



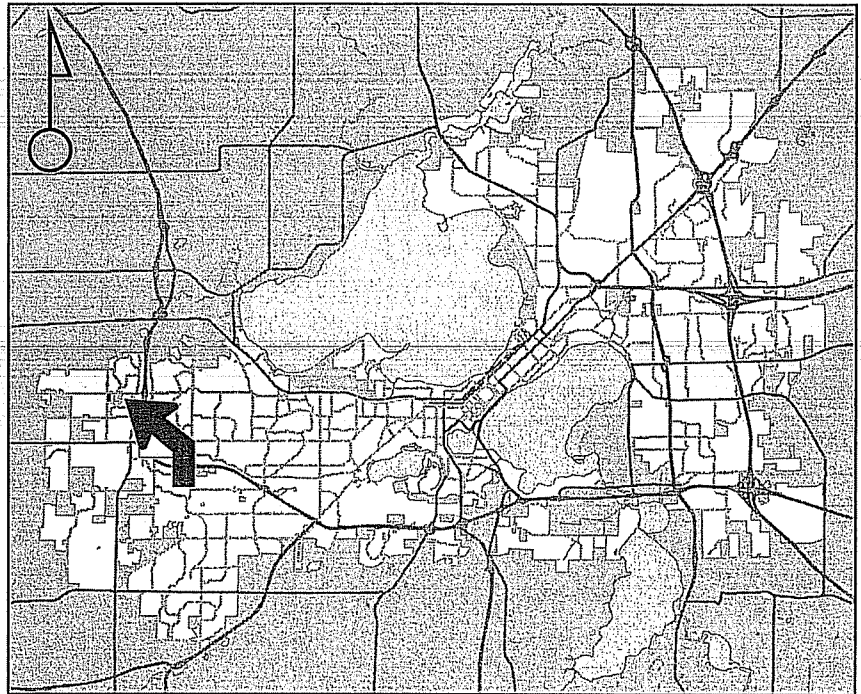
Location
639 Pleasant View Road

Applicant
Churchill Crossing, LLC/
Patrick McGowan - Brownhouse

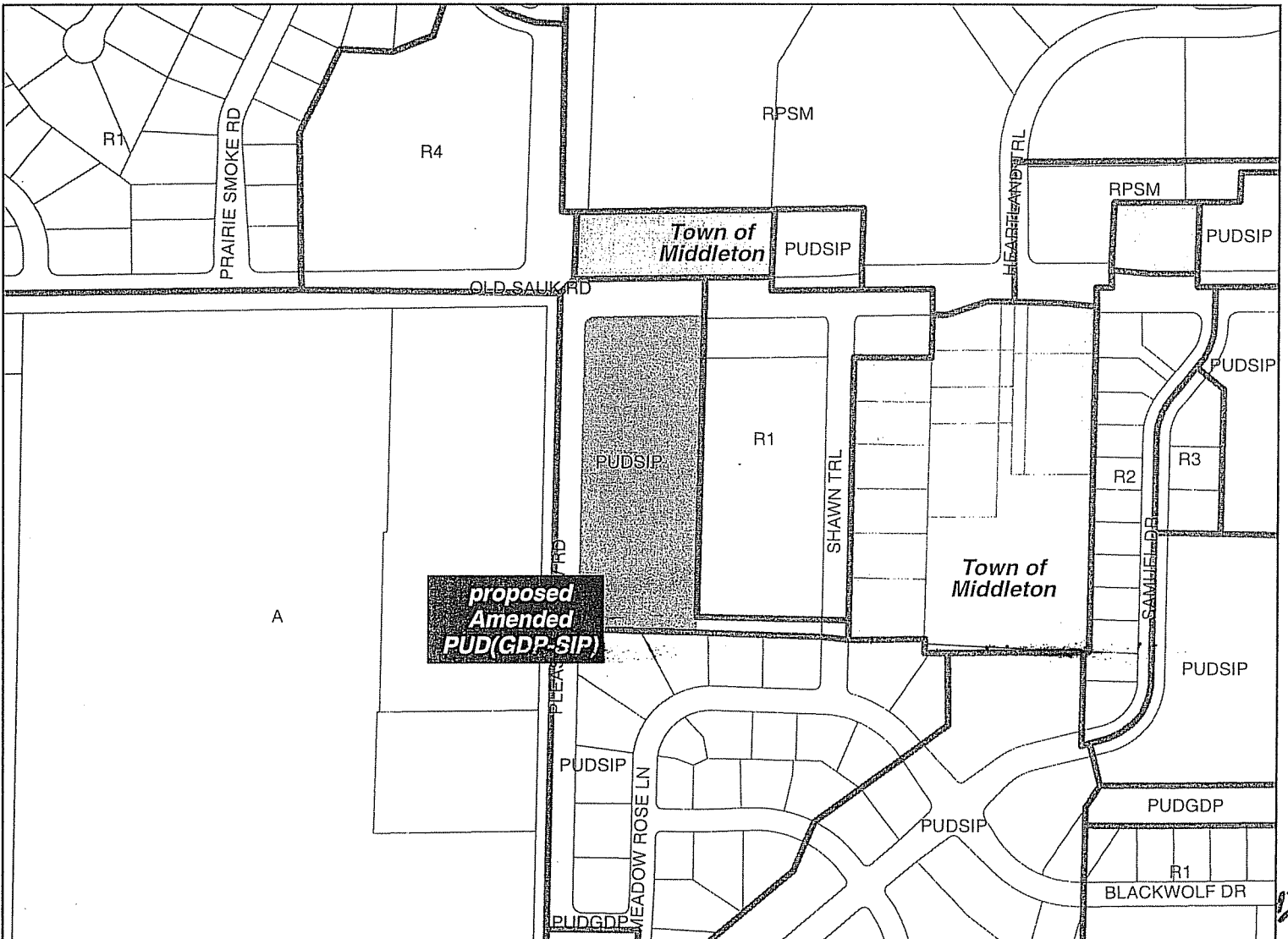
From: PUD(SIP) To: Amended
Existing Use PUD(GDP-SIP)
Vacant Lands

