.....</b>	<b>24</b>
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Precipitation Report.....	25
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Precipitation Report.....	27
Hydrograph No. 4, Reservoir, Roof Drain (8in).....	28
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Hydrograph No. 7, Reservoir, Roof Drain (6in).....	31
<b>IDF Report.....</b>	<b>32</b>



# Watershed Model Schematic

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

1 - Exist



3 - Prop



4 - Roof Drain (8in)



6 - Prop



7 - Roof Drain (6in)



## Legend

Hyd.	Origin	Description
1	SCS Runoff	Exist
3	SCS Runoff	Prop
4	Reservoir	Roof Drain (8in)
6	SCS Runoff	Prop
7	Reservoir	Roof Drain (6in)



# Hydrograph Return Period Recap

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

Hyd. No.	Hydrograph type (origin)	Inflow hyd(s)	Peak Outflow (cfs)								Hydrograph Description
			1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr	
1	SCS Runoff	-----	-----	1.814	-----	-----	2.612	-----	-----	4.259	Exist
3	SCS Runoff	-----	-----	1.724	-----	-----	2.551	-----	-----	4.244	Prop
4	Reservoir	3	-----	1.559	-----	-----	2.349	-----	-----	3.975	Roof Drain (8in)
6	SCS Runoff	-----	-----	1.724	-----	-----	2.551	-----	-----	4.244	Prop
7	Reservoir	6	-----	1.344	-----	-----	2.077	-----	-----	2.846	Roof Drain (6in)



# Hydrograph Summary Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	SCS Runoff	1.814	1	727	4,119	-----	-----	-----	Exist	
3	SCS Runoff	1.724	1	727	3,660	-----	-----	-----	Prop	
4	Reservoir	1.559	1	729	3,660	3	100.09	340	Roof Drain (8in)	
6	SCS Runoff	1.724	1	727	3,660	-----	-----	-----	Prop	
7	Reservoir	1.344	1	730	3,660	6	100.14	544	Roof Drain (6in)	
2020034_DCJ.gpw					Return Period: 2 Year			Friday, 03 / 27 / 2020		

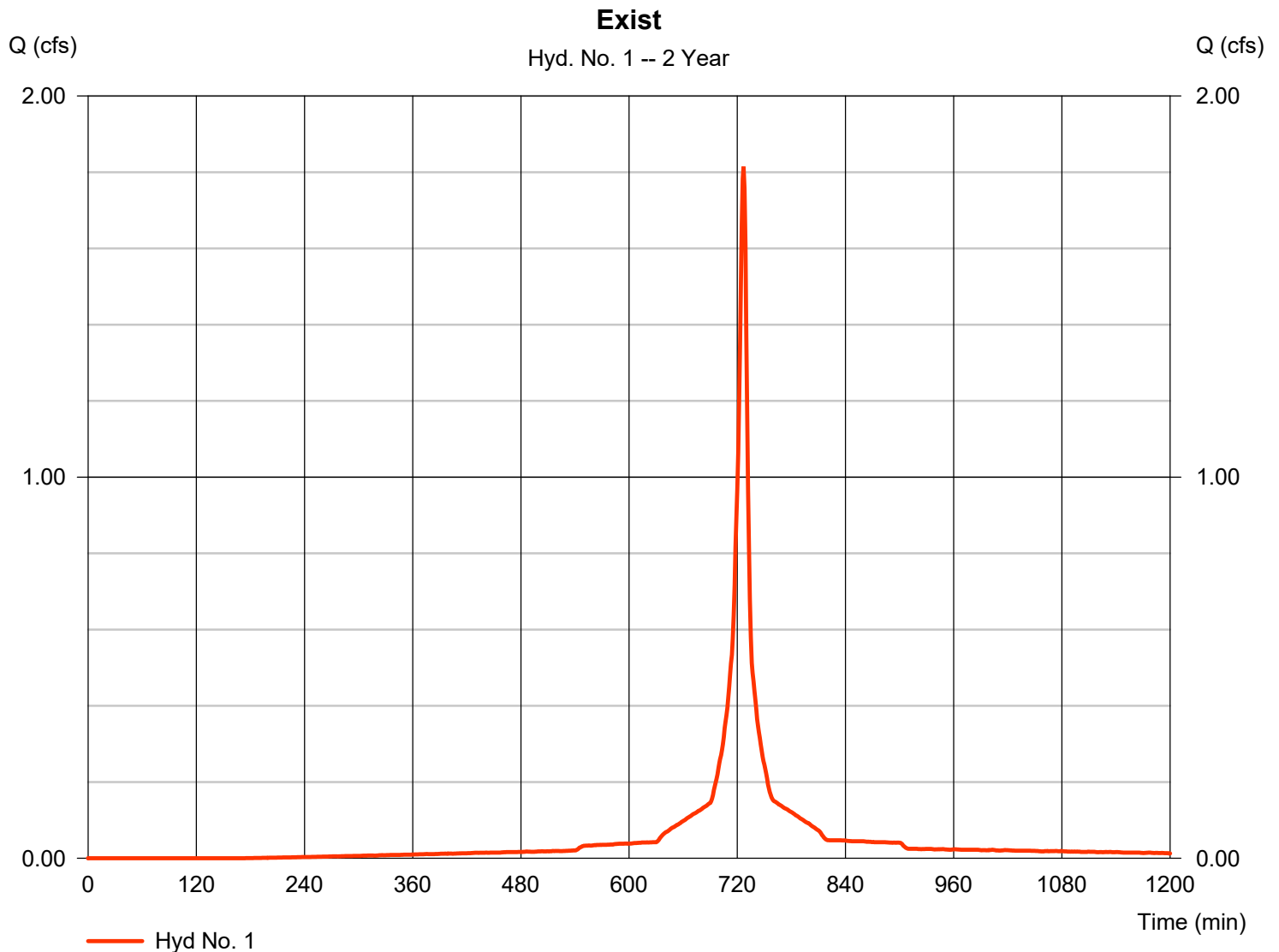


# Hydrograph Report

## Hyd. No. 1

Exist

Hydrograph type	= SCS Runoff	Peak discharge	= 1.814 cfs
Storm frequency	= 2 yrs	Time to peak	= 727 min
Time interval	= 1 min	Hyd. volume	= 4,119 cuft
Drainage area	= 0.425 ac	Curve number	= 98
Basin Slope	= 4.0 %	Hydraulic length	= 100 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 2.82 in	Distribution	= Custom
Storm duration	= Q:\2020 Projects\2020034 - Maple - Dane County J&L Consolidation\02 Des		





# Precipitation Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

Friday, 03 / 27 / 2020

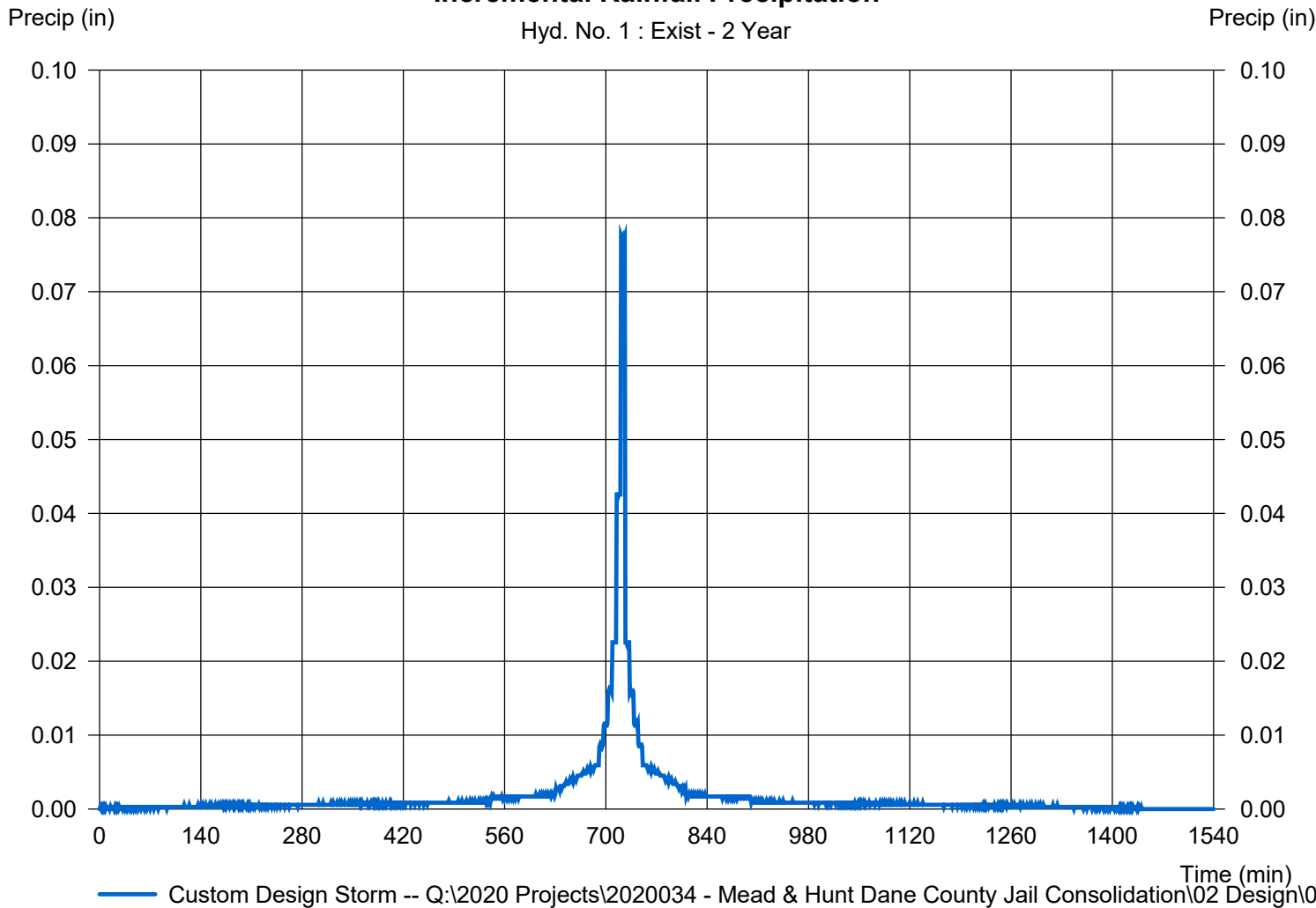
## Hyd. No. 1

Exist

Storm Frequency	= 2 yrs	Time interval	= 1 min
Total precip.	= 2.8200 in	Distribution	= Custom
Storm duration	= Q:\2020 Projects\2020034 - Mead & Hunt Dane County Jail Consolidation\02 Design\01 Civil		

### Incremental Rainfall Precipitation

Hyd. No. 1 : Exist - 2 Year





# Hydrograph Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

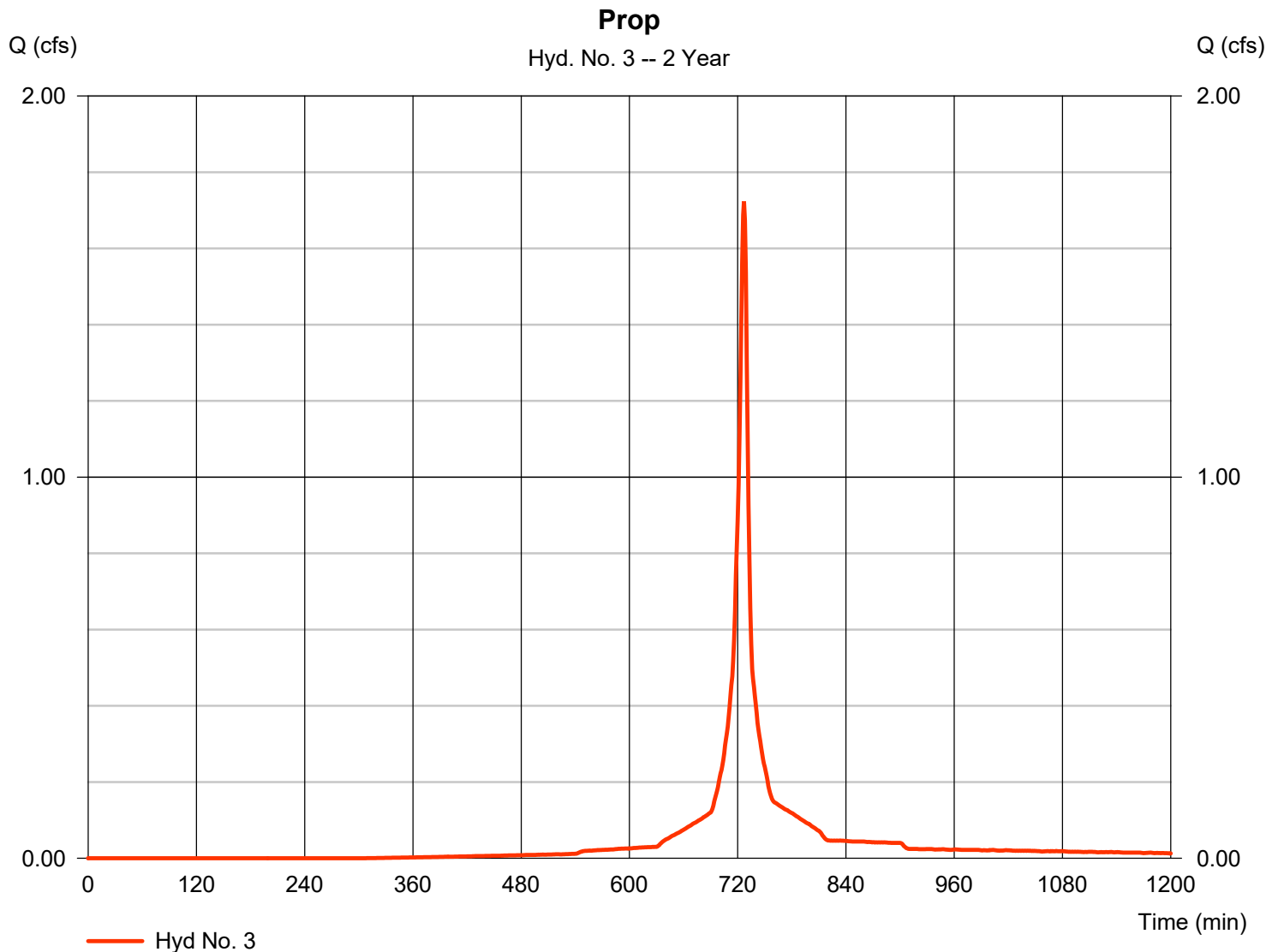
Friday, 03 / 27 / 2020

## Hyd. No. 3

Prop

Hydrograph type	= SCS Runoff	Peak discharge	= 1.724 cfs
Storm frequency	= 2 yrs	Time to peak	= 727 min
Time interval	= 1 min	Hyd. volume	= 3,660 cuft
Drainage area	= 0.430 ac	Curve number	= 95*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 2.82 in	Distribution	= Custom
Storm duration	= Q:\2020 Projects\2020034 - Meigs - part 1\02 Des		

