

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Date Received 5/15/26 2:48 p.m.

Initial Submittal

Paid

Revised Submittal

Complete all sections of this application, including the desired meeting date and the action requested. If your project requires both UDC and Land Use application submittals, a completed [Land Use Application](#) and accompanying submittal materials are also required to be submitted.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.

Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.

Yog tias koj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua lwm hom ntawv los sis lwm cov kev pab kom paub txog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.

1. Project Information

Address (list all addresses on the project site): _____

Title: _____

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested _____

New development

Alteration to an existing or previously-approved development

Informational

Initial Approval

Final Approval

3. Project Type

Project in an Urban Design District **1**

Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

Planned Development (PD)

General Development Plan (GDP)

Specific Implementation Plan (SIP)

Planned Multi-Use Site or Residential Building Complex

Signage

Comprehensive Design Review (CDR)

Modifications of Height, Area, and Setback

Sign Exceptions as noted in [Sec. 31.043\(3\)](#), MGO

Other

Please specify

4. Applicant, Agent, and Property Owner Information

Applicant name _____

Company _____

Street address _____

City/State/Zip _____

Telephone _____

Email _____

Project contact person _____

Company _____

Street address _____

City/State/Zip _____

Telephone _____

Email _____

Property owner (if not applicant) _____

Street address _____

City/State/Zip _____

Telephone _____

Email _____

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- Initial Approval. Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*** All plans must be legible, including the full-sized landscape and lighting plans (if required)*

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in **both** black & white and color for all building sides, including material and color callouts
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- Grading Plan
- Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials
- Proposed sign areas and types (if applicable)

4. Signage Approval (*Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per [Sec. 31.043\(3\)](#))*)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets [Ch. 31, MGO](#) compared to what is being requested
- Graphic of the proposed signage as it relates to what the [Ch. 31, MGO](#) would permit

5. Required Submittal Materials

Application Form

- A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.

Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
- For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.

Development Plans (Refer to checklist on Page 4 for plan details)

Filing Fee (Refer to Section 7 (below) for a list of application fees by request type)

Electronic Submittal

- Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to UDCapplications@cityofmadison.com. The email must include the project address, project name, and applicant name.
- Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

Notification to the District Alder

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with _____ on _____.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant _____ Relationship to property _____

Authorizing signature of property owner _____ Date _____

7. Application Filing Fees

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

Please consult the schedule below for the appropriate fee for your request:

Urban Design Districts: \$350 (per [§33.24\(6\) MGO](#)).

Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per [§33.24\(6\)\(b\) MGO](#))

Comprehensive Design Review: \$500 (per [§31.041\(3\)\(d\)\(1\)\(a\) MGO](#))

Minor Alteration to a Comprehensive Sign Plan: \$100 (per [§31.041\(3\)\(d\)\(1\)\(c\) MGO](#))

All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (per [§31.041\(3\)\(d\)\(2\) MGO](#))

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

May 15, 2026

To Whom It May Concern,

RE: Letter of Intent – UDC Commercial Buildout at 4726 E Broadway

This letter is intended to outline the purpose and vision for the proposed commercial buildout at 4726 E Broadway. The intent of the development is to renovate and improve the property to accommodate the operation of a high-end automotive body and collision repair facility.

The proposed business will provide a modern, professional automotive service operation focused on high-quality workmanship, customer experience, and long-term investment in the surrounding community. The improvements to the property are being designed to create an attractive, clean, and well-maintained commercial environment that aligns with the standards and expectations of the district.

In addition to bringing a quality business operator to the area, the redevelopment is expected to provide several positive economic benefits to the district, including:

- Creation of new skilled employment opportunities
- Increased local investment and commercial activity
- Enhancement of surrounding property values through reinvestment in the site
- Increased utilization and productivity of an existing commercial property

The project will also significantly improve the visual appearance and overall attractiveness of the property. Planned upgrades include exterior building enhancements, improved site aesthetics, updated landscaping, modernized finishes, and an improved parking lot. These improvements are intended to create a professional and visually appealing development that contributes positively to the character of the corridor and surrounding neighborhood.

Overall, this project represents a meaningful investment in the property and the district as a whole. The intent is to establish a long-term, high-quality commercial use that supports economic growth while enhancing the appearance and functionality of the site.

Please feel free to contact us with any questions or requests for additional information.

Sincerely,

Darren Simler

Darren Simler

Badger Real Estate Development, LLC

608-287-9025

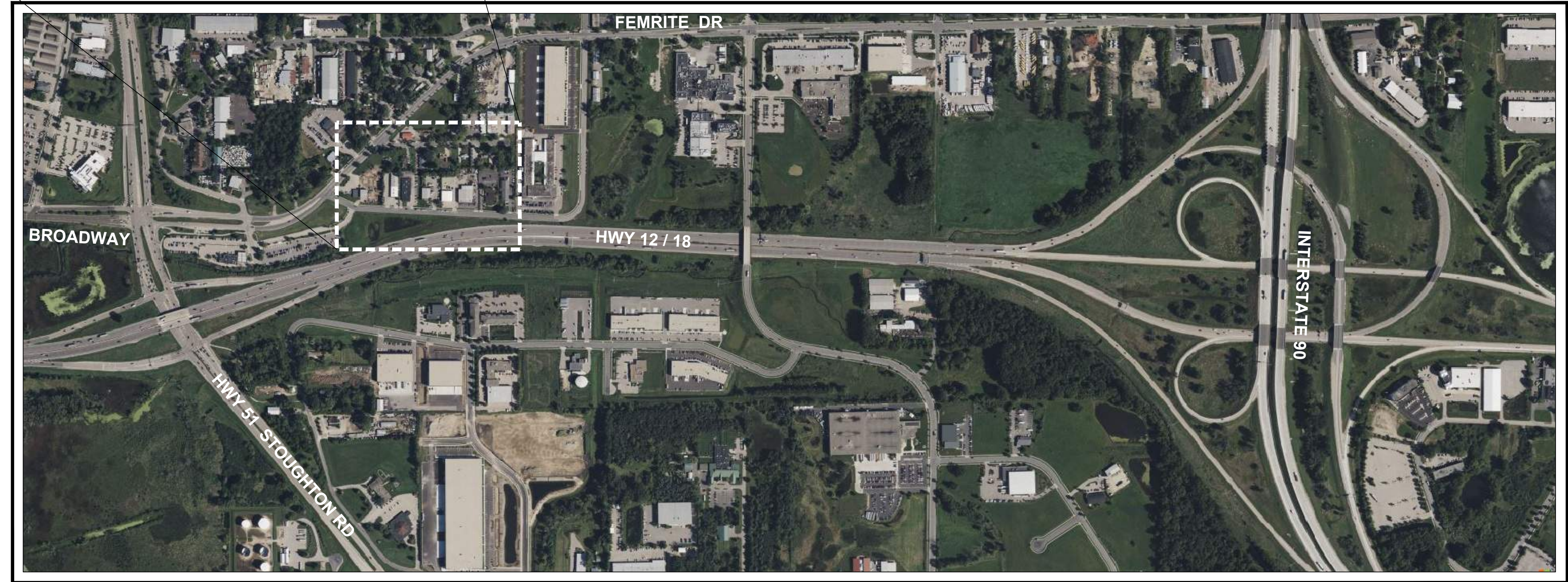
Darren.simler@badgerred.com

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SITE LOCATION MAP

CITY OF MADISON,
DANE COUNTY, WISCONSIN



4726 E BROADWAY REDEVELOPMENT

SITE LOCATION

MADISON, WISCONSIN

SNYDER & ASSOCIATES, INC. |



Project No: 126.0516.300

Sheet AERIAL

MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: SJA		
Technician: MW	Date: 05-15-2026	T-R-S: T7N-R10W-S22	
Project No: 126.0516.300			Sheet AERIAL

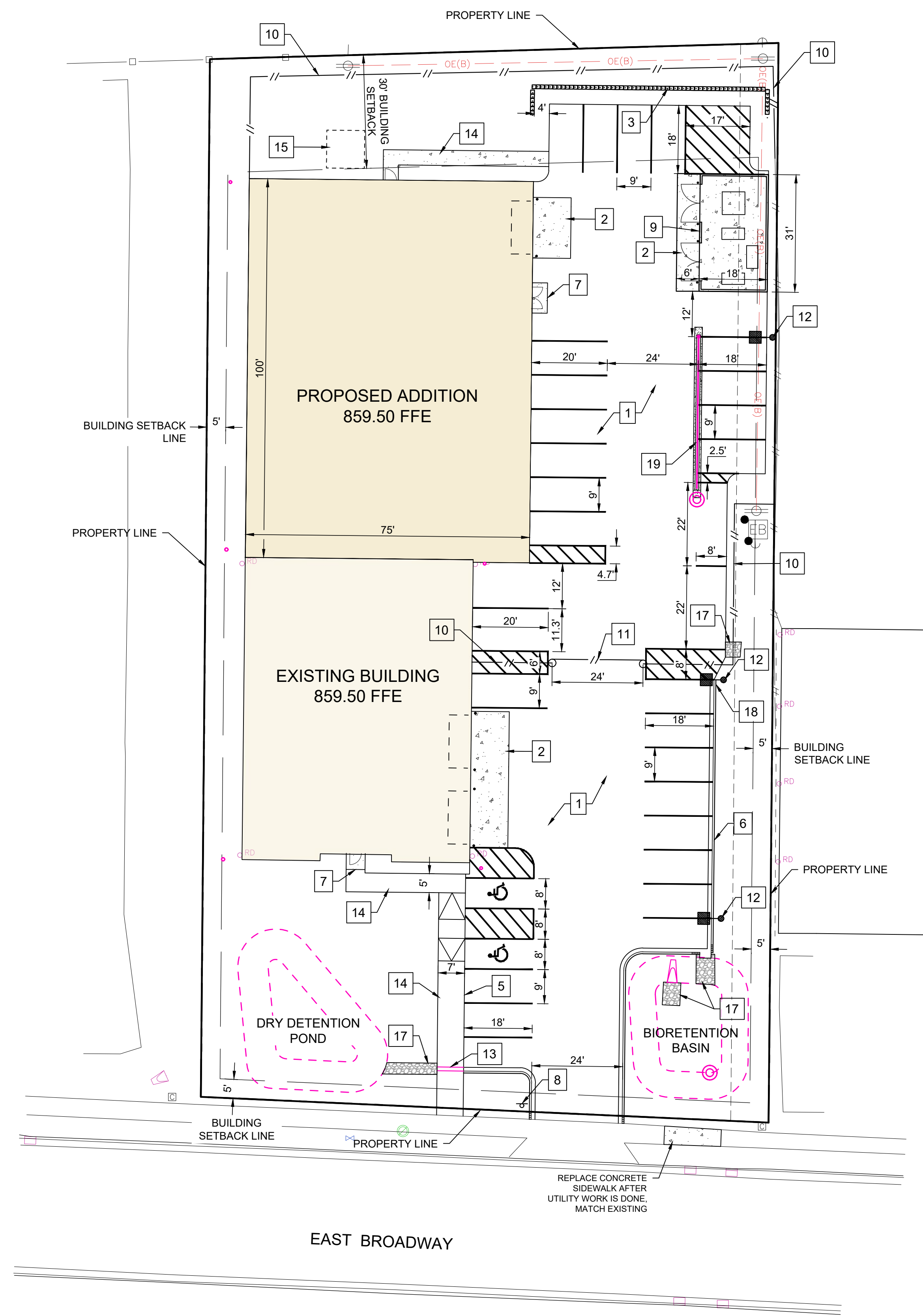
4726 E Broadway - Neighboring Buildings











SITE PLAN KEYNOTES

- 1 4" DEPTH ASPHALT PAVEMENT, SEE DETAIL ON C 601
- 2 7" THICK CONCRETE PAVEMENT, SEE DETAIL ON C 601
- 3 BLOCK RETAINING WALL, DESIGN BY OTHERS
- 4 48" HT BOLLARDS, SEE DETAIL ON C 601
- 5 THICKENED EDGE SIDEWALK, SEE DETAIL ON C 601
- 6 18" CONCRETE CURB AND GUTTER, SEE DETAIL ON C 601
- 7 CONCRETE STOOP AT EXTERIOR DOORS
- 8 INSTALL STOP SIGN, SEE DETAIL ON C 601
- 9 TRASH ENCLOSURE, SEE ARCHITECTURAL SHEETS FOR DETAILS
- 10 7' HIGH, BLACK VINYL FENCE WITH PRIVACY SLATS
- 11 24' WIDE SLIDING GATE
- 12 CONCRETE BASE FOR LIGHT POLE
- 13 FLUME UNDER SIDEWALK, SEE DETAIL ON C 601
- 14 5" THICK CONCRETE SIDEWALK, SEE DETAIL ON C 601
- 15 CONCRETE PAD FOR A/C UNIT(S)
- 16 36" CONCRETE FILLED BOLLARD, SEE DETAIL ON C 601
- 17 RIP RAP PAD, SEE DETAIL ON C 600
- 18 CONCRETE CURB TAPER
- 19 CONTECH TRENCH DRAIN WITH 24" CONCRETE COLLAR

NOTE:

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES ON AND ADJACENT TO THE SITE PRIOR TO THE START OF THE PROJECT.

RADII ARE FROM FACE OF CURB

DIMENSIONS ARE FROM FACE OF CURB

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

FLOOD NOTE:

THE FLOODPLAIN DESIGNATION FOR THE SUBJECT PROPERTY IN ZONE X, AREAS OF 0.2% ANNUAL CHANCE FLOOD HAZARD, AS DESIGNATED IN THE FLOOD INSURANCE MAP FOR DANE COUNTY, WISCONSIN. COMMUNITY PANEL NUMBER 55025C0441H, EFFECTIVE DATE 04/09/2025.

SITE INFORMATION

ZONING DISTRICT: IL - INDUSTRIAL LIMITED
 TOTAL SITE AREA: 41,906 SF / 0.96 AC
 DISTURBED AREA: 25,960 SF
 EX. IMPERVIOUS: ± 30,270 SF
 TOTAL IMPERVIOUS: 28,316 SF - (67.57% LOT COVERAGE)
 BUILDING AREA: 12,270 SF
 PAVEMENT AREA: 15,450
 SIDEWALK AREA: 596
 TOTAL PERVIOUS: 13,590 SF - (32.43% LOT COVERAGE)

BUILDING SETBACKS - (IL ZONING)

FRONT = 5'
 SIDE = 5'
 REAR = 30'

FIRE LANE:

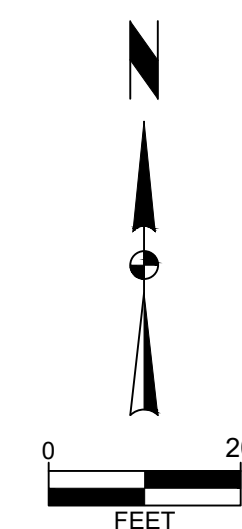
EAST BROADWAY WILL ACT AS THE FIRE LANE ACCESS TO THE BUILDING

UTILITY COMPANY INFORMATION

ELECTRICITY - MG&E - 608-252-7373
 NATURAL GAS - MG&E - 608-252-7373
 PHONE - SPECTRUM- 833-267-6094
 COMMUNICATIONS / CABLE - SPECTRUM- 833-267-6094
 SANITARY SEWER - CITY OF MADISON- 608-266-4751
 WATER SERVICE - CITY OF MADISON- 608-266-4651

PARKING COUNTS

STANDARD STALLS 28
 ADA STALLS 2 (1 VAN)



MARK	ENGR	TECH	REVISION	DATE	BY

4726 E BROADWAY REDEVELOPMENT

SITE PLAN

MADISON, WISCONSIN

SNYDER & ASSOCIATES, INC. I

5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com

Project No: 126.0516.300

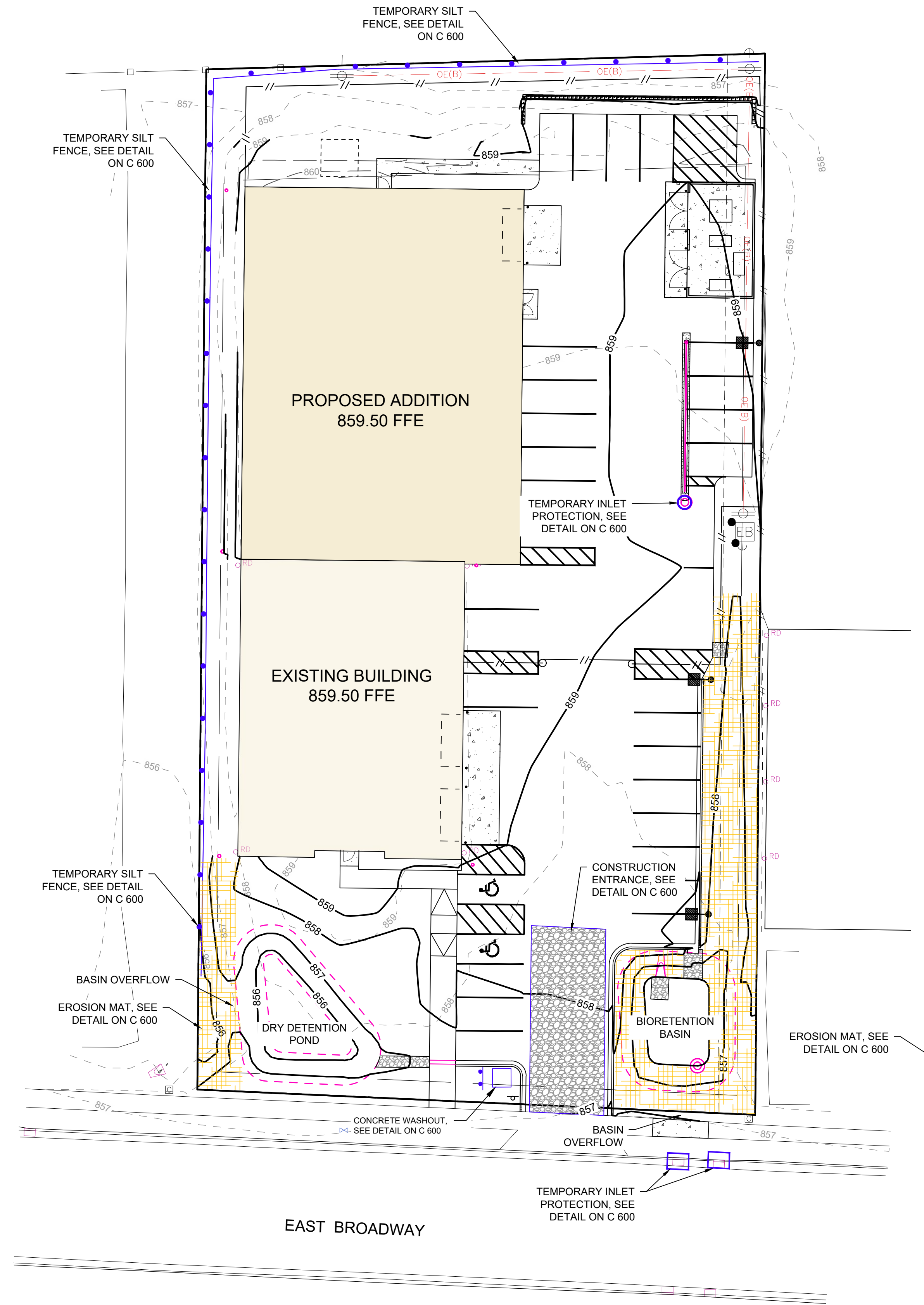
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EROSION CONTROL NOTES:

ALL SILT FENCE MUST BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY OF MADISON PRIOR TO ANY SITE WORK.

SITE EROSION CONTROL MEASURES MUST BE IN PLACE AT ALL TIMES. SHOULD DEVICES BE REMOVED FOR WORK ACCESS, THEY SHALL BE REINSTALLED AT THE END OF EACH WORK DAY UNTIL PAVEMENTS HAVE BEEN INSTALLED AND ALL LANDSCAPE AREAS HAVE BEEN MULCHED AND SODDED.

GRADING NOTES:

CONTRACTOR SHALL LOCATE ALL UTILITIES WHICH MAY AFFECT THIS WORK NOTIFY THE OWNER / ENGINEER OF ANY POTENTIAL CONFLICTS.

CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED ELEVATIONS PRIOR TO START OF CONSTRUCTION. VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH WALK, AND/OR PAVEMENTS TO REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES, AND DRIVEWAY ENTRANCES. RESTORE ALL EXISTING PAVEMENTS THAT REMAIN TO THEIR ORIGINAL, IF NOT BETTER CONDITION, NOTIFY OWNER OF ANY CONFLICTS.

AREAS NOT PAVED AND TO BE LANDSCAPED SHALL RECEIVE MINIMUM OF 4" DEPTH COMPACTED TOPSOIL.

ALL LANDSCAPE AND SOO AREAS SHALL HAVE POSITIVE DRAINAGE

EXCAVATOR IS RESPONSIBLE FOR ALL EROSION CONTROL INSPECTIONS

CONTRACTOR SHALL PROVIDE CONTROL JOINTS, CONSTRUCTION JOINTS AND EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS AND DRIVEWAYS.
 CONTROL JOINT MAXIMUM DISTANCE: SIDEWALKS - 8' O.C., ALL OTHERS 10' O.C.
 SAW CUT CONTROL JOINTS SHALL BE A MINIMUM OF 1/4" OF THE CONCRETE THICKNESS.
 EXPANSION JOINT MINIMUM DISTANCE: SIDEWALKS - 24' O.C., ALL OTHERS 40' O.C.
 DOWEL ALL EXPANSION JOINTS - 24" O.C.

CONSTRUCTION SEQUENCE

*INSTALL EROSION/SEDIMENT CONTROL MEASURES

*INSTALL STORMWATER MANAGEMENT SEDIMENT BASINS

*INSTALL STORM SEWER

*INSTALL STRUCTURES

*INSTALL PAVEMENTS

*INSTALL LAWN/ LANDSCAPE

*FLUSH STORM SEWER

*REMOVE EROSION CONTROL MEASURES ONLY AFTER ALL PAVEMENTS HAVE BEEN INSTALLED AND ALL SOILS HAVE BEEN STABILIZED

NOTE FOR GRADING CONTRACTOR:

ANY PROPERTY IRONS THAT ARE DISTURBED IN THE GRADING PROCESS SHALL BE RESET BY A LICENSED LAND SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.

DEWATERING:

IF DEWATERING IS REQUIRED AND SUMP PUMPS ARE USED, ALL PUMPED WATER MUST BE DISCHARGED THROUGH AN EROSION CONTROL FACILITY (TEMPORARY SEDIMENT BASIN, GRIT CHAMBER, SAND FILTER, UPFLOW CHAMBER, HYDRO-CYCLONE, SWIRL CONCENTRATOR, DEWATERING BAG OR OTHER APPROPRIATE FACILITY) PRIOR TO LEAVING THE CONSTRUCTION SITE. PROPER ENERGY DISSIPATION MUST BE PROVIDED AT THE OUTLET OF THE PUMP SYSTEM. DISCHARGE CLEAR WATER ONLY.

PUMPING OF WATER FROM FOUNDATION OR UTILITY AREA SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE.

ALL DEWATERING SHALL CONFORM TO WDNR SOC STANDARD 1061

ESTIMATED PRELIMINARY EROSION CONTROL QUANTITIES
(ACTUAL QUANTITIES SUBJECT TO CHANGE)

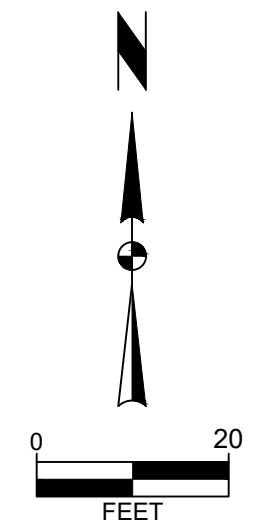
ITEM	QUANTITY
EROSION MAT - PERMANENT	20 S.Y.
SILT FENCE - TEMP	410 L.F.
INLET PROTECTION - ROUND	1 EA.
INLET PROTECTION - CURB INLET	2 EA.
SEDIMENT LOG	0 L.F.
RIP-RAP - PERMANENT	3 C.Y.
CONSTRUCTION ENTRANCE	1 EA.
CONCRETE WASHOUT	1 EA.

NOTE: FOR MAINTENANCE PURPOSES CONTRACTOR SHALL SUPPLY ALL SUFFICIENT QUANTITIES FOR REPAIR AND REPLACEMENT OF EROSION CONTROL DEVICES THROUGHOUT ALL PHASES OF THE PROJECTS CONSTRUCTION.

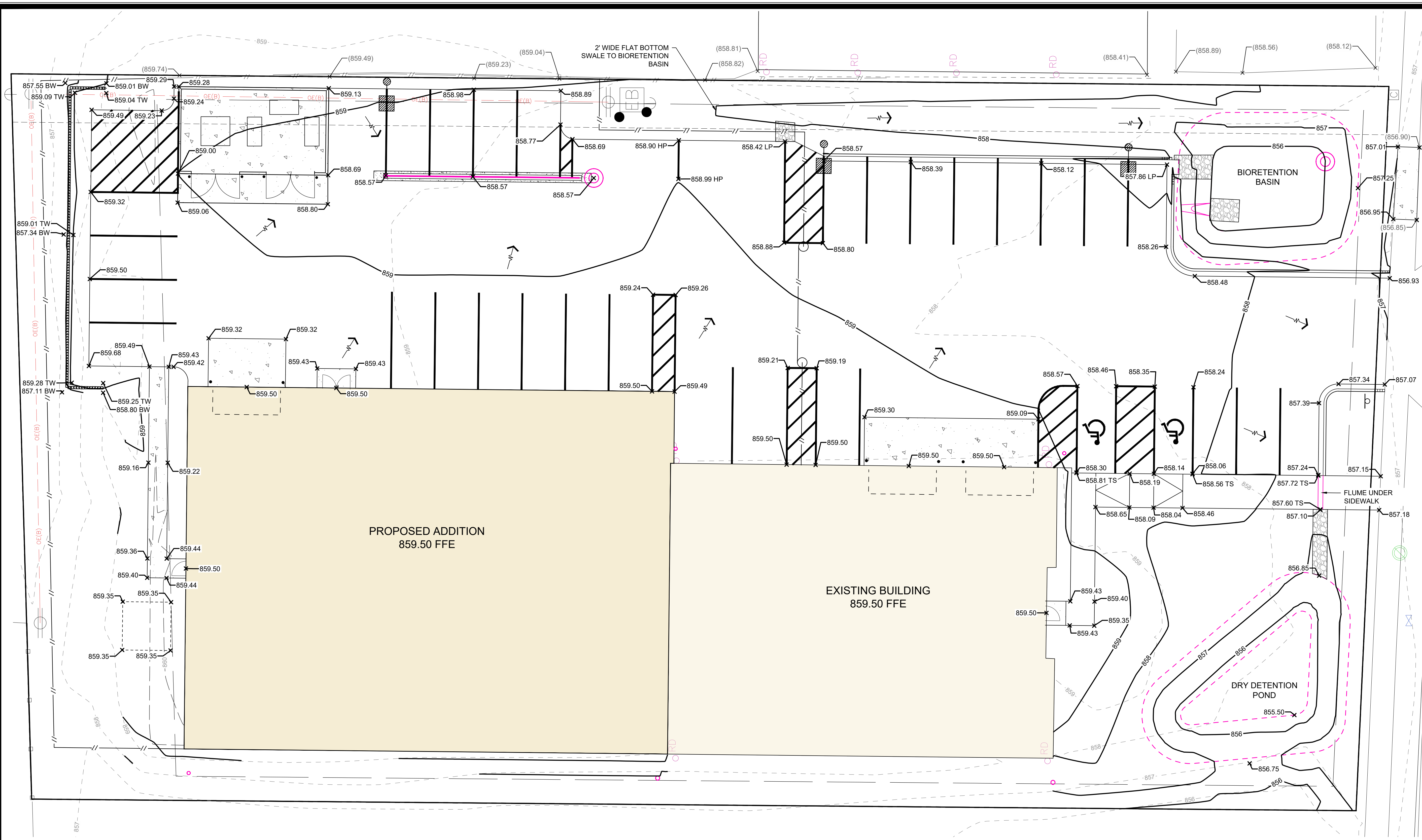
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 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com

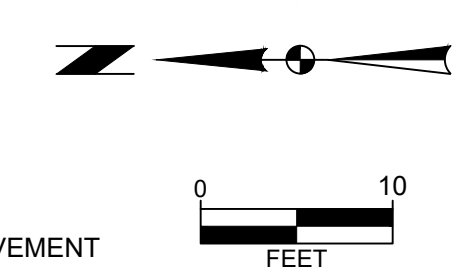
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GRADING & EROSION CONTROL PLAN
SNYDER & ASSOCIATES, INC. 1



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LABELING NOTES:
 (XXX.XX) = EXISTING SPOT ELEV
 XXX.XX = PROPOSED SPOT ELEV
 HP = HIGH POINT FOR DRAINAGE
 LP = LOW POINT FOR DRAINAGE
 TW = TOP OF WALL
 BW = BOTTOM OF WALL
 TS = TOP OF SIDEWALK
 ALL SPOT ELEVATIONS ARE AT THE EDGE OF PAVEMENT