Proposed Use
Construction of a 124-Unit
Apartment Building

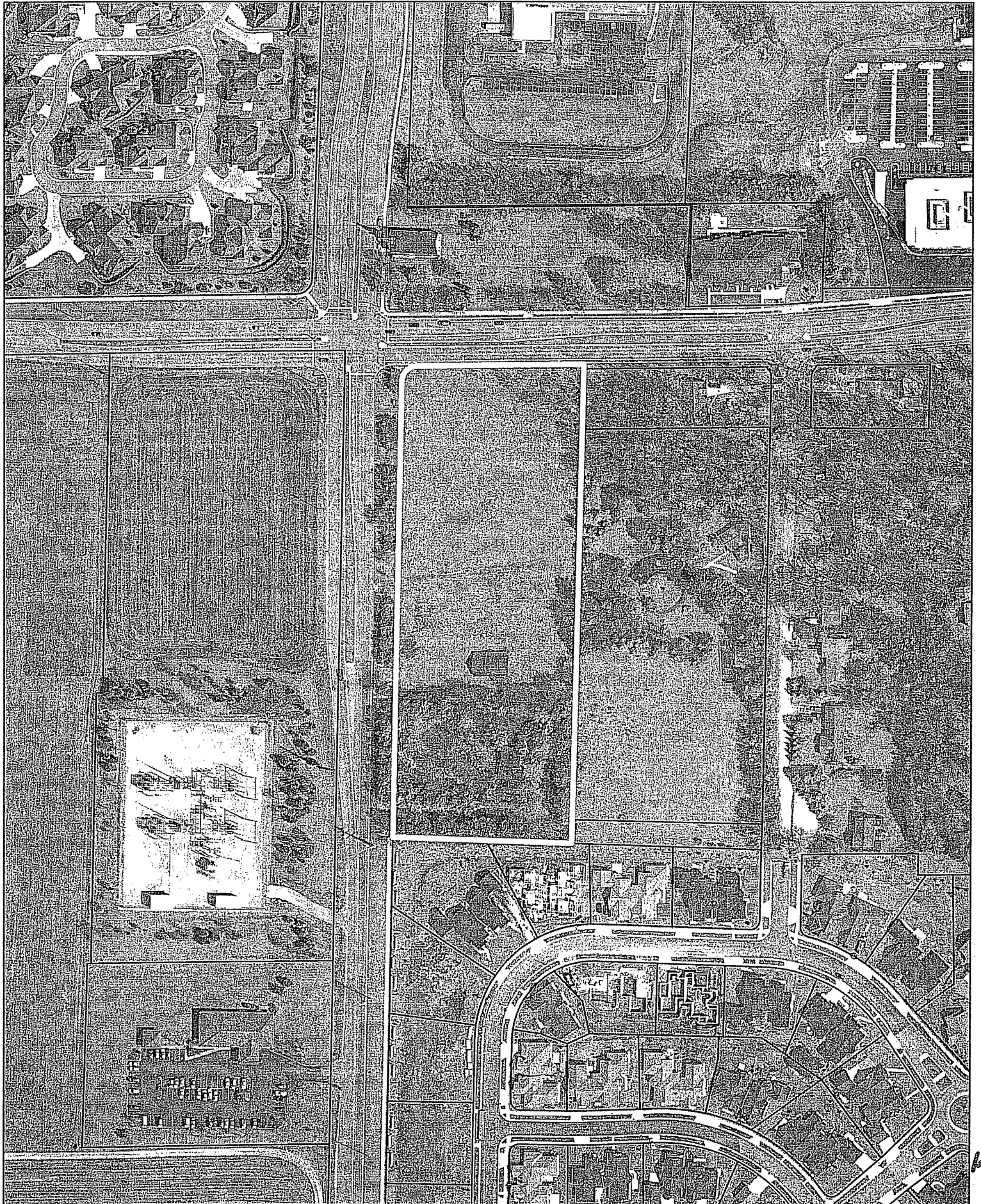
Public Hearing Date
Plan Commission
19 November 2007
Common Council
04 December 2007