\* Composite (Area/CN) = [(0.350 x 98) + (0.080 x 80)] / 0.430





# Precipitation Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

Friday, 03 / 27 / 2020

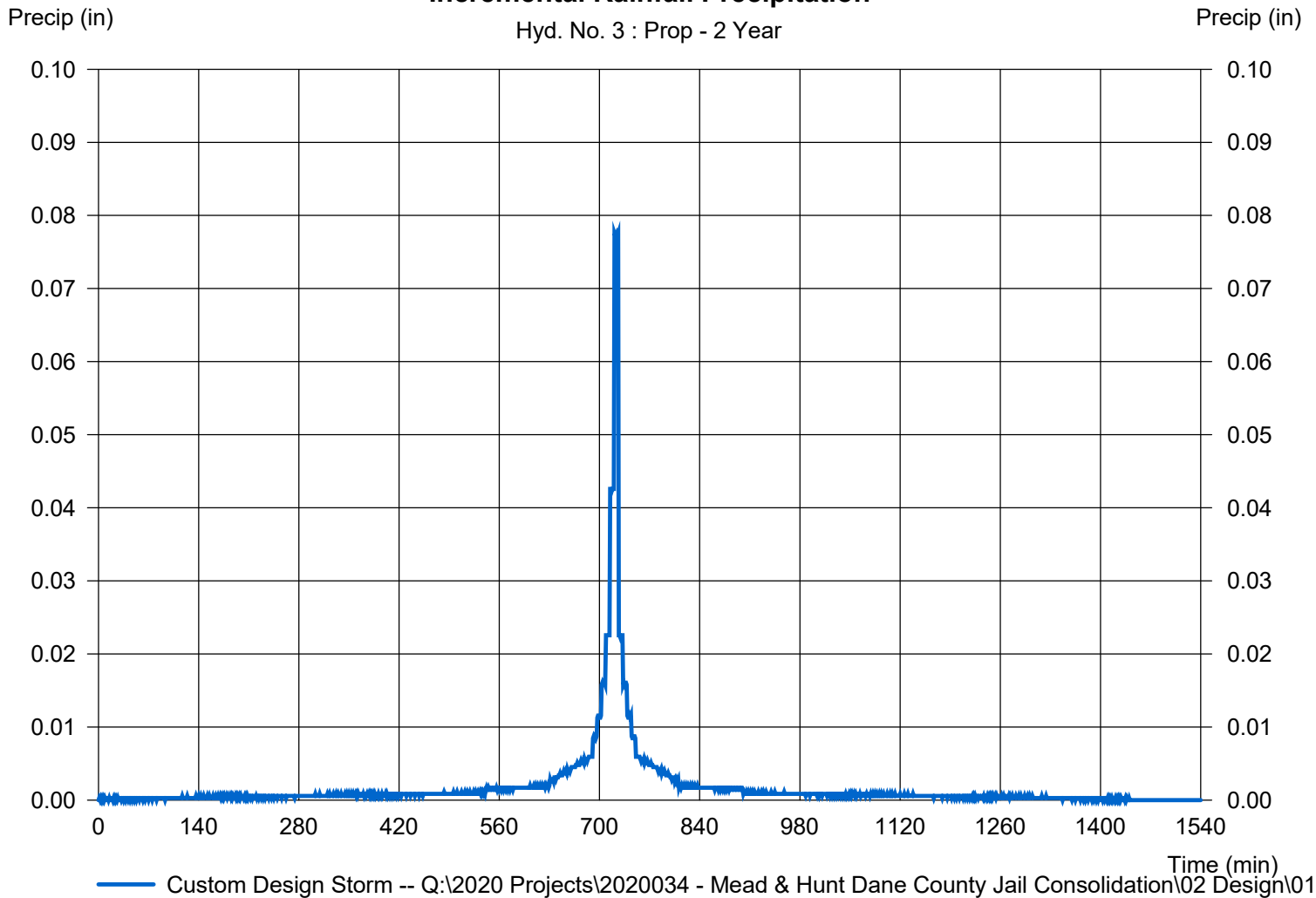
## Hyd. No. 3

Prop

Storm Frequency	= 2 yrs	Time interval	= 1 min
Total precip.	= 2.8200 in	Distribution	= Custom
Storm duration	= Q:\2020 Projects\2020034 - Mead & Hunt Dane County Jail Consolidation\02 Design\01 Civil		

### Incremental Rainfall Precipitation

Hyd. No. 3 : Prop - 2 Year



— Custom Design Storm -- Q:\2020 Projects\2020034 - Mead & Hunt Dane County Jail Consolidation\02 Design\01 Civil



# Hydrograph Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

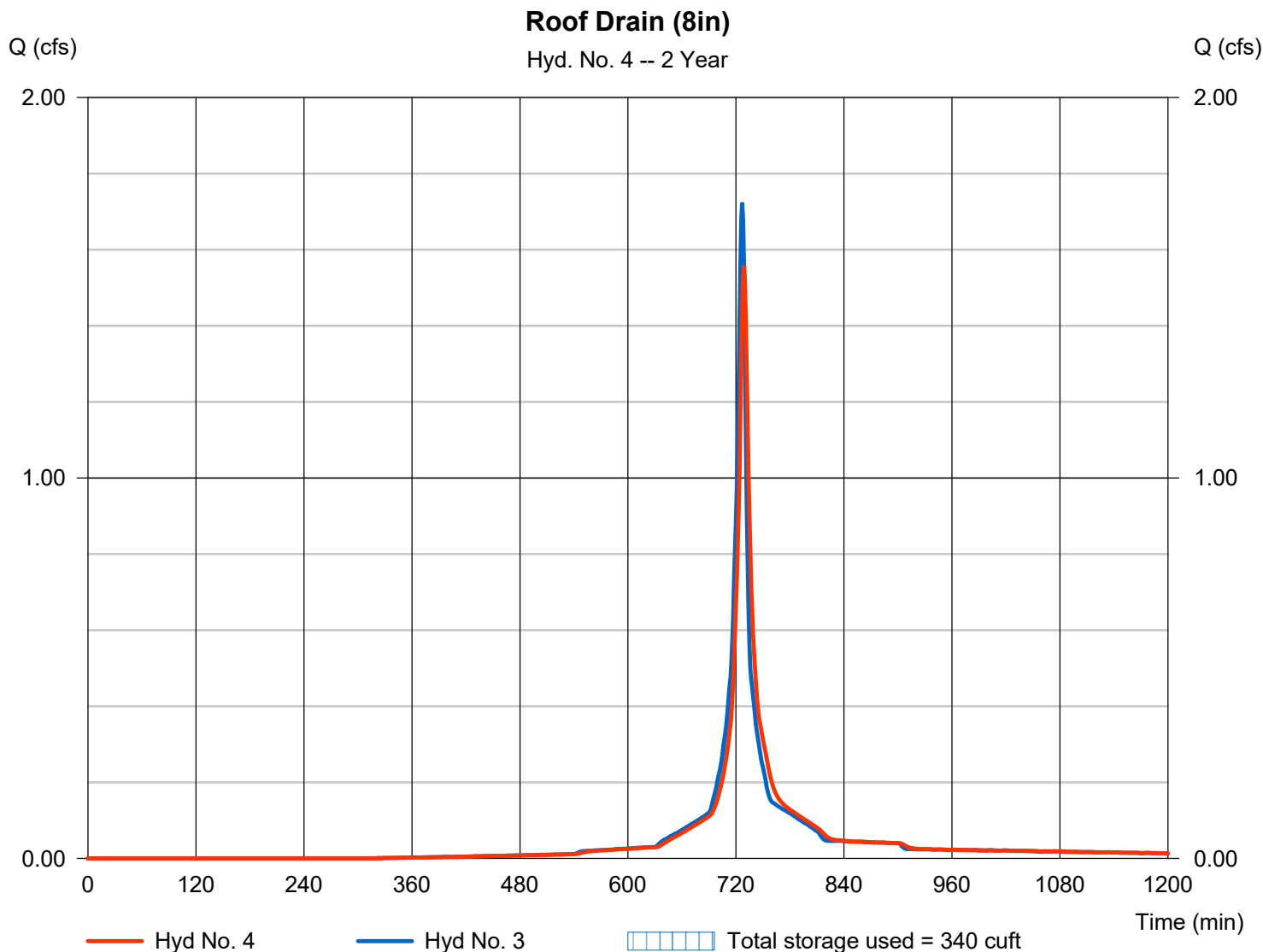
Friday, 03 / 27 / 2020

## Hyd. No. 4

Roof Drain (8in)

Hydrograph type	= Reservoir	Peak discharge	= 1.559 cfs
Storm frequency	= 2 yrs	Time to peak	= 729 min
Time interval	= 1 min	Hyd. volume	= 3,660 cuft
Inflow hyd. No.	= 3 - Prop	Max. Elevation	= 100.09 ft
Reservoir name	= Roof Drain (8in)	Max. Storage	= 340 cuft

Storage Indication method used.





## Pond No. 1 - Roof Drain (8in)

### Pond Data

Contours -User-defined contour areas. Conic method used for volume calculation. Begining Elevation = 100.00 ft

### Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	100.00	4,000	0	0
0.33	100.33	4,000	1,320	1,320
1.00	101.00	4,000	2,680	4,000

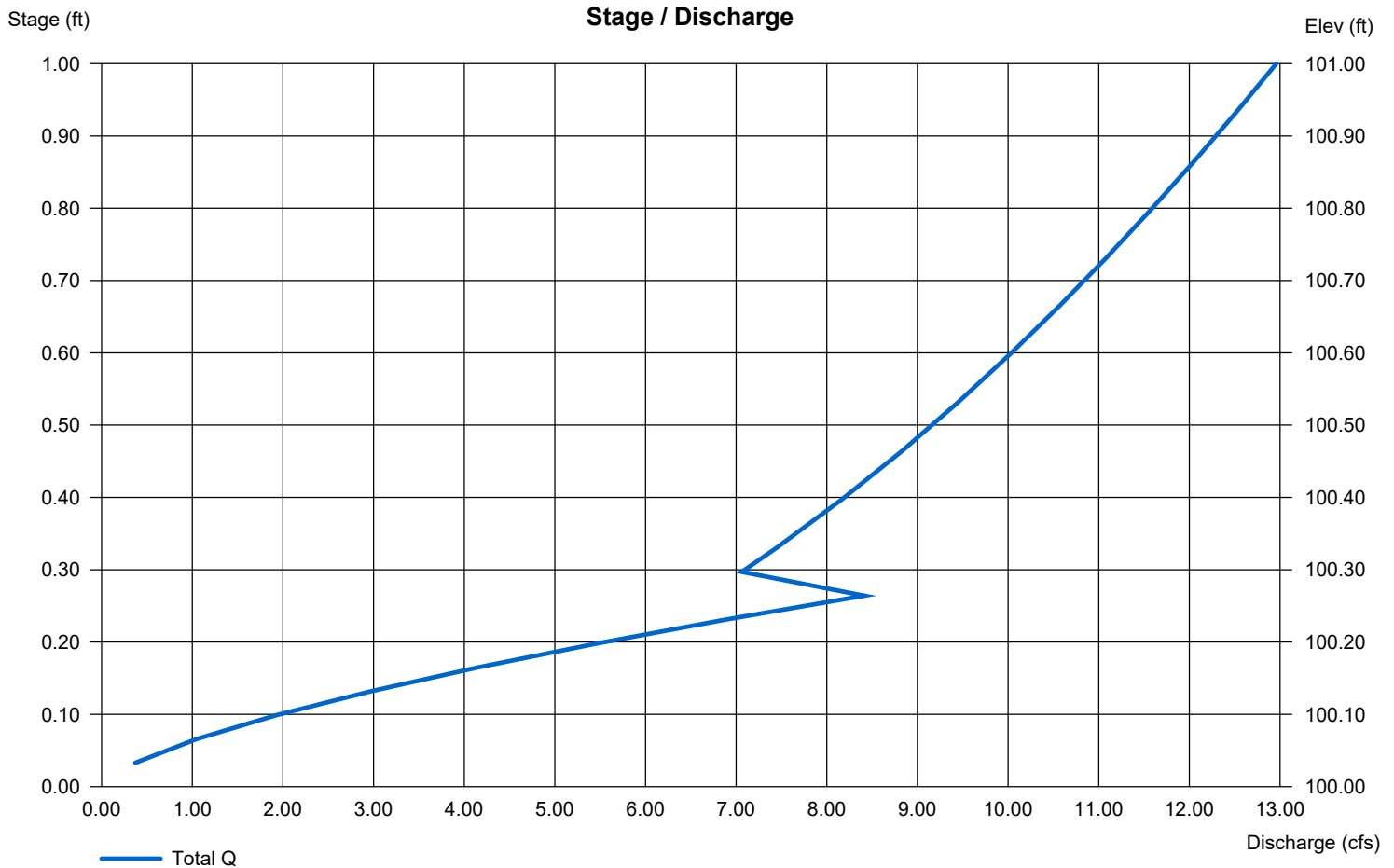
### Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 8.00	Inactive	Inactive	Inactive
Span (in)	= 8.00	0.00	0.00	0.00
No. Barrels	= 1	0	0	0
Invert El. (ft)	= 95.00	0.00	0.00	0.00
Length (ft)	= 100.00	0.00	0.00	0.00
Slope (%)	= 0.05	0.00	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	No	No	No

### Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 2.07	Inactive	Inactive	Inactive
Crest El. (ft)	= 100.00	0.00	0.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= 1	---	---	---
Multi-Stage	= Yes	No	No	No
Exfil.(in/hr)	= 0.000 (by Wet area)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).





# Hydrograph Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

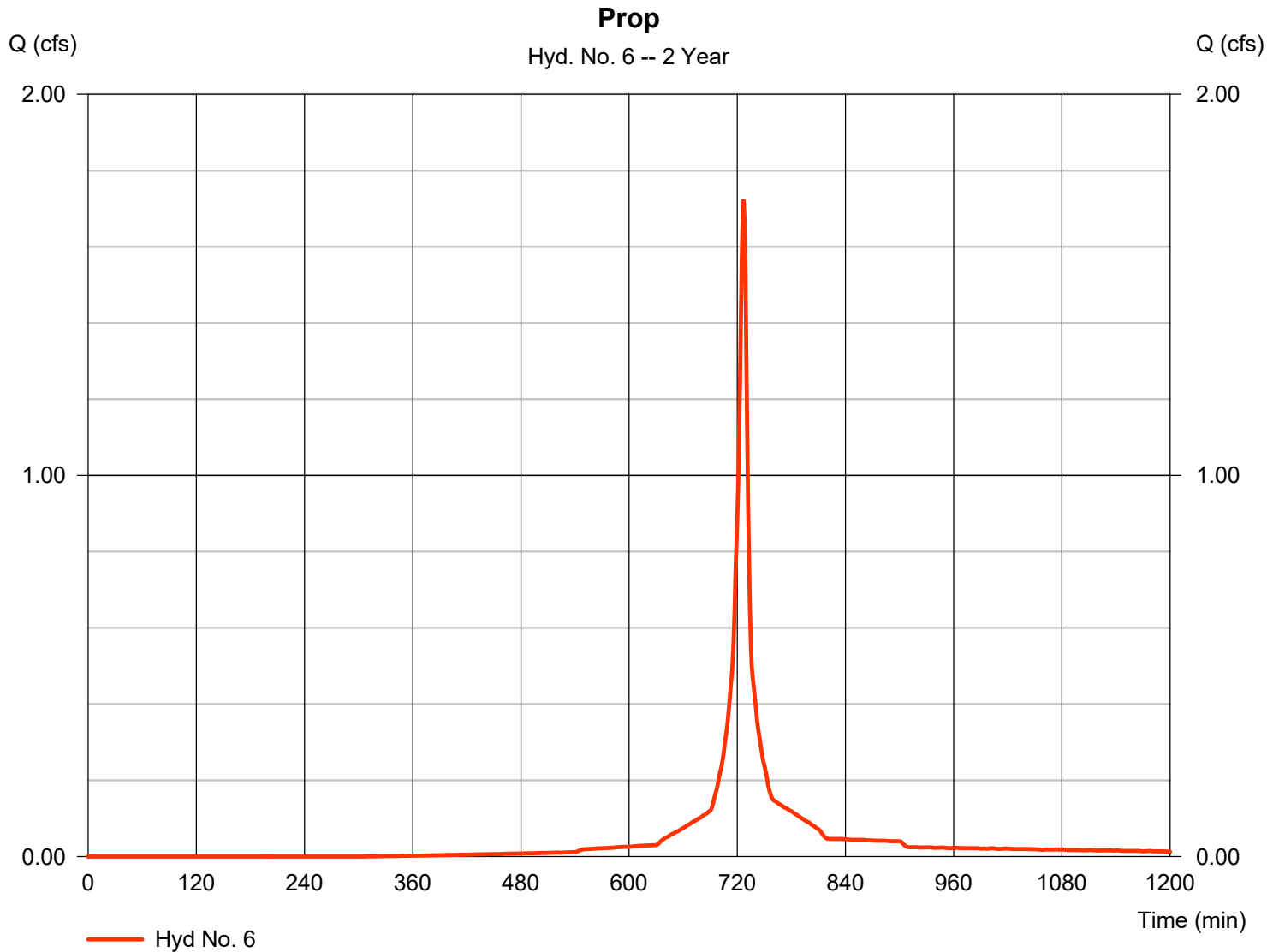
Friday, 03 / 27 / 2020

## Hyd. No. 6

Prop

Hydrograph type	= SCS Runoff	Peak discharge	= 1.724 cfs
Storm frequency	= 2 yrs	Time to peak	= 727 min
Time interval	= 1 min	Hyd. volume	= 3,660 cuft
Drainage area	= 0.430 ac	Curve number	= 95*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 2.82 in	Distribution	= Custom
Storm duration	= Q:\2020 Projects\2020034 - Meigs - part 1\02 Des		