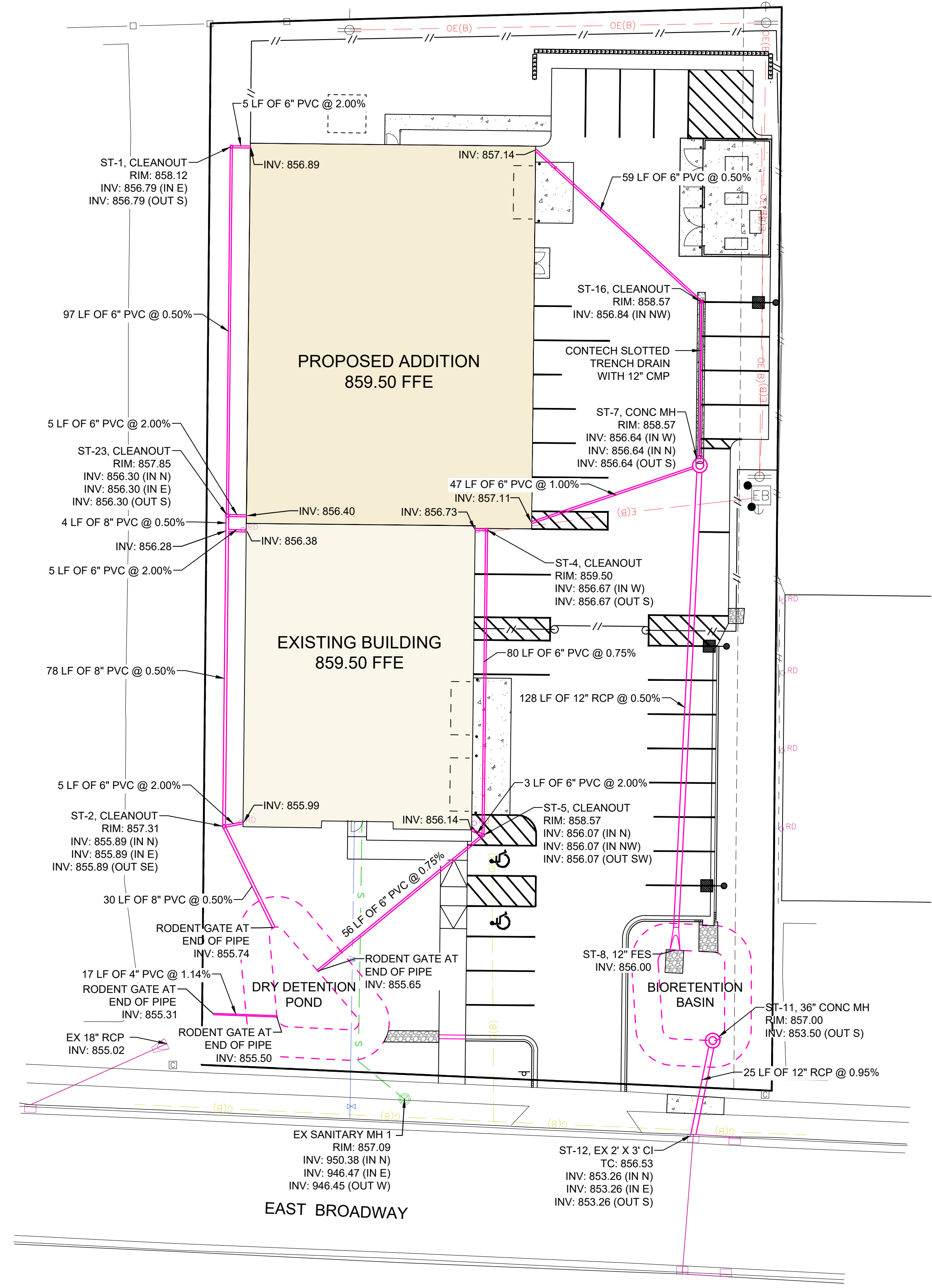
MARK	REVISION	DATE	BY
ENGR	Checked By: CHKD		
TECH	Date: 05-15-2026		
	Technician: TECH		

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 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com

4726 E BROADWAY REDEVELOPMENT
SPOT ELEVATION PLAN
SNYDER & ASSOCIATES, INC. I

Project No: 126.0516.300
 Sheet C 401

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STORM DRAINAGE NOTES:

1. UNLESS OTHERWISE INDICATED, USE REINFORCED, PRECAST, CONCRETE MAINTENANCE HOLES AND CATCHBASINS CONFORMING TO ASTM C478, FURNISHED WITH WATER STOP RUBBER GASKETS AND PRECAST BASES. JOINTS FOR ALL PRECAST MAINTENANCE HOLE SECTIONS SHALL HAVE CONFINED, RUBBER "O"-RING GASKETS IN ACCORDANCE WITH ASTM C923. THE INSIDE BARREL DIAMETER SHALL NOT BE LESS THAN 48 INCHES.
2. ALL JOINTS AND CONNECTIONS TO CATCHBASINS OR MANHOLES SHALL BE WATERTIGHT. USE RESILIENT RUBBER SEALS, WATERSTOP GASKETS, OR APPROVED EQUAL. CEMENT MORTAR JOINTS ARE NOT ALLOWED.
3. USE HDPE SOLID WALL PIPE WHEN CALLED OUT ON THE PLANS.
4. PVC PIPE: USE SOLID-CORE, SDR-35, ASTM D3034 POLYVINYL CHLORIDE (PVC) PIPE FOR DESIGNATED PVC STORM SEWER SERVICES 4 TO 15-INCHES IN DIAMETER. USE SOLID-CORE, SDR-35, ASTM F679 POLYVINYL CHLORIDE (PVC) PIPE FOR DESIGNATED PVC STORM SEWER SERVICES 18 TO 27-INCHES IN DIAMETER. JOINTS FOR ALL STORM SEWER SHALL HAVE PUSH-ON JOINTS WITH ELASTOMERIC GASKETS. USE OF SOLVENT CEMENT JOINTS IS ALLOWED FOR BUILDING SERVICES. SOLVENT CEMENT JOINTS IN PVC PIPE MUST INCLUDE USE OF A PRIMER WHICH IS OF CONTRASTING COLOR TO THE PIPE AND CEMENT. PIPE WITH SOLVENT CEMENT JOINTS SHALL BE JOINED WITH PVC CEMENT CONFORMING TO ASTM D2564. LAY ALL PVC PIPE ON A CONTINUOUS GRANULAR BED. INSTALLATION MUST COMPLY WITH ASTM D2321.
5. INSTALL DETECTABLE UNDERGROUND MARKING TAPE DIRECTLY ABOVE ALL PVC, POLYETHYLENE, AND OTHER NONCONDUCTIVE UNDERGROUND UTILITIES AT A DEPTH OF 457 MM (18 INCHES) BELOW FINISHED GRADE, UNLESS OTHERWISE INDICATED. BRING THE TAPE TO THE SURFACE AT VARIOUS LOCATIONS IN ORDER TO PROVIDE CONNECTION POINTS FOR LOCATING UNDERGROUND UTILITIES. INSTALL BLUE RHINO TRIVIEW FLEX TEST STATIONS, OR APPROVED EQUAL, WITH BLACK CAPS AT EACH SURFACE LOCATION.
6. TRACER WIRE: LOCATING REQUIREMENTS - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2R) OF THE STATUTES.

MARK	ENGR	TECH	REVISION	DATE	BY


4726 E BROADWAY REDEVELOPMENT

UTILITY PLAN

MADISON, WISCONSIN

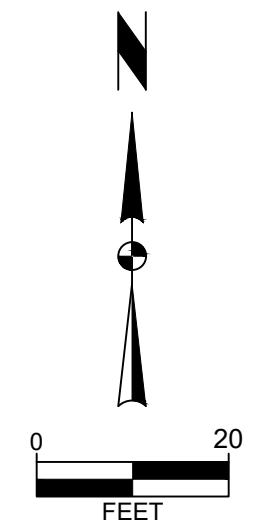
SNYDER & ASSOCIATES, INC. I

Project No: 126.0516.300
Sheet C500



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Project No: 126.0516.300
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BIORETENTION BASIN NOTES:

- 1. BIORETENTION BASIN CONSTRUCTION METHODS, MATERIALS, OPERATION, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE DANE COUNTY STORMWATER MANUAL... BIORETENTION BASIN* 1004, AND THE PROJECT SPECIFICATIONS...
2. MAXIMUM DRAINAGE AREA - THE AREA DRAINING TO THE BIORETENTION BASIN(S) SHALL NOT EXCEED 2 ACRES, UNLESS SPECIFIED ON PLANS.
3. ROUGH GRADING & DRAINAGE - INFILTRATION AREA SHALL BE GRADED AND LEFT ONE FOOT ABOVE FINISHED GRADE DURING CONSTRUCTION...
4. EXCAVATION & BACKFILLING - CONTRACTOR MUST EXCAVATE BASINS UNTIL REACHING THE SANDY LOAM SOIL LAYER (0.5 IN./HR., MIN.) OR A MINIMUM OF FIVE (5) FEET BELOW THE CLEAR STONE/SAND STORAGE LAYER...
5. FIELD INFILTRATION TESTING - IMMEDIATELY AFTER ROUGH GRADING OF STORMWATER BIOINFILTRATION AND INFILTRATION DEVICES, PROVIDE FIELD INFILTRATION TESTING (COMMONLY TEST PITS) CONDUCTED BY A THIRD-PARTY TESTING AGENCY TO VERIFY INFILTRATION RATES...
6. SLOPES - LONGITUDINAL SLOPE ON THE BASIN BOTTOM, IF APPLICABLE, SHALL NOT EXCEED 1 PERCENT. BASIN BOTTOM SHALL NOT HAVE LATERAL SLOPES. ALL SIDE SLOPES FOR INTERIOR AND EXTERIOR BERMS SHALL HAVE 4H:1V SLOPES (2H:1V MAX) OR FLATTER, UNLESS SPECIFIED ON PLANS.
7. EARTHEN BERM/EMBANKMENT CONSTRUCTION - REMOVE A MINIMUM OF 6 INCHES OF PARENT MATERIAL, INCLUDING ALL VEGETATION, STUMPS, ETC., BENEATH THE PROPOSED BASE OF THE EMBANKMENT...
8. INFLOW POINTS - BIORETENTION BASIN(S) SHALL HAVE ENERGY DISSIPATION MEASURES SUCH AS RIP RAP DESIGNED TO PREVENT SCOUR DURING PEAK FLOWS PRODUCED BY THE 10-YR., 24-HOUR DESIGN STORM.
9. OUTLETS - BIORETENTION BASIN(S) SHALL HAVE AN EMERGENCY SPILLWAY/OVERFLOW WEIR AND A PRINCIPAL OUTLET PER PLAN. THE PRINCIPAL WATER QUALITY OUTLET DIAMETER SHALL BE AT LEAST 4 INCHES IN DIAMETER UNLESS A SMALLER DIAMETER IS SPECIFICALLY CALLED OUT ON PLANS.
10. EMERGENCY SPILLWAY / OVERFLOW WEIR - ALL BIORETENTION BASINS SHALL HAVE AN EMERGENCY SPILLWAY / OVERFLOW WEIR. THE EMERGENCY SPILLWAY / OVERFLOW WEIR SHALL SAFELY PASS THE 100-YR., 24-HOUR DESIGN STORM ROUTED THROUGH THE POND WITHOUT DAMAGE TO THE STRUCTURE.
11. PIPE INSTALLATION BEDDING & BACKFILL - IF PIPES ARE INSTALLED AFTER CONSTRUCTION OF THE EMBANKMENT, THE PIPE TRENCH SHALL HAVE SIDE SLOPES OF 1H:1V OR FLATTER. BED AND BACKFILL ANY PIPES EXTENDING THROUGH THE EMBANKMENT WITH EMBANKMENT OR EQUIVALENT SOILS.
12. DRAW DOWN DEVICE / BYPASS / DEWATERING - A MEANS SHALL BE PROVIDED TO QUICKLY REMOVE STANDING WATER FROM THE BASIN(S) FOR MAINTENANCE AND WINTER DIVERSION.
13. DESIGN PONDING DEPTH - THE MAXIMUM DESIGN PONDING DEPTH OF ALL INFILTRATION CELLS WITHIN A BIORETENTION BASIN FACILITY SHALL BE PER PLAN (12 INCHES MAX. IF NOT STATED ON PLAN).
14. UNDERDRAIN / DRAIN TILE - A PERFORATED UNDERDRAIN/DRAIN TILE IS REQUIRED UNLESS THERE IS NO SUITABLE PIPE OUTLET OR THE RISK OF INFILTRATION FAILURE AT THE NATIVE SOIL INTERFACE IS MINIMAL DUE TO THE DESIGN INFILTRATION RATE OF THE NATIVE SOIL BEING 3.6 IN./HR. OR GREATER.
15. OBSERVATION WELLS - IF THERE IS NOT AN UNDERDRAIN/DRAIN TILE PROPOSED, ONE OR MORE OBSERVATION WELLS SHALL BE INSTALLED TO MONITOR DRAINAGE FROM THE DEVICE.
16. WEATHER & SITE CONDITIONS - CONSTRUCTION SHALL BE SUSPENDED DURING PERIODS OF RAINFALL OR SNOW MELT. CONSTRUCTION SHALL REMAIN SUSPENDED IF PONDED WATER IS PRESENT OR IF RESIDUAL SOIL MOISTURE CONTRIBUTES SIGNIFICANTLY TO THE POTENTIAL FOR SOIL SMEARING, CLUMPING, OR OTHER FORMS OF COMPACTION.
17. COMPACTION AVOIDANCE, MITIGATION & REMEDIATION - COMPACTION AVOIDANCE, MITIGATION, AND REMEDIATION SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECH. STANDARD 1004, UNDER THE "CONSTRUCTION SEQUENCING AND OVERSIGHT" SECTION.
18. ENGINEERED SOIL - THE 24" ENGINEERED SOIL MIXTURE SHALL MEET THE REQUIREMENTS OF WDNR TECH. STANDARD 1004, SECTION V.B.6.1.
19. PEA GRAVEL - IF THE STORAGE LAYER USES CLEAR STONE/GRAVEL, A LENS OF PEA GRAVEL, NOT TO EXCEED 4 INCHES THICK SHALL SEPARATE THE ENGINEERED SOIL FROM THE STORAGE LAYER.
20. STORAGE LAYER - A STORAGE LAYER IS REQUIRED WHEN THE DESIGN INFILTRATION RATE OF THE NATIVE SOIL IS LESS THAN 3.6 IN./HR.
21. SAND/NATIVE SOIL INTERFACE LAYER - AN INTERFACE LAYER IS REQUIRED WHEN THE DESIGN INFILTRATION RATE OF THE NATIVE SOIL IS LESS THAN 3.6 IN./HR.
22. VEGETATION / PLANTING PLAN - BIORETENTION BASIN BOTTOM VEGETATION SHALL BE PER PLAN. IF NOT SPECIFIED IN PLAN, PRIVATELY OWNED BIORETENTION BASIN BOTTOM(S) SHALL BE VEGETATED USING MOISTURE TOLERANT ROOTSTOCK AND PLUGS WITH A PLANTING DENSITY OF 1 FOOT ON CENTER TO ESTABLISH TREES, SHRUBS, AND HERBACEOUS PERENNIALS USING SPECIES RECOMMENDED BY A QUALIFIED LOCAL NURSERY.
23. SURFACE EROSION CONTROL MAT / MULCH LAYER - A CLASS II EROSION CONTROL MAT/BLANKET OR SHREDDED HARDWOOD MULCH/CHIPS, AGED A MINIMUM OF 12 MONTHS AND FREE OF FOREIGN MATERIAL, SHALL BE PLACED ON THE SURFACE OF THE BIORETENTION AREA.
24. SEPARATION FROM WELLS / POWTS - BIORETENTION BASINS SHALL NOT BE CONSTRUCTED WITHIN 400 FEET FROM A COMMUNITY WELL (NR 811, WIS. ADMIN. CODE) AND NOT WITHIN 100 FEET FROM NON-COMMUNITY AND PRIVATE WELLS (NR 812, WIS. ADMIN. CODE) OR WITHIN A SEPARATION REQUIREMENT BY STATE OR LOCAL ORDINANCE.
25. PRIVATE BIORETENTION BASIN SUBSURFACE PLUMBING SETBACKS - PRIVATELY OWNED STORMWATER AND CLEARWATER SUBSURFACE INFILTRATION PLUMBING SYSTEMS SHALL BE LOCATED TO FOLLOW THE HORIZONTAL SETBACKS SET FORTH BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES, SPS 382.365(3)(f), TABLE 382.365-4.

- 30. SEEPAGE & EXISTING SLOPES SETBACKS - THE BASIN SHALL NOT BE HYDRAULICALLY CONNECTED TO FOUNDATIONS OR PAVEMENTS, OR CAUSE NEGATIVE IMPACTS TO STRUCTURES. THE BOTTOM OF THE BASIN SHALL BE A MINIMUM OF 10 FEET HORIZONTALLY FROM FOUNDATIONS.
31. STABILIZATION - SIDE SLOPES SHALL BE STABILIZED PER THE EROSION CONTROL PLAN AND SIDE SLOPES 5H:1V OR STEEPER REQUIRE EROSION MATTING AS SPECIFIED ON THE PLAN.
32. CONTRACTOR RECORD LOG - CONTRACTOR SHALL KEEP RECORD LOGS THROUGHOUT CONSTRUCTION AND PROVIDE TO THE ENGINEER AND/OR REVIEWING AUTHORITY WHEN REQUESTED.
32.A. INSTALLATION OF EROSION AND SEDIMENT CONTROL
32.B. LAND DISTURBANCE (I.E. STRIP TOPSOIL)
32.C. MASS GRADING
32.D. INSTALLATION OF UTILITIES
32.E. VERIFICATION OF NATIVE SOILS (IF APPLICABLE)
32.F. INSTALLATION OF LINER, STORAGE LAYER, ENGINEERED SOIL, ETC. (IF APPLICABLE)
32.G. SPREAD TOPSOIL
32.H. SEEDING, FERTILIZER, AND MULCHING
32.I. INSTALLATION OF EROSION MAT AND TURF REINFORCEMENT MAT (IF APPLICABLE)
32.J. BASIN RESTORATION COMPLETE
32.K. WATERING (IF APPLICABLE)
33. CONSTRUCTION PHOTOS - CONTRACTOR SHALL PROVIDE PHOTOS OF THE BASIN AND ASSOCIATED CONSTRUCTION PROCESSES (I.E. OUTLET STRUCTURES, PIPES INSTALLATION, ETC.) THROUGHOUT THE CONSTRUCTION PROCESS AND PHOTOS OF THE COMPLETED FACILITY.
34. CONTRACTOR SHALL REVIEW AND COMPLETE THE DANE COUNTY "BIORETENTION/INFILTRATION BASIN CHECKLIST" AND DANE COUNTY "CONVEYANCE CHECKLIST" AND PROVIDE THEM TO ENGINEER ONCE CONSTRUCTION IS COMPLETE.
35. AS-BUILT CERTIFICATION - THE BASIN SHALL BE CONSTRUCTED TO THE GRADES, ELEVATIONS, AND SPECIFICATION IN THE PLAN. AFTER GRADING AND SPREADING TOPSOIL, THE LOCATION, ELEVATIONS, STORM SEWER STRUCTURES/PIPES, RIP RAP/TURF REINFORCEMENT MAT, STORAGE VOLUME, AND ANY OTHER PERTINENT COMPONENTS OF THE BASIN SHALL BE SURVEYED FOR CONFORMANCE TO THE DESIGN SPECIFICATIONS.

DRY POND NOTES

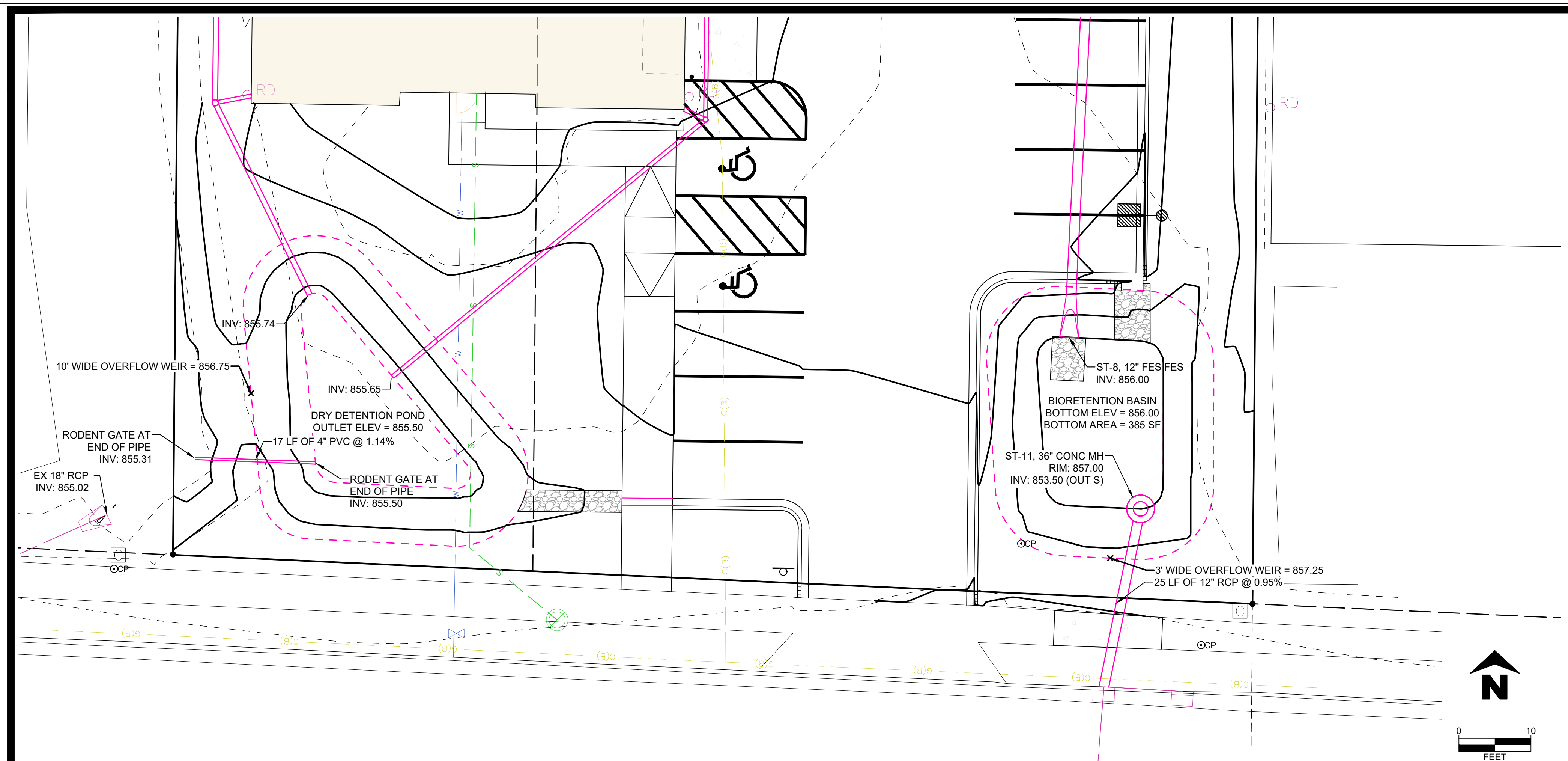
- 1. MAINTAIN POSITIVE DRAINAGE TO THE LOW POINT AT THE LOCATION OF THE OUTLET STRUCTURE
2. A MINIMUM OF 4" OF TOPSOIL SHOULD BE INSTALLED AND SEEDED. EROSION MATTING SHOULD BE INSTALLED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD #1052.
3. THE DRY POND WILL BE USED AS A SEDIMENT TRAP DURING CONSTRUCTION. ONLY EXCAVATE AS DEEP AS NECESSARY TO MAINTAIN 2' OF COVER OVER FINAL EXCAVATION DEPTH.

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Table with columns: MARK, REVISION, DATE, BY, ENGR, CHKD, ENGR, DATE, TECH, and Project No: 126.0516.300

4726 E BROADWAY REDEVELOPMENT
STORM BASIN NOTES
MADISON, WISCONSIN
5010 VOGES ROAD
MADISON, WISCONSIN 53718
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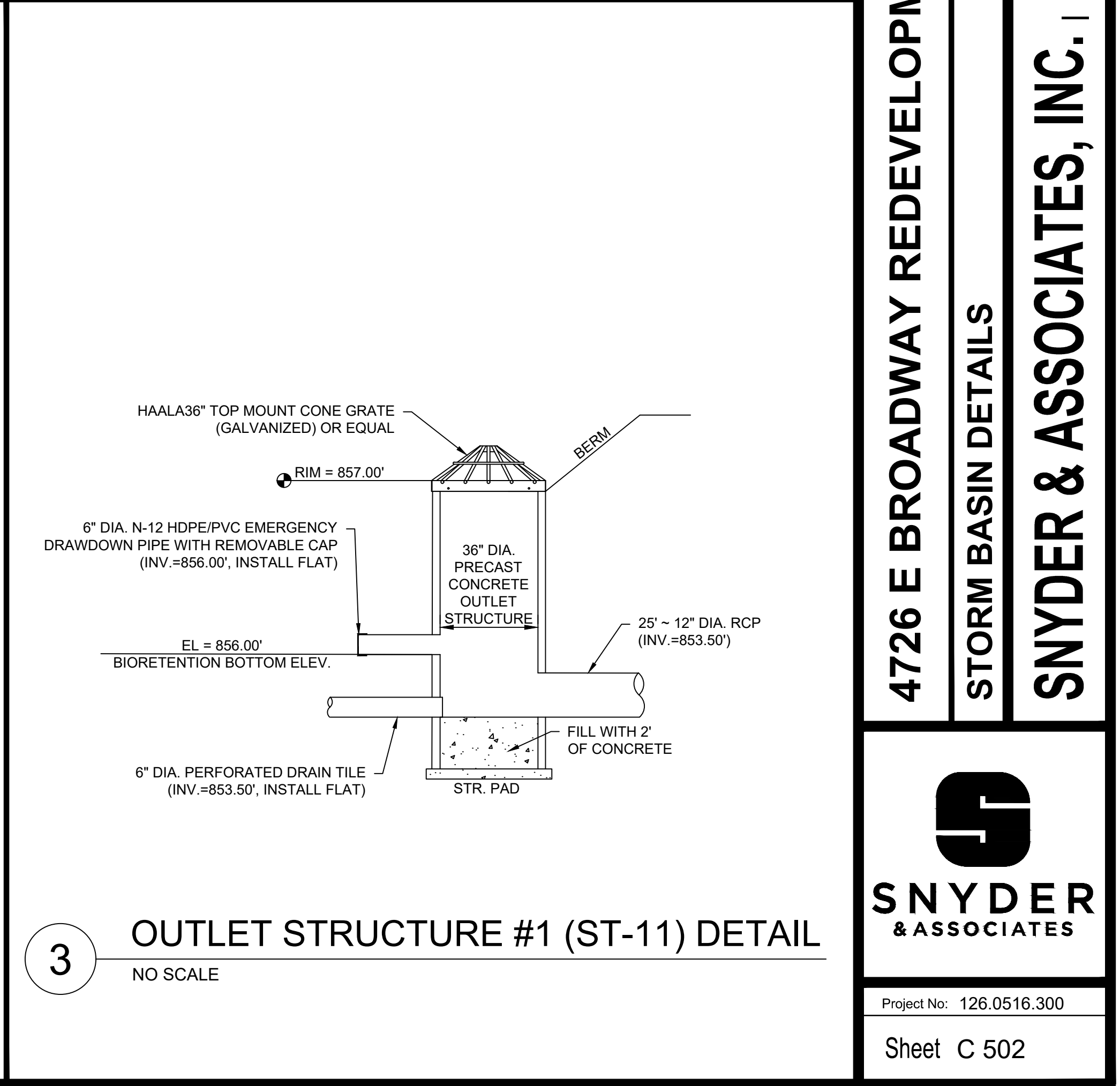
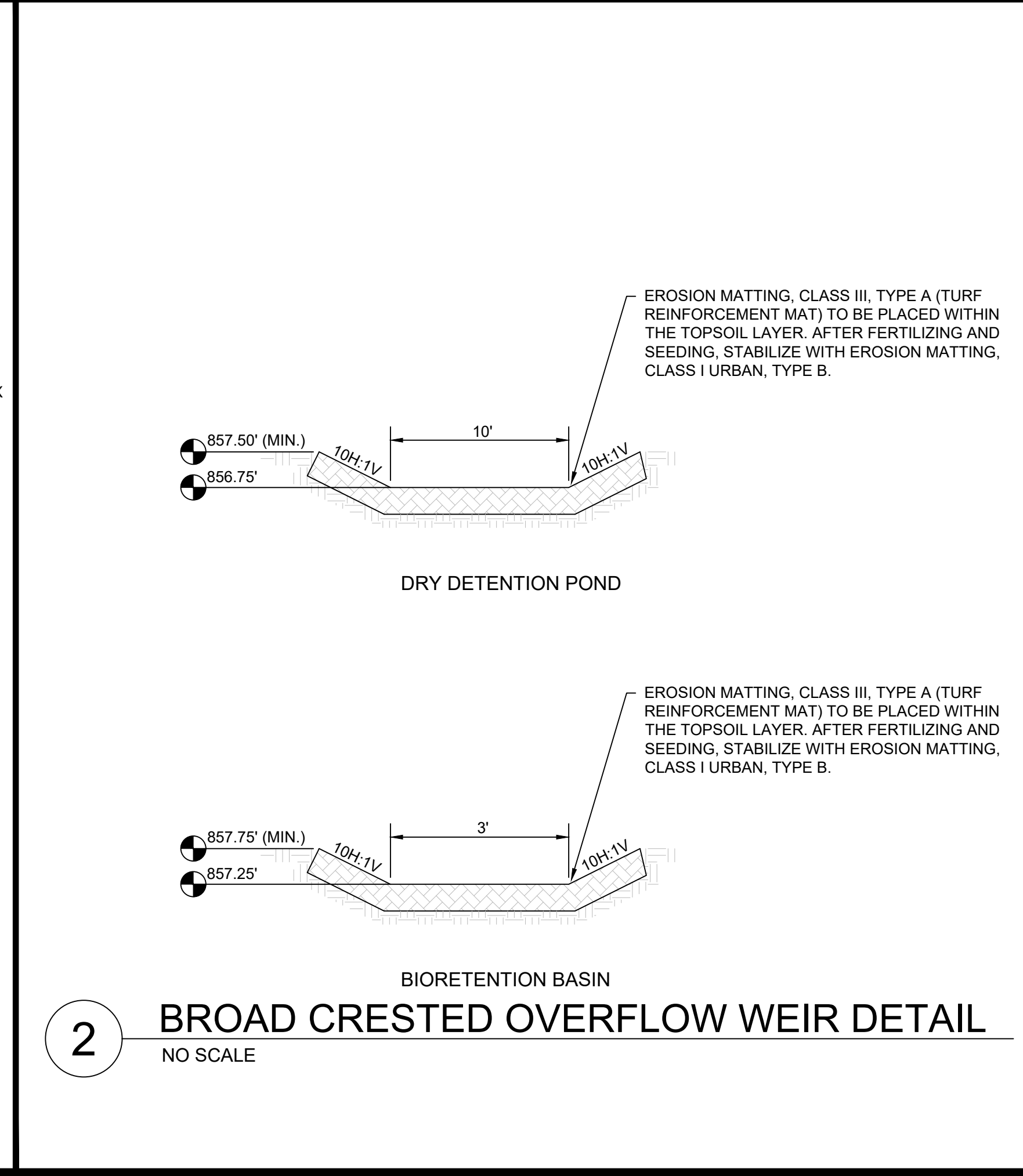
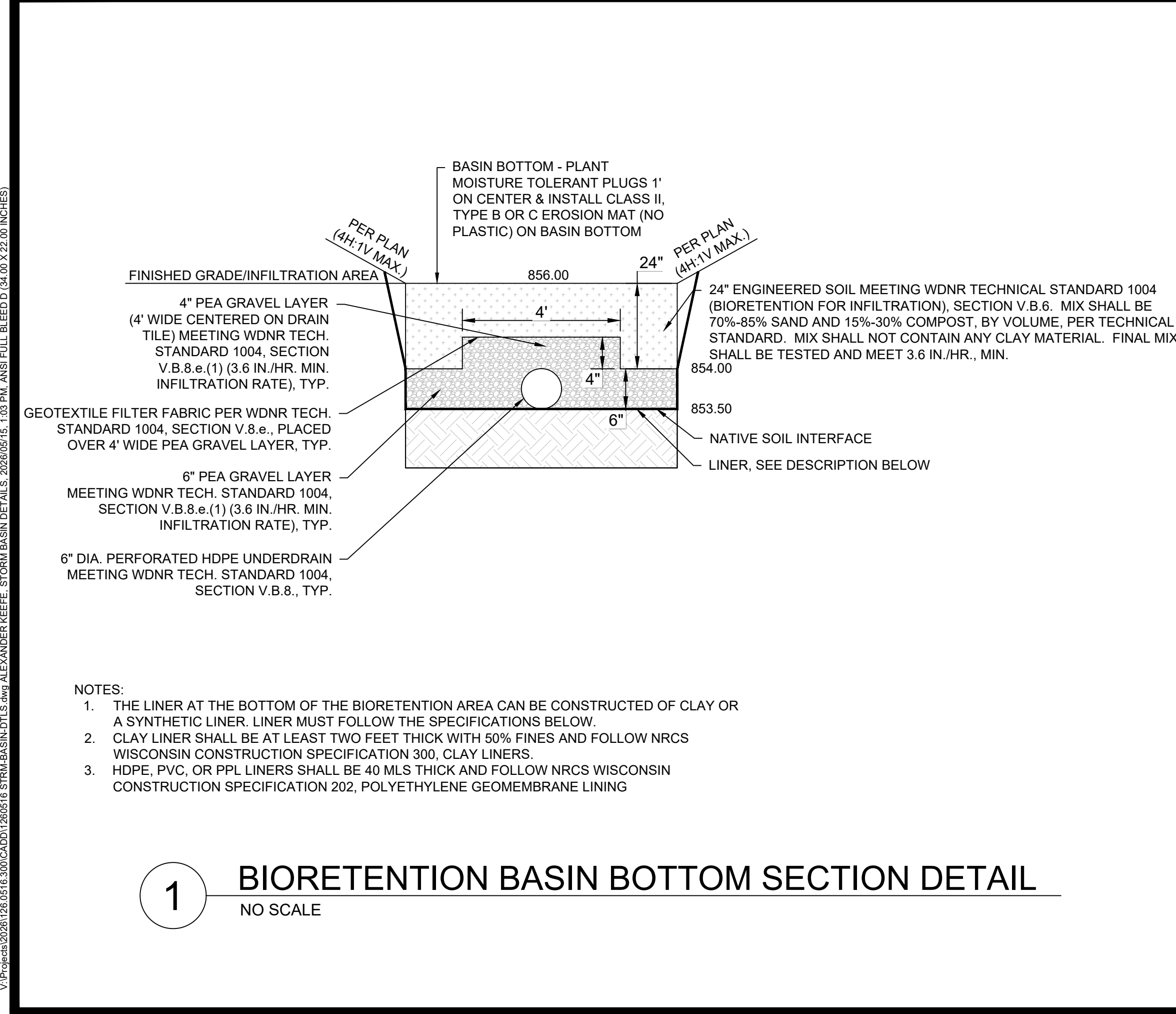
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ENGR	Checked By: CHKD	DATE: 11-20
TECH	Date: 05-15-2026	T-R-S: T7N-R10W-S22