\* Composite (Area/CN) = [(0.350 x 98) + (0.080 x 80)] / 0.430





# Precipitation Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

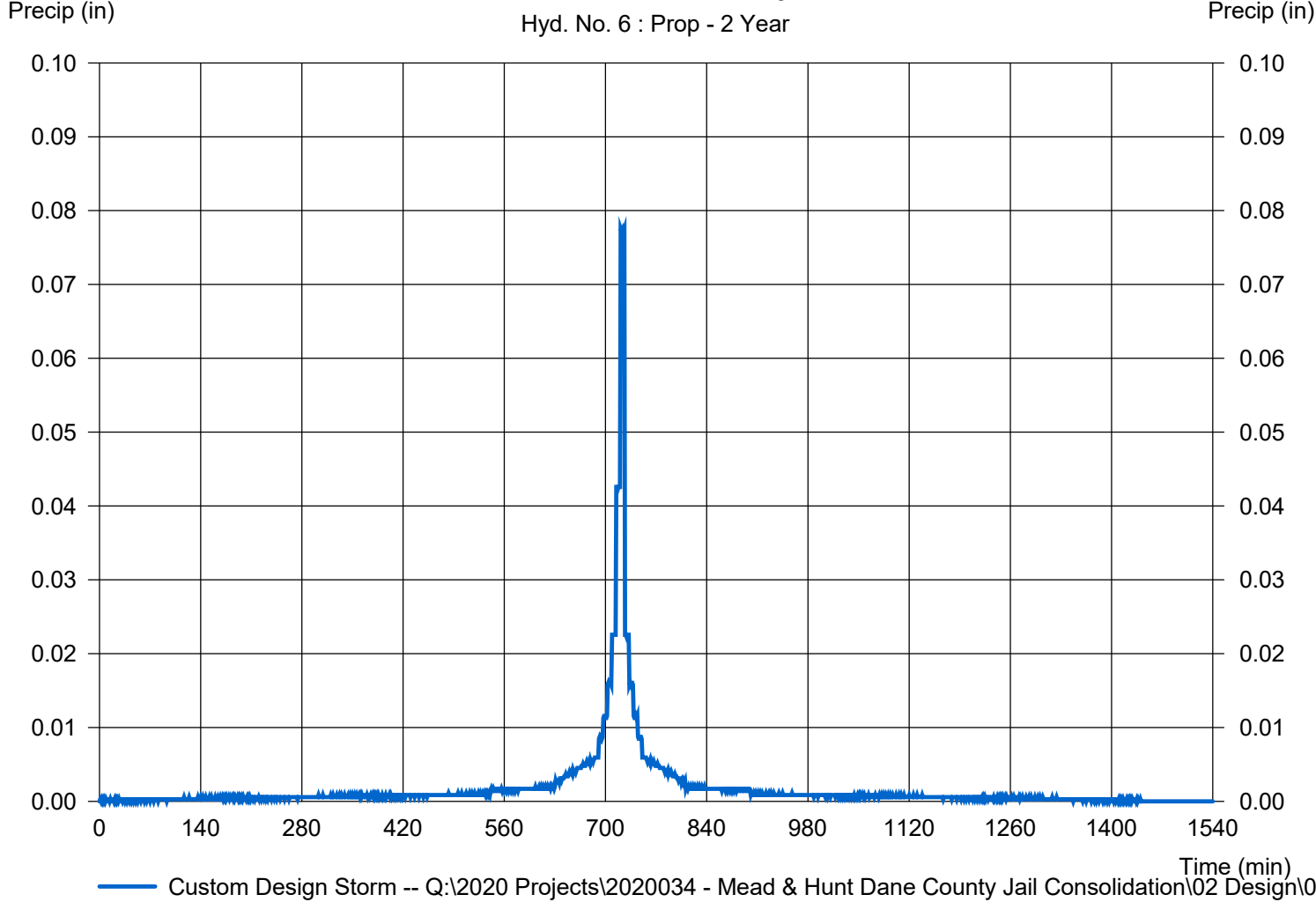
Friday, 03 / 27 / 2020

## Hyd. No. 6

Prop

Storm Frequency	= 2 yrs	Time interval	= 1 min
Total precip.	= 2.8200 in	Distribution	= Custom
Storm duration	= Q:\2020 Projects\2020034 - Mead & Hunt Dane County Jail Consolidation\02 De		

### Incremental Rainfall Precipitation





# Hydrograph Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

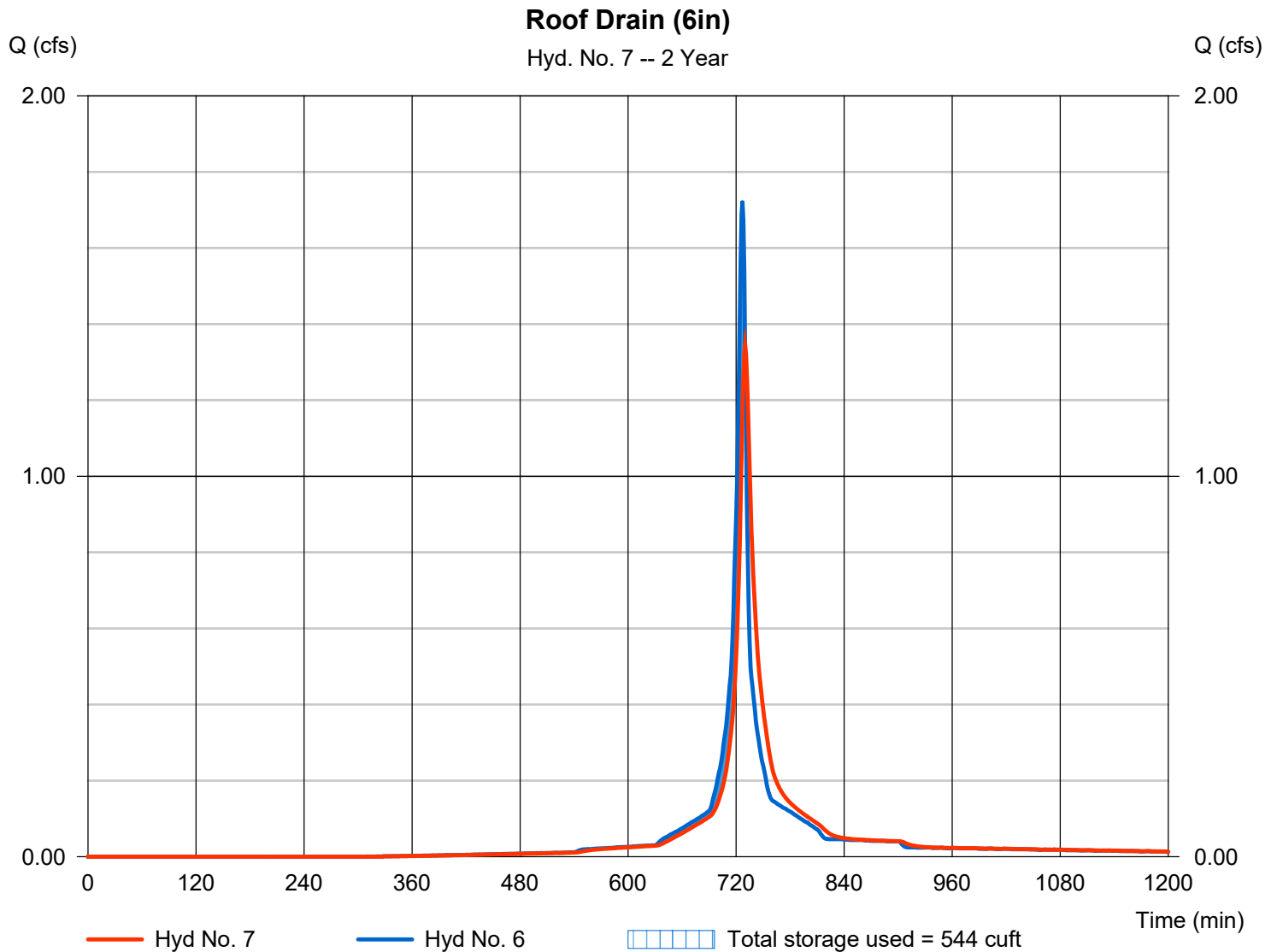
Friday, 03 / 27 / 2020

## Hyd. No. 7

Roof Drain (6in)

Hydrograph type	= Reservoir	Peak discharge	= 1.344 cfs
Storm frequency	= 2 yrs	Time to peak	= 730 min
Time interval	= 1 min	Hyd. volume	= 3,660 cuft
Inflow hyd. No.	= 6 - Prop	Max. Elevation	= 100.14 ft
Reservoir name	= Roof Drain (6in)	Max. Storage	= 544 cuft

Storage Indication method used.





## Pond No. 2 - Roof Drain (6in)

### Pond Data

Contours -User-defined contour areas. Conic method used for volume calculation. Begining Elevation = 100.00 ft

### Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	100.00	4,000	0	0
0.33	100.33	4,000	1,320	1,320
1.00	101.00	4,000	2,680	4,000

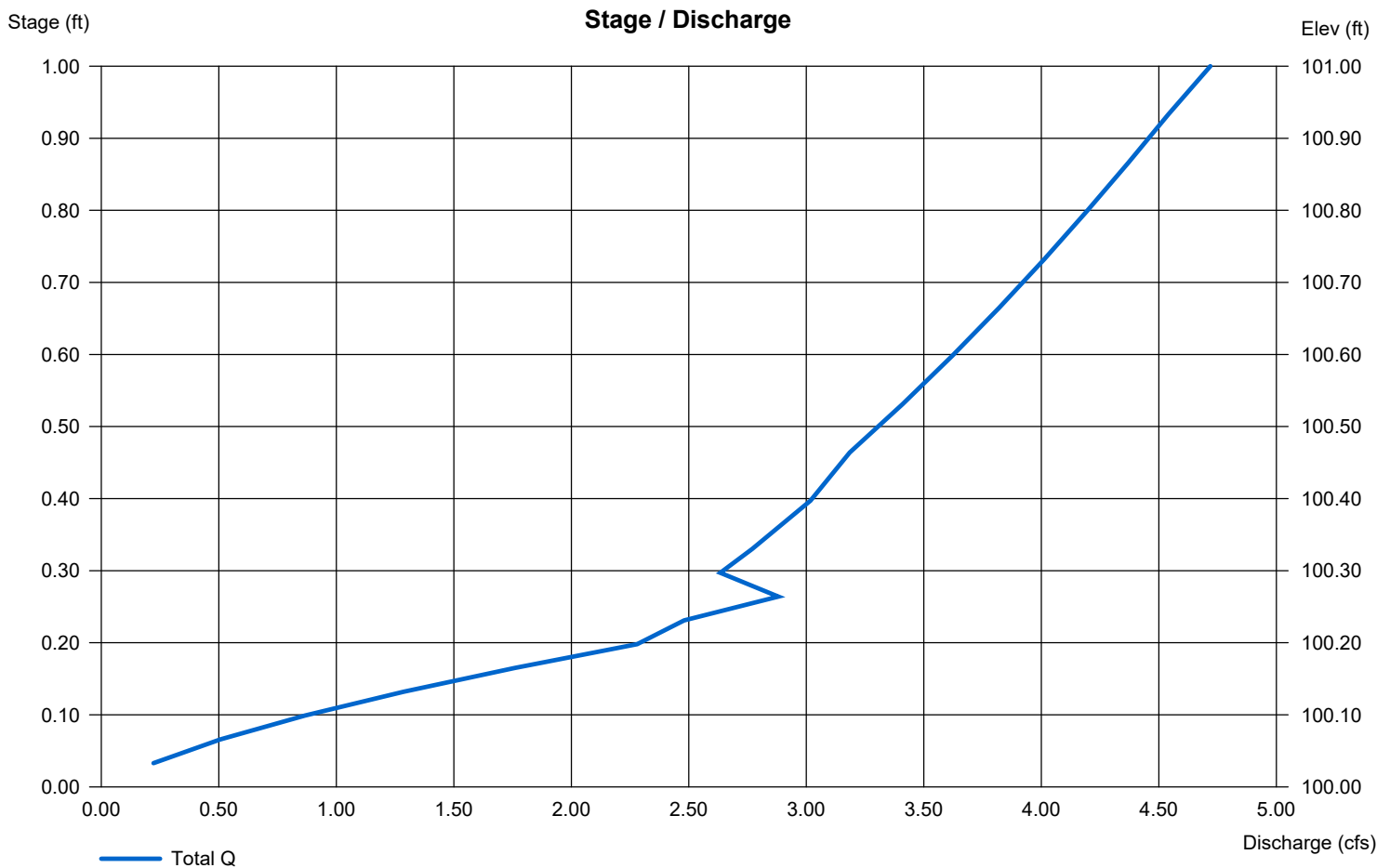
### Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 6.00	Inactive	Inactive	Inactive
Span (in)	= 6.00	0.00	0.00	0.00
No. Barrels	= 1	0	0	0
Invert El. (ft)	= 95.00	0.00	0.00	0.00
Length (ft)	= 100.00	0.00	0.00	0.00
Slope (%)	= 0.05	0.00	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	No	No	No

### Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 1.57	Inactive	Inactive	Inactive
Crest El. (ft)	= 100.00	0.00	0.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= 1	---	---	---
Multi-Stage	= Yes	No	No	No
Exfil.(in/hr)	= 0.000 (by Wet area)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).





# Hydrograph Summary Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	SCS Runoff	2.612	1	727	6,038	-----	-----	-----	Exist	
3	SCS Runoff	2.551	1	727	5,571	-----	-----	-----	Prop	
4	Reservoir	2.349	1	729	5,570	3	100.11	449	Roof Drain (8in)	
6	SCS Runoff	2.551	1	727	5,571	-----	-----	-----	Prop	
7	Reservoir	2.077	1	730	5,570	6	100.19	740	Roof Drain (6in)	
2020034_DCJ.gpw					Return Period: 10 Year			Friday, 03 / 27 / 2020		



# Hydrograph Report

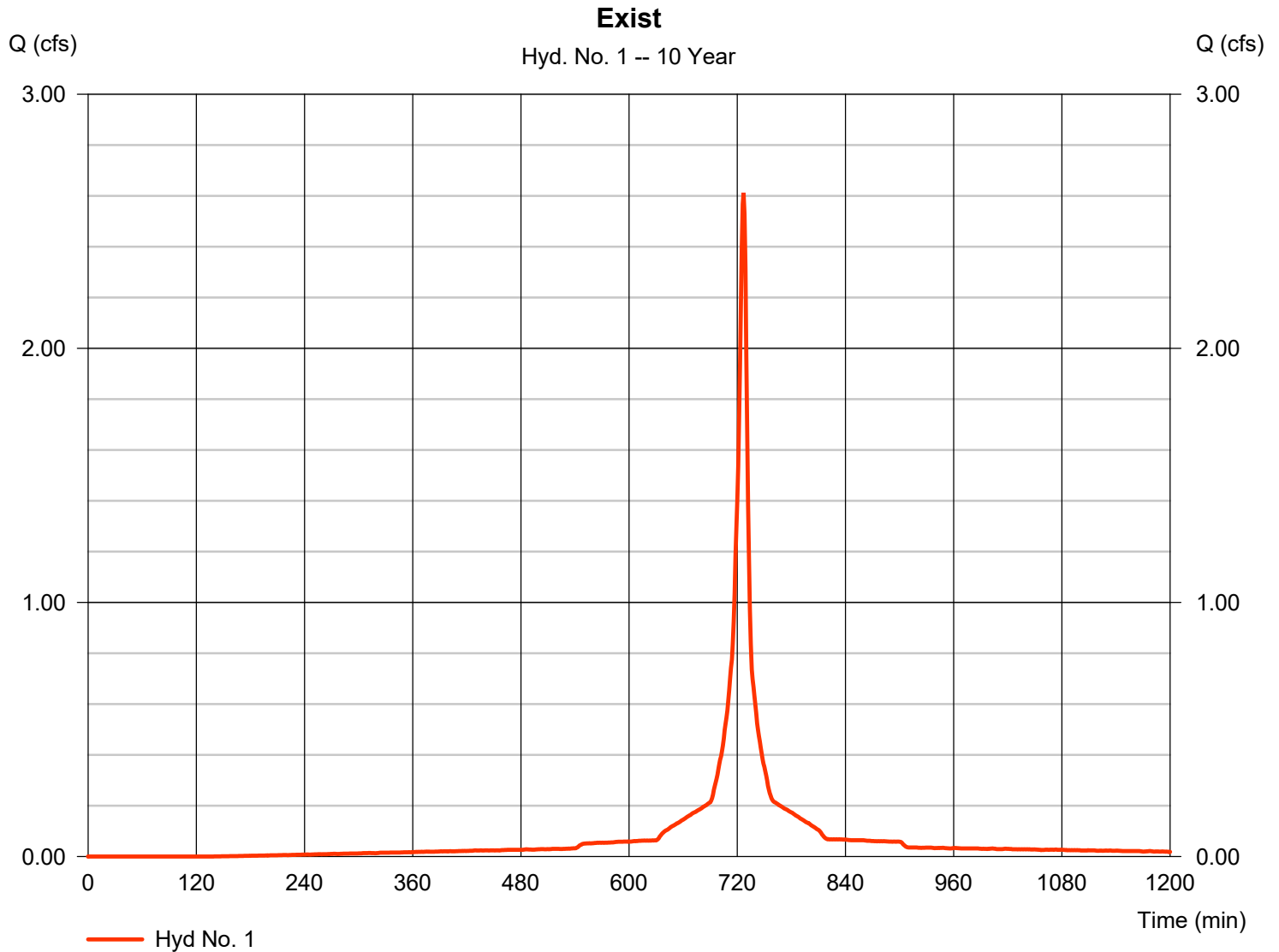
Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