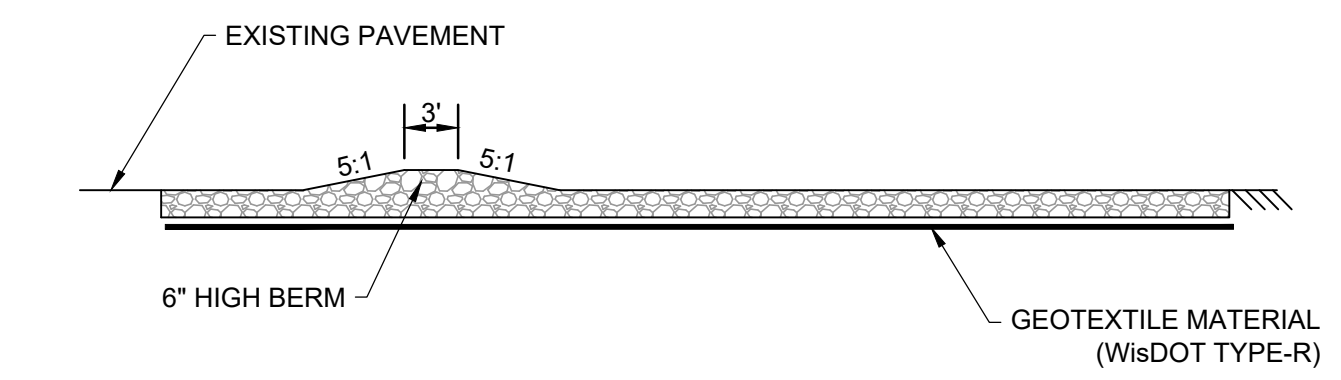
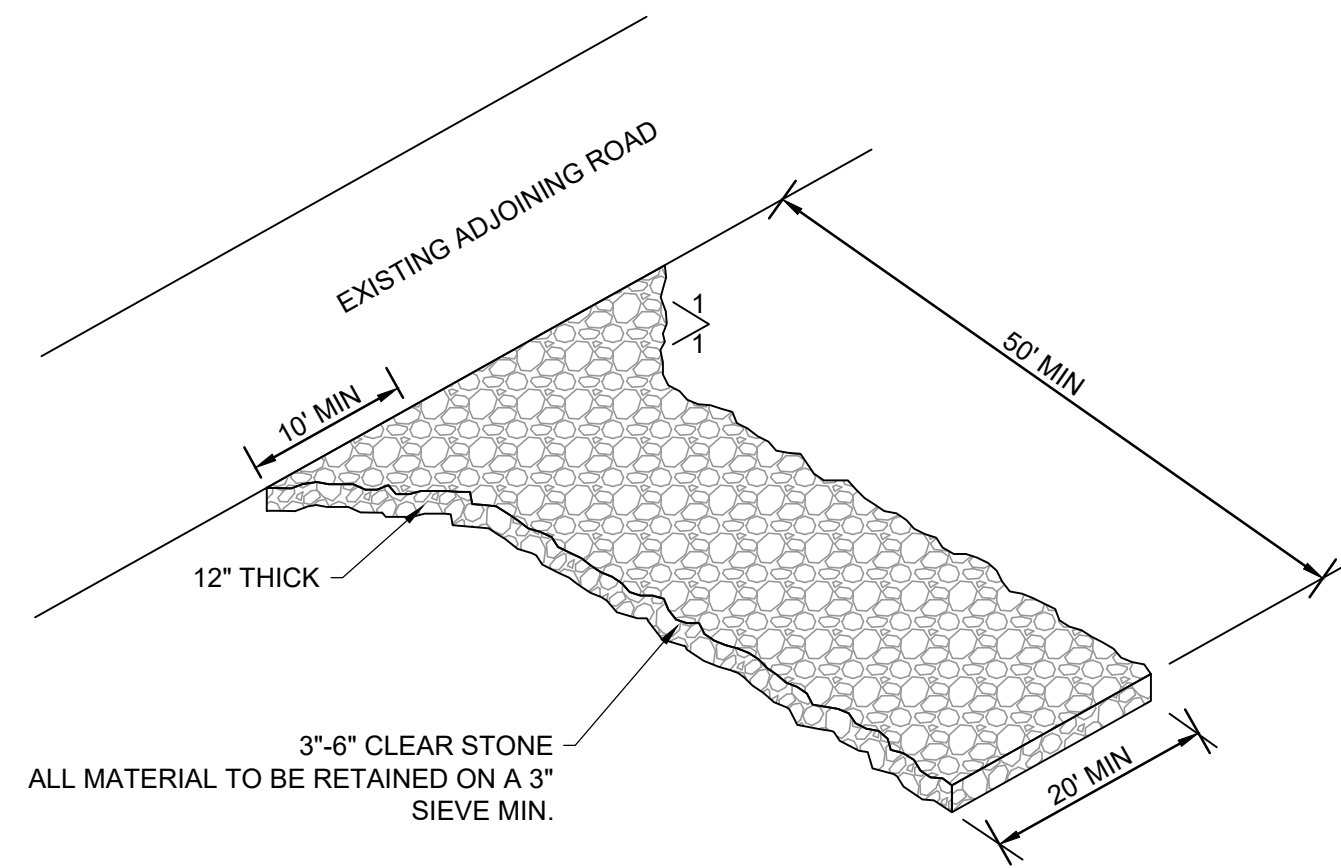
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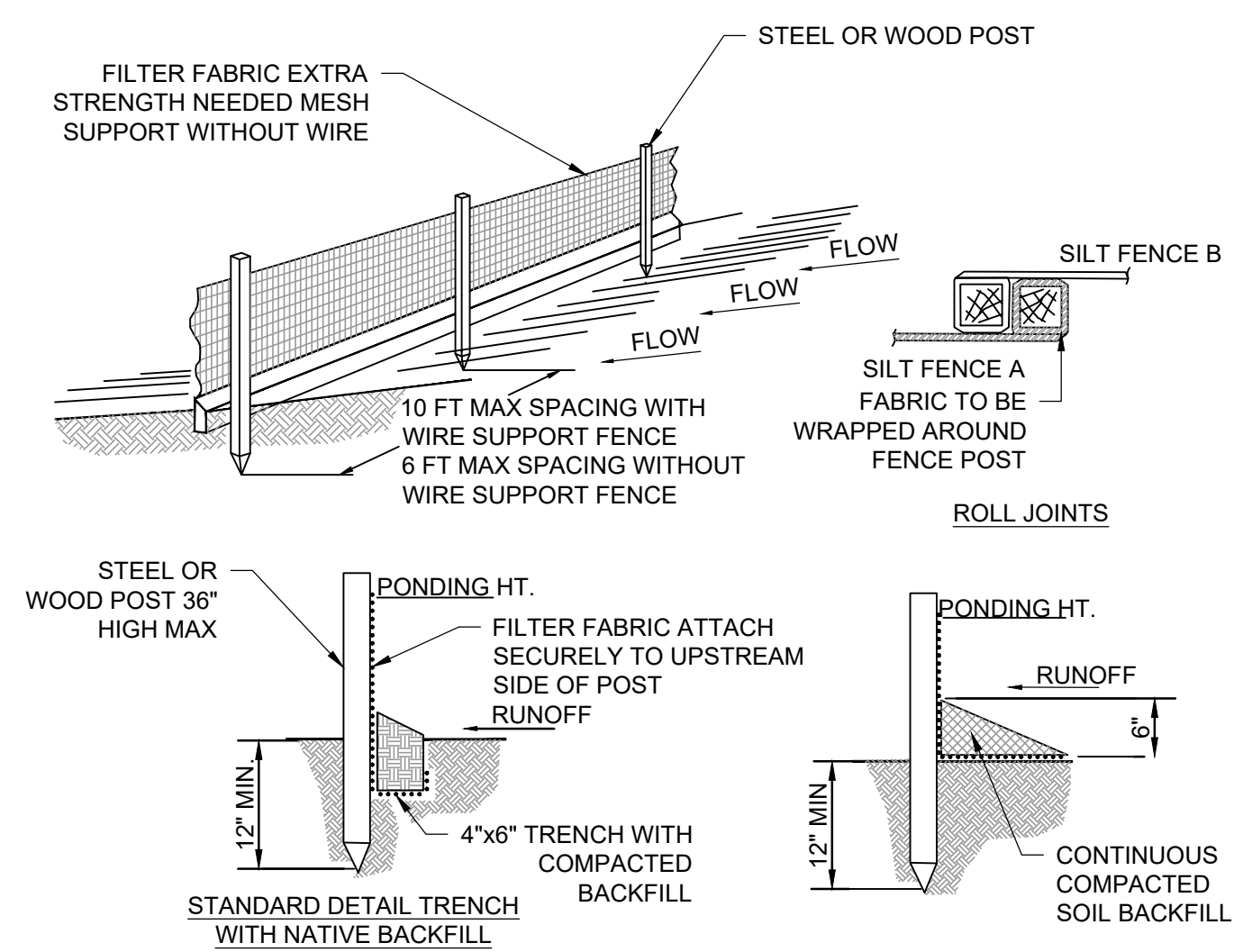
4726 E BROADWAY REDEVELOPMENT
STORM BASIN DETAILS
SNYDER & ASSOCIATES, INC. |

Project No: 126.0516.300
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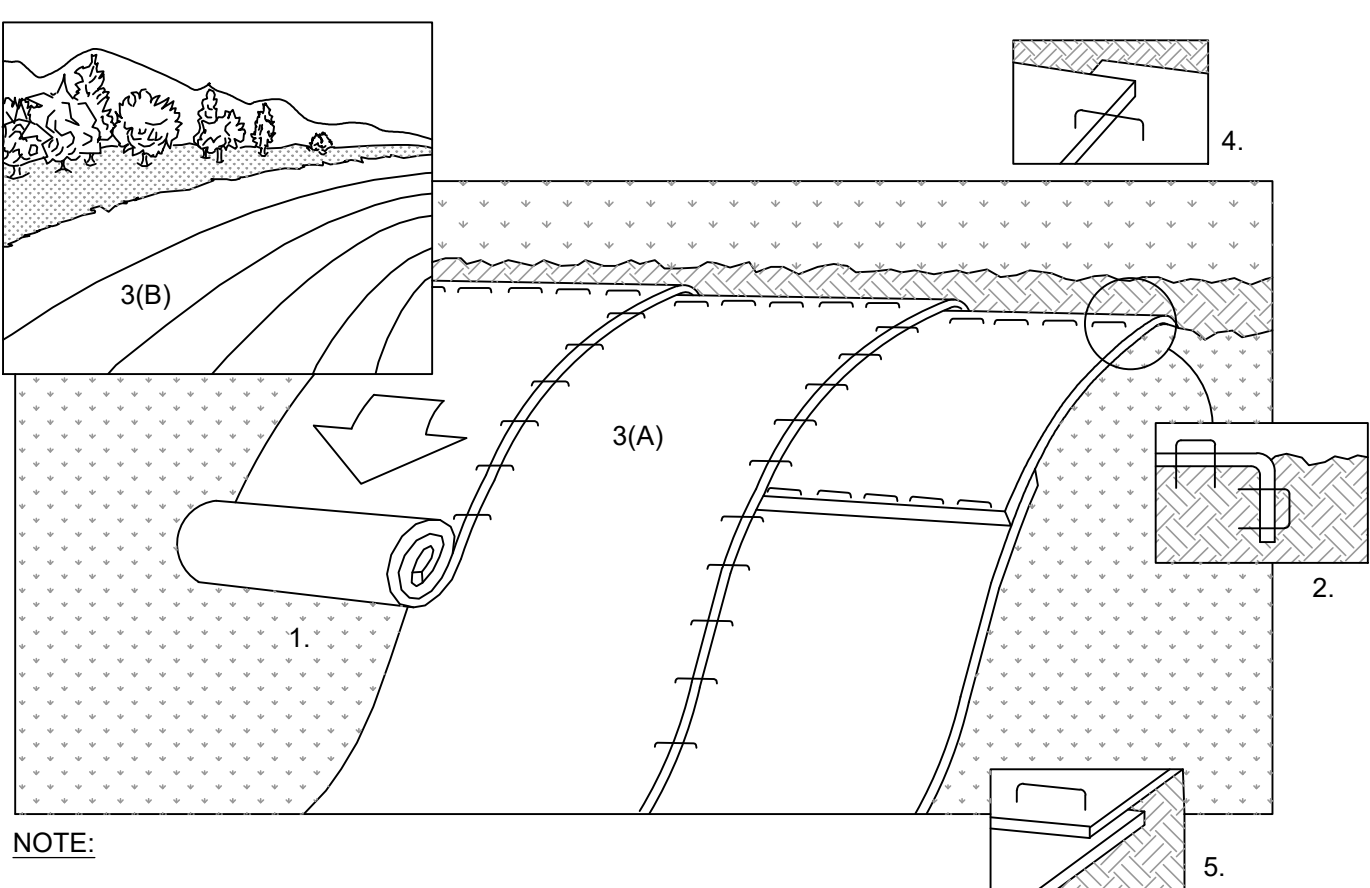
- NOTE:**
1. MAINTAIN THE ROCK ENTRANCE TO PREVENT TRACKING ONTO PAVEMENT

1 STONE CONSTRUCTION ENTRANCE
NO SCALE



- NOTES:**
1. INSPECT FENCE WEEKLY AND AFTER EACH RAIN EVENT OF 0.5 INCHES AND REPAIR IF REQUIRED. REMOVE SEDIMENT WHEN NECESSARY OR WHEN SEDIMENT REACHES 1/2 OF FENCE HEIGHT.
 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 4. SILT FENCE SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1056.

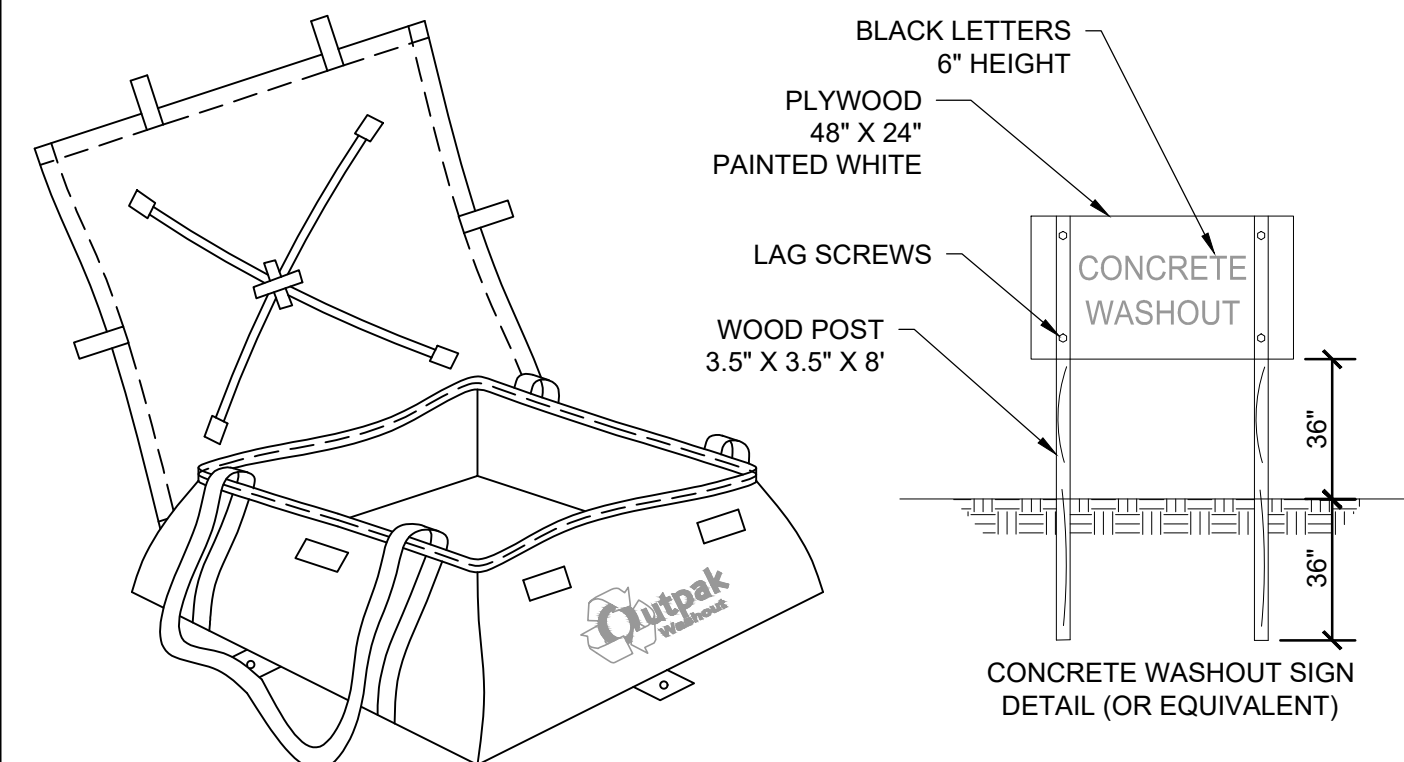
2 SILT FENCE DETAIL
NO SCALE



NOTE:
REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

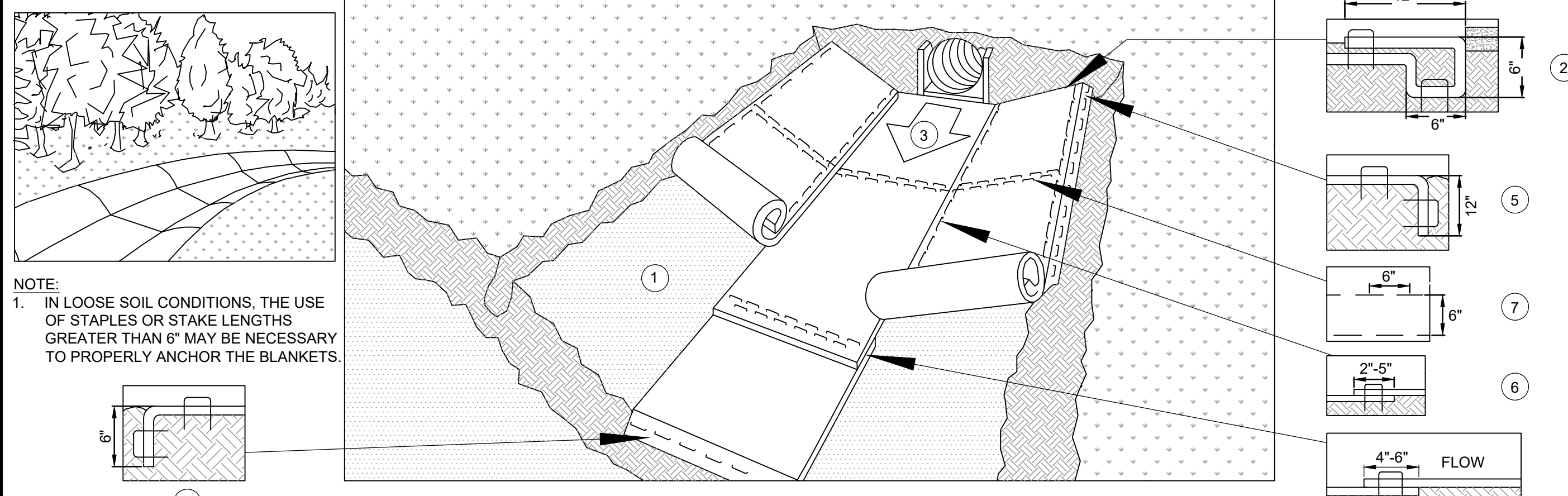
- INSTALLATION:**
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 3. ROLL THE BLANKETS (A.) DOWN THE SLOPE (B.) HORIZONTALLY ACROSS THE SLOPE
 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
 5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
 6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
 7. EROSION MAT SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD # 1052.

3 EROSION CONTROL MAT - SLOPE INSTALLATION
NO SCALE



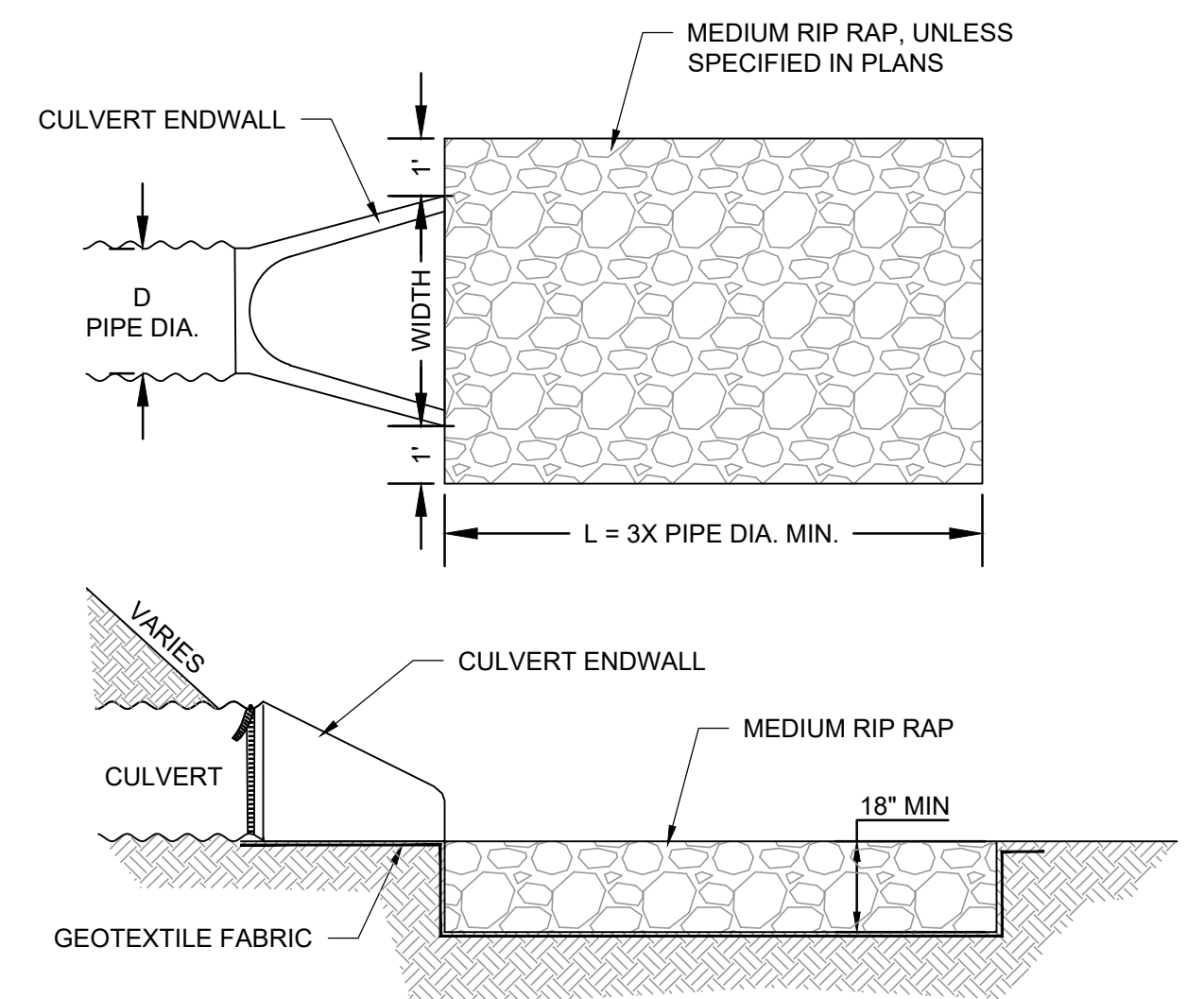
- NOTES:**
1. THE CONCRETE WASHOUT SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON THIS PROJECT.
 2. AS NECESSARY, SIGNS SHALL BE PLACED THROUGHOUT THE SITE TO INDICATE THE LOCATION OF THE CONCRETE WASHOUT.
 3. THE CONCRETE WASHOUT AREA WILL BE REPLACED AS NECESSARY TO MAINTAIN CAPACITY FOR LIQUID WASTE.
 4. WASHOUT RESIDUE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE FACILITY.
 5. DO NOT WASHOUT INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
 6. AVOID DUMPING EXCESS CONCRETE IN NON-DESIGNATED DUMPING AREAS.
 7. THE WASHOUT SHALL BE USED ONLY FOR NON-HAZARDOUS WASTES.
 8. CONTRACTOR MAY USE AN ALTERNATIVE METHOD OF CONCRETE WASHOUT WITH THE PROJECT ENGINEERS APPROVAL.

4 CONCRETE WASHOUT DETAIL
NO SCALE



- INSTALLATION:**
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
 2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 3. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
 4. PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4"-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE BLANKETS.
 5. FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPE MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 6. A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
 7. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 8. EROSION MAT SHALL EXTEND FOR WHICHEVER IS GREATER: UPSLOPE ONE FOOT MIN. VERTICALLY FROM DITCH BOTTOM OR 6" HIGHER THAN DESIGN FLOW DEPTH.
 9. EROSION MAT SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS 1053.

5 EROSION CONTROL MAT - CHANNEL INSTALLATION
NO SCALE



NOTE:
RIP-RAP SHALL BE A MINIMUM OF 2 C.Y. PER ENDWALL.