Friday, 03 / 27 / 2020

## Hyd. No. 1

Exist

Hydrograph type	= SCS Runoff	Peak discharge	= 2.612 cfs
Storm frequency	= 10 yrs	Time to peak	= 727 min
Time interval	= 1 min	Hyd. volume	= 6,038 cuft
Drainage area	= 0.425 ac	Curve number	= 98
Basin Slope	= 4.0 %	Hydraulic length	= 100 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 4.03 in	Distribution	= Custom
Storm duration	= Q:\2020 Projects\2020034 - Maple - Dane County 484 Consolidation\02 Des		





# Precipitation Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

Friday, 03 / 27 / 2020

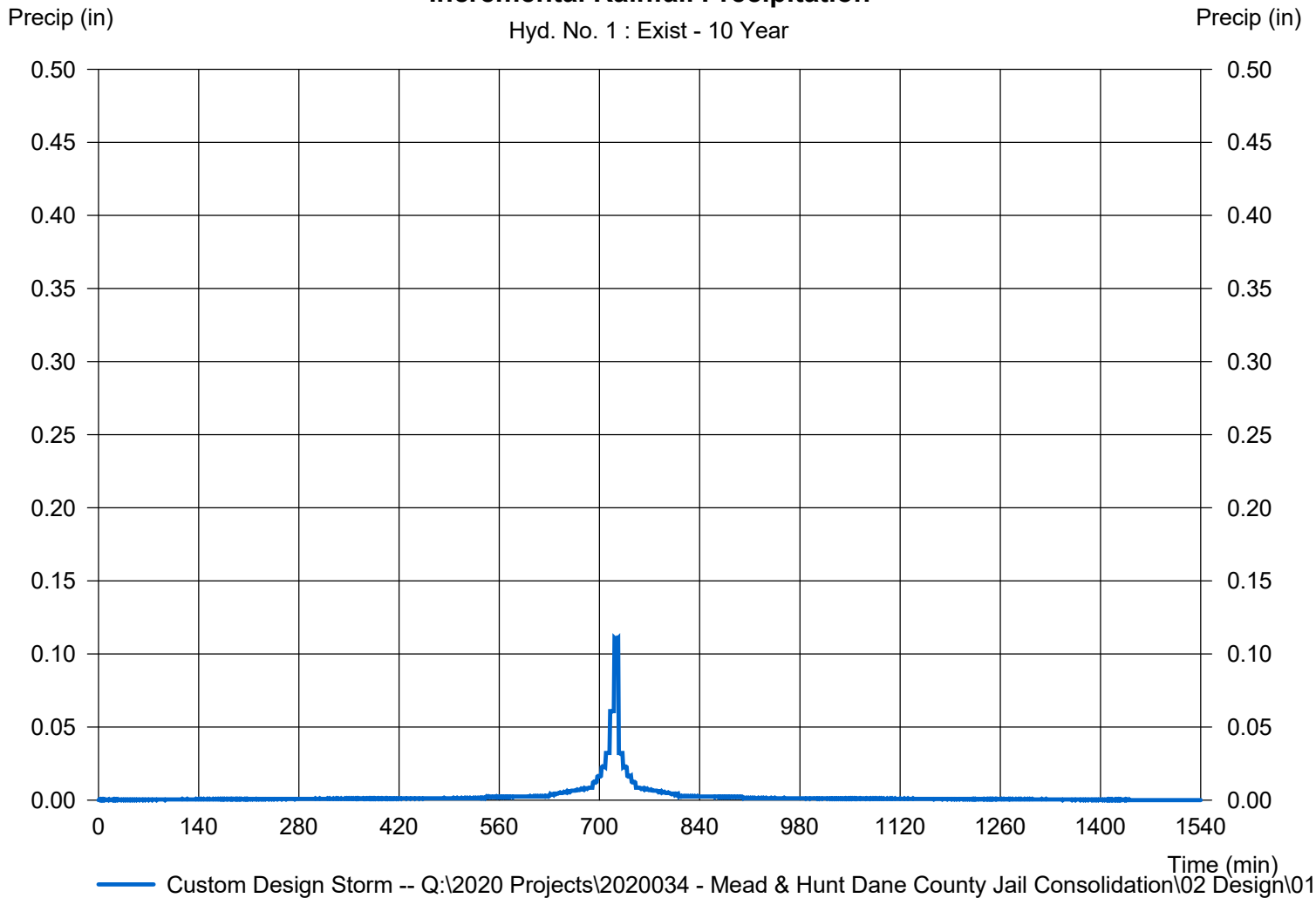
## Hyd. No. 1

Exist

Storm Frequency	= 10 yrs	Time interval	= 1 min
Total precip.	= 4.0300 in	Distribution	= Custom
Storm duration	= Q:\2020 Projects\2020034 - Mead & Hunt Dane County Jail Consolidation\02 Design\01 Civil		

### Incremental Rainfall Precipitation

Hyd. No. 1 : Exist - 10 Year





# Hydrograph Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

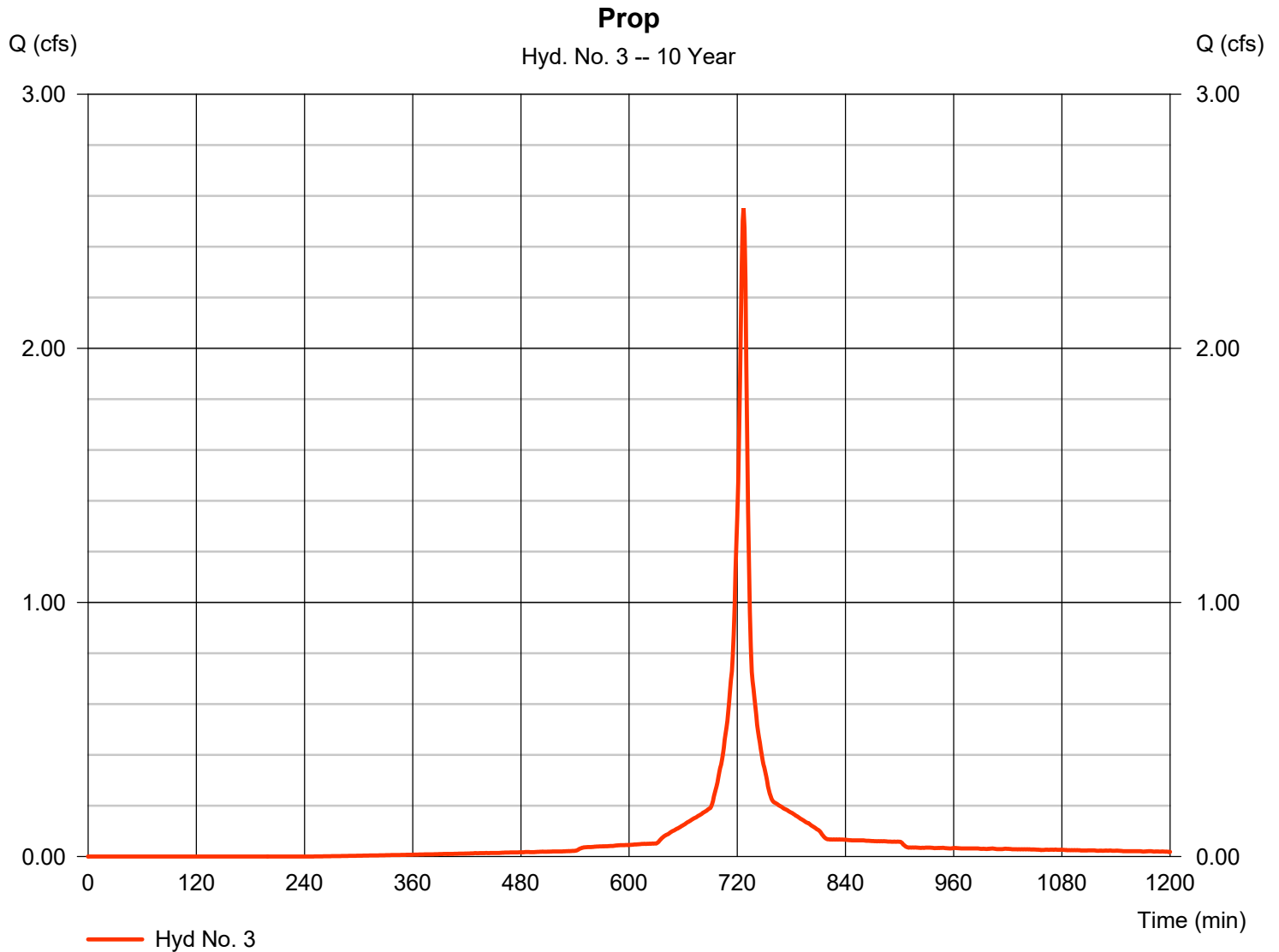
Friday, 03 / 27 / 2020

## Hyd. No. 3

Prop

Hydrograph type	= SCS Runoff	Peak discharge	= 2.551 cfs
Storm frequency	= 10 yrs	Time to peak	= 727 min
Time interval	= 1 min	Hyd. volume	= 5,571 cuft
Drainage area	= 0.430 ac	Curve number	= 95*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 4.03 in	Distribution	= Custom
Storm duration	= Q:\2020 Projects\2020034 - Meigs - part 1\02 Des		

\* Composite (Area/CN) = [(0.350 x 98) + (0.080 x 80)] / 0.430





# Precipitation Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

Friday, 03 / 27 / 2020

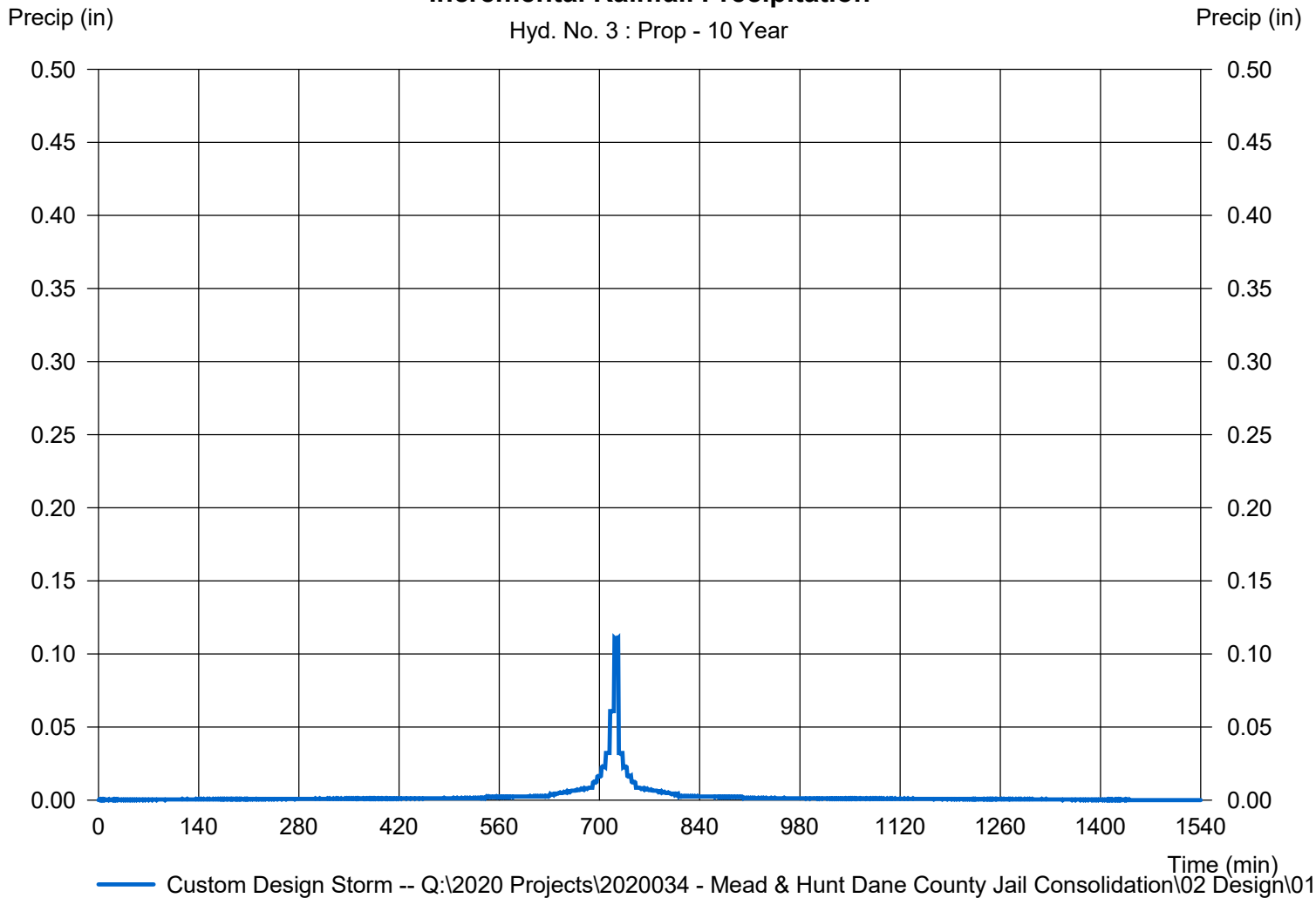
## Hyd. No. 3

Prop

Storm Frequency	= 10 yrs	Time interval	= 1 min
Total precip.	= 4.0300 in	Distribution	= Custom
Storm duration	= Q:\2020 Projects\2020034 - Mead & Hunt Dane County Jail Consolidation\02 Design\01 Civil		

### Incremental Rainfall Precipitation

Hyd. No. 3 : Prop - 10 Year



— Custom Design Storm -- Q:\2020 Projects\2020034 - Mead & Hunt Dane County Jail Consolidation\02 Design\01 Civil



# Hydrograph Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

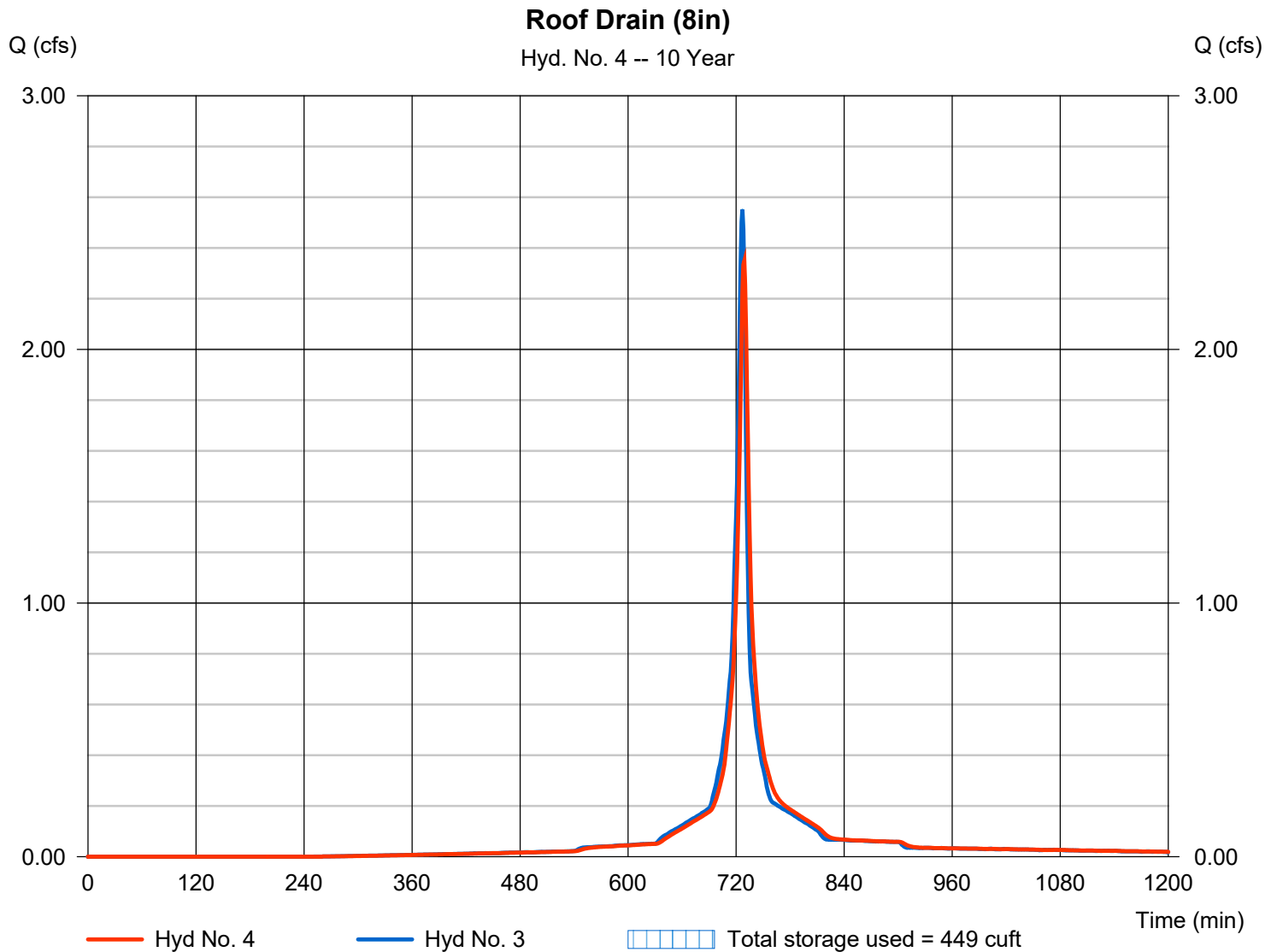
Friday, 03 / 27 / 2020

## Hyd. No. 4

Roof Drain (8in)

Hydrograph type	= Reservoir	Peak discharge	= 2.349 cfs
Storm frequency	= 10 yrs	Time to peak	= 729 min
Time interval	= 1 min	Hyd. volume	= 5,570 cuft
Inflow hyd. No.	= 3 - Prop	Max. Elevation	= 100.11 ft
Reservoir name	= Roof Drain (8in)	Max. Storage	= 449 cuft

Storage Indication method used.