AVERAGE DIMENSION RANGES FOR RIP RAP GRADE, PER WISDOT SS 606.2.1			
IN-PLACE VOLUME OF STONE	MEDIUM RIPRAP	HEAVY RIPRAP	EX-HEAVY RIPRAP
0%	> 20"	> 25"	> 30"
10% - 14%	14" - 16"	18" - 20"	22" - 25"
15% - 21%	11" - 14"	14" - 18"	18" - 22"
20% - 28%	5" - 11"	6.5" - 14"	8" - 18"
5% - 7%	< 5"	< 6.5"	< 8"
2% of less	< 1"	< 1"	< 1"

6 RIP RAP PAD
NO SCALE

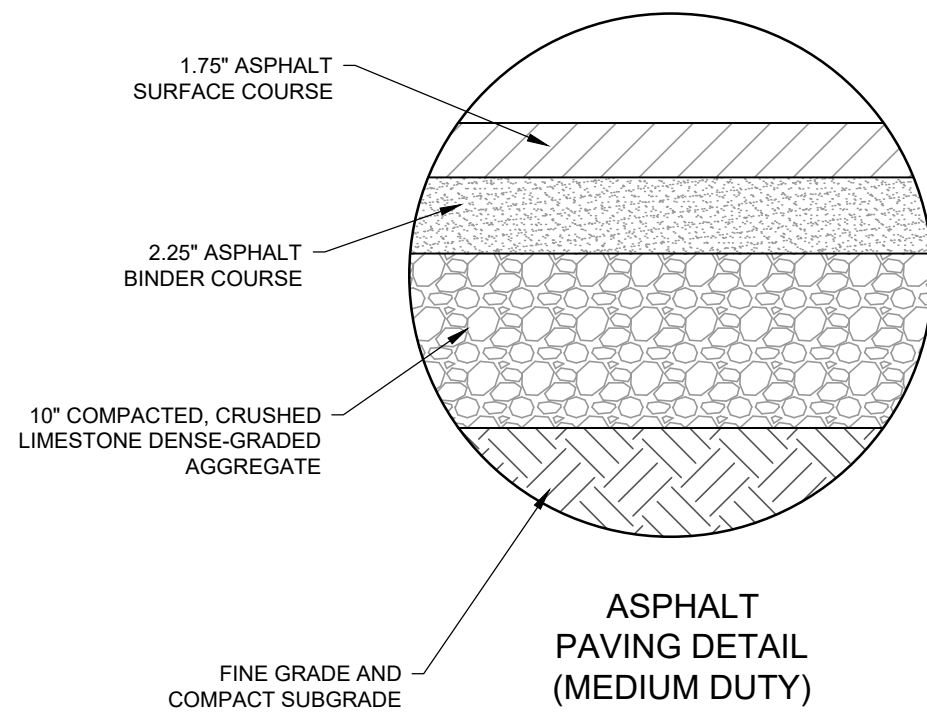
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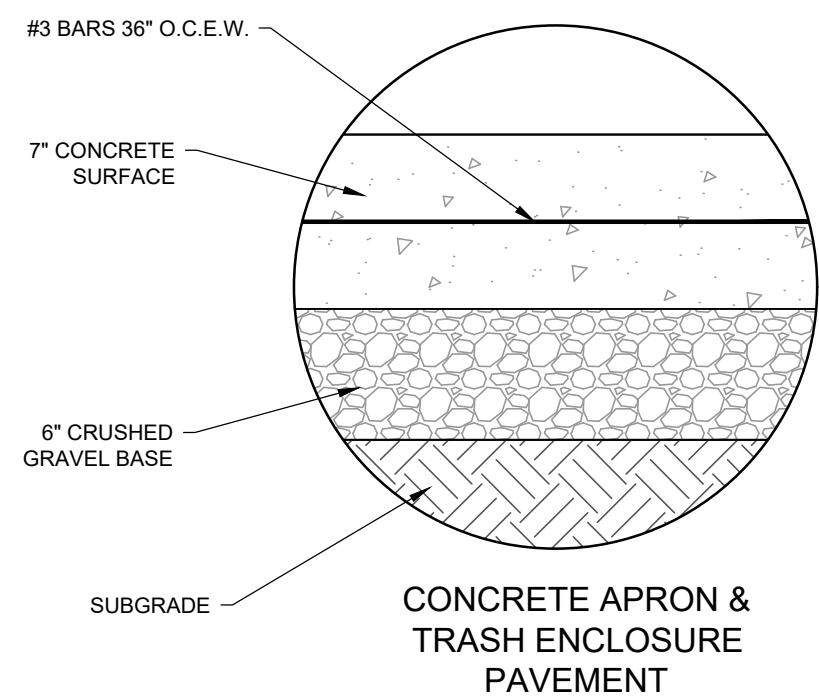
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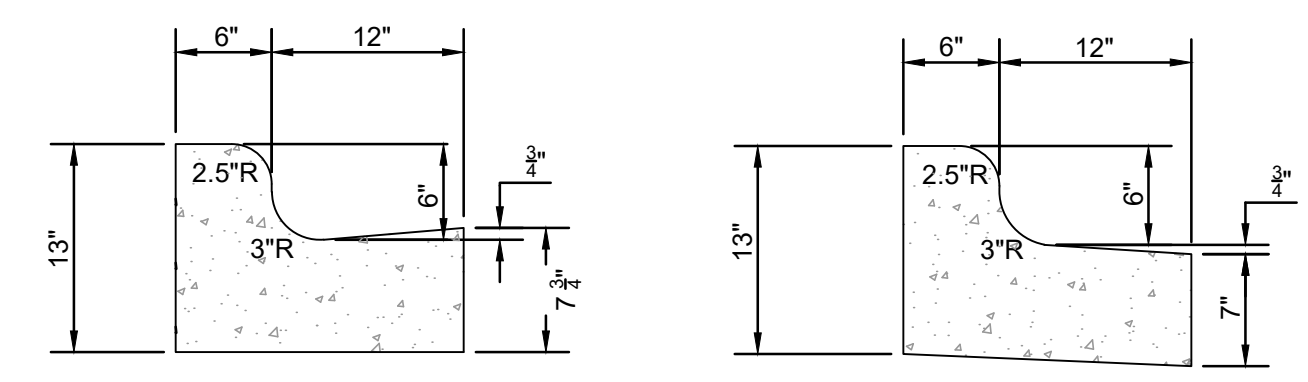


ASPHALT PAVING DETAIL (MEDIUM DUTY)

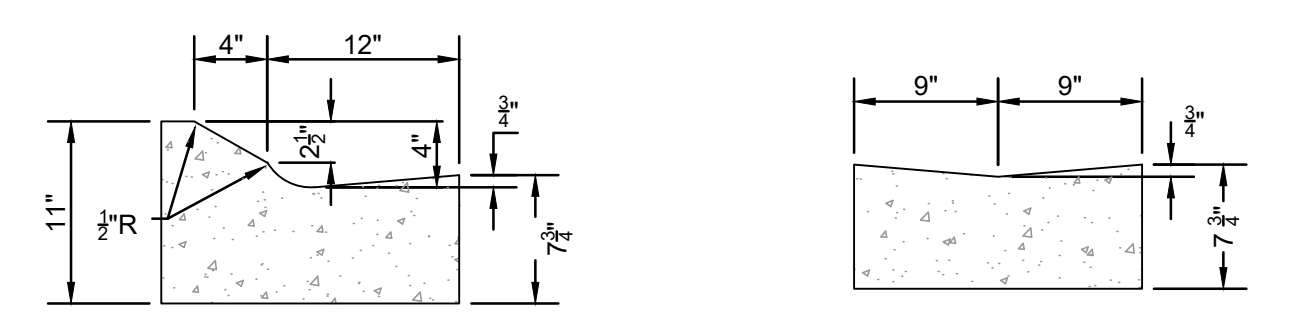


CONCRETE APRON & TRASH ENCLOSURE PAVEMENT

1 PAVEMENT SECTION DETAILS
NO SCALE



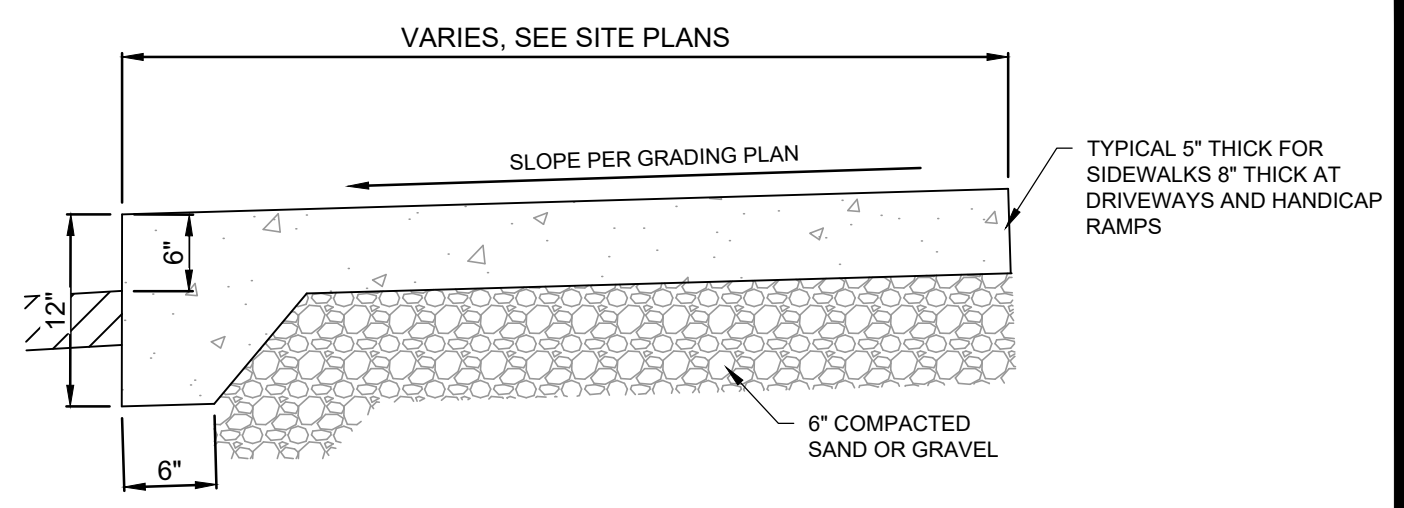
18" STANDARD CURB 18" REJECT CURB



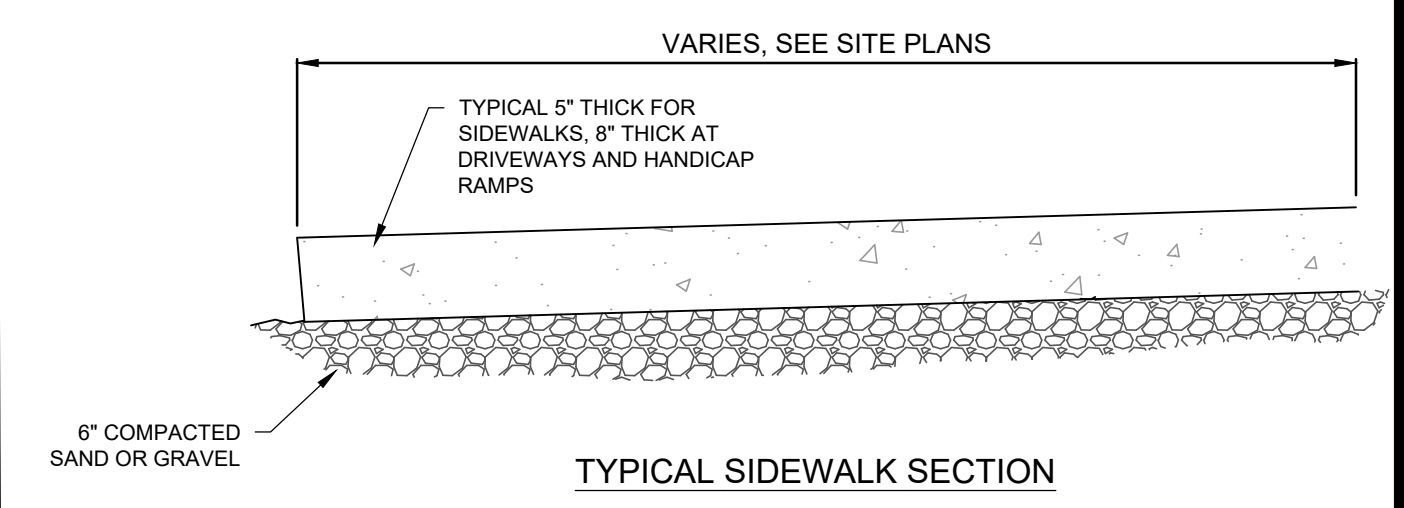
18" MOUNTABLE CURB 18" RIBBON CURB

- NOTES:
- LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER.
 - THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

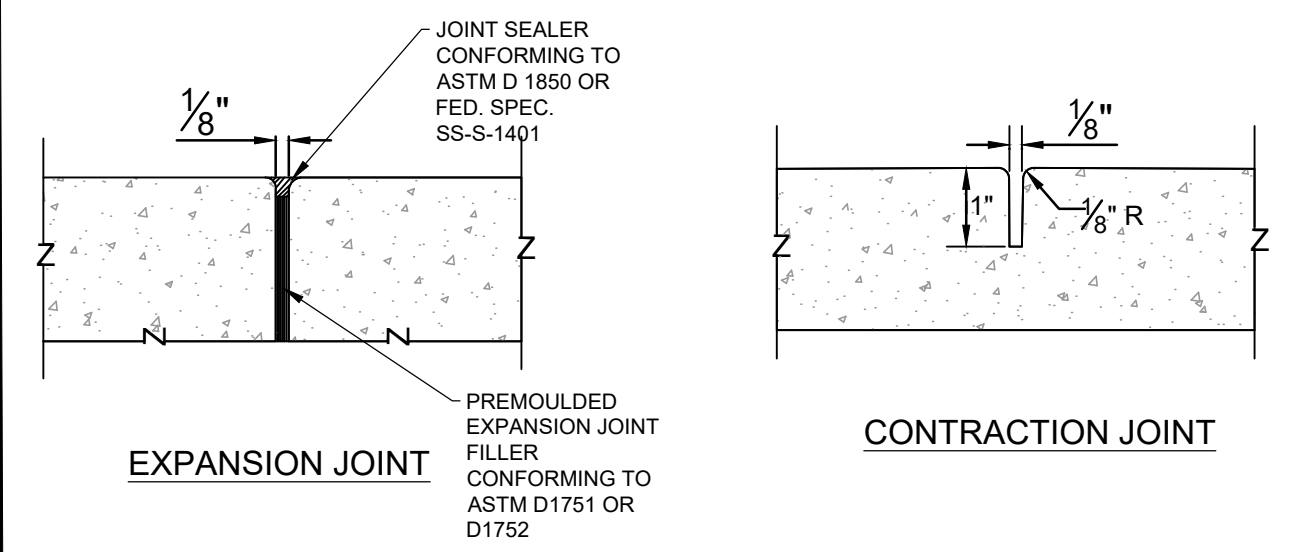
2 CONCRETE CURB & GUTTER DETAIL
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THICKENED EDGE SIDEWALK

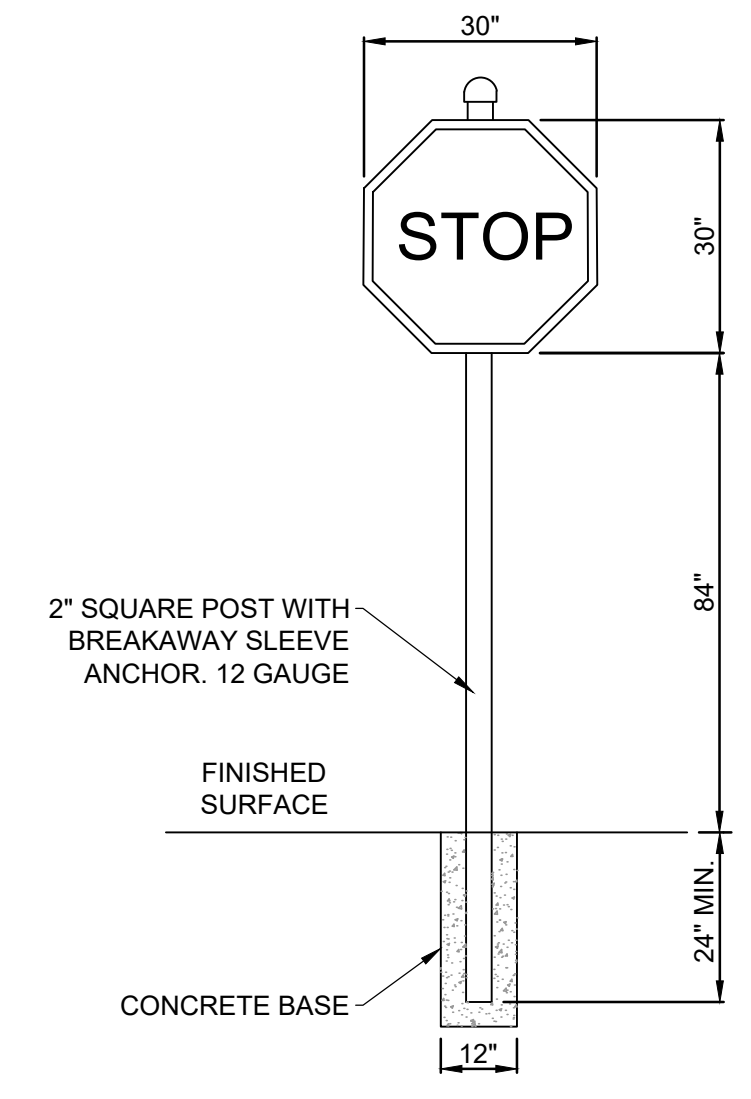


TYPICAL SIDEWALK SECTION



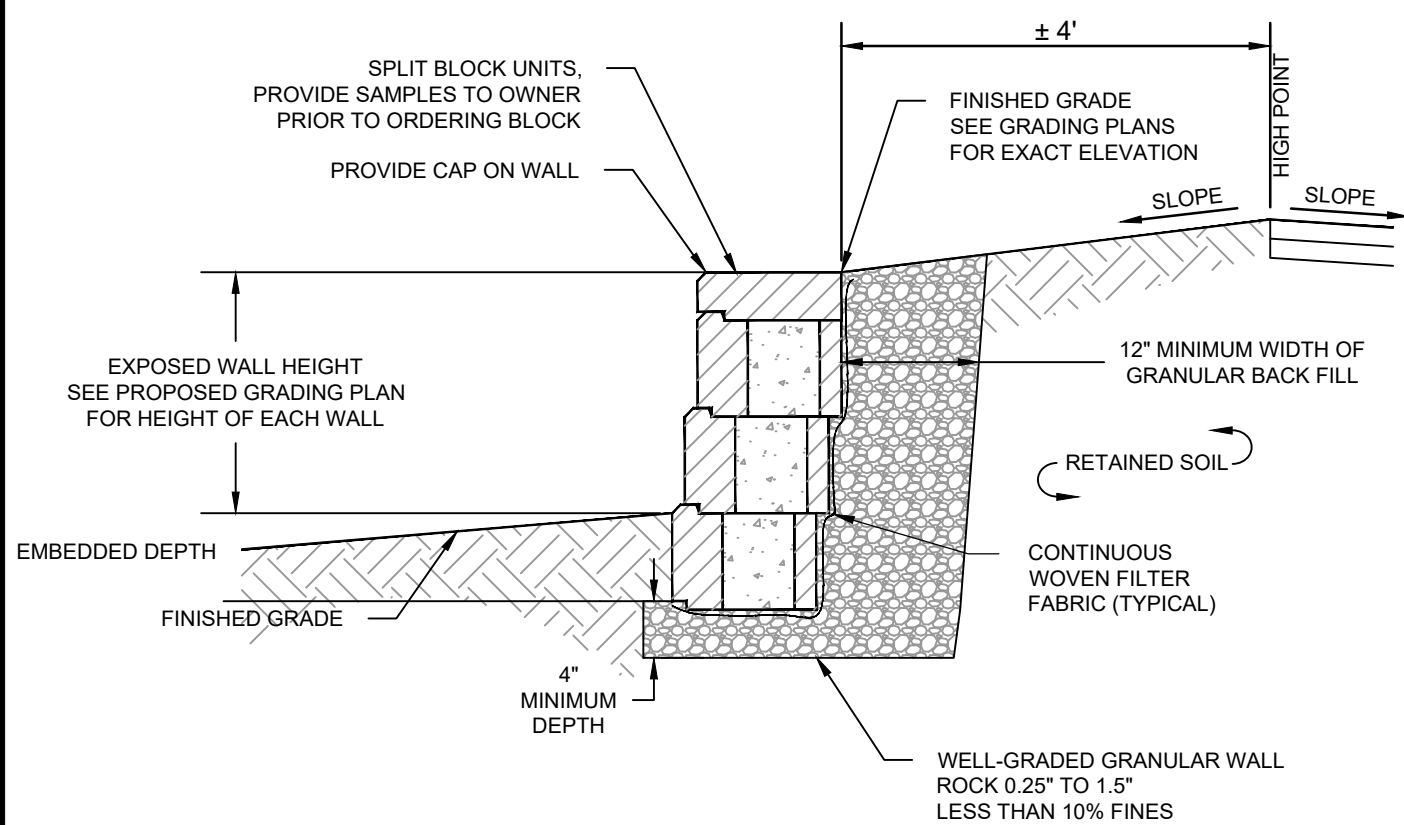
EXPANSION JOINT CONTRACTION JOINT

3 SIDEWALK DETAILS
NO SCALE



R1-1
WHITE LEGEND RED BACKGROUND

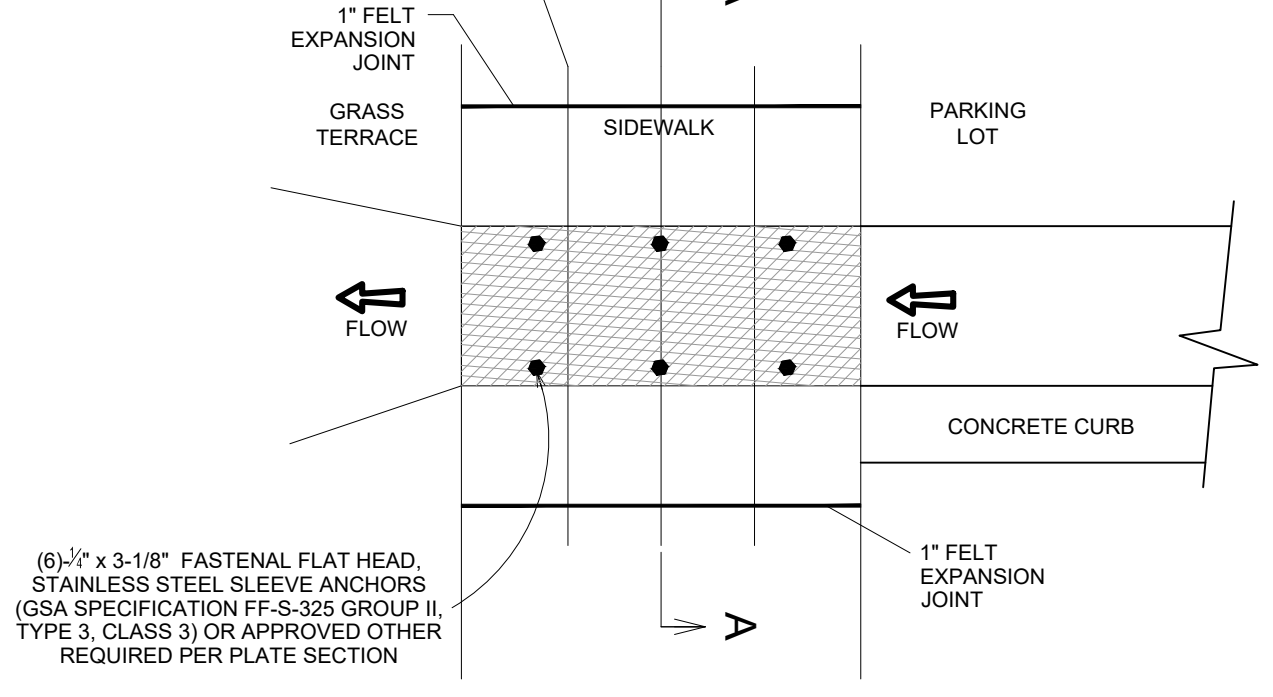
4 STOP SIGN DETAIL
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5 BLOCK RETAINING WALL
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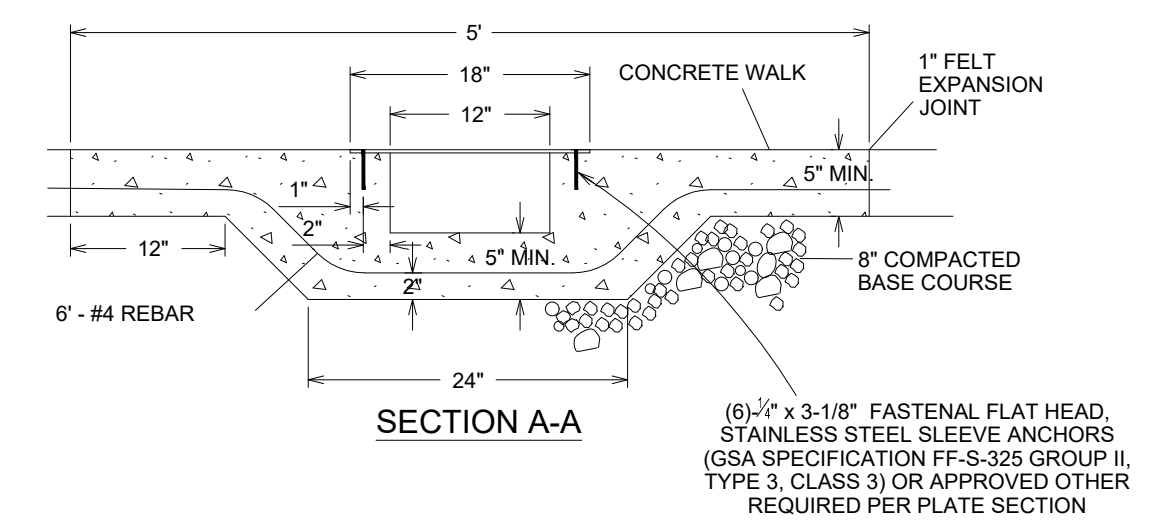


ISOMETRIC VIEW

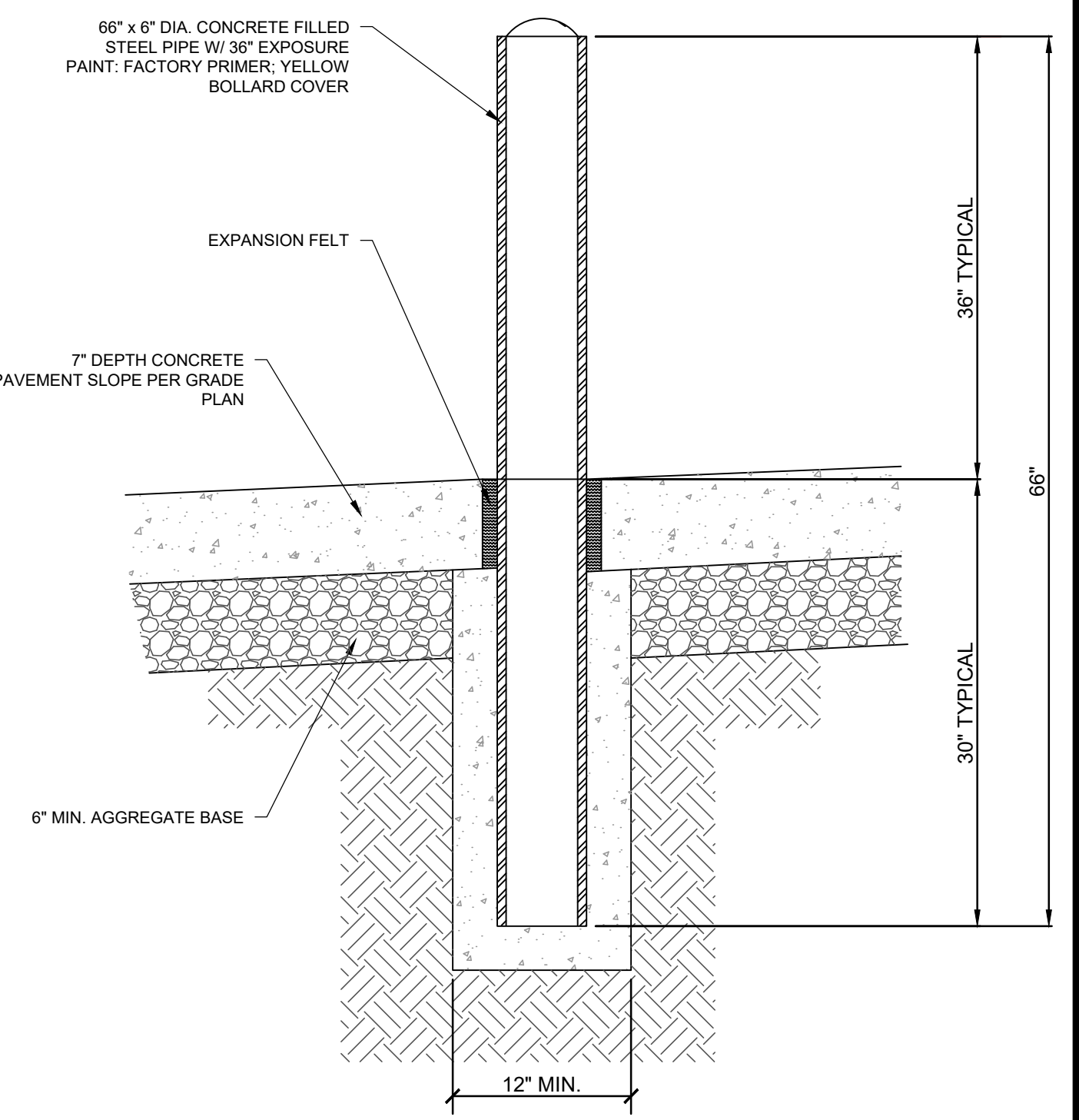


PLAN VIEW

6 SIDEWALK FLUME DETAIL
NO SCALE



SECTION A-A



7 36" BOLLARD DETAIL
NO SCALE

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TECH	Date: 05-15-2016	T-R-S: T7N-R10W-S22	

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GENERAL LANDSCAPE NOTES

- UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
- ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- MULCH SHALL NOT BE PLACED AROUND THE COLLAR OF SHRUB OR TREE. PROVIDE A MINIMUM OF 2" BETWEEN MULCH AND COLLAR OF SHRUB OR TREE.
- ALL PLANT MATERIAL SHALL BE GROWN IN ZONE CAPABLE OF WITHSTANDING LOCAL CLIMATE AND GROWING CONDITIONS.
- TREE OR SHRUB SHALL STAND PLUMB. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
- LIVE PLANTS CAN BE PLANTED IN THE FIELD DURING THE GROWING SEASON FROM MAY 1 THROUGH OCTOBER 1. ANY SUGGESTED PLANTING TIMES NOT IN THIS WINDOW SHALL BE APPROVED BY LANDSCAPE ARCHITECT. IF PLANTING OCCURS OUTSIDE OF THIS WINDOW, ADDITIONAL MEASURES MAY NEED TO BE TAKEN (I.E. MULCH) TO ENSURE PLANT SURVIVAL. IN THESE INSTANCES, THE CONTRACT PRICE MAY NEED TO BE ADJUSTED ACCORDINGLY.
- PLANTS SHOULD BE WATERED IN AFTER INSTALLATION TO ENSURE THEIR SURVIVAL. THIS TYPICALLY INVOLVES WATERING AT TIME OF INSTALLATION AND 2 TIMES WEEKLY FOR A ONE MONTH PERIOD OR UNTIL GROUND FREEZE UP IF NATURAL RAINFALLS ARE INSUFFICIENT. A SINGLE WATERING EVENT INVOLVES WATERING THE SOIL IN THE PLANTED AREAS TO THE POINT OF SATURATION BUT STOPPING SHORT OF SOIL DISPLACEMENT. SHOULD VERY DRY CONDITIONS DEVELOP WITHIN ONE YEAR OF PLANTING, ADDITIONAL WATERINGS MAY BE NECESSARY. CONSULTANT OR LANDSCAPE ARCHITECT WILL DETERMINE THIS AND CONTRACT PRICES MAY BE ADJUSTED TO ACCOMMODATE THIS ACTION.
- ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY, HEALTHY, FREE OF DISEASE AND INSECTS AND SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. PLANTS SHALL ALSO BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT VIGOROUS GROWTH.
- ALL PROPOSED PLANTS SHALL BE LOCATED AS SHOWN ON PLANS. ALL TREES TO BE PLANTED A MINIMUM DISTANCE OF 5 FEET FROM PAVEMENTS AND 6 FEET FROM ALL HYDRANTS.
- CONTRACTOR IS RESPONSIBLE FOR PLANTS AWAITING INSTALLATION AND SHALL PROTECT THEM FROM INJURY AND THEFT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
- THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
- THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS.
- LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. IF IRRIGATION IS INCLUDED, COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF 8" - 12".
- ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION PER RATE IDENTIFIED BY A SOIL TEST.
- TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
- THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.