# Hydrograph Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

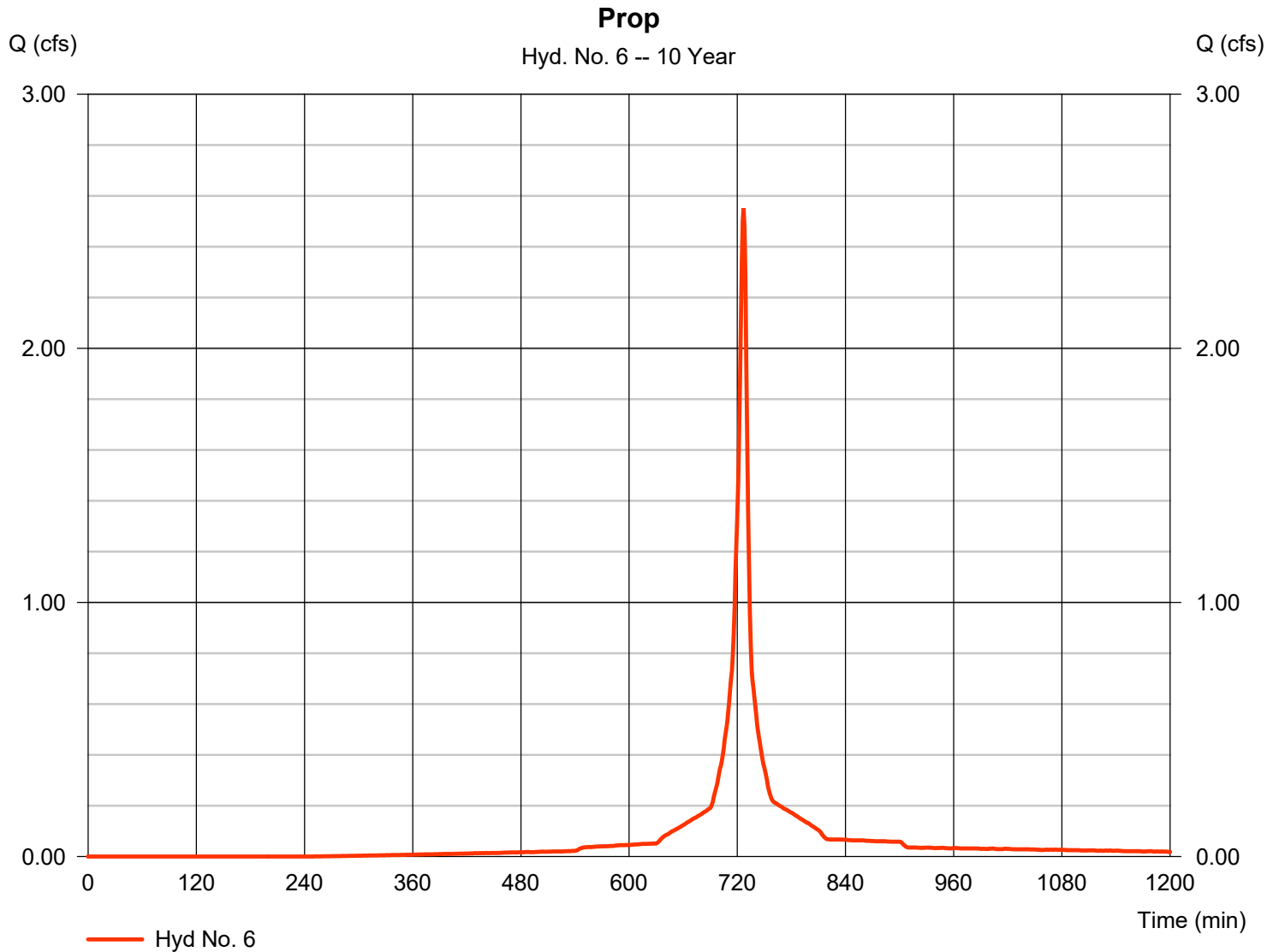
Friday, 03 / 27 / 2020

## Hyd. No. 6

Prop

Hydrograph type	= SCS Runoff	Peak discharge	= 2.551 cfs
Storm frequency	= 10 yrs	Time to peak	= 727 min
Time interval	= 1 min	Hyd. volume	= 5,571 cuft
Drainage area	= 0.430 ac	Curve number	= 95*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 4.03 in	Distribution	= Custom
Storm duration	= Q:\2020 Projects\2020034 - Meigs - part 1\02 Des		

\* Composite (Area/CN) = [(0.350 x 98) + (0.080 x 80)] / 0.430





# Precipitation Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

Friday, 03 / 27 / 2020

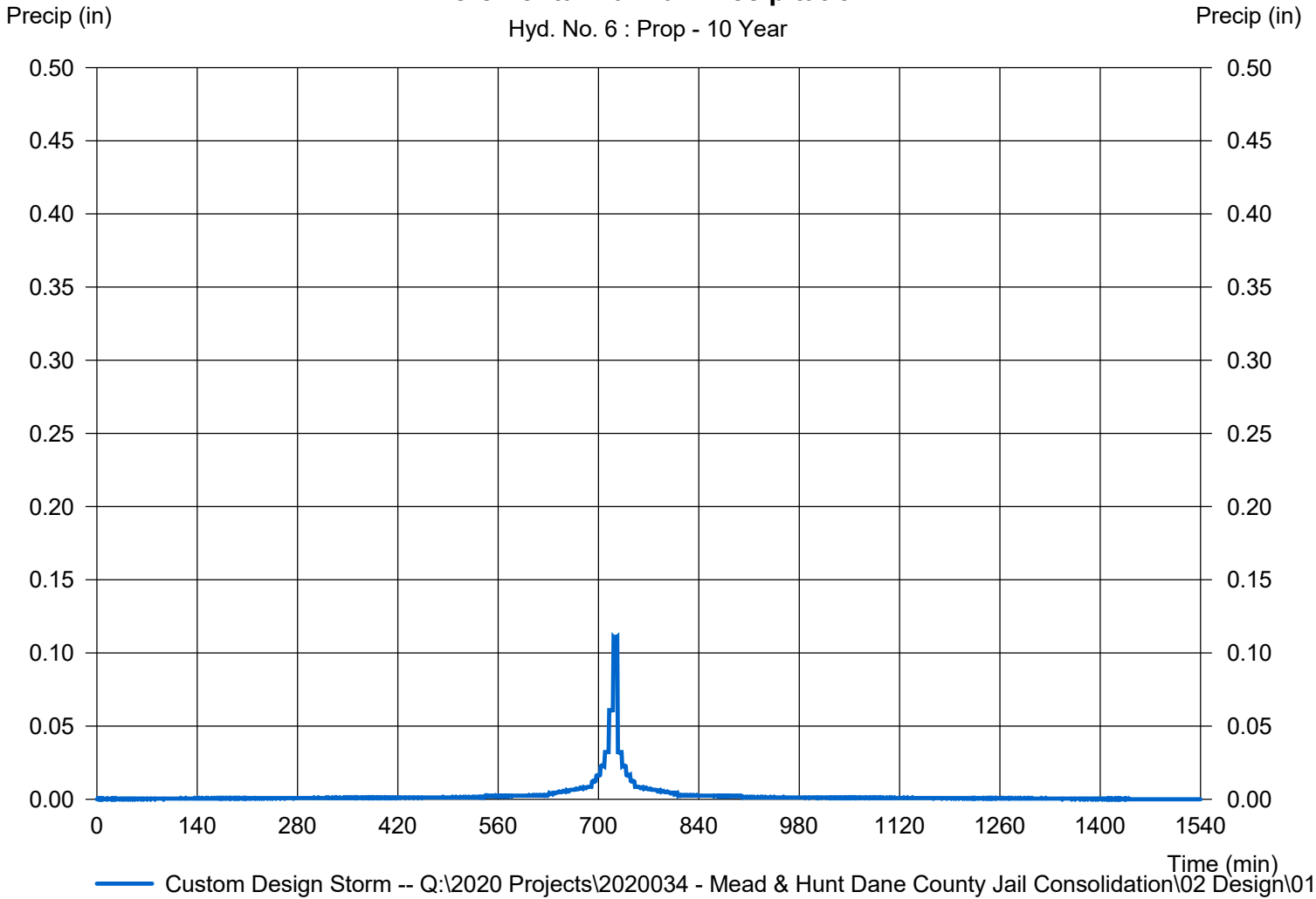
## Hyd. No. 6

Prop

Storm Frequency	= 10 yrs	Time interval	= 1 min
Total precip.	= 4.0300 in	Distribution	= Custom
Storm duration	= Q:\2020 Projects\2020034 - Mead & Hunt Dane County Jail Consolidation\02 Design\01 Civil		

### Incremental Rainfall Precipitation

Hyd. No. 6 : Prop - 10 Year





# Hydrograph Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

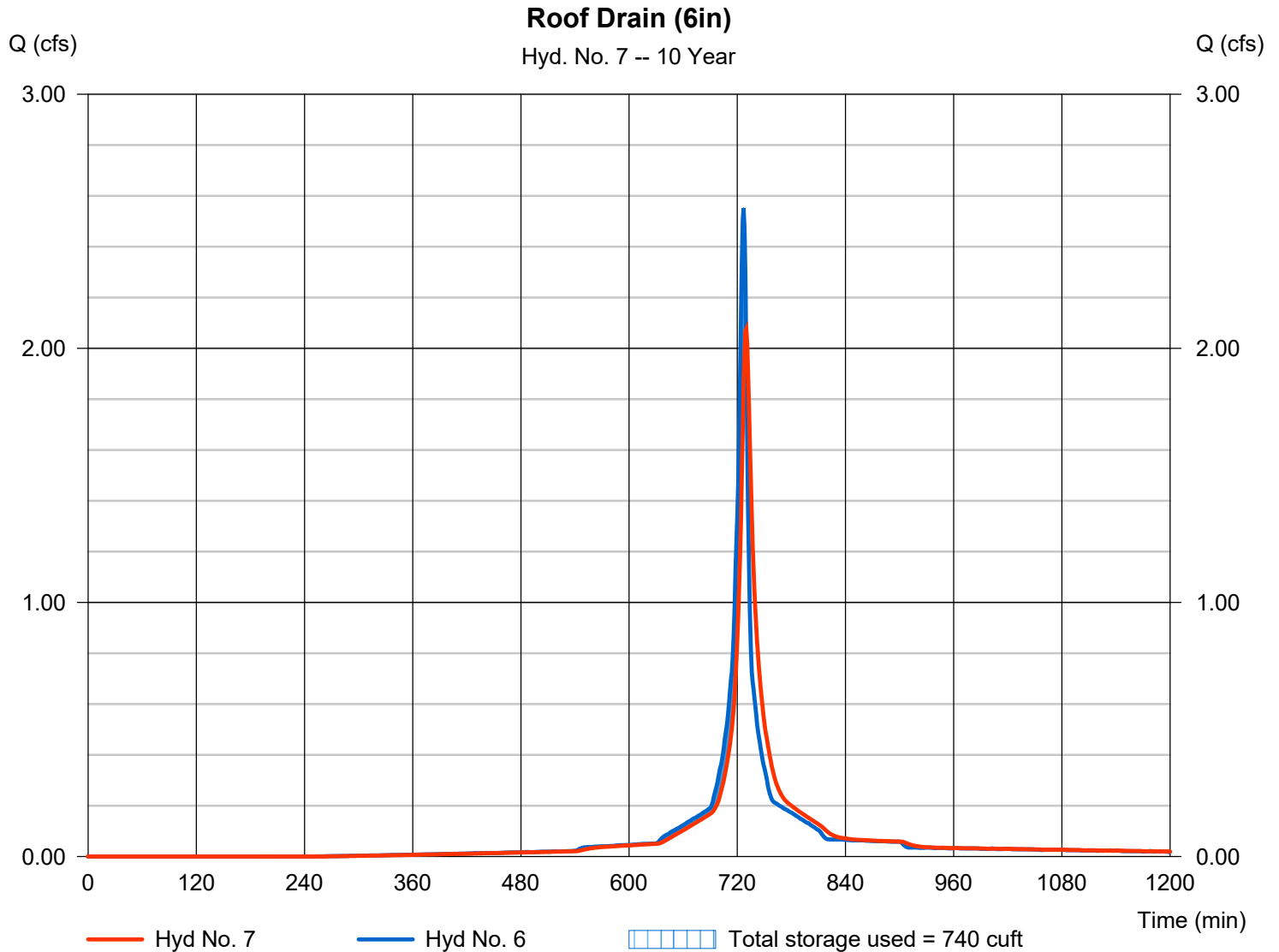
Friday, 03 / 27 / 2020

## Hyd. No. 7

Roof Drain (6in)

Hydrograph type	= Reservoir	Peak discharge	= 2.077 cfs
Storm frequency	= 10 yrs	Time to peak	= 730 min
Time interval	= 1 min	Hyd. volume	= 5,570 cuft
Inflow hyd. No.	= 6 - Prop	Max. Elevation	= 100.19 ft
Reservoir name	= Roof Drain (6in)	Max. Storage	= 740 cuft

Storage Indication method used.