GENERAL LANDSCAPE NOTES CONT.

- ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
- ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.
- ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
- EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDED AND RESTORED WITH SPECIFIED SEED MIX.
- WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.
- PRIOR TO THE PLACEMENT OF MULCH AND WEED FABRIC, A GRANULAR, PRE-EMERGENT, WEED CONTROL AGENT SHALL BE ADDED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION, EXCEPT AROUND ORNAMENTAL GRASSES.
- THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE CITY AND COUNTY SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION. IN CASES OF DISCREPANCIES THE HIGHER OF THE TWO STANDARDS SHALL HAVE PRECEDENCE.

GENERAL NOTES

- DRAWINGS ARE INTENDED TO BE PRINTED ON 34" X 22" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- GEOTECHNICAL SOILS REPORT RECOMMENDATIONS SHALL BE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID.
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- THE CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
- UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS.
- NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
- COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.

GENERAL NOTES CONT.

- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS AND MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
- THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
- MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THE LANDSCAPE INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL ENSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
- THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNATED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
- LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.

CITY OF MADISON LANDSCAPE ORDINANCES

ZONING DISTRICT: IL - INDUSTRIAL LIMITED

DEVELOPED AREA:
REQUIREMENT: 1 POINT SHALL BE PROVIDED PER 100 SQFT OF DEVELOPED AREA

REQUIRED: 25,960 SF / 100 X 1 = 260 POINTS
PROVIDED: 738 POINTS

FRONTAGE LANDSCAPE:
REQUIREMENT: 1 OVERSTORY TREE AND 5 SHRUBS FOR EACH 30 LF OF LOT FRONTAGE.

EAST BROADWAY:
REQUIRED: 125LF / 30LF = 5 TREES AND 21 SHRUBS
PROVIDED: 2 TREES AND 22 SHRUBS
*COULD NOT PROVIDE 3 OTHER TREES DUE TO UTILITIES AND SITE CONSTRAINTS

INTERIOR PARKING LOT LANDSCAPE:
REQUIREMENT: 5% OF PARKING LOT SHALL BE DEVOTED TO INTERIOR PLANTING ISLANDS, PENINSULAS OR LANDSCAPE STRIPS.

REQUIRED: 15,450 SF X 5% = 773 SF
PROVIDED: 773 SF

REQUIREMENT: 1 CANOPY TREE FOR EVERY 160 SF OF REQUIRED LANDSCAPE AREA.

REQUIRED: 773 / 160 = 5 TREES
PROVIDED: PROVIDED 4 CANOPY TREES, 3 ORNAMENTAL TREES, AND 2 EVERGREEN TREES

FOUNDATION PLANTINGS:
FOUNDATION PLANTINGS SHALL BE INSTALLED ALONG BUILDING FACADES

PROVIDED: SEE PLANS

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ENGR	Checked By: CHKD		
TECH	Date: 05-14-2026		
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Project No: 126.0516.300		Sheet L100	

4726 E BROADWAY REDEVELOPMENT

LANDSCAPE NOTES

MADISON, WISCONSIN

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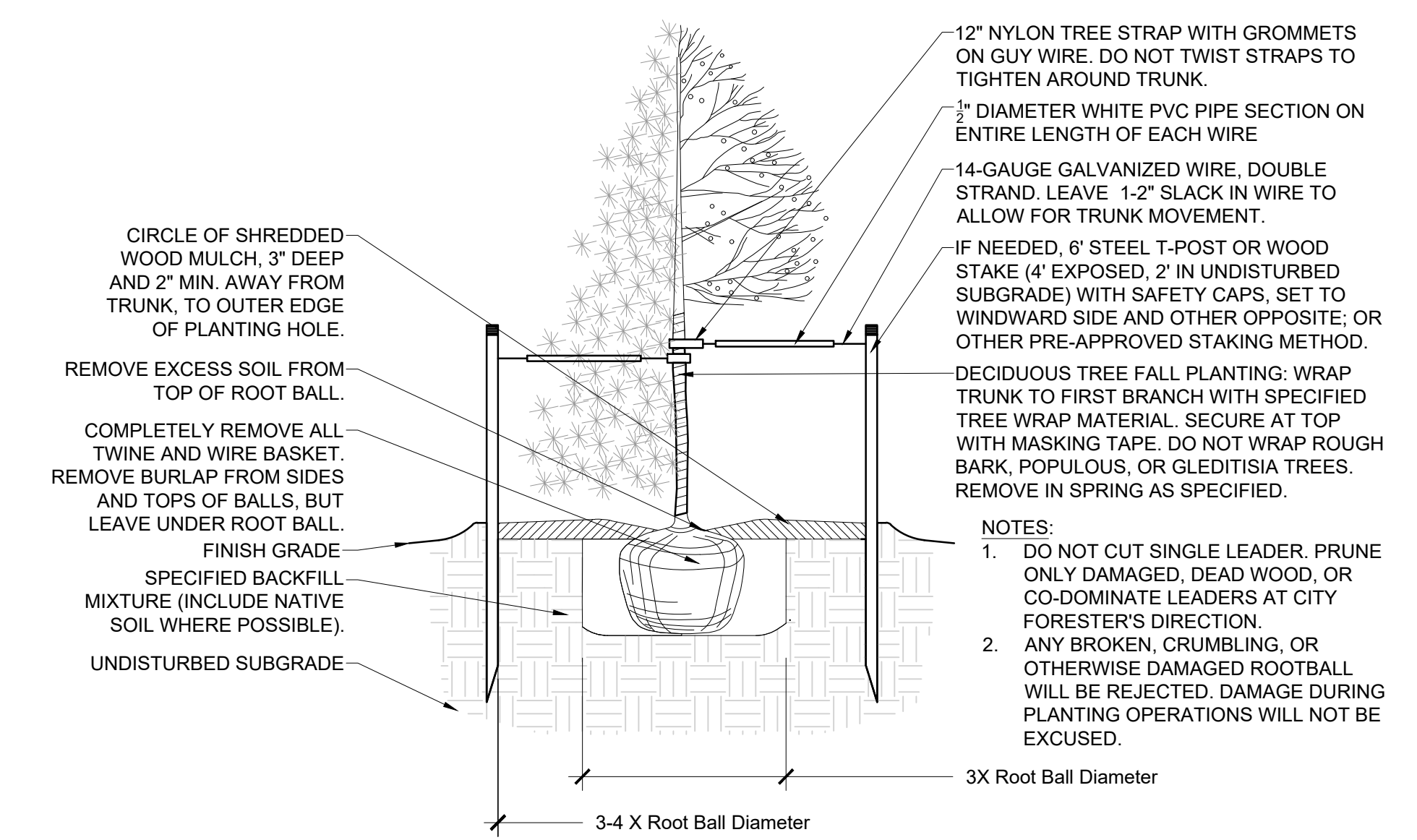
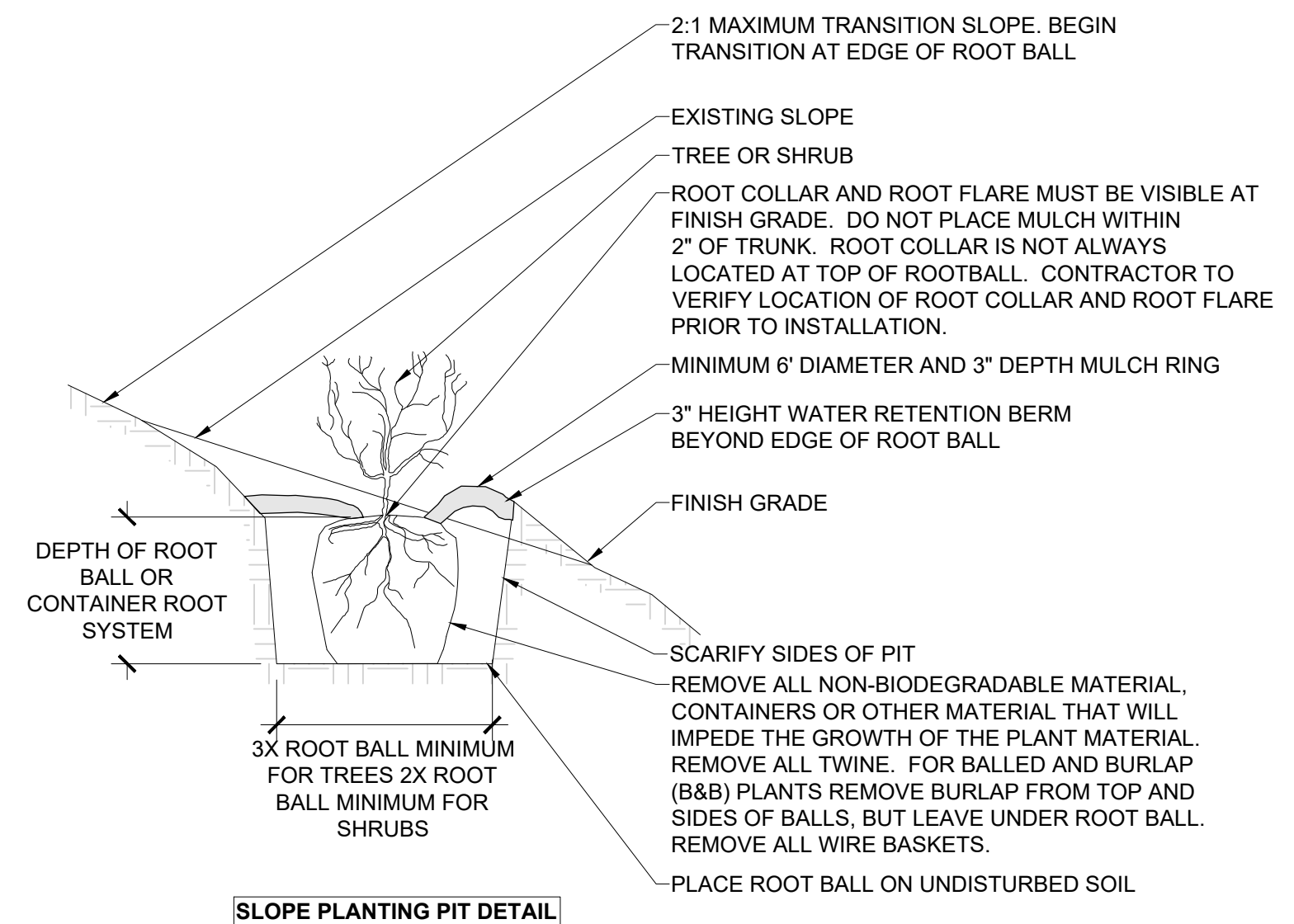
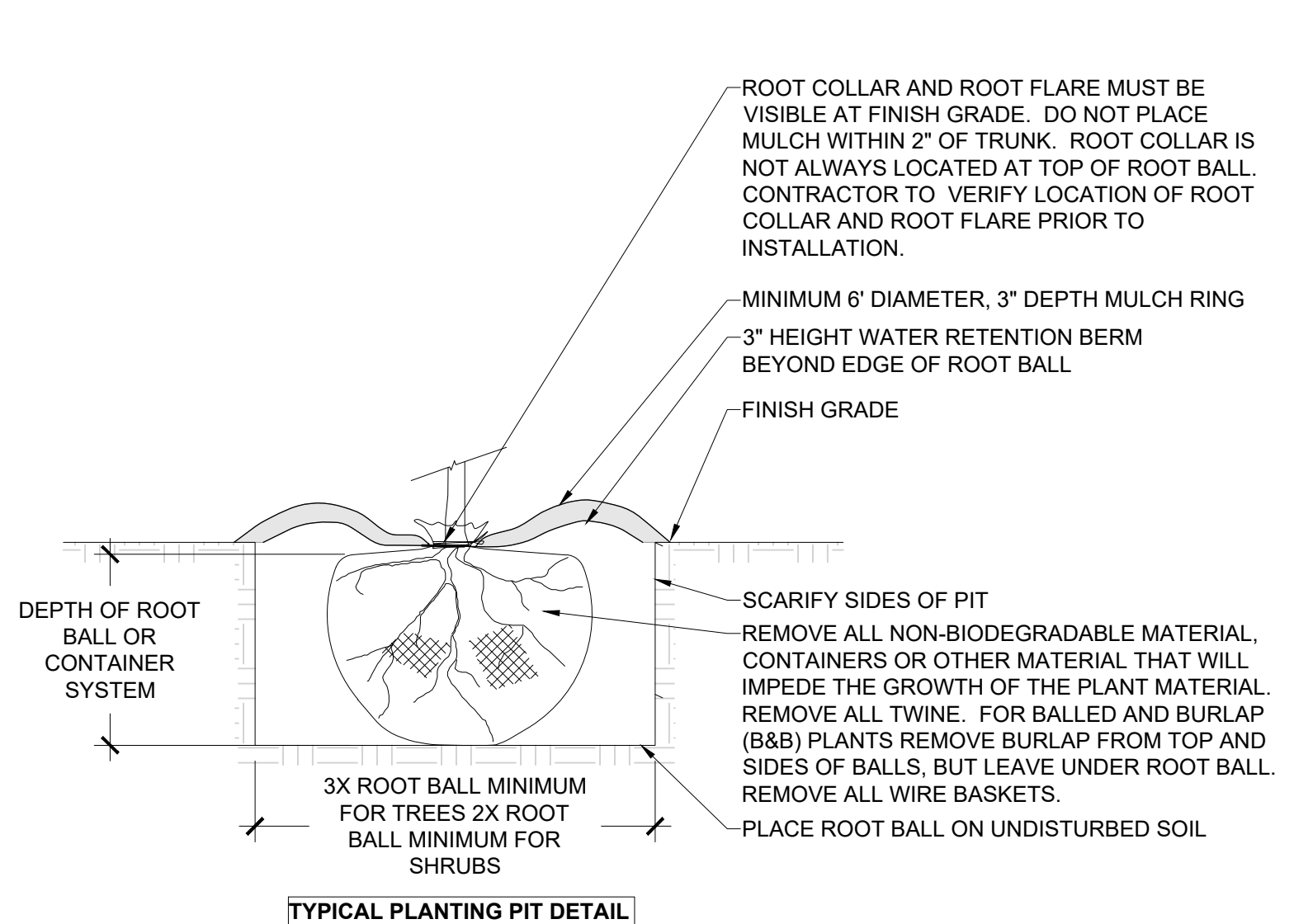
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Project No: 126.0516.300

Sheet L100

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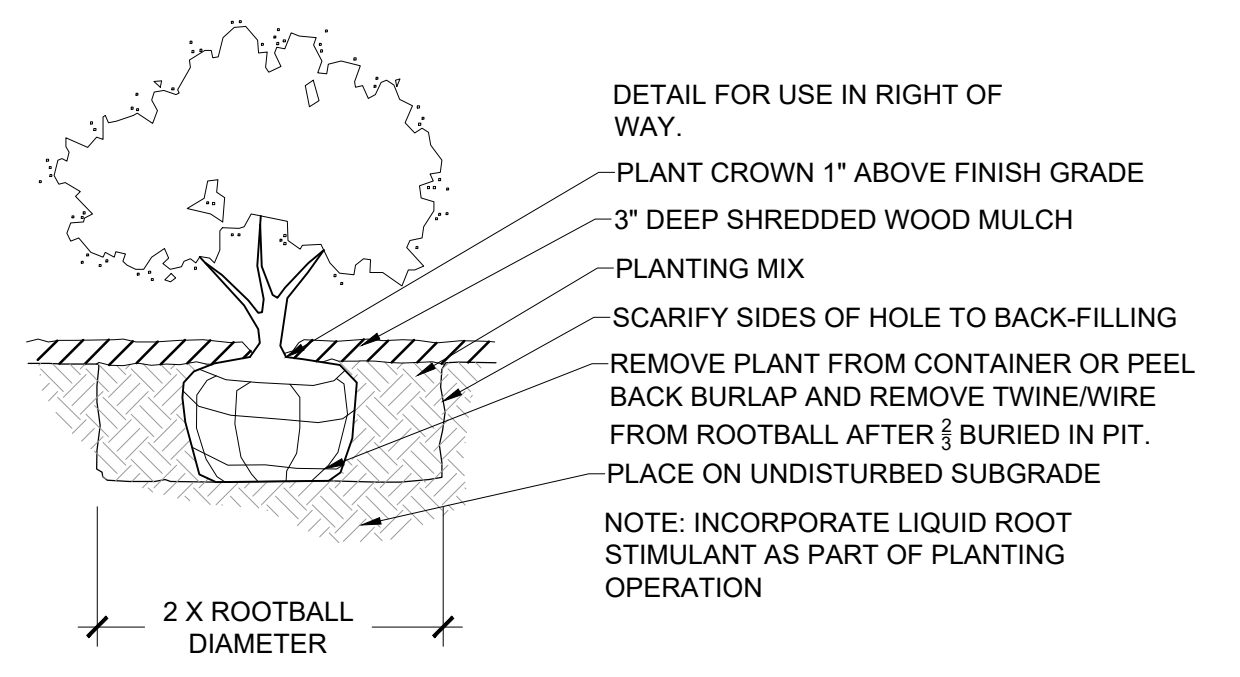


1 PLANTING PIT

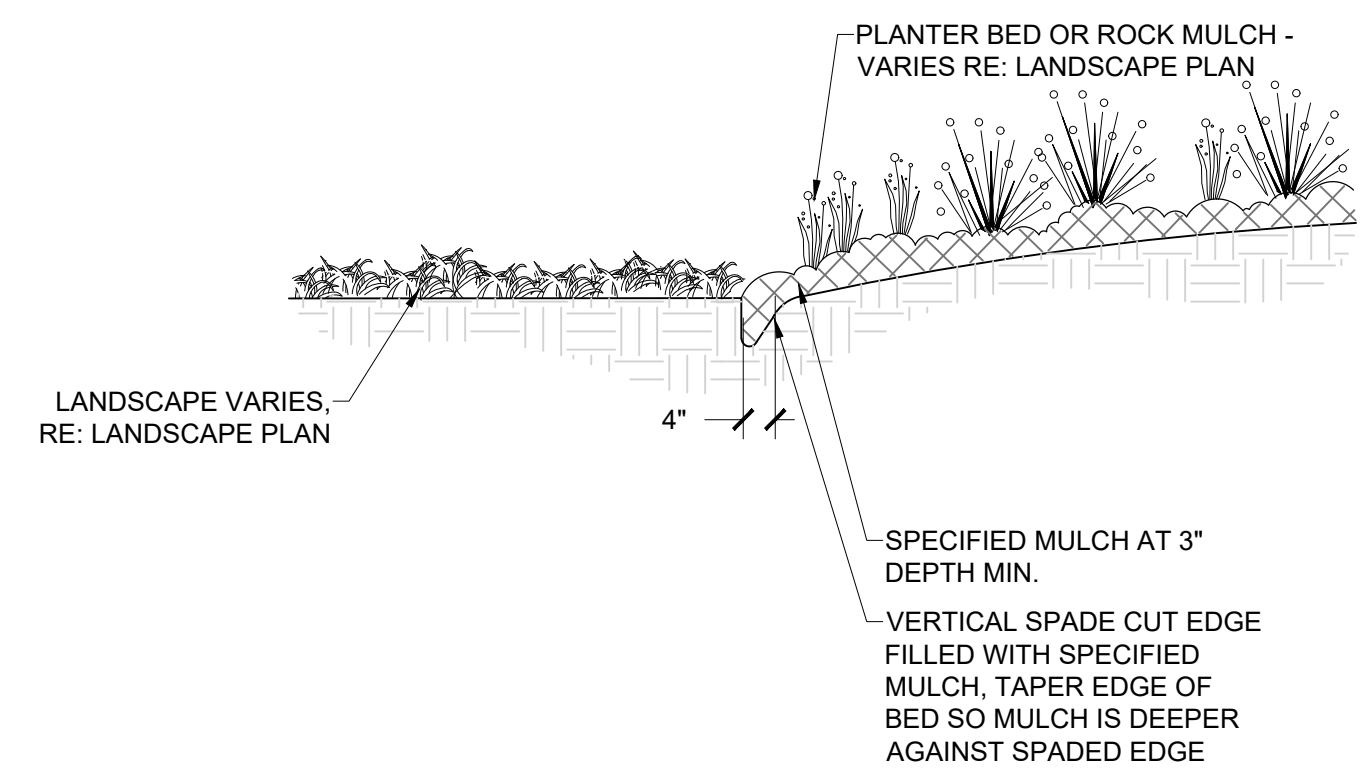
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2 TREE PLANTING

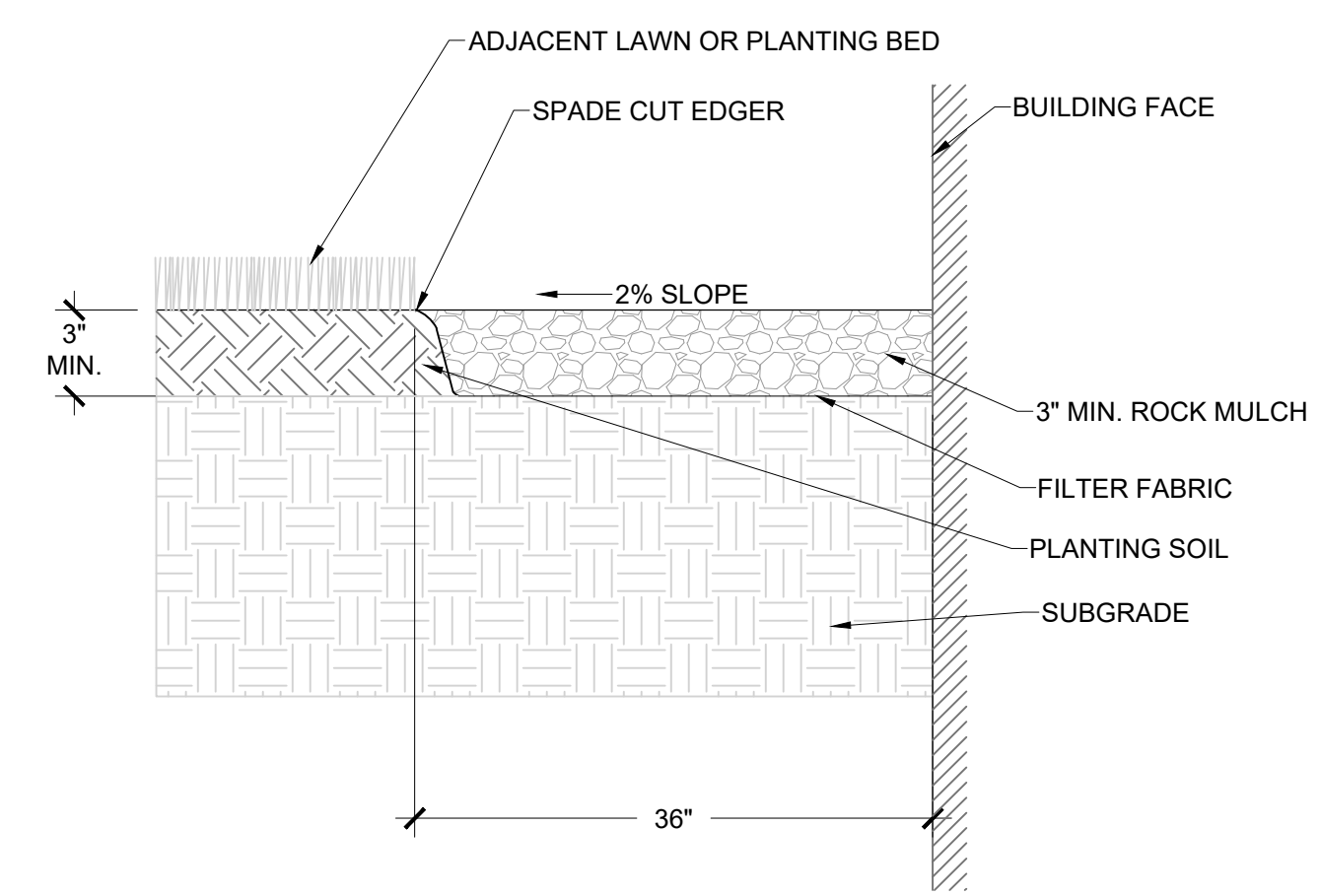
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SCALE: 1/2" = 1'-0"



NTS

3 SHRUB PLANTING

4 SPADE CUT EDGE

5 GRAVEL MAINTENANCE EDGE AT BUILDING AND FENCE

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ENGR	Checked By: CHKD	Date: 05-14-2026	
TECH	Technician: TECH	T-R-S: T7N-R10W-S22	

Project No: 126.0516.300
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4726 E BROADWAY REDEVELOPMENT

LANDSCAPE DETAILS

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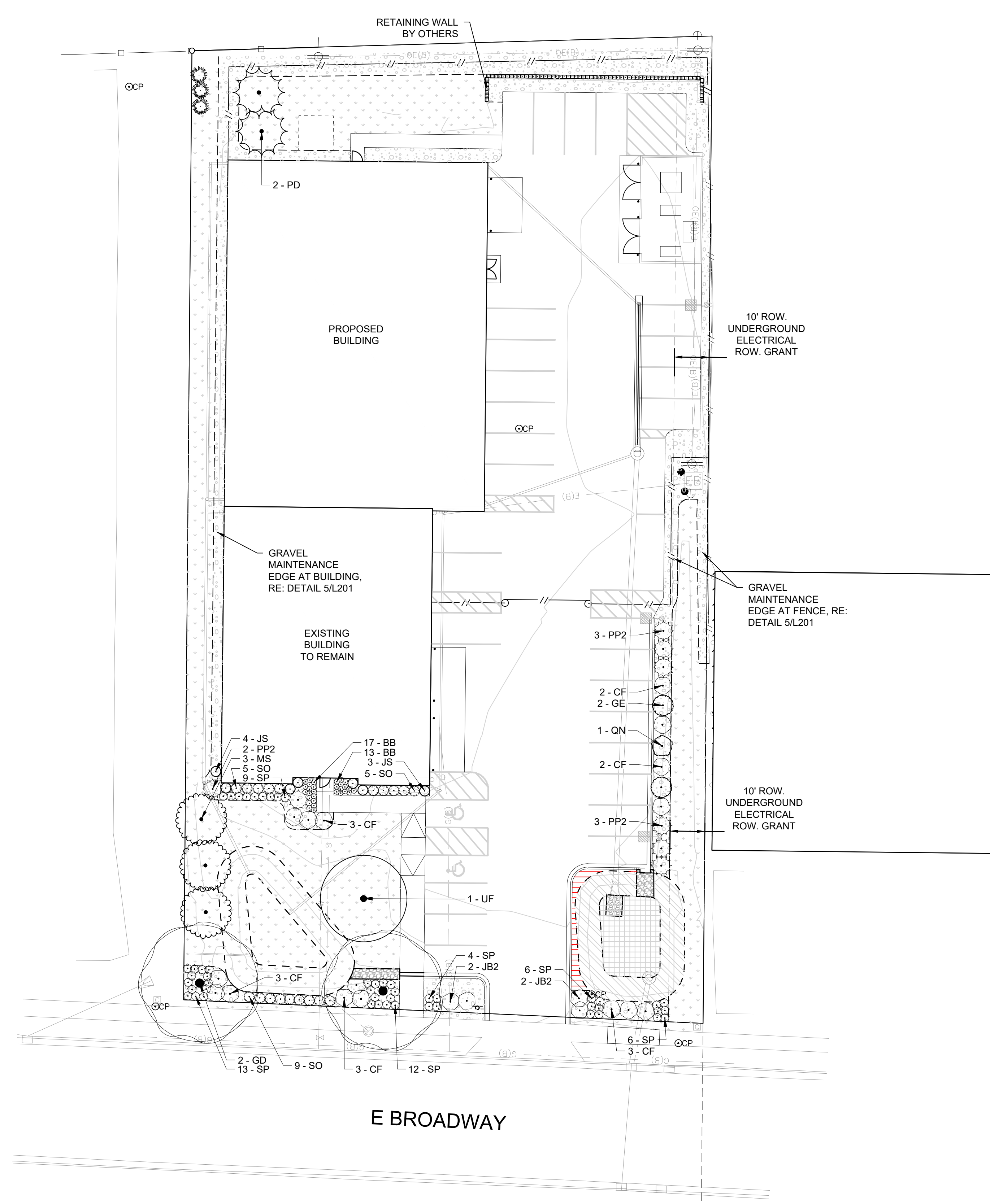


Project No: 126.0516.300

Sheet L101

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PLANT SCHEDULE

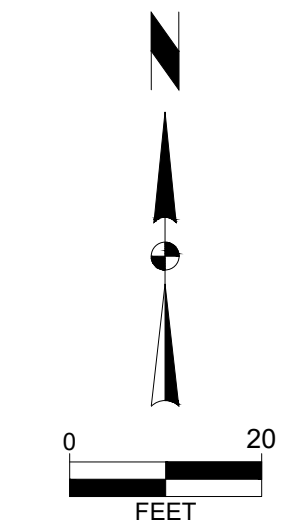
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	POINTS	TOTAL UNITS	
TREES									
	GE	2	Ginkgo biloba 'Blagon'	Goldspire Maidenhair Tree	2.5" Cal.	B&B	35	70	
	GD	2	Gymnocladus dioica 'Espresso'	Kentucky Coffeetree	2.5" Cal.	B&B	35	70	
	QN	1	Quercus robur x bicolor 'Nadler'	Kindred Spirit® Oak	2.5" Cal.	B&B	35	35	
	UF	1	Ulmus carpinifolia x parvifolia 'Frontier'	Frontier Elm	2.5" Cal.	B&B	35	35	
EVERGREEN TREES									
	JS	7	Juniperus scopulorum 'Skyrocket'	Skyrocket Juniper	6' Ht.	B&B	10	70	
	PD	2	Picea glauca 'Densata'	Black Hills White Spruce	6' Ht.	B&B	35	70	
ORNAMENTAL TREES									
	MS	3	Malus x 'Spring Snow'	Spring Snow Crabapple	1.5" Cal.	B&B	15	45	
SHRUBS									
	CF	16	Cornus sericea 'Farrow'™	Arctic Fire Red Twig Dogwood	3 gal.	Pot	3	48	
	JB2	4	Juniperus horizontalis 'Blue Rug'	Blue Rug Juniper	3 gal.	Pot	4	16	
	PP2	8	Pinus mugo 'Pumilio'	Dwarf Mugo Pine	3 gal.	Pot	4	32	
	SO	19	Syringa x 'SMNJRPI'™	Bloomerang Dwarf Pink Lilac	3 gal.	Pot	3	57	
GRASSES									
	BB	30	Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama	1 gal.	Pot	2	60	
	SP	50	Sporobolus heterolepis	Prairie Dropseed	1 gal.	Pot	2	100	
GROUND COVERS									
	NN	647 sf	Native Seed Mix	See Construction Notes for Type	Seed				
	RM	4,523 sf	Rock Mulch Type 1	See Construction Notes for Type	Rock				
	RM2	86 sf	Rock Mulch Type 2	See Construction Notes for Type	Rock				
	TB2	7,370 sf	Turf Sod	See Construction Notes for Type	Sod				
BIORETENTION PLUGS									
	BP	403	Bioretention Plugs	See Civil for Type	4"	Plug			
								3 EXISTING TREES TO REMAIN	30
									738

LANDSCAPE LEGEND

- SPADE CUT EDGER, RE: DETAIL 4/L-101
- RELOCATED TREE, SEE CIVIL FOR TREES TO BE REMOVED AND RELOCATED

LANDSCAPE CONSTRUCTION NOTES

1. NATIVE SEED SHALL BE LAND RESTORATION SEED MIX FOR MEDIUM SOILS PROVIDED BY PRAIRIE NURSERY (prairienursery.com) OR APPROVED EQUAL. HYDROMULCHING AND HYDROSEEDING NOT PERMITTED.
2. ROCK MULCH TYPE 1 SHALL BE INSTALLED AT A 3" DEPTH OVER GEOTEXTILE WEED CONTROL FABRIC. MULCH BEDS SHALL HAVE A SPADE CUT EDGER WHEN PERIMETER IS NOT CONCRETE CURB, BUILDING OR HARDSCAPE SURFACE. NO WEED FABRIC AT GROUND COVER OR PERENNIAL PLANTS. ROCK MULCH SHALL BE RIVER ROCK 1 1/2" FROM CIRCLE B LANDSCAPE SUPPLY(circlebonline.com)
3. ROCK MULCH TYPE 2 SHALL BE INSTALLED AT A 3" DEPTH OVER GEOTEXTILE WEED CONTROL FABRIC. MULCH BEDS SHALL HAVE A SPADE CUT EDGER WHEN PERIMETER IS NOT CONCRETE CURB, BUILDING OR HARDSCAPE SURFACE. NO WEED FABRIC AT GROUND COVER OR PERENNIAL PLANTS. ROCK MULCH SHALL BE POND MIX 5"-8" FROM CIRCLE B LANDSCAPE SUPPLY(circlebonline.com)
4. TURF SOD SHALL BE BLUEGRASS SOD FROM NORTHERN SOD FARM (northern sod farms.net)



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LANDSCAPE PLAN

MADISON, WISCONSIN

SNYDER & ASSOCIATES, INC. I

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

SNYDER & ASSOCIATES

Project No: 126.0516.300

Sheet L200



CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address 4726 E Broadway Madison, Wisconsin 53718
 Name of Project 4726 E Broadway Redevelopment
 Owner / Contact Darren Simler
 Contact Phone 608-287-9025 Contact Email darren.simler@badgerred.com

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. ****

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area _____

Total landscape points required _____

- (b) **For lots larger than five (5) acres**, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area _____

Five (5) acres = 217,800 square feet

First five (5) developed acres = 3,630 points

Remainder of developed area _____

Total landscape points required _____

- (c) **For the Industrial – Limited (IL) and Industrial – General (IG) districts**, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area 25,960

Total landscape points required 260

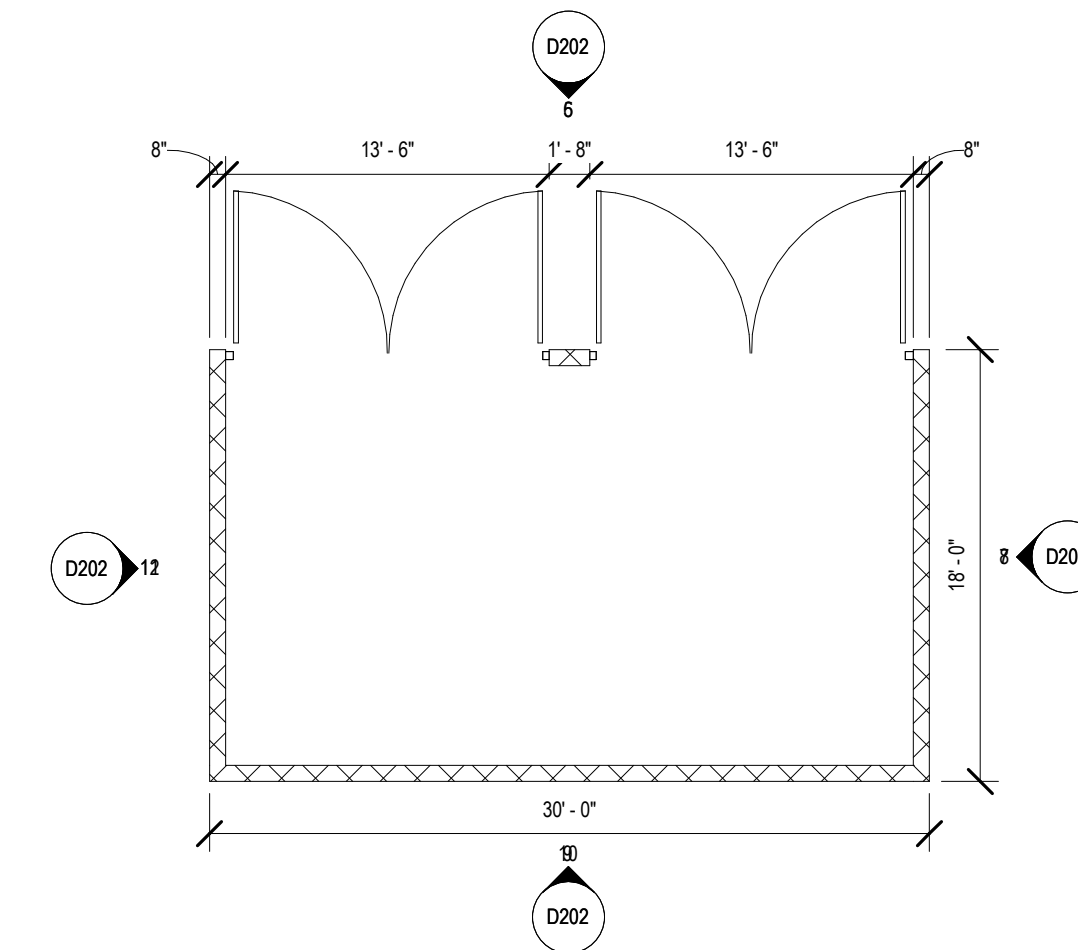
Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35			6	210
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35			2	70
Ornamental tree	1 1/2 inch caliper	15			3	45
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10	3	30	7	70
Shrub, deciduous	#3 gallon container size, Min. 12”-24”	3			35	105
Shrub, evergreen	#3 gallon container size, Min. 12”-24”	4			12	48
Ornamental grasses/ perennials	#1 gallon container size, Min. 8”-18”	2			80	160
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per “seat”				
Sub Totals				30		708

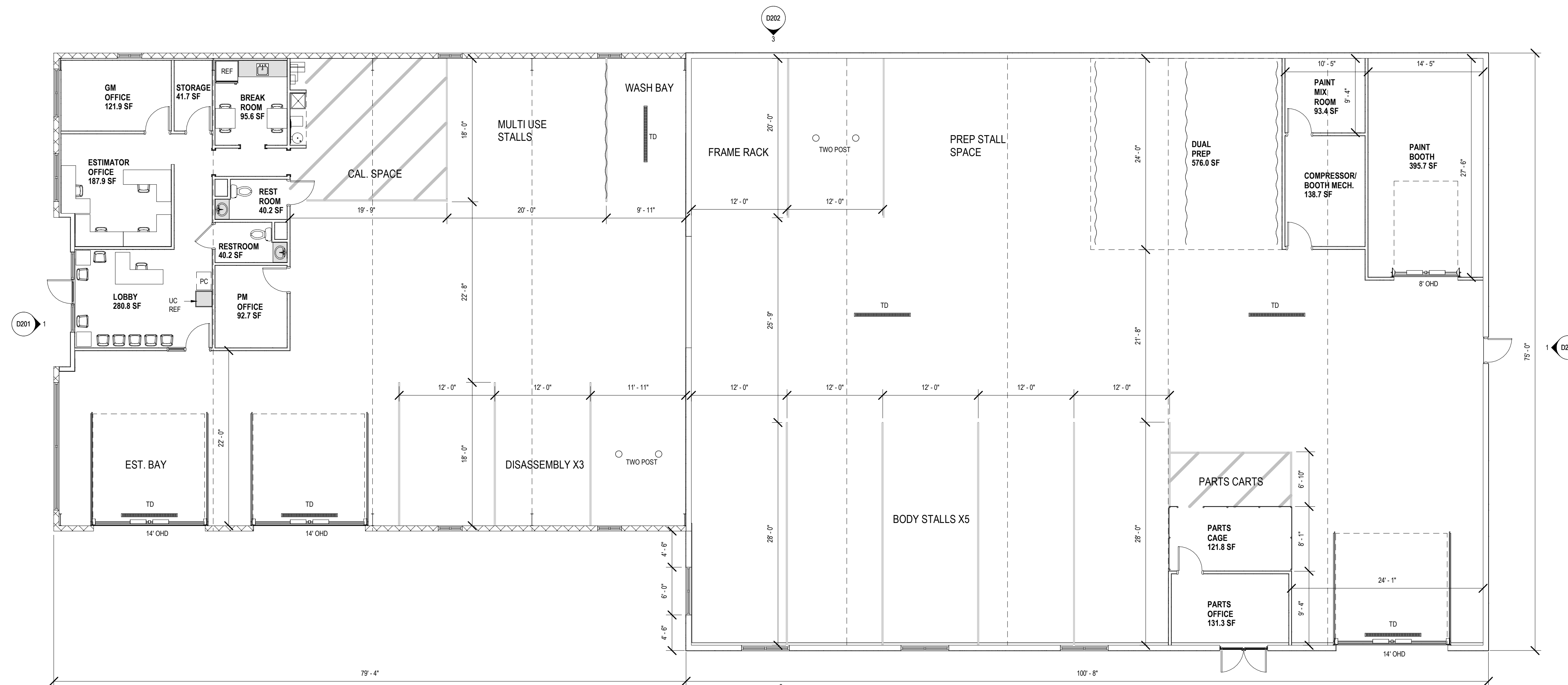
Total Number of Points Provided 738

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.



2 TRASH ENCLOSURE PLAN

SCALE: 1/8" = 1'-0"



1 SHOP FLOOR PLAN

SCALE: 1/8" = 1'-0"

ONE COLLISION
4726 EAST BROADWAY
MADISON, WISCONSIN

No.	Description	Date
1	UDC APPLICATION	5-18-26

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Sheet Name
ONE COLLISION FLOOR PLANS

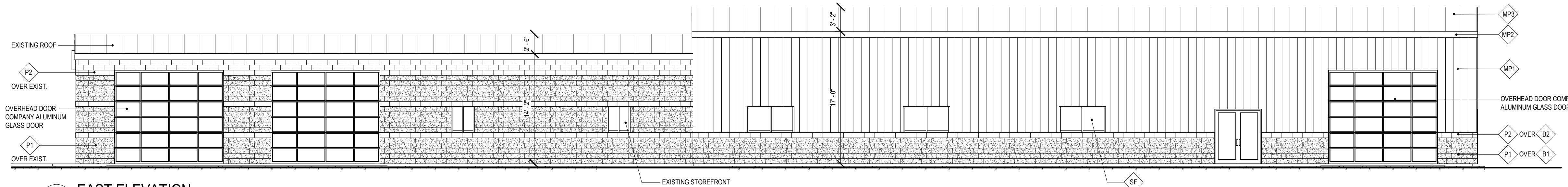
Drawn by: J Donahue

Scale: 1/8" = 1'-0"

Sheet Number

A111





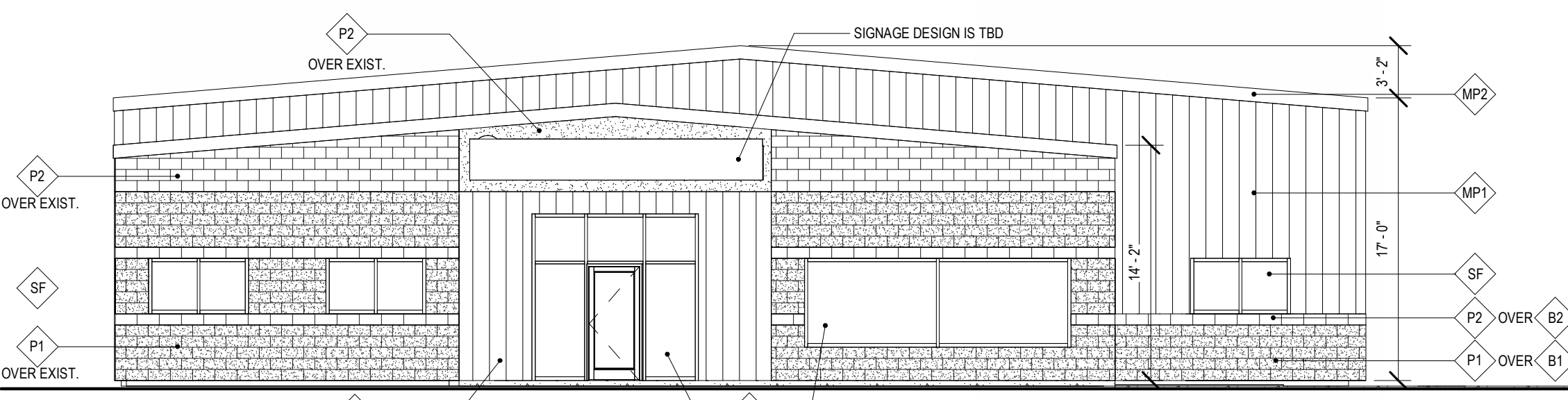
4 EAST ELEVATION

SCALE: 1/8" = 1'-0"



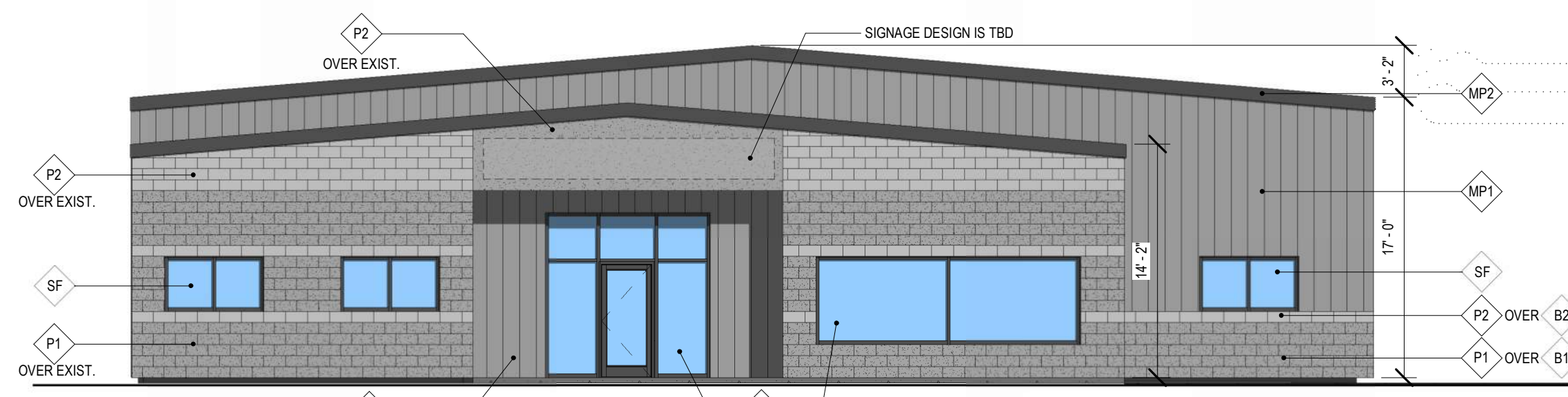
3 EAST ELEVATION - COLOR

SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION - COLOR

SCALE: 1/8" = 1'-0"

MATERIALS LEGEND		
TAG	MATERIAL	COLOR
MP1	NUCOR BUILDINGS GROUP R-PANEL METAL WALL PANEL SYSTEM	REGAL GRAY
MP2	NUCOR BUILDINGS GROUP METAL TRIM	CHARCOAL GRAY
MP3	NUCOR BUILDINGS GROUP CFR STANDING SEAM ROOF SYSTEM	ARCTIC WHITE
P1	BEHR ELASTOMERIC MASONRY, STUCCO AND BRICK EXTERIOR PAINT	CHARCOAL GRAY
P2	BEHR ELASTOMERIC MASONRY, STUCCO AND BRICK EXTERIOR PAINT	COBBLESTONE GRAY
B1	CMC SPLITFACE CONCRETE MASONRY UNITS	NATURAL (TB PAINTED P1)
B2	HORIZON SMOOTHFACE BLOCK	NATURAL (TB PAINTED P2)
SF	KAWNEER 451451T ALUMINUM STOREFRONT FRAMING SYSTEM	BLACK ANODIZED

ONE COLLISION
4726 EAST BROADWAY
MADISON, WISCONSIN

No.	Description	Date
1	UDC APPLICATION	5-18-26

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Sheet Name
ONE COLLISION ELEVATIONS

Drawn by: Author

Scale: 1/8" = 1'-0"

Sheet Number

D201

ONE COLLISION
4726 EAST BROADWAY
MADISON, WISCONSIN

No.	Description	Date
1	UDC APPLICATION	5-18-26

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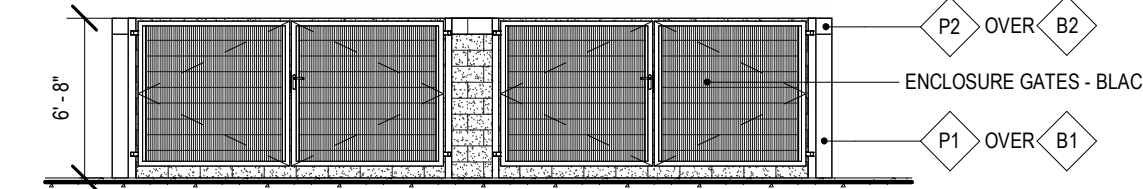
Sheet Name
ONE COLLISION ELEVATIONS

Drawn by: Author

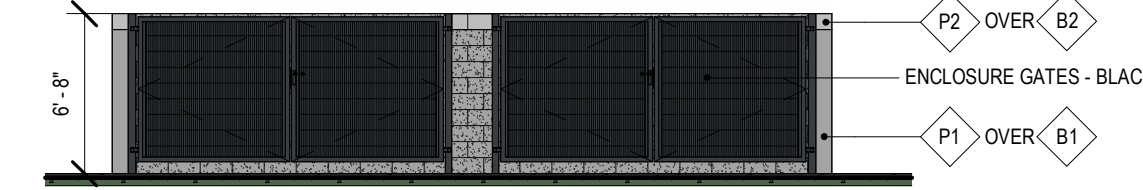
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Sheet Number

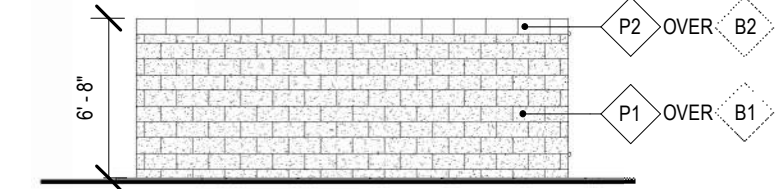
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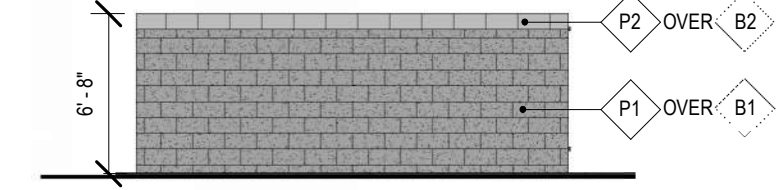
6 TRASH ENCLOSURE - WEST ELEVATION
 SCALE: 1/8" = 1'-0"



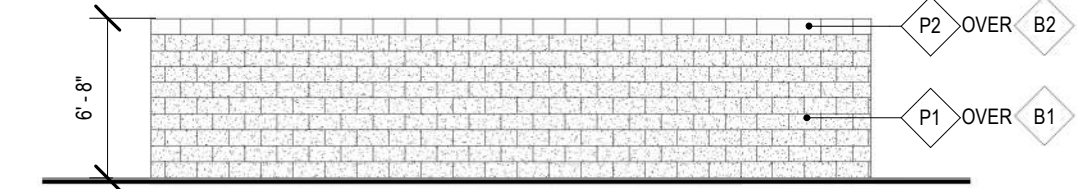
5 TRASH ENCLOSURE - WEST ELEVATION - COLOR
 SCALE: 1/8" = 1'-0"



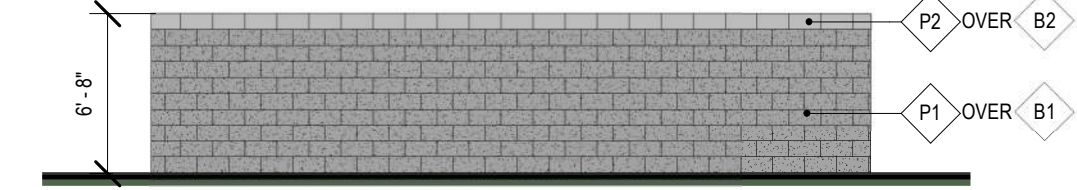
8 TRASH ENCLOSURE - NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



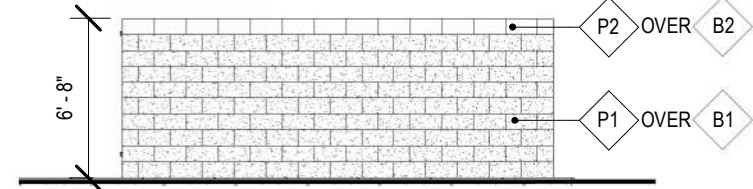
7 TRASH ENCLOSURE - NORTH ELEVATION - COLOR
 SCALE: 1/8" = 1'-0"



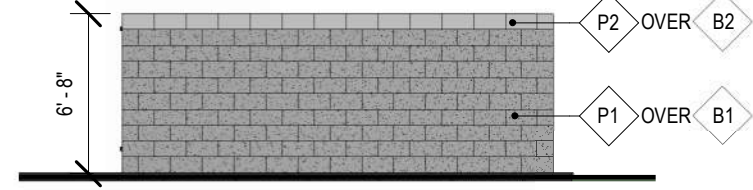
10 TRASH ENCLOSURE - EAST ELEVATION
 SCALE: 1/8" = 1'-0"



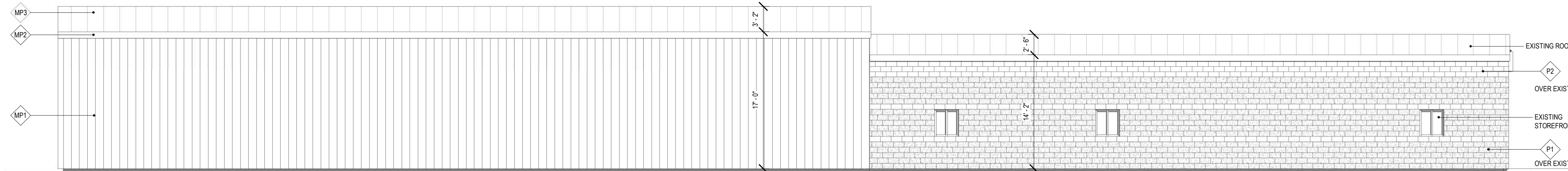
9 TRASH ENCLOSURE - EAST ELEVATION - COLOR
 SCALE: 1/8" = 1'-0"



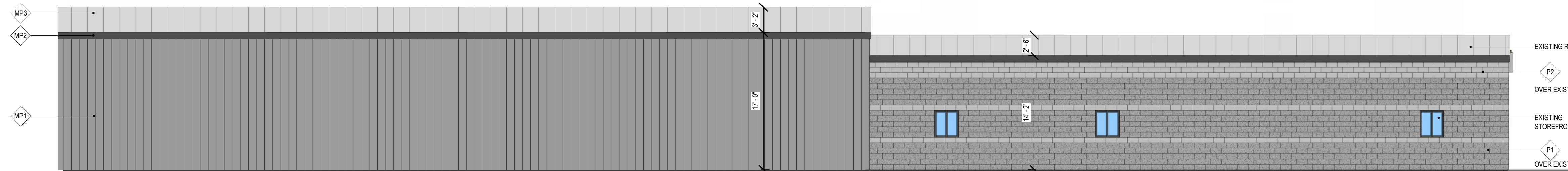
12 TRASH ENCLOSURE - SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



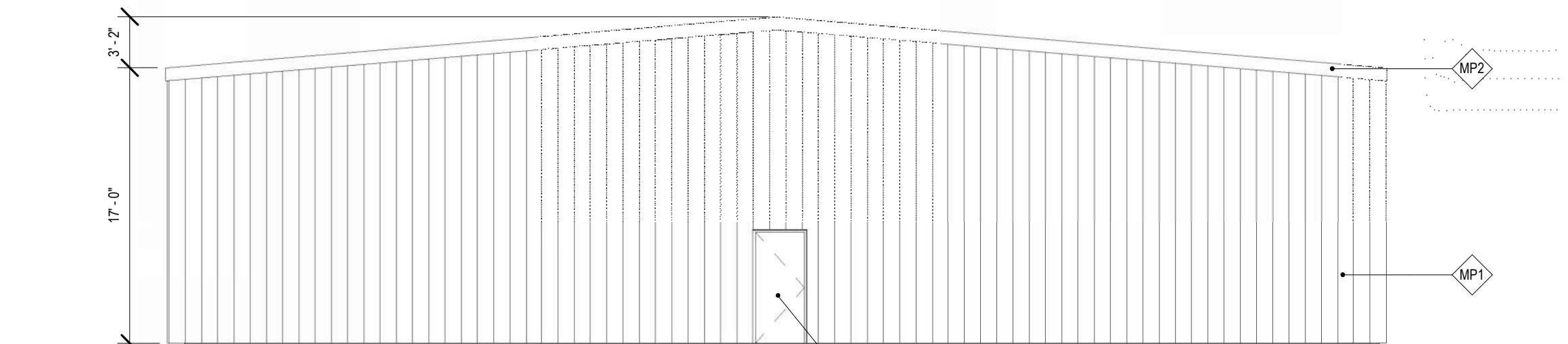
11 TRASH ENCLOSURE - SOUTH ELEVATION - COLOR
 SCALE: 1/8" = 1'-0"



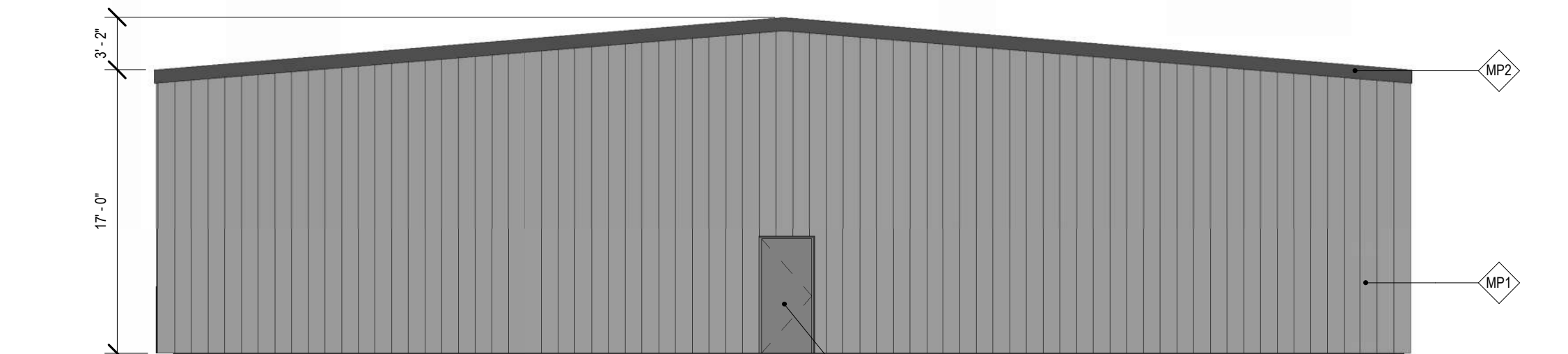
4 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



3 WEST ELEVATION - COLOR
 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

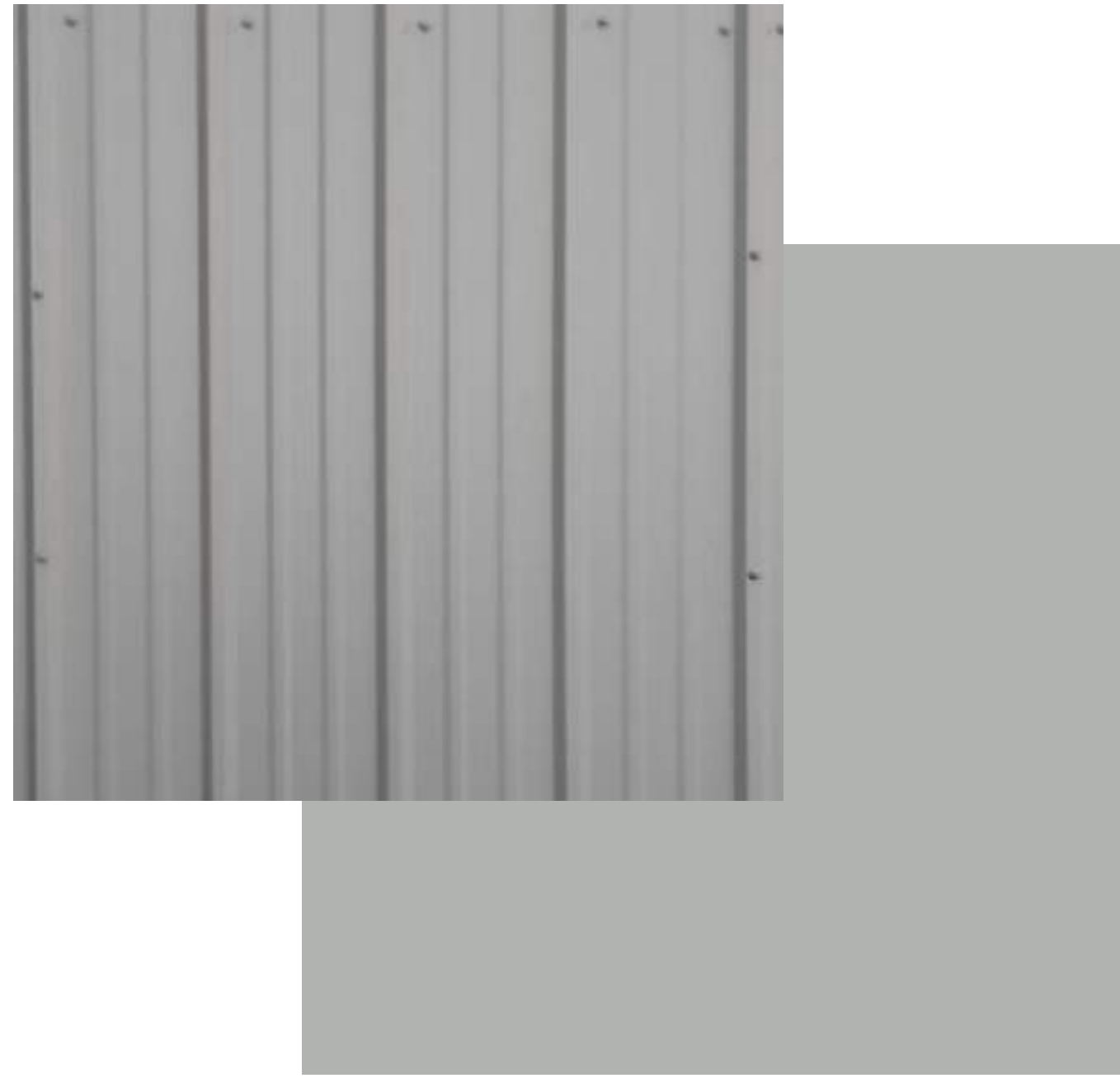


1 NORTH ELEVATION - COLOR
 SCALE: 1/8" = 1'-0"

MATERIALS LEGEND		
TAG	MATERIAL	COLOR
MP1	NUCOR BUILDINGS GROUP R-PANEL METAL WALL PANEL SYSTEM	REGAL GRAY
MP2	NUCOR BUILDINGS GROUP METAL TRIM	CHARCOAL GRAY
MP3	NUCOR BUILDINGS GROUP CFR STANDING SEAM ROOF SYSTEM	ARCTIC WHITE
P1	BEHR ELASTOMERIC MASONRY, STUCCO AND BRICK EXTERIOR PAINT	CHARCOAL GRAY
P2	BEHR ELASTOMERIC MASONRY, STUCCO AND BRICK EXTERIOR PAINT	COBBLESTONE GRAY
B1	CMC SPLITFACE CONCRETE MASONRY UNITS	NATURAL (TB PAINTED P1)
B2	HORIZON SMOOTHFACE BLOCK	NATURAL (TB PAINTED P2)
SF	KAWNEER 451/451T ALUMINUM STOREFRONT FRAMING SYSTEM	BLACK ANODIZED