# Hydrograph Summary Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	SCS Runoff	4.259	1	727	10,025	-----	-----	-----	Exist	
3	SCS Runoff	4.244	1	727	9,575	-----	-----	-----	Prop	
4	Reservoir	3.975	1	728	9,574	3	100.16	640	Roof Drain (8in)	
6	SCS Runoff	4.244	1	727	9,575	-----	-----	-----	Prop	
7	Reservoir	2.846	1	727	9,574	6	100.32	1,291	Roof Drain (6in)	
2020034_DCJ.gpw					Return Period: 100 Year			Friday, 03 / 27 / 2020		



# Hydrograph Report

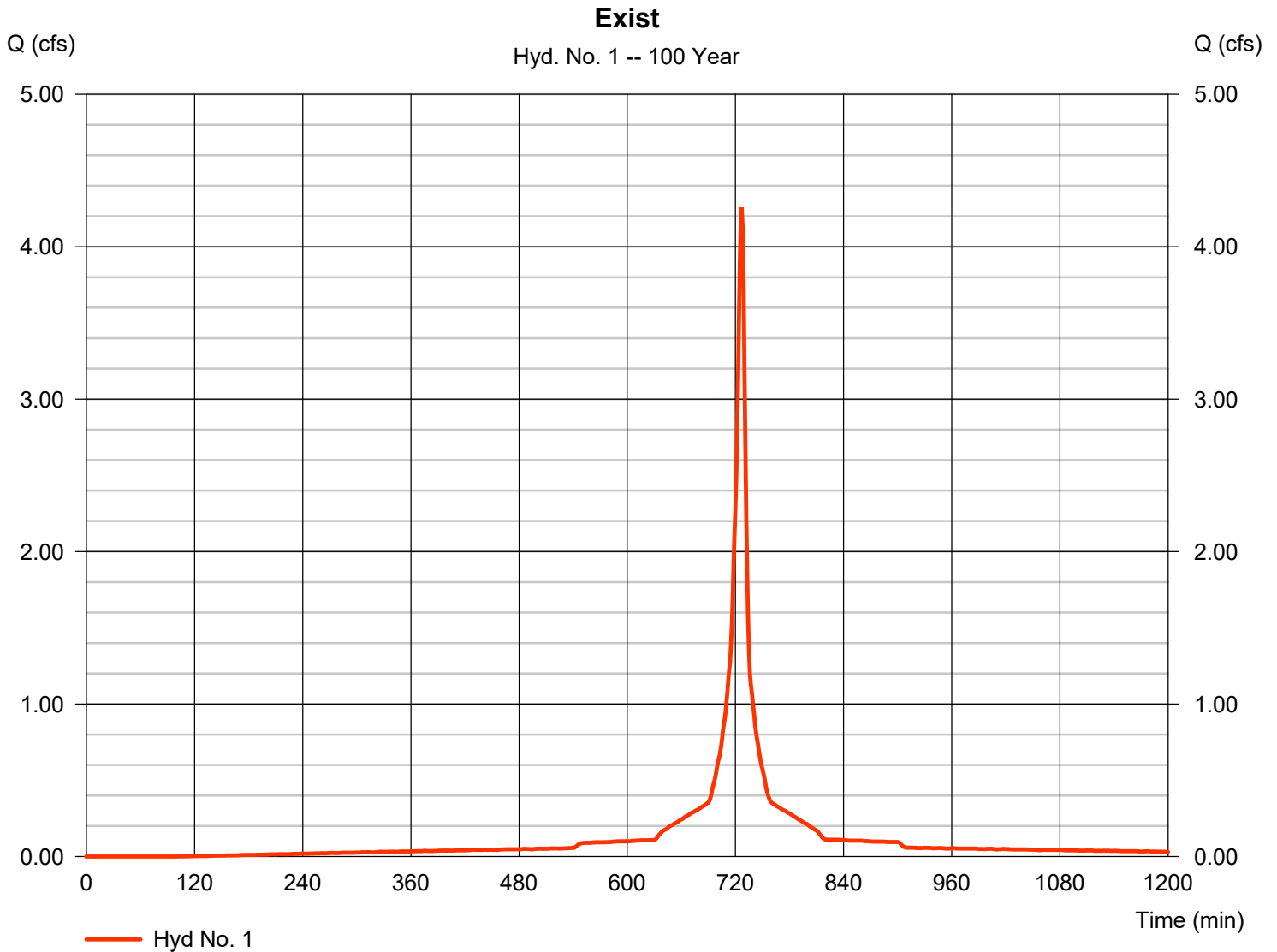
Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

Friday, 03 / 27 / 2020

## Hyd. No. 1

Exist

Hydrograph type	= SCS Runoff	Peak discharge	= 4.259 cfs
Storm frequency	= 100 yrs	Time to peak	= 727 min
Time interval	= 1 min	Hyd. volume	= 10,025 cuft
Drainage area	= 0.425 ac	Curve number	= 98
Basin Slope	= 4.0 %	Hydraulic length	= 100 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 6.54 in	Distribution	= Custom
Storm duration	= Q:\2020 Projects\2020034 - Maplehurst Dane County Jail Consolidation\02 Des		





# Precipitation Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

Friday, 03 / 27 / 2020

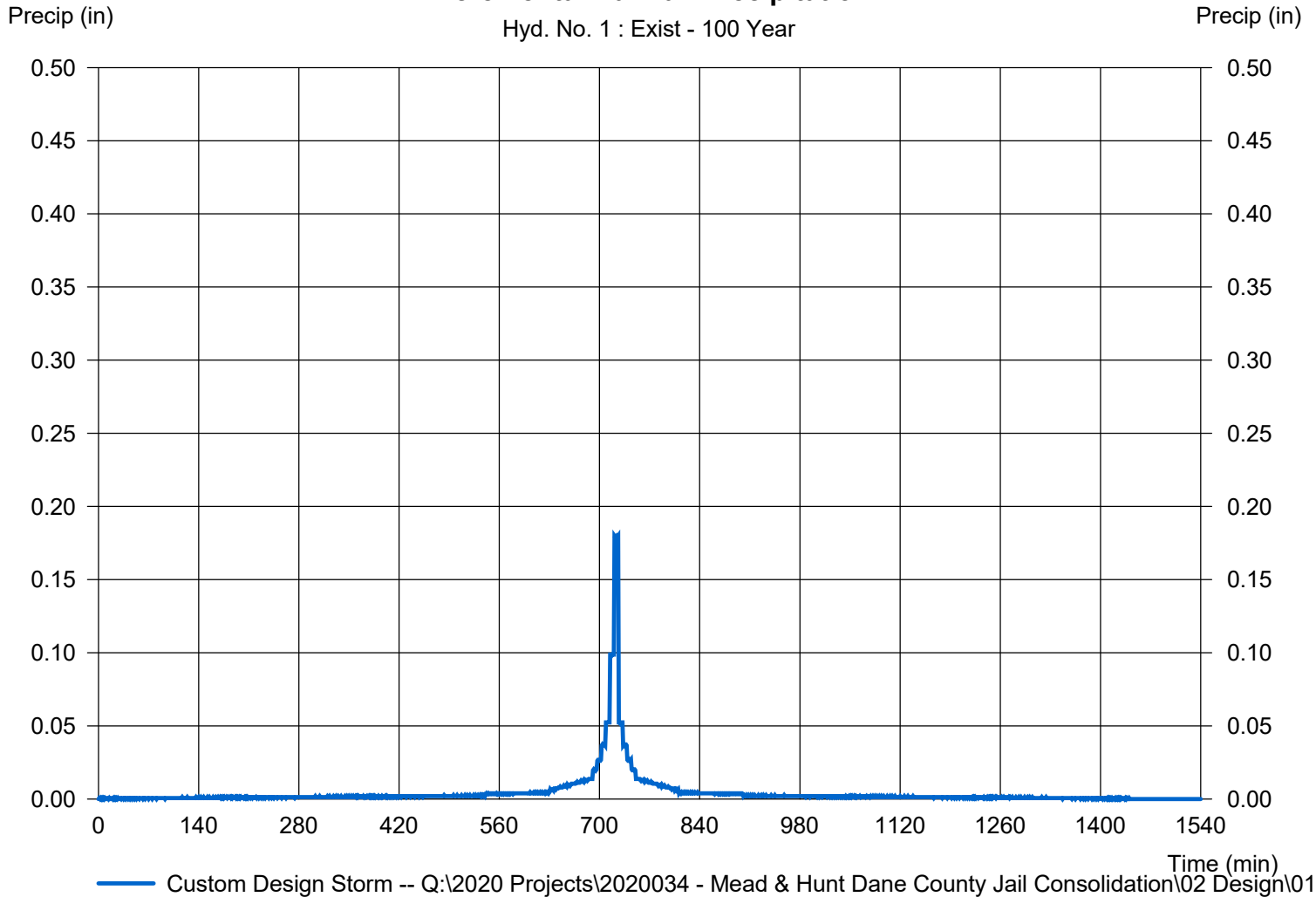
## Hyd. No. 1

Exist

Storm Frequency	= 100 yrs	Time interval	= 1 min
Total precip.	= 6.5400 in	Distribution	= Custom
Storm duration	= Q:\2020 Projects\2020034 - Mead & Hunt Dane County Jail Consolidation\02 Design\01 Civil		

### Incremental Rainfall Precipitation

Hyd. No. 1 : Exist - 100 Year





# Hydrograph Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

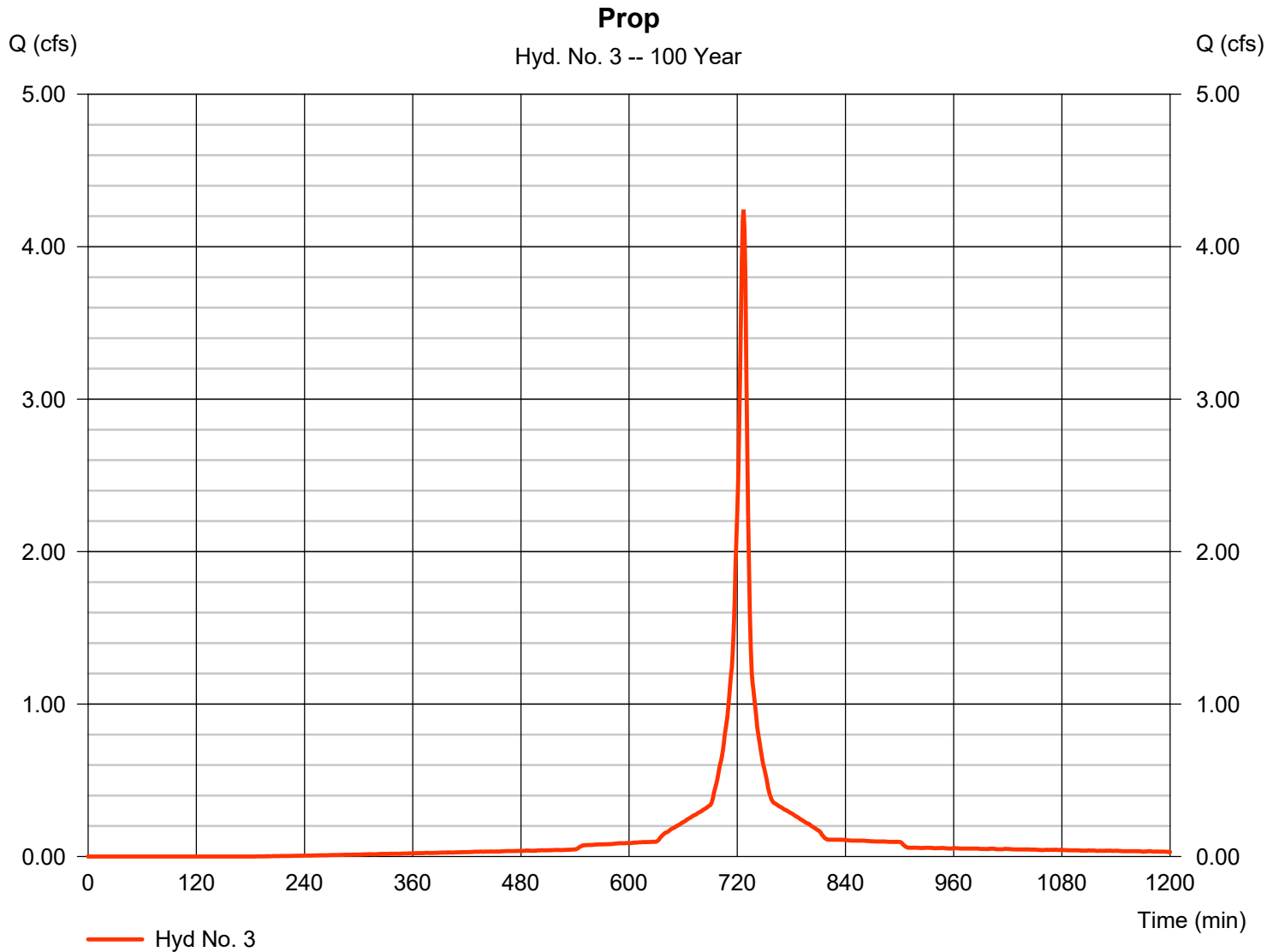
Friday, 03 / 27 / 2020

## Hyd. No. 3

Prop

Hydrograph type	= SCS Runoff	Peak discharge	= 4.244 cfs
Storm frequency	= 100 yrs	Time to peak	= 727 min
Time interval	= 1 min	Hyd. volume	= 9,575 cuft
Drainage area	= 0.430 ac	Curve number	= 95*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 6.54 in	Distribution	= Custom
Storm duration	= Q:\2020 Projects\2020034 - Meigs - part 1\02 Des		

\* Composite (Area/CN) = [(0.350 x 98) + (0.080 x 80)] / 0.430





# Precipitation Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

Friday, 03 / 27 / 2020

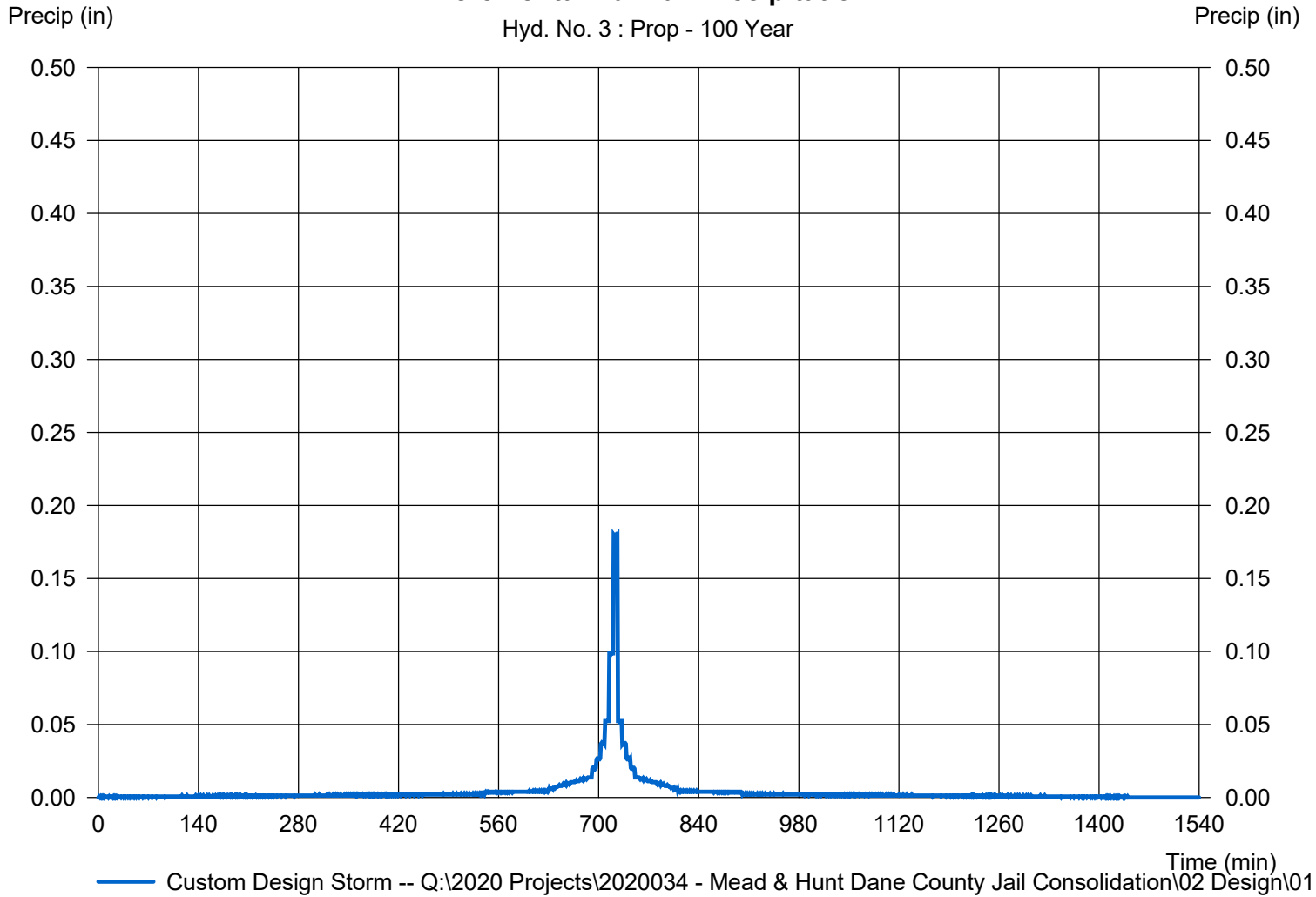
## Hyd. No. 3

Prop

Storm Frequency	= 100 yrs	Time interval	= 1 min
Total precip.	= 6.5400 in	Distribution	= Custom
Storm duration	= Q:\2020 Projects\2020034 - Mead & Hunt Dane County Jail Consolidation\02 De		

### Incremental Rainfall Precipitation

Hyd. No. 3 : Prop - 100 Year



— Custom Design Storm -- Q:\2020 Projects\2020034 - Mead & Hunt Dane County Jail Consolidation\02 Design\01 Civil