MP1

Nucor R-Panel Metal Wall Panel System - Regal Gray



(Nucor's "Regal Gray" Color Chip)

MP2

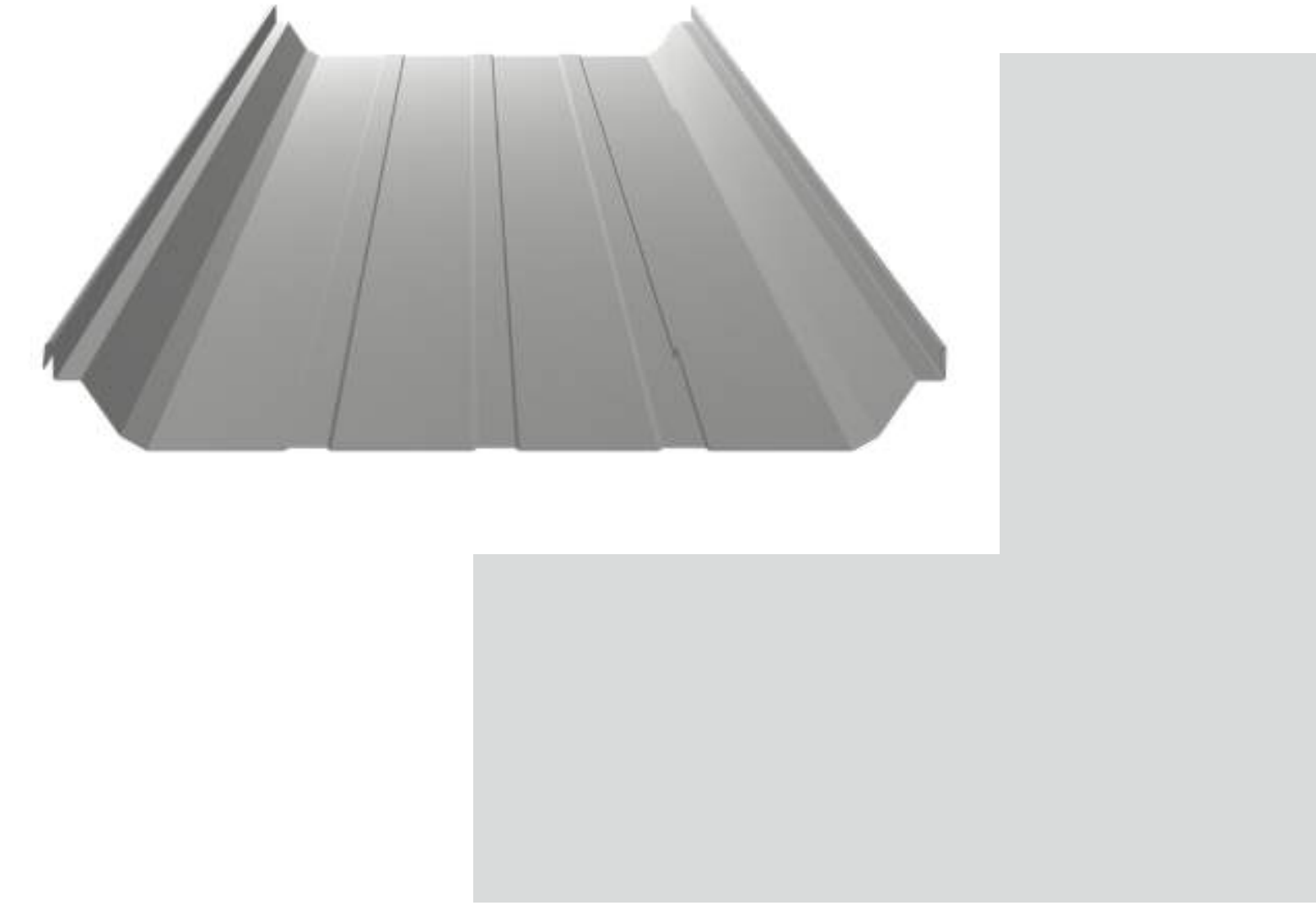
Nucor Buildings Group Metal Trim - Charcoal Gray



(Nucor's "Charcoal Gray" Color Chip)

MP3

Nucor Buildings Group CFR Standing Seam Roof System - Arctic White



(Nucor's "Arctic White" Color Chip)

B1

CMC Splitface Concrete Masonry Units - Natural (to be painted)



P1

BEHR Elastomeric Masonry, Stucco and Brick Exterior Paint - Charcoal Gray

B2

Horizon Smoothface Block-Natural (to be painted)



P2

BEHR Elastomeric Masonry, Stucco and Brick Exterior Paint - Cobblestone Gray

SF

Kawneer 451/451T Aluminum Storefront Framing System - Black Anodized



(Kawneer's "Black" Color Chip)

Design and Drafting By:



JD Design 608 520 8289
202 W. Main St, #2 Jack.JDdesign
Mt. Horeb, WI 53572 @gmail.com

THESE DRAWINGS ARE FOR BIDDING AND CONSTRUCTION PURPOSES ONLY. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE WORK PERFORMED AND THE ACCURACY AND PERFORMANCE THEREIN

Contractor:

ONE COLLISION
4726 EAST BROADWAY
MADISON, WISCONSIN

No.	Description	Date
1	UDC APPLICATION	5-18-26
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Sheet Name
BUILDING MATERIALS

Drawn by: Author

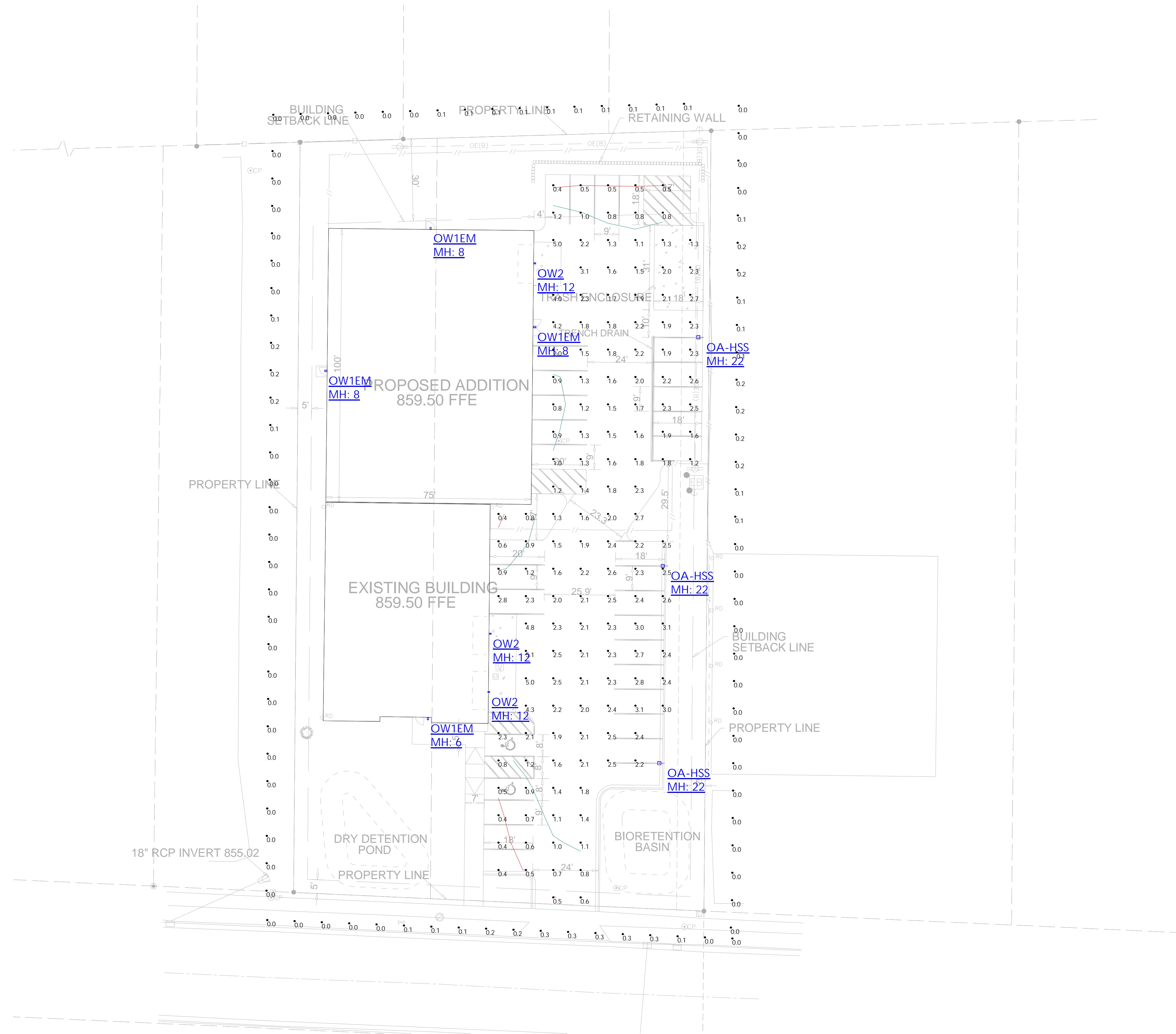
Scale:

Sheet Number

D901

Proposed Gate and Fence Images





Luminaire Schedule						
Symbol	Qty	Label	Manufacturer	Description	Arrangement	LLF
□	3	OA-HSS	LUMARK	PRV-C25-D-UNV-T4-BZ-HSS	Single	0.900
□	4	OW1EM	SLG	WME L14 G2 FSK	Single	0.900
□	3	OW2	LEDVANCE	WALPAKCP5040UNHD8SC2ADJBZP, T3	Single	0.900

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
10' PAST PROPERTY LINE EAST	Illuminance	Fc	0.06	0.2	0.0	N.A.
10' PAST PROPERTY LINE NORTH	Illuminance	Fc	0.06	0.1	0.0	N.A.
10' PAST PROPERTY LINE SOUTH	Illuminance	Fc	0.13	0.3	0.0	N.A.
10' PAST PROPERTY LINE WEST	Illuminance	Fc	0.03	0.2	0.0	N.A.
PARKING AREA	Illuminance	Fc	1.85	5.1	0.4	4.63

Comments

Date

#

Revisions

Drawn By: MB

Project #: 176416

Date: 5/5/2026

Scale: 1" = 20'-0"

PHOTOMETRIC SITE PLAN
ONE COLLISION
MADISON, WI

1. STANDARD REFLECTANCE OF 80/50/20 UNLESS NOTED OTHERWISE.
 2. NOT A CONSTRUCTION DOCUMENT- FOR DESIGN PURPOSES ONLY.
 3. STANDARD INDOOR CALC POINTS @ 30" AFF UNLESS NOTED OTHERWISE.
 4. STANDARD OUTDOOR CALC POINTS @ GRADE UNLESS NOTED OTHERWISE.
 5. EGRESS CALC POINTS @ 0'-0" AFF.
 6. PHOTOMETRICS ARE ESTIMATED LIGHTING CALCULATIONS.
 7. VIKING ELECTRIC ASSUMES NO RESPONSIBILITY FOR INSTALLED LIGHT LEVELS DUE TO FIELD CONDITIONS.
 8. VIKING ELECTRIC NOT RESPONSIBLE FOR FINAL REVIEW OF CODE REQUIREMENTS.

Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumark

Prevail LED

Area / Site Luminaire

Product Features



Interactive Menu

- Ordering Information page 2
- Mounting Details page 3, 4
- Optical Configurations page 5
- Product Specifications page 5
- Energy and Performance Data page 6, 7
- Control Options page 8

Product Certifications



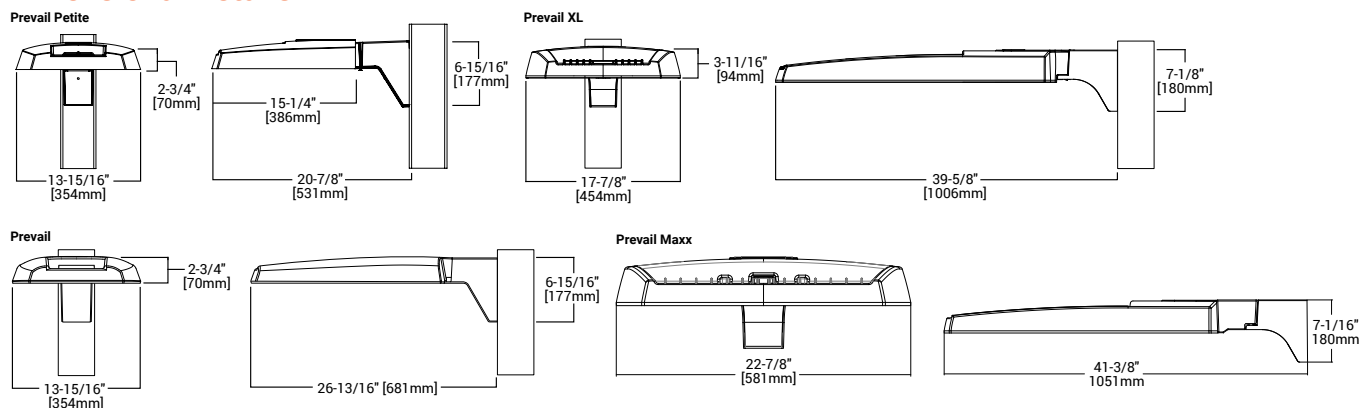
Quick Facts

- Lumen packages range from 4,800 - 84,000 lumens (35W - 588W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 160 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

Connected Systems

- WaveLinx PRO Wireless
- WaveLinx LITE Wireless

Dimensional Details



NOTES:
 1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.
 2. IDA Certified for 3000K CCT and warmer only.

Ordering Information

SAMPLE NUMBER: PRV-XL-C75-740-D-UNV-T4-SA-BZ

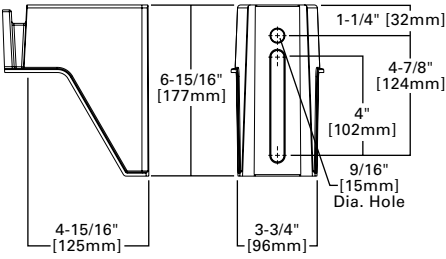
Product Family ^{1,2}	Light Engine ⁴	Color Temperature	Driver	Voltage	Distribution	Mounting	Color
PRV-P=Prevail Petite BAA-PRV-P=Prevail Petite BAA Compliant ³ TAA-PRV-P=Prevail Petite TAA Compliant ³ BABA-PRV-P=Prevail Petite BABA Build America Buy America Act Compliant ³⁰	C10=(1 LED) 4,900 Nominal Lumens C15=(1 LED) 6,900 Nominal Lumens C20=(1 LED) 9,800 Nominal Lumens C25=(1 LED) 11,800 Nominal Lumens	740=70CRI, 4000K 727=70CRI, 2700K 730=70CRI, 3000K 750=70CRI, 5000K 8540=85CRI, 4000K	D=Dimming (0-10V)	UNV=Universal (120-277V) H=High Voltage, 347-480V 8=480V ⁵ 9=347V DV=DuraVolt (277-480V) ^{5,6}	T2=Type II T3=Type III T4=Type IV T5=Type V	SA=QM Standard Versatile Arm MA=QM Mast Arm FMA= Fixed Mast Arm ²⁶ WM=QM Wall Mount Arm ADJA-WM=Adjustable Arm-Wall Mount ²⁸ ADJA=Adjustable Arm-Pole Mount ²⁸ ADJS=Adjustable Arm-Slipfitter, 3" vertical tenon ²⁸ SP2=Adjustable Arm-Slipfitter, 2 3/8" vertical tenon ^{26,28}	BZ=Bronze AP=Grey BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White
PRV=Prevail BAA-PRV=Prevail BAA Compliant ³ TAA-PRV=Prevail TAA Compliant ³ BABA-PRV=Prevail BABA Build America Buy America Act Compliant ³⁰	C15=(1 LED) 7,100 Nominal Lumens C25=(2 LEDs) 13,100 Nominal Lumens C40=(2 LEDs) 17,100 Nominal Lumens C60=(2 LEDs) 20,000 Nominal Lumens						
PRV-XL=Prevail XL BAA-PRV-XL=Prevail XL BAA Compliant ³ TAA-PRV-XL=Prevail XL TAA Compliant ³ BABA-PRV-XL=Prevail XL BABA Build America Buy America Act Compliant ³⁰	C75=(4 LED) 26,100 Nominal Lumens C100=(4 LED) 31,000 Nominal Lumens C125=(4 LED) 36,000 Nominal Lumens C150=(6 LED) 41,100 Nominal Lumens C175=(6 LED) 48,600 Nominal Lumens						
PRV-M=Prevail Maxx BAA-PRV-M=Prevail Maxx BAA Compliant³ TAA-PRV-M=Prevail MaxxTAA Compliant ³ BABA-PRV-M=Prevail Maxx BABA Build America Buy America Act Compliant ³⁰	C200=(9 LED) 48,000 Nominal Lumens C225=(9 LED) 56,000 Nominal Lumens C250=(9 LED) 65,000 Nominal Lumens C275=(9 LED) 73,000 Nominal Lumens						
Options (Add as Suffix)			Accessories (Order Separately) ^{20,21}				
CC=Coastal Construction finish ⁹ HSS=House Side Shield ⁷ L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right 10K=10kV/10kA UL 1449 Fused Surge Protective Device 20MSP=20kV MOV Surge Protective Device 20K=20kV UL 1449 Fused Surge Protective Device HA=50°C High Ambient Temperature ⁸ PR=NEMA 3-PIN Twistlock Photocontrol Receptacle ¹⁰ PR7=NEMA 7-PIN Twistlock Photocontrol Receptacle ¹⁰ FADC=Field Adjustable Dimming Controller ²⁹ MS/DIM-L08=Dimming Motion and Daylight Sensor, IR Remote Programmable, < 8' Mounting Height ^{11,12} MS/DIM-L20=Dimming Motion and Daylight Sensor, IR Remote Programmable, 8' - 20' Mounting Height ^{11,12} MS/DIM-L40=Dimming Motion and Daylight Sensor, IR Remote Programmable, 21' - 40' Mounting ^{11,12}	SPB1=Dimming Motion and Daylight Sensor, Bluetooth Programmable, < 8' Mounting Height ^{11,13} SPB2=Dimming Motion and Daylight Sensor, Bluetooth Programmable, 8' - 20' Mounting Height ^{11,13} SPB4=Dimming Motion and Daylight Sensor, Bluetooth Programmable, 21' - 40' Mounting Height ^{11,13,26,27} WPS2XX=WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{11,14,15,16} WPS4XX=WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{11,14,15,16} WLS2XX=WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting ^{11,14,15,16} WLS4XX=WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting ^{11,14,15,16}	PRVSA-XX=Standard Arm Mounting Kit ²¹ PRVMA-XX=Mast Arm Mounting Kit ²¹ PRVWM-XX=Wall Mount Kit ²¹ PRV-ADJA-XX=Adjustable Arm - Pole Mount Kit ²¹ PRV-ADJS-XX=Adjustable Arm - Slipfitter Kit ²¹ PRV-ADJA-WM-XX=Adjustable Arm - Wall Mount Kit ²¹ PRVXLSA-XX=Standard Arm Mounting Kit ²⁷ PRVXLMA-XX=Mast Arm Mounting Kit ²⁷ PRVXLWM-XX=Wall Mount Kit ²⁷ PRV-XL-ADJA-XX=Adjustable Arm - Pole Mount Kit ²⁷ PRV-XL-ADJS-XX=Adjustable Arm - Slipfitter Kit ²⁷ PRV-XL-ADJA-WM-XX=Adjustable Arm - Wall Mount Kit ²⁷ PRV-M-ADJA-XX=Adjustable Arm - Pole Mount Kit ²⁶ PRV-M-ADJS-XX=Adjustable Arm - Slipfitter Kit ²⁶ PRV-M-ADJA-WM-XX=Adjustable Arm - Wall Mount Kit ²⁶ MA1010-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon	MA1011-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1017-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1018-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon SRA238=Tenon Adapter from 3" to 2-3/8" PRV/COB-FDV=Full Drop Visor ²² PRVXL/COB-FDV=Full Drop Visor ¹⁷ HS/VERD=House Side Shield Kit ^{7,23} VGS-F/B= Vertical Glare Shield Kit, Front/Back ²³ VGS-SIDE=Vertical Glare Shield Kit, Side ²³ OA/RA1013=Photocontrol Shorting Cap OA/RA1014=NEMA Photocontrol - 120V OA/RA1016=NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201=NEMA Photocontrol - 347V OA/RA1027=NEMA Photocontrol - 480V FSIR-100=Wireless Configuration Tool for Occupancy Sensor ²⁴ WOLC-7P-10A=WaveLinX Outdoor Control Module (7-PIN) ²⁵				
NOTES: 1. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. 2. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to installation instructions IB50002EN and pole white paper WP513001EN for additional support information. 3. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements. 4. Standard 4000K CCT and 70CRI. 5. 480V not to be used with ungrounded or impedance grounded systems. 6. DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit www.signify.com/duravolt for more information. 7. House Side Shield not suitable with T5 distribution. Not available with PRV-C60 lumen package. 8. Not available with PRV-C60 lumen package. Not available with PRV-P-C25 lumen package. 9. Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654. 10. If DuraVolt (DV) is specified, use a photocontrol that matches the input voltage used. 11. Controls system is not available in combination with a photocontrol receptacle (PR & PER7) or another controls system (MS or SPB). Option not available with DuraVolt (DV) voltage option. 12. Utilizes the Wattstopper sensor FSP-211. Sensor color white unless specified otherwise via PDR. To field-configure, order FSIR-100 accessory separately. 13. Utilizes the Wattstopper sensor FSP-3XX series. Sensor color determined by product finish. See Sensor Color Reference Table. Field-configures via mobile application. See Controls section for details. 14. Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F). 15. For the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinX system and software and requires system components to be installed for operation. See website for more WaveLinX application information. 16. Replace XX with sensor color (WH, BZ, or BK). 17. Only available in PRV-XL configurations C75, C100, C125, C150, or C175. 18. Not available with 347V, 480V, DV, or HA options. 19. Replace XX with paint color. 20. For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information. 21. Not for use with PRV-XL or PRV-M configurations. 22. Only for use with PRV. Not applicable to PRV-M, PRV-XL, or PRV-P. 23. Must order one per optic/LED when ordering as a field-installable accessory (1, 2, 4, 6 or 9). 24. This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information. 25. Requires 7-PIN NEMA twistlock photocontrol receptacle (PR & PER7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS or LWR). Operates on 120-347V input voltages. 26. Only for use with PRV-M configurations. 27. Only for use with PRV-XL configurations. 28. Fixed for PRV-M. 29. Cannot be used with PR7 or other motion response control options 30. Only product configurations with these prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or the Build America Buy America Act (BABA). BABA is the minimum Government compliance requirement for the Build America Buy America standards which is part of the Infrastructure and Investment Jobs Act (IIJA). Individual Government Agencies may have more stringent compliance standards. Please refer to the DOMESTIC PREFERENCES website or consult the CLS Domestic Preferences team for more information. Components shipped separately may be separately analyzed under domestic preference requirements.							

Stock Ordering Information

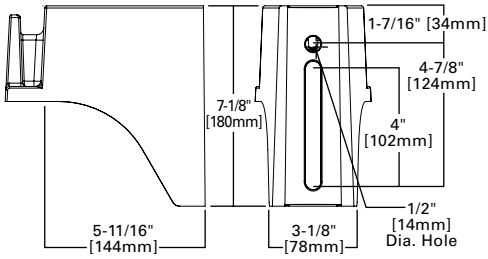
Product Family ¹	Light Engine	Voltage	Distribution
PRVS=Prevail	C15=(1 LED) 7,100 Nominal Lumens C25=(2 LEDs) 13,100 Nominal Lumens C40=(2 LEDs) 17,100 Nominal Lumens C60=(2 LEDs) 20,000 Nominal Lumens	UNV=Universal (120-277V) 347=347V ²	T3=Type III T4=Type IV
PRVS-XL=Prevail XL	C75=(4 LED) 26,100 Nominal Lumens C100=(4 LED) 31,000 Nominal Lumens C125=(4 LED) 36,000 Nominal Lumens C150=(6 LED) 41,100 Nominal Lumens C175=(6 LED) 48,600 Nominal Lumens		
NOTES: 1. All stock configurations are standard 4000K/70CRI, bronze finish, and include the standard versatile mounting arm. 2. Only available in PRVS configurations C15, C25, C40 or C60.			

Mounting Details

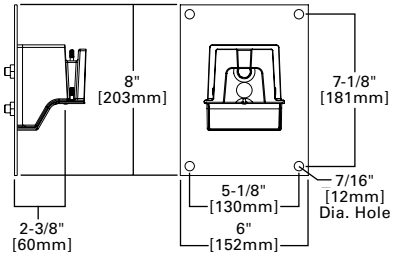
SA=QM Pole Mount Arm (PRV & PRV-P)



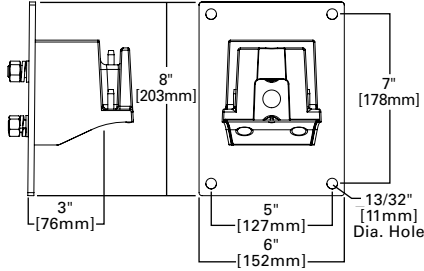
SA=QM Pole Mount Arm (PRV-XL)



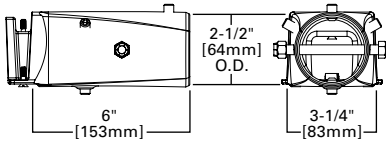
WM=QM Wall Mount Arm (PRV & PRV-P)



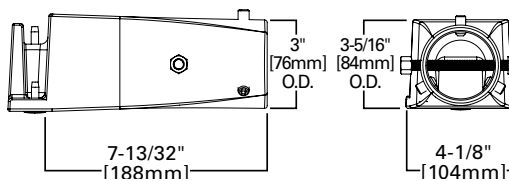
WM=QM Wall Mount Arm (PRV-XL)



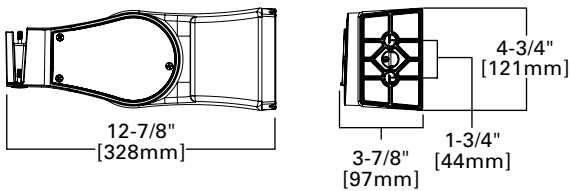
MA=QM Mast Arm (PRV & PRV-P)



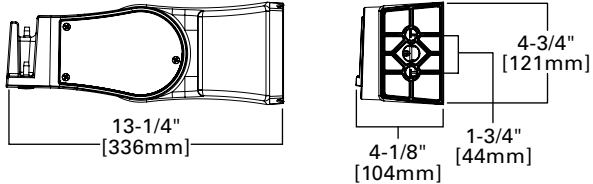
MA=QM Mast Arm (PRV-XL)



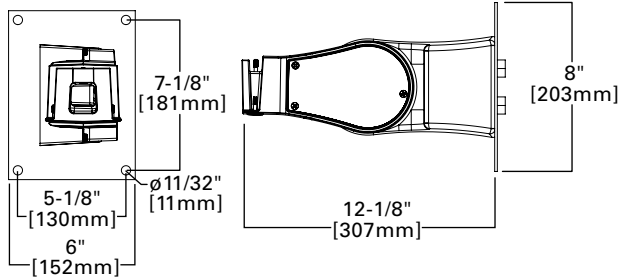
ADJA=Adjustable Arm Pole Mount (PRV & PRV-P)



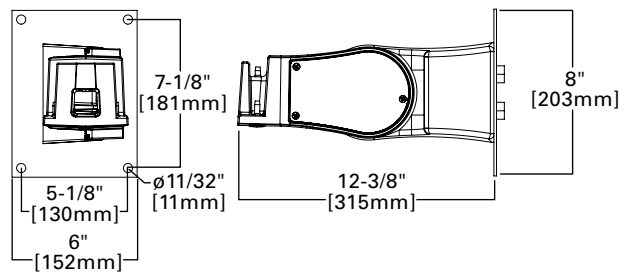
ADJA=Adjustable Arm Pole Mount (PRV-XL)



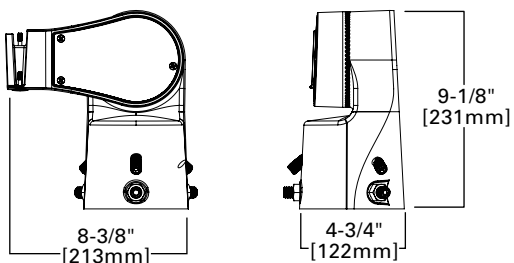
ADJA-WM=Adjustable Arm Wall Mount (PRV & PRV-P)



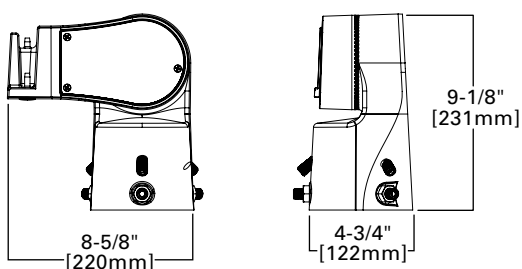
ADJA-WM=Adjustable Arm Wall Mount (PRV-XL)



ADJS=Adjustable Slipfitter 3 (PRV & PRV-P)

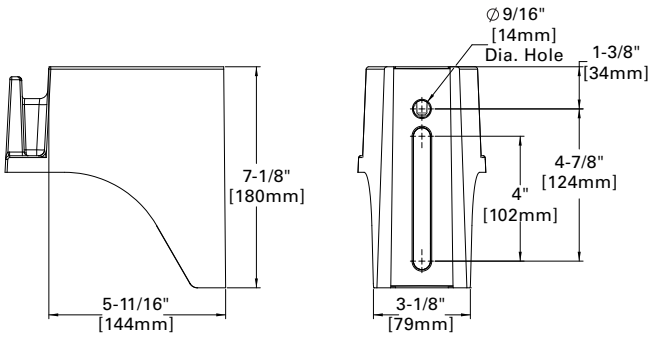


ADJS=Adjustable Slipfitter 3 (PRV-XL)

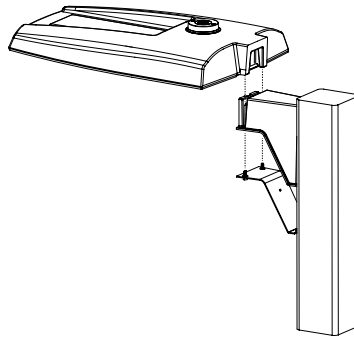


Mounting Details

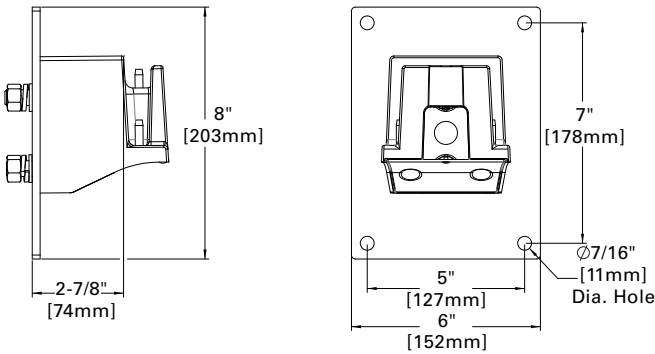
SA=QM Pole Mount Arm (PRV-M)



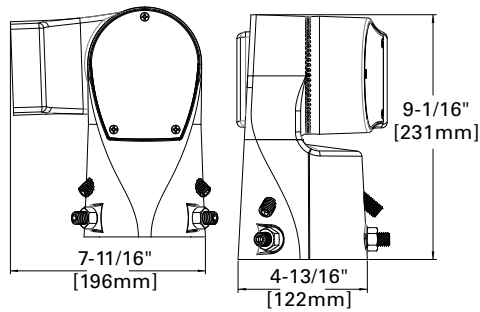
Versatile Mount System



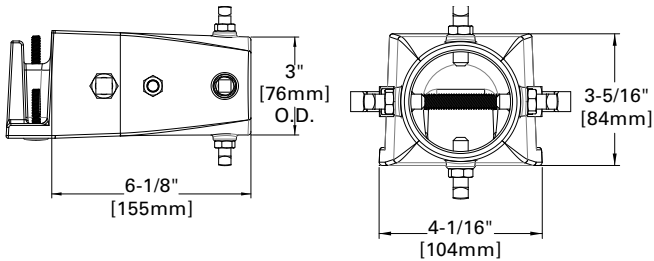
WM=QM Wall Mount Arm (PRV-M)



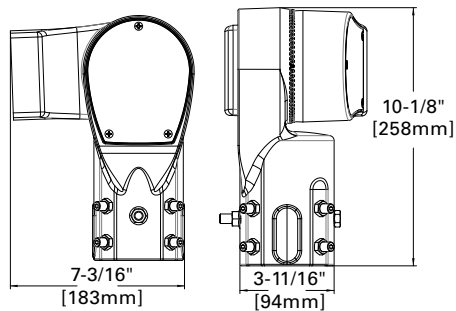
ADJS=Adjustable Slipfitter (PRV-M)



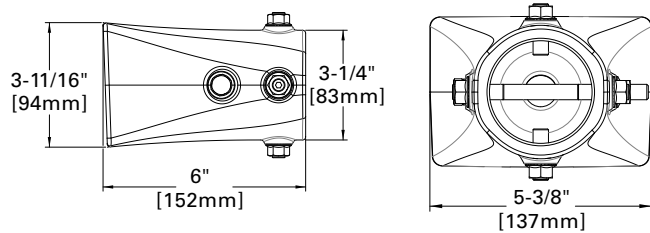
MA=QM Mast Arm (PRV-M)



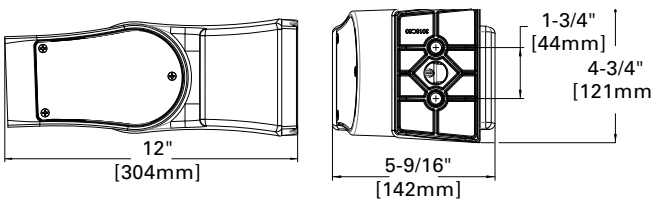
SP2=Adjustable Slipfitter 2-3/8" (PRV-M)



FMA=Fixed Mast Arm (PRV-M)



DM=Direct Pole Mount Arm (PRV-M)



Mounting Details

Mounting Configurations and EPAs

Housing Size	Tilt Angle (Degrees)	Arm Mount Single	Arm Mount 2 @ 180°	Arm Mount 2 @ 90°	Arm Mount 3 @ 90°	Arm Mount 4 @ 90°
Prevail Petite	0°	0.54	1.08	0.84	1.38	1.38
	60°	1.68	1.85	2.42	3.15	3.30
Prevail	0°	0.92	1.35	1.42	1.63	1.63
	60°	2.20	2.40	3.05	3.88	4.07
	60° + Full Drop Visor	2.20	2.40	3.25	4.28	4.47
Prevail XL	0°	1.12	2.25	2.13	2.52	2.52
	60°	3.99	4.30	5.26	6.51	6.79
	60° + Full Drop Visor	3.99	4.30	5.59	7.17	7.49
Prevail Maxx	0°	1.28	2.56	1.7	2.69	2.69
	60°	5.09	5.52	6.34	7.49	7.81

NOTE: For 2 PRV's mounted at 90°, requires minimum 3" square or 4" round pole for fixture clearance. For 2 PRV-XL's mounted at 90°, requires minimum 4" square or round pole for fixture clearance. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications.

Optical Configurations

PRV-P-C10/C15/C20/C25
(4,900/6,900/9,800/11,800
Nominal Lumens)



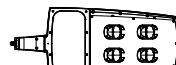
PRV-C15
(7,100 Nominal Lumens)



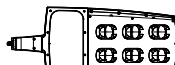
PRV-C25/C40/C60
(13,100/17,100/20,000
Nominal Lumens)



PRV-XL-C75/C100/C125
(26,100/31,000/36,300 Nominal Lumens)



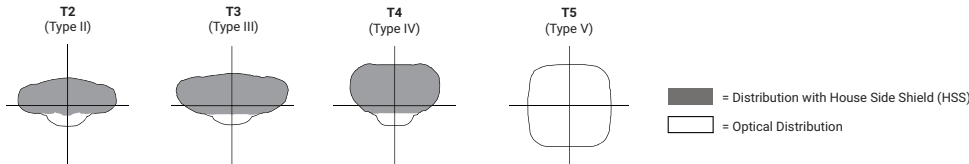
PRV-XL-C150/C175
(41,100/48,600 Nominal Lumens)



PRV-M-PA6X
(50,000/60,000/70,000/80,000 Nominal Lumens)



Optical Distributions



Product Specifications

Optics

- Precision molded polycarbonate optics

Electrical

- 40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion
- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture
- Standard MOV surge protective device designed to withstand 10kV of transient line surge

Physical Characteristics

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door
- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness
- Finish is compliant to 3,000 hour salt spray standard (per ASTM B117)
- Versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8" (Type M drilling recommended for new installations)
- A knock-out on the standard mounting arm enables round pole mounting
- Adjustable pole and wall mount arms adjust in 5° increments from 0° to 60°; Downward facing orientation only (Type N drilling required for ADJA mount)
- Adjustable slipfitter arm adjusts in 5° increments from -5° to 85°; Downward facing orientation only

Controls

- Luminaire available with the field adjustable dimming controller (FADC) to manually adjust wattage and reduce the total lumen output and light levels; Comes pre-set to the highest position at the lumen output selected

Compliance

- DarkSky approved for 3000K CCT and warmer, with mounting options less than 10° of tilt.
- DLC and DLC Premium listed – visit designlights.org to confirm listed variations
- Prevail and Prevail Petite: 3G vibration rated
- Prevail XL Mast Arm: 3G vibration rated
- Prevail XL Standard Arm: 1.5G vibration rated
- Adjustable Arms: 1.5G vibration rated
- BAA domestic preference option meets BAA requirements. See DOMESTIC.PREFERENCES website or consult the CLS Domestic Preferences team for more information
- FHWA and FTA agencies are utilizing their BAA rules for BABA compliance. Cooper's products with a BAA designation are manufactured in the US and utilize a BAA COTS exemption rule for compliance. To verify a configured product with specific accessories and options meet BABA Domestic Preference Requirements; submit this catalog number to Cooper Lighting Quotation team for validation by our Engineering and Manufacturing teams. Please refer to the DOMESTIC.PREFERENCES website or consult the CLS Domestic Preferences team for more information. Components shipped separately may be separately analyzed under domestic preference requirements.

Typical Applications

- Parking lots
- Walkways
- Roadways
- Building Areas

Shipping Data

- Prevail Petite: 18 lbs. (7.94 kgs.)
- Prevail: 20 lbs. (9.09 kgs.)
- Prevail XL: 45 lbs. (20.41 kgs.)
- Prevail Maxx: 49 lbs. (22.23 kgs.)

Warranty

- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

Energy and Performance Data

[View PRV-P IES files](#)

[View PRV IES files](#)

[View PRV-XL IES files](#)

Power and Lumens

Product Family	Prevail Petite				Prevail				Prevail XL				Prevail Maxx					
Light Engine	C10	C15	C20	C25	C15	C25	C40	C60	C75	C100	C125	C150	C175	C200	C225	C250	C275	
Power (Watts)	35	49	73	94	52	96	131	153	176	217	264	285	346	346	418	487	588	
Input Current @ 120V (A)	0.29	0.41	0.61	0.79	0.43	0.80	1.09	1.32	1.50	1.84	2.21	2.38	2.92	2.89	3.49	4.06	4.90	
Input Current @ 277V (A)	0.13	0.18	0.27	0.35	0.19	0.35	0.48	0.57	0.66	0.82	0.97	1.04	1.25	1.26	1.51	1.72	2.06	
Input Current @ 347V (A)	0.11	0.16	0.23	0.29	0.17	0.30	0.41	0.48	0.54	0.66	0.79	0.84	1.02	1.00	1.21	1.40	1.70	
Input Current @ 480V (A)	0.08	0.12	0.17	0.22	0.12	0.22	0.30	0.35	0.40	0.48	0.57	0.62	0.74	0.73	0.88	1.00	1.21	
Distribution ¹																		
Type II	4000K Lumens	4,775	6,717	9,542	11,521	7,123	13,205	17,172	20,083	26,263	31,231	36,503	41,349	48,876	50,349	59,444	68,447	79,322
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B5-U0-G5
	Lumens per Watt	138	137	131	122	137	138	131	131	149	144	138	145	141	146	142	141	135
	3000K Lumens ¹	4,869	6,595	9,369	11,312	6,994	12,965	16,860	19,718	25,786	30,664	35,840	40,598	47,989	49,437	58,368	67,208	77,886
Type III	4000K Lumens	4,782	6,727	9,556	11,538	7,111	13,183	17,144	20,050	26,120	31,061	36,304	41,124	48,610	50,162	59,223	68,193	79,027
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	138	137	131	123	137	137	131	131	148	143	138	144	140	145	142	140	135
	3000K Lumens ¹	4,695	6,605	9,383	11,329	6,982	12,944	16,832	19,686	25,646	30,497	35,645	40,377	47,727	49,254	58,151	66,958	77,596
Type IV	4000K Lumens	4,880	6,865	9,752	11,774	7,088	13,140	17,087	19,984	26,098	31,035	36,274	41,089	48,569	50,575	59,711	68,754	79,678
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B5-U0-G5
	Lumens per Watt	141	140	134	125	136	137	130	131	148	143	137	144	140	146	143	141	136
	3000K Lumens ¹	4,792	6,740	9,575	11,561	6,959	12,901	16,777	19,621	25,624	30,471	35,615	40,343	47,687	49,659	58,630	67,510	78,235
Type V	4000K Lumens	5,067	7,128	10,126	12,226	7,576	14,045	18,264	21,360	28,129	33,450	39,097	44,287	52,349	53,531	63,201	72,773	84,335
	BUG Rating	B3-U0-G2	B3-U0-G2	B4-U0-G3	B4-U0-G3	B3-U0-G3	B4-U0-G3	B4-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	146	145	139	130	146	146	139	140	160	154	148	155	151	155	151	150	144
	3000K Lumens ¹	4,975	6,999	9,942	12,004	7,438	13,790	17,932	20,972	27,618	32,843	38,387	43,483	51,398	52,562	62,057	71,455	82,808

NOTES:
1. For 3000K, 5000K or HSS data, refer to published IES files.

Lumen Maintenance

Configuration	TM-21 Lumen Maintenance (50,000 Hours)	Theoretical L70 (Hours)
Prevail and Prevail Petite at 25°C	91.30%	> 194,000
Prevail and Prevail Petite at 40°C	87.59%	> 134,000
Prevail XL at 25°C	91.40%	> 204,000
Prevail XL at 40°C	89.41%	> 158,000
Prevail Maxx at 25°C	91.40%	> 204,000
Prevail Maxx at 40°C	89.41%	> 158,000

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99

FADC Settings

FADC Position	Lumen Multiplier
1	25%
2	46%
3	55%
4	62%
5	72%
6	77%
7	82%
8	85%
9	90%
10	100%

Note: +/-5% typical value

Sensor Color Reference Table (SPBx)

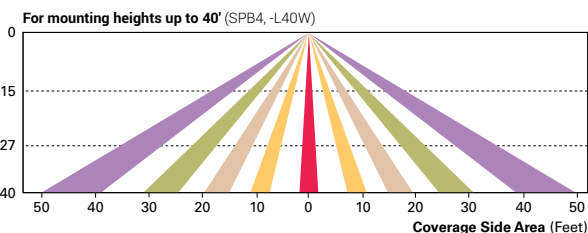
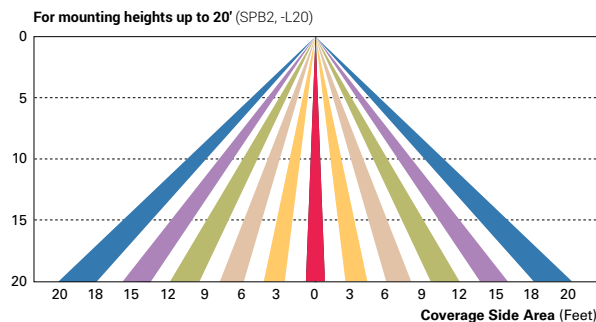
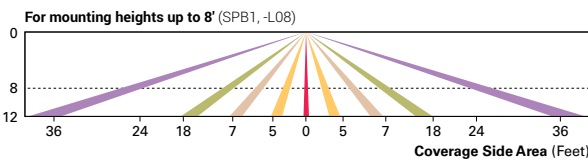
Housing Finish	Sensor Color
AP=Grey	Grey
BZ=Bronze	Bronze
BK=Black	Black
DP=Dark Platinum	Grey
GM=Graphite Metallic	Black
WH=White	White

Control Options

0-10V This fixture provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (PR and PR7) Photocontrol receptacles provide a flexible solution to enable “dusk-to-dawn” lighting by sensing light levels. Advanced control systems compatible with NEMA 7-PIN standards can be utilized with the PR7 receptacles.

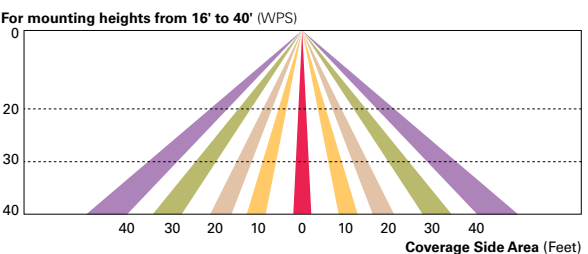
Dimming Occupancy Sensor (SPB, MS/DIM-LXX) These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the luminaire will dim down after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output. These occupancy sensors include an integral photocell for “dusk-to-dawn” control or “daylight harvesting.” Factory default is enabled for the MS sensors and disabled for the SPB. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes.



WaveLinx Wireless Control and Monitoring System Available in 7-PIN or 4-PIN configurations, the WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

WaveLinx Outdoor Control Module (WOLC-7P-10A) A photocontrol that enables astronomic or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

WaveLinx Wireless Sensor (WPS2 and WPS4) These outdoor sensors offer passive infrared (PIR) occupancy sensing and a photocell for closed-loop daylight sensing. These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected, and the photocell for “dusk-to-dawn” control is default enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7-40'.



PRODUCT DATASHEET

WALL PACK CUTOFF OPTI-SELECT 40W 120-347V D 8 3CCT ADJ BZ P E

WALL PACK CUTOFF OPTI-SELECT | Cutoff Wall Pack with selectable CCT, wattage and beam angle



Areas of application

- Walkways
- Building facades
- Perimeters
- Commercial buildings
- Schools

Product features

- OPTI-SELECT: Adjustable types 2, 3, and 4 distribution, no lens swap needed
- Up to 150 LPW
- CRI > 80
- Selectable wattage and lumen output
- DLC Premium: assures high energy efficient & eligible for utility rebates
- CONTROLS READY: sensor receptacle for standalone and LEDVANCE LINK, no wiring
- Integrated photocell that can be disabled in the field
- UV stabilized polycarbonate lenses, vandal resistant
- CCT Options vary per model: Selectable 3000/4000/5000K, Selectable Warm Spectrum 1800/2200/2700K or de-amber
- DarkSky Approved versions: sustainable luminaires designed to minimize light pollution and minimize environmental impact

TECHNICAL DATA

Additional product data

Ordering Abbreviation	WALPAKPCS040UNHD8SC2ADJBZPE
Abbrev. With Packaging Info.	WALPAKPCS040UNHD8SC2ADJBZPE 1/CS 1/SKU
NAED	66973
Family Brand Name	PERFORMANCE CLASS™
General Description	WALL PACK CUT OFF OPTISELECT PERFORMANCE CLASS, SELECTABLE WATTAGE 25/30/40W, 120-347V, 0-10V DIMMING, 80CRI+, SELECTABLE CCT 3000/4000/5000K, ADJUSTABLE DISTRIBUTION LENS, BRONZE, PHOTOCCELL, 4W EMBB
Warranty	5 years

Electrical data

Nominal Wattage	40.00/30.00/25.00 W
Nominal voltage	120.00...347.00 V
Power factor	≥ 0.90
Total Harmonic Distortion	< 20 %

Photometrical data

Lumens	6000/4500/3750 lm
Efficacy	150 lm/W
Color Temperature/CCT	3000/4000/5000 K
Color Rendering Index (CRI)	80
Luminaire Type	Wall pack

Dimensions & Weight

Length	9.06 in
Width	5.31 in
Height	6.69 in
Product weight	5.75 lb

Materials & Colors

Luminaire Finish	Bronze
Housing color	Bronze
Housing	Aluminum
Mercury content	0.0 mg

Application & Mounting

Ambient temperature range	0...+50 °C
Maximum Operating Temperature	122 °F

Minimum Operating Temperature	0 °C
Dimming	Yes
Type of Dimming	0-10V
Mounting	Surface
Indoor/Outdoor	Outdoor
Replaceable light source	No
Primary Lamp Type	SMD

Lifespan

Average Rated Life (hr)	100000
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BATTERY

Lithium Ion Battery	Li ion battery
Battery size [GMS]	Others




Logistical data


Case Qty	1
Case Length (in)	10.827
Case Width (in)	9.095
Case Depth (in)	7.913
Case Cube (ft)	0.451
Case Weight (lbs)	6.543
Pallet Qty	108

Certificates & Standards



Certification Listing	RoHS / FCC / cULus
Replaceable light source (EPREL)	Not replaceable


Optional accessories

Product image	Product name	UPC
	Standalone Comissioning Remote HIBAY/AREA/CANOPY	0046135656231
	Standalone PIR Motion sensor PIR3-Pin Screw-in 39ft IP65 12V	0046135626647
	ADAPTER WALPAKN9A SENSOR ADAPTER	0046135639586

Product image	Product name	UPC
	Standalone Microwave Motion Sensor 3-Pin Screw-in 49ft IP65 12V WH	0046135656224

DOWNLOAD DATA

Spec Sheets and Product Documents		Document name
	Installation Guide	INSTALLATION GUIDE OPTI-SELECT CUT OFF WALL PACK
	Product Family Spec Sheet	LEDLUM236 LEDVANCE Luminaires OPTI-SELECT CUT OFF WALL PACK

Photometric and lighting design files		Document name
	IES file (IES)	WALL PACK CUT OFF OPTI-SELECT IES LM79

DISCLAIMER

Subject to change without notice. Errors and omission excepted. Always make sure to use the most recent release.

WME G2 - Emergency Wall Pack

OW1EM



CONTRACTOR XP



(Images are shown for illustration purposes only)

Project:

Product #:

Type:

KEY FEATURES

- Sturdy, weather resistant emergency wall pack.
- 3 CCT selectable.
- Preinstalled, switchable photocell.
- 3 year warranty.
- Emergency mode lasting up to 190 mins (see Page 2 for details).



SPECIFICATIONS

Housing

High impact, weather resistant lens die-cast aluminum housing.

Ambient Temperature

Suitable for use in -20° C to 50° C (-4° F to 122° F).

Finish

Dark bronze.

Mounting

Wall mount.

Efficacy

Up to 140 lumens per watt.

Lumen Output

1,400 Lm at 10W (AC mode).
700 Lm 4W (EM mode).

CCT and CRI

Field Selectable: 3000K, 4000K, and 5000K - 80 CRI

Lifespan

L70 > 50,000 hours @ 25°C.

Warranty

3-year limited warranty.
Comprehensive warranty terms can be located on www.slgus.com.

Electrical

Standard voltage 120-277V.
PF > 90%. THD <20%.

Certifications

UL Listed for wet locations. FCC compliant.

ORDERING GUIDE

Example: **WME L14 G2 FSK**

Fixture Type	Lumen Output	Generation	Voltage	CCT	Photocell	Finish
• WME LED Emergency Wall Pack	• L14 1,400 Lm / 10 W (AC), 700 Lm / 4W (EM)	• G2 Second Generation	• BLANK 120-277V	• FSK 3000K 4000K 5000K - CRI 80	• BLANK Preinstalled switchable photocell.	• BLANK Dark Bronze

For stocking opportunities please reach out to your local SLG Lighting rep or contact sales@slgus.com.

Leadtimes may vary based on current inventory levels - always consult your local SLG Lighting rep for leadtimes and project needs.

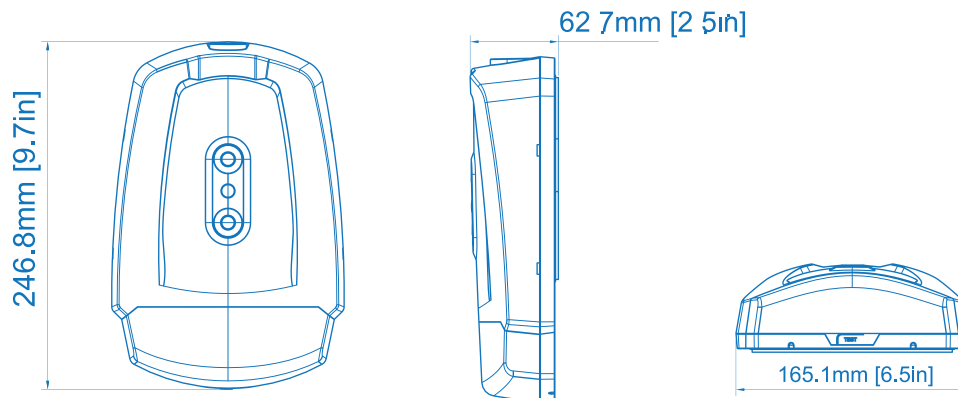
PERFORMANCE INFORMATION

Series Number	Power Setting	Wattage	Lumens (3000K)	LPW	Lumens (4000K)	LPW	Lumens (5000K)	LPW	CRI
WME L14 G2 FSK	AC (Standard Mode)	10 W	1,300 Lm	130 Lm/W	1,400 Lm	140 Lm/W	1,350 Lm	135 Lm/W	80

Performance data based on vigorous, industry standard testing and has been verified by lab results.

DIMENSIONS

WME G2 - 10 W



Due to continuous product improvements, specification and/or equipment updates may change without notice.

EMERGENCY BACKUP MODE

Series Number	Wattage	Lumens	Operating Temperature	Operating Time
WME L14 G2 FSK	4 W	>700 Lm	18°C to +40°C (64.4° F to 104° F)	190 Min (Roughly 3 hours, 10 mins)
			0° C (32° F)	160 Min (Roughly 2 hours, 40 mins)
			-20°C (-4° F)	100 Min (Roughly 1 hour, 40 mins)

SHIPPING INFORMATION

Product number	Individual box size	Master Carton Size	Master Carton Quantity
WME L14 G2 FSK	10.04" X 6.69" X 2.87"	20.87" X 10.83" X 12.40"	12 Pcs

Fixtures ship 1 per box and specific dimensions may change without notice due to improvements.

PHOTOMETRIC

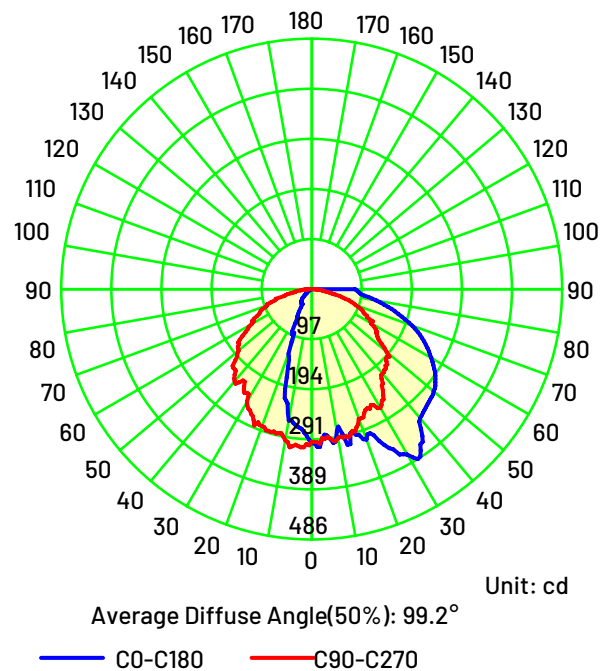
Luminaire Property

Luminaire Manufacturer: SLG Lighting
 Luminaire Category: Wall Mount
 Luminaire Description: WME G2
 Lamp Catalog:
 Number of Lamps: 1
 Luminous Length (mm): 245
 Luminous Height (mm):
 Current: 0 A
 Power Factor: 0
 Lamp Description:
 Lumens per Lamp:
 Luminous Width (mm): 162
 Voltage: 0 V
 Power: 0 W

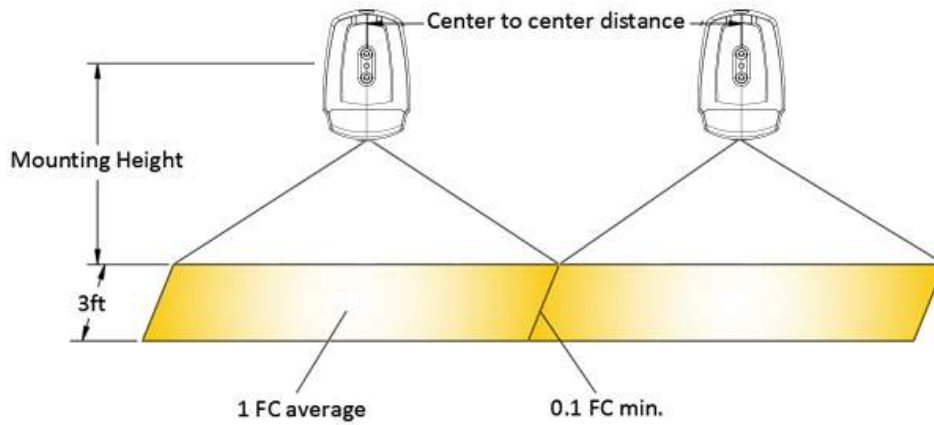
Photometric Results

CIE Class: Direct
 Measurement Flux: 832.1 lm
 Downward Ratio: 100%
 Horizontal Diffuse Angle(10%,50%,75%,100%): H132.6,H89.1,H67.9,H32
 Vertical Diffuse Angle(10%,50%,75%,100%): V162,V114.2,V77.7,V11
 Luminaire Efficacy Rating (LER): 832.15
 Max. Intensity: 389.26 cd
 S/MH(C0/C180): 0.99
 Total Rated Lamp Lumens: 832.1 lm
 Efficiency: 100%
 Upward Ratio: 0%
 C0r0 Intensity: 299.27 cd
 Pos of Max. Intensity: H0 V32
 S/MH(C90/C270): 1.27

Luminous Intensity Distribution Curve



Due to continuous product improvements, specification and/or equipment updates may change without notice.



NFPA 101 requires 1.0 foot-candle average and 0.1 foot-candle minimum with a 40:1 maximum /minimum ratio. The corridor used is 80 feet long, 9 feet ceiling with a 6 foot wide walkway and 6&3 feet path of egress. The reflectance are 80% ceiling, 50% walls and 20% floors. The fixture mounting height is 7.5 feet.

Model (Emergency Mode)	7.5ft Mount Height	8ft Mount Height	10ft Mount Height
WME G2	45ft distance	50ft distance	46ft distance

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