# Hydrograph Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

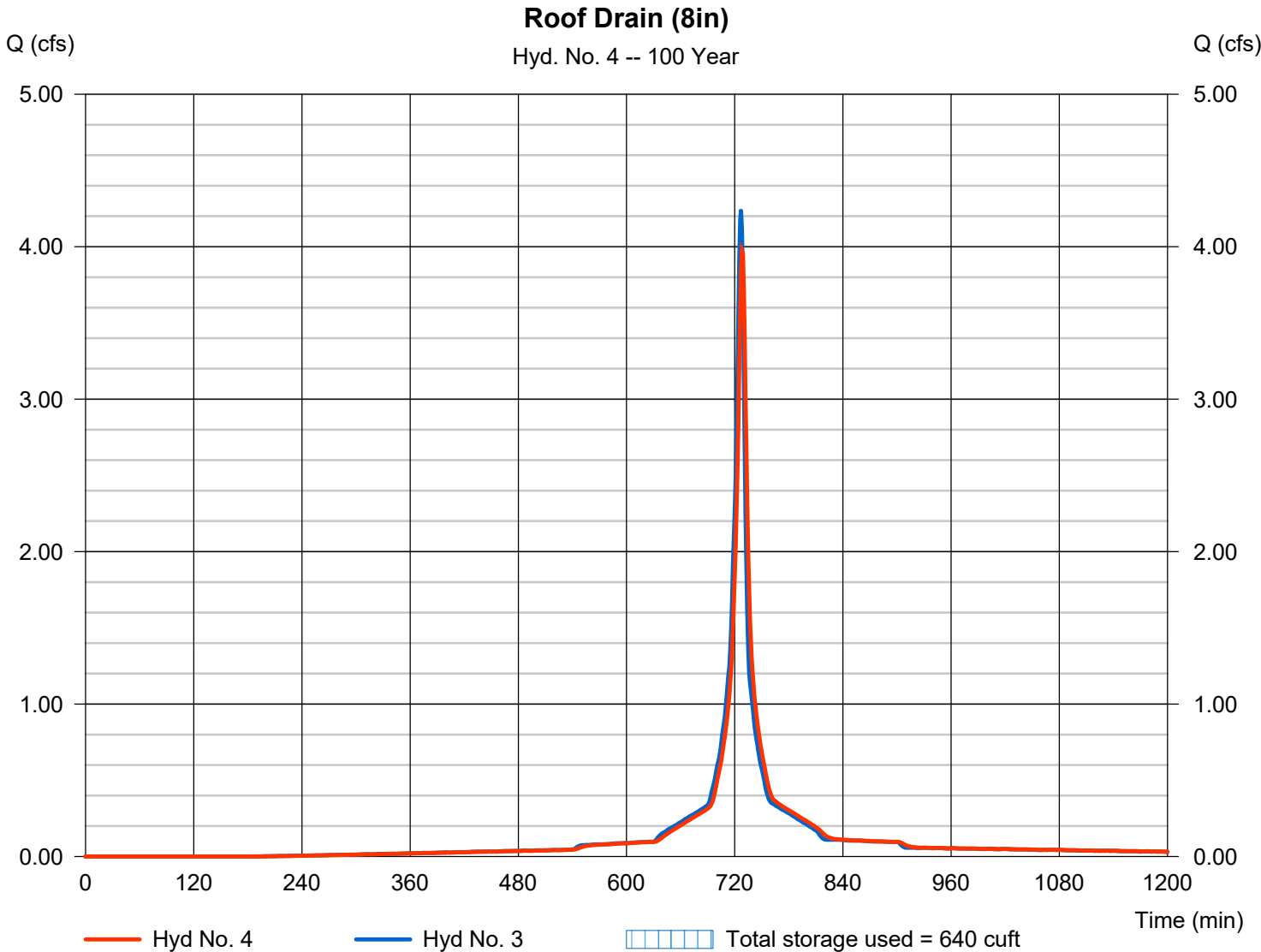
Friday, 03 / 27 / 2020

## Hyd. No. 4

Roof Drain (8in)

Hydrograph type	= Reservoir	Peak discharge	= 3.975 cfs
Storm frequency	= 100 yrs	Time to peak	= 728 min
Time interval	= 1 min	Hyd. volume	= 9,574 cuft
Inflow hyd. No.	= 3 - Prop	Max. Elevation	= 100.16 ft
Reservoir name	= Roof Drain (8in)	Max. Storage	= 640 cuft

Storage Indication method used.





# Hydrograph Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

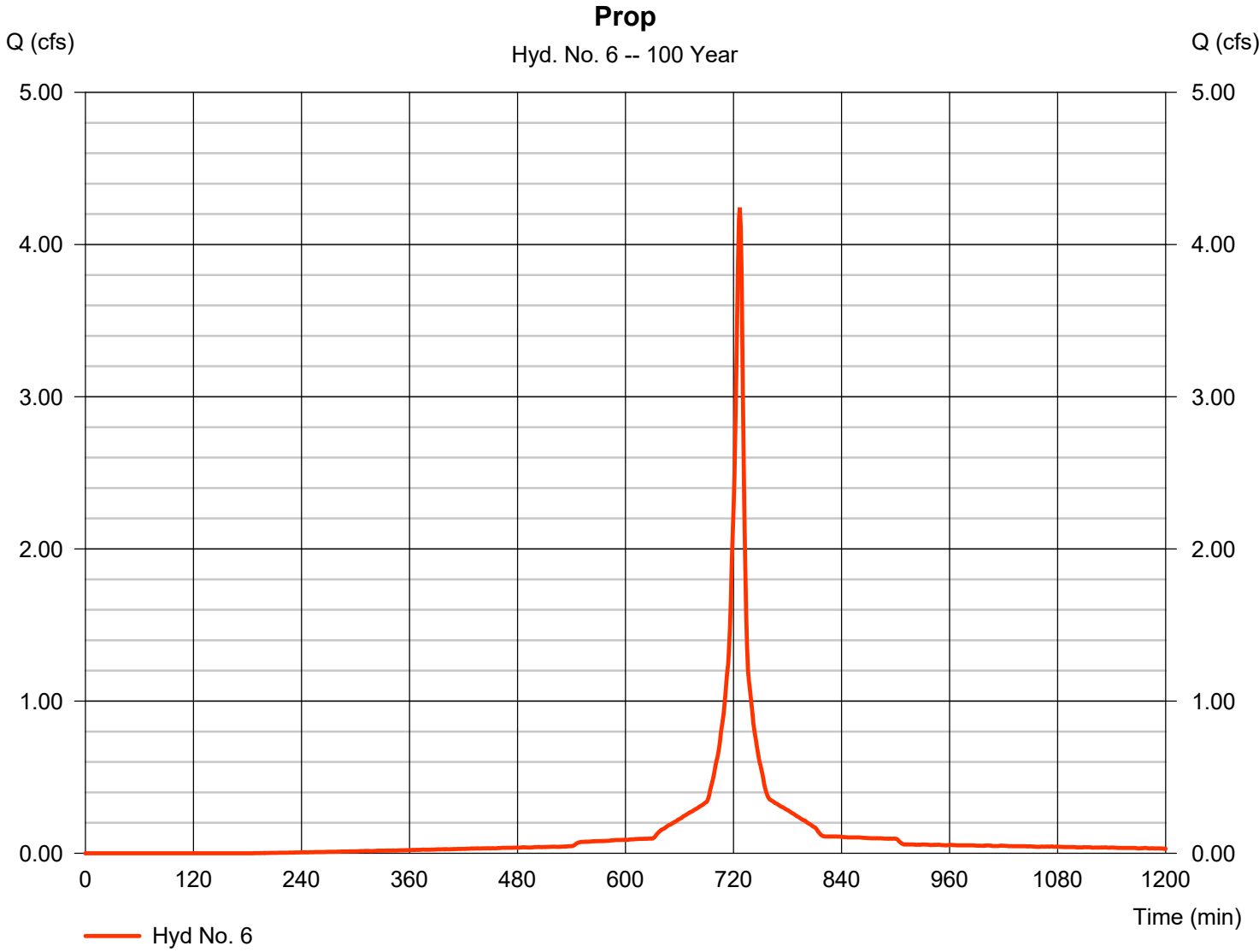
Friday, 03 / 27 / 2020

## Hyd. No. 6

Prop

Hydrograph type	= SCS Runoff	Peak discharge	= 4.244 cfs
Storm frequency	= 100 yrs	Time to peak	= 727 min
Time interval	= 1 min	Hyd. volume	= 9,575 cuft
Drainage area	= 0.430 ac	Curve number	= 95*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 6.54 in	Distribution	= Custom
Storm duration	= Q:\2020 Projects\2020034 - Meigs - part 1\02 Des		

\* Composite (Area/CN) = [(0.350 x 98) + (0.080 x 80)] / 0.430





# Precipitation Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

Friday, 03 / 27 / 2020

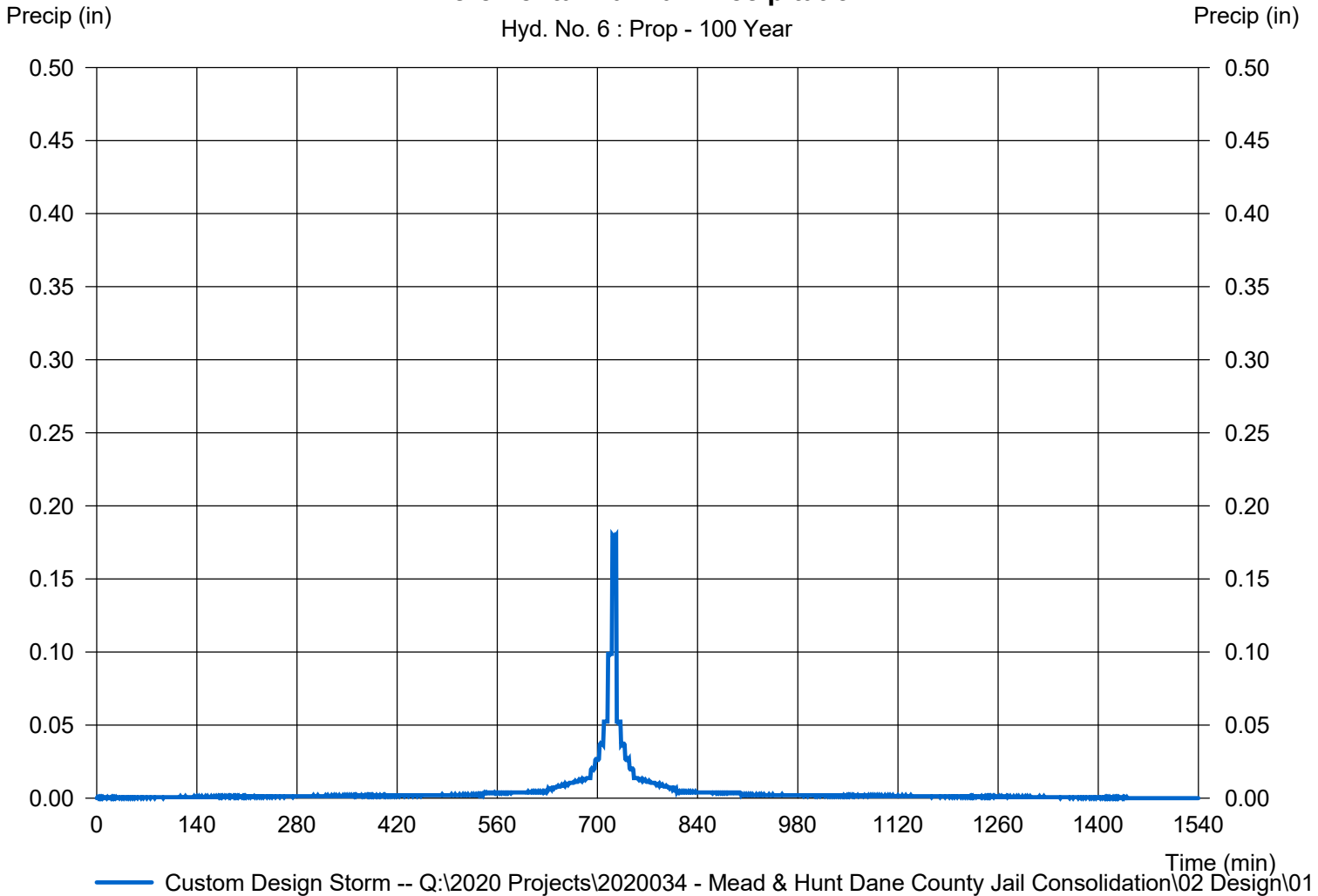
## Hyd. No. 6

Prop

Storm Frequency	= 100 yrs	Time interval	= 1 min
Total precip.	= 6.5400 in	Distribution	= Custom
Storm duration	= Q:\2020 Projects\2020034 - Mead & Hunt Dane County Jail Consolidation\02 De		

### Incremental Rainfall Precipitation

Hyd. No. 6 : Prop - 100 Year





# Hydrograph Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

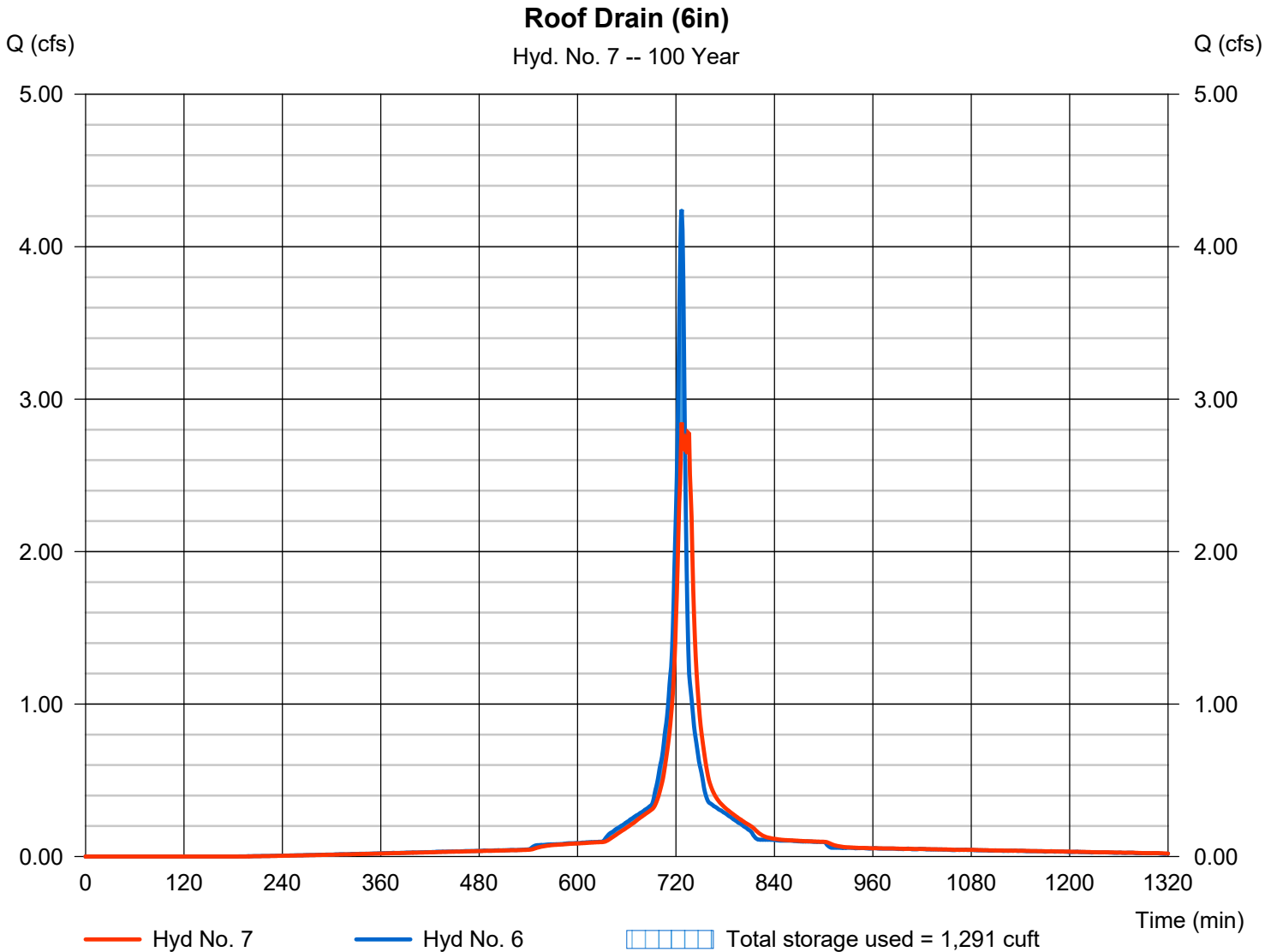
Friday, 03 / 27 / 2020

## Hyd. No. 7

Roof Drain (6in)

Hydrograph type	= Reservoir	Peak discharge	= 2.846 cfs
Storm frequency	= 100 yrs	Time to peak	= 727 min
Time interval	= 1 min	Hyd. volume	= 9,574 cuft
Inflow hyd. No.	= 6 - Prop	Max. Elevation	= 100.32 ft
Reservoir name	= Roof Drain (6in)	Max. Storage	= 1,291 cuft

Storage Indication method used.





# Hydraflow Rainfall Report

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2018 by Autodesk, Inc. v12

Friday, 03 / 27 / 2020

Return Period (Yrs)	Intensity-Duration-Frequency Equation Coefficients (FHA)			
	B	D	E	(N/A)
1	0.0000	0.0000	0.0000	-----
2	69.8703	13.1000	0.8658	-----
3	0.0000	0.0000	0.0000	-----
5	79.2597	14.6000	0.8369	-----
10	88.2351	15.5000	0.8279	-----
25	102.6072	16.5000	0.8217	-----
50	114.8193	17.2000	0.8199	-----
100	127.1596	17.8000	0.8186	-----

File name: SampleFHA.idf

$$\text{Intensity} = B / (T_c + D)^E$$

Return Period (Yrs)	Intensity Values (in/hr)											
	5 min	10	15	20	25	30	35	40	45	50	55	60
1	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
2	5.69	4.61	3.89	3.38	2.99	2.69	2.44	2.24	2.07	1.93	1.81	1.70
3	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5	6.57	5.43	4.65	4.08	3.65	3.30	3.02	2.79	2.59	2.42	2.27	2.15
10	7.24	6.04	5.21	4.59	4.12	3.74	3.43	3.17	2.95	2.77	2.60	2.46
25	8.25	6.95	6.03	5.34	4.80	4.38	4.02	3.73	3.48	3.26	3.07	2.91
50	9.04	7.65	6.66	5.92	5.34	4.87	4.49	4.16	3.88	3.65	3.44	3.25
100	9.83	8.36	7.30	6.50	5.87	5.36	4.94	4.59	4.29	4.03	3.80	3.60

T<sub>c</sub> = time in minutes. Values may exceed 60.

17L1S Peninsula SP Construct New Dump Station\02 Design\06 Storm Water Management\Hydrology\Waukesha.pcp

Storm Distribution	Rainfall Precipitation Table (in)							
	1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr
SCS 24-hour	2.47	2.82	0.00	3.45	4.03	4.93	5.70	6.54
SCS 6-Hr	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Huff-1st	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Huff-2nd	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Huff-3rd	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Huff-4th	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Huff-Indy	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Custom	2.47	2.82	0.00	3.45	4.03	4.93	5.70	6.54



**NOAA Atlas 14, Volume 8, Version 2 MADISON  
DANE CO AP**



**Station ID: 47-4961**  
**Location name: Madison, Wisconsin, USA\***  
**Latitude: 43.1406°, Longitude: -89.3453°**  
**Elevation:**  
**Elevation (station metadata): 866 ft\*\***



\* source: ESRI Maps  
 \*\* source: USGS

**POINT PRECIPITATION FREQUENCY ESTIMATES**

Sanja Perica, Deborah Martin, Sandra Pavlovic, Ishani Roy, Michael St. Laurent, Carl Trypaluk, Dale Unruh, Michael Yekta, Geoffery Bonnin

NOAA, National Weather Service, Silver Spring, Maryland

[PF tabular](#) | [PF graphical](#) | [Maps & aeriels](#)

**PF tabular**

<b>PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches)<sup>1</sup></b>										
<b>Duration</b>	<b>Average recurrence interval (years)</b>									
	<b>1</b>	<b>2</b>	<b>5</b>	<b>10</b>	<b>25</b>	<b>50</b>	<b>100</b>	<b>200</b>	<b>500</b>	<b>1000</b>
<b>5-min</b>	0.368 (0.322-0.431)	0.420 (0.367-0.492)	0.508 (0.442-0.596)	0.585 (0.506-0.689)	0.698 (0.586-0.848)	0.789 (0.647-0.968)	0.885 (0.700-1.11)	0.986 (0.748-1.26)	1.13 (0.821-1.47)	1.24 (0.876-1.63)
<b>10-min</b>	0.539 (0.471-0.631)	0.615 (0.537-0.720)	0.744 (0.647-0.873)	0.857 (0.742-1.01)	1.02 (0.859-1.24)	1.16 (0.947-1.42)	1.30 (1.02-1.62)	1.44 (1.10-1.85)	1.65 (1.20-2.15)	1.81 (1.28-2.39)
<b>15-min</b>	0.658 (0.575-0.770)	0.750 (0.654-0.878)	0.907 (0.789-1.07)	1.05 (0.904-1.23)	1.25 (1.05-1.52)	1.41 (1.16-1.73)	1.58 (1.25-1.98)	1.76 (1.34-2.25)	2.01 (1.47-2.63)	2.21 (1.57-2.91)
<b>30-min</b>	0.929 (0.812-1.09)	1.06 (0.925-1.24)	1.28 (1.12-1.51)	1.48 (1.28-1.74)	1.77 (1.48-2.15)	2.00 (1.64-2.45)	2.24 (1.77-2.80)	2.49 (1.89-3.18)	2.84 (2.07-3.71)	3.12 (2.21-4.11)
<b>60-min</b>	1.18 (1.03-1.38)	1.37 (1.19-1.60)	1.68 (1.47-1.98)	1.96 (1.70-2.31)	2.36 (1.98-2.87)	2.69 (2.20-3.30)	3.03 (2.40-3.79)	3.39 (2.57-4.33)	3.88 (2.83-5.07)	4.27 (3.03-5.63)
<b>2-hr</b>	1.43 (1.26-1.66)	1.67 (1.47-1.94)	2.08 (1.82-2.43)	2.44 (2.12-2.85)	2.96 (2.50-3.57)	3.38 (2.79-4.12)	3.82 (3.04-4.75)	4.28 (3.27-5.43)	4.92 (3.61-6.38)	5.43 (3.87-7.10)
<b>3-hr</b>	1.57 (1.39-1.82)	1.85 (1.63-2.14)	2.32 (2.04-2.69)	2.74 (2.39-3.19)	3.34 (2.84-4.03)	3.84 (3.17-4.66)	4.35 (3.48-5.39)	4.90 (3.76-6.20)	5.66 (4.17-7.32)	6.27 (4.49-8.17)
<b>6-hr</b>	1.85 (1.64-2.12)	2.15 (1.91-2.48)	2.70 (2.38-3.11)	3.18 (2.79-3.68)	3.91 (3.35-4.69)	4.51 (3.76-5.46)	5.15 (4.15-6.36)	5.84 (4.52-7.36)	6.82 (5.07-9.12)	7.60 (5.48-9.84)
<b>12-hr</b>	2.17 (1.93-2.47)	2.47 (2.20-2.82)	3.03 (2.69-3.46)	3.55 (3.13-4.07)	4.34 (3.76-5.21)	5.03 (4.23-6.07)	5.77 (4.69-7.09)	6.58 (5.13-8.27)	7.75 (5.81-9.94)	8.70 (6.33-11.2)
<b>24-hr</b>	2.47 (2.22-2.80)	2.82 (2.52-3.19)	3.45 (3.08-3.91)	4.03 (3.58-4.59)	4.93 (4.29-5.87)	5.70 (4.83-6.83)	6.54 (5.35-7.98)	7.45 (5.85-9.28)	8.76 (6.61-11.1)	9.82 (7.19-12.6)
<b>2-day</b>	2.77 (2.49-3.11)	3.23 (2.90-3.63)	4.03 (3.62-4.54)	4.74 (4.24-5.36)	5.80 (5.05-6.81)	6.67 (5.67-7.90)	7.60 (6.24-9.17)	8.59 (6.77-10.6)	9.97 (7.56-12.6)	11.1 (8.16-14.1)
<b>3-day</b>	3.03 (2.74-3.39)	3.51 (3.17-3.93)	4.35 (3.92-4.88)	5.09 (4.56-5.73)	6.19 (5.41-7.23)	7.10 (6.05-8.36)	8.06 (6.64-9.68)	9.08 (7.19-11.1)	10.5 (8.01-13.2)	11.7 (8.64-14.8)
<b>4-day</b>	3.28 (2.97-3.65)	3.76 (3.40-4.19)	4.61 (4.16-5.15)	5.36 (4.81-6.02)	6.48 (5.68-7.55)	7.41 (6.33-8.70)	8.39 (6.94-10.1)	9.45 (7.50-11.6)	10.9 (8.35-13.7)	12.1 (9.00-15.3)
<b>7-day</b>	3.88 (3.54-4.31)	4.41 (4.01-4.89)	5.32 (4.83-5.91)	6.13 (5.53-6.84)	7.33 (6.45-8.47)	8.32 (7.15-9.71)	9.37 (7.78-11.1)	10.5 (8.37-12.8)	12.1 (9.27-15.0)	13.3 (9.95-16.7)
<b>10-day</b>	4.43 (4.05-4.89)	5.00 (4.57-5.53)	5.99 (5.45-6.63)	6.86 (6.21-7.62)	8.13 (7.16-9.33)	9.16 (7.89-10.6)	10.3 (8.54-12.1)	11.4 (9.13-13.8)	13.0 (10.0-16.1)	14.3 (10.7-17.8)
<b>20-day</b>	6.07 (5.58-6.65)	6.79 (6.23-7.44)	7.99 (7.31-8.78)	9.01 (8.20-9.93)	10.4 (9.21-11.8)	11.6 (9.98-13.2)	12.7 (10.6-14.8)	13.9 (11.2-16.6)	15.5 (12.0-18.9)	16.7 (12.6-20.7)
<b>30-day</b>	7.48 (6.90-8.16)	8.35 (7.69-9.11)	9.76 (8.96-10.7)	10.9 (9.96-12.0)	12.5 (11.0-14.0)	13.7 (11.8-15.5)	14.9 (12.5-17.2)	16.1 (12.9-19.1)	17.6 (13.7-21.4)	18.8 (14.2-23.2)
<b>45-day</b>	9.32 (8.62-10.1)	10.4 (9.61-11.3)	12.1 (11.1-13.2)	13.5 (12.3-14.7)	15.2 (13.5-17.0)	16.6 (14.4-18.7)	17.8 (15.0-20.5)	19.0 (15.4-22.4)	20.6 (16.0-24.8)	21.6 (16.5-26.6)
<b>60-day</b>	10.9 (10.1-11.8)	12.2 (11.3-13.2)	14.2 (13.1-15.4)	15.7 (14.4-17.1)	17.7 (15.7-19.6)	19.1 (16.6-21.5)	20.5 (17.2-23.4)	21.7 (17.6-25.5)	23.2 (18.1-27.9)	24.3 (18.6-29.8)

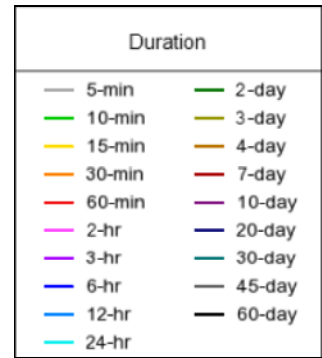
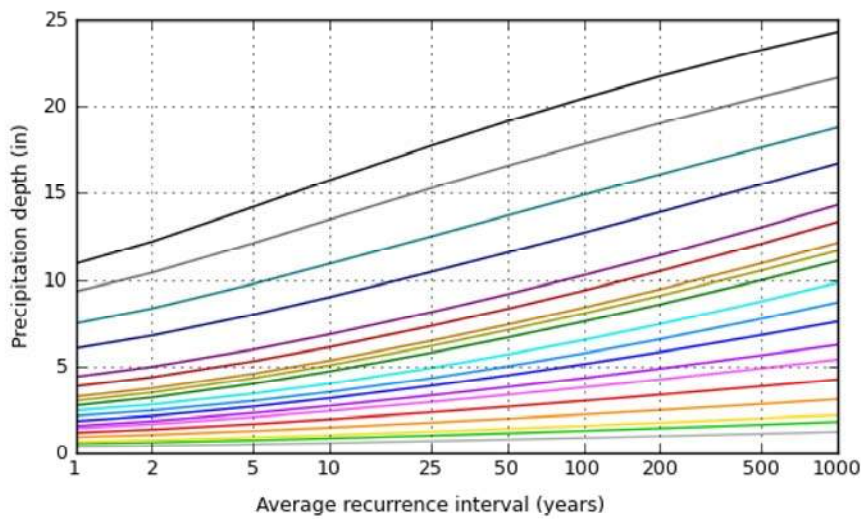
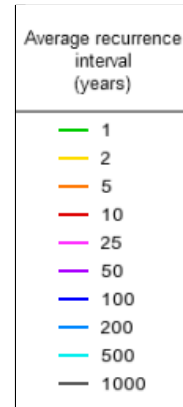
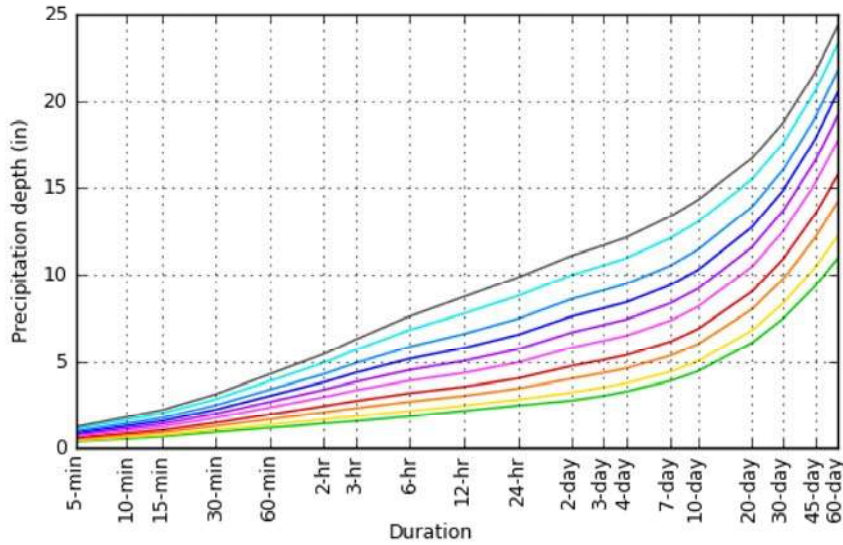
<sup>1</sup> Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

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### PF graphical

PDS-based depth-duration-frequency (DDF) curves  
 Latitude: 43.1406°, Longitude: -89.3453°





### Maps & aerals

Small scale terrain



Large scale terrain



Large scale map





Large scale aerial



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[US Department of Commerce](#)  
[National Oceanic and Atmospheric Administration](#)  
[National Weather Service](#)  
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[Disclaimer](#)



City of Madison is working on updates to our stormwater management ordinances that will enact runoff rate control requirements on redevelopment. I do want to stress that these are DRAFT at this point and have not been approved by the Common Council.

The following is the current language/requirements and other parameters that are being proposed for runoff rate control with redevelopment:

If the redevelopment requires a SWMP (4,000 SF of disturbance) and has proposed impervious cover that exceeds 80% of the existing site impervious cover, the site shall meet the following criteria:

- 1) Reduce peak runoff rates from the site by 15% compared to existing conditions during a 10-year design storm.
- 2) Reduce runoff volumes from the site by 5% compared to existing conditions during a 10-year design storm.
- 3) The required rate and volume reductions shall be completed, using green infrastructure that captures at least the first 1/2 inch of rainfall over the total site impervious area. (Additional green or non-green BMPs may be used for volumes beyond the first 1/2 inch of rainfall if needed.)
- 4) The following guidance shall be used in interpreting this code:
  - a. Green Infrastructure includes, but is not limited to, the following practices: rainwater harvesting/reuse, rain gardens, bioretention systems, infiltration basins, planters that are connected to roof drainage, bioswales, permeable pavement, green roofs, and rain barrels.
  - b. An intensive greenroof with a media depth of 12" or more shall be considered to result in no runoff during a 10-year design storm and this reduction may be used to offset volumes and rates for the remainder of the site.
  - c. An extensive greenroof with media depth of a minimum of 4" shall be considered to be pervious for the purpose of meeting the lot coverage described above.
  - d. Pervious pavement designed and modeled to comply with the Wisconsin WDNR's guidance for post construction stormwater practices, and accounting for anticipated groundwater and proposed underdrains, shall be considered to be pervious for the purposes of meeting the percent lot coverage described above.

There are no proposed changes to the TSS removal standards in the current ordinance.