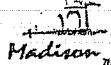


For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'





LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning applications should be filed directly with the Zoning Administrator.

# OFFICE USE ONLY:			
Amt. Paid	<u>2,200</u>	Receipt No.	<u>85428</u>
Date Received	<u>9-19-07</u>		
Received By	<u>RT</u>		
Parcel No.	<u>0708-222-0106-1</u>		
Aldermanic District	<u>9, Paul Skelmore</u>		
GQ	<u>ENG hold</u>		
Zoning District	<u>PUDSIP</u>		
For Complete Submittal			
Application	<input checked="" type="checkbox"/>	Letter of Intent	<u>OK</u>
IDUP	<u>N/A</u>	Legal Descript.	<input checked="" type="checkbox"/>
Plan Sets	<input checked="" type="checkbox"/>	Zoning Text	<u>OK</u>
Alder Notification	<input checked="" type="checkbox"/>	Waiver	_____
Ngbrhd. Assn Not.	_____	Waiver	_____
Date Sign Issued	_____		

1. Project Address: 639 Pleasant View Road Project Area in Acres: 5.1 acres
Project Title (if any): Churchill Crossing

2. This is an application for: (check at least one)

<input checked="" type="checkbox"/> Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input checked="" type="checkbox"/> Rezoning from <u>PUD-SIP</u> to <u>^{Amended} PUD-SIP</u>	<input type="checkbox"/> Rezoning from _____ to PUD/PCD-SIP	
<input type="checkbox"/> Rezoning from _____ to PUD/PCD-GDP	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP	
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. Applicant, Agent & Property Owner Information:

Applicant's Name: Patrick McGowan Company: Brownhouse
Street Address: 202 W. Gorham St. City/State: Madison, WI Zip: 53703
Telephone: (608) 663-5100 Fax: (608) 663-5151 Email: pmcgowan@brownhousedesigns.com
Project Contact Person: Patrick McGowan Company: see above
Street Address: _____ City/State: _____ Zip: _____
Telephone: () _____ Fax: () _____ Email: _____
Property Owner (if not applicant): Churchill Crossing, LLC
Street Address: 8500 Greenway Blvd City/State: Middleton, WI Zip: 53562
Suite 200

4. Project Information:

Provide a general description of the project and all proposed uses of the site: A 3 building apartment development with a clubhouse, outdoor swimming pool, surface parking and underground parking.
Development Schedule: Commencement Winter 07 Completion Spring 09

CONTINUE →

5. Required Submittals:

- Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings, parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- ~~Letter of Intent: Twelve (12) copies~~ describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail.
- Filing Fee:** \$ 2,200⁰⁰ See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

- For any applications proposing demolition of existing buildings, **photos** of the interior and exterior of the structure(s) to be demolished shall be submitted with your application. Be advised that a **Reuse and Recycling Plan** approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits.
- A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate INCLUSIONARY DWELLING UNIT PLAN application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.
- A **Zoning Text** must accompany all Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
 - The site is located within the limits of the: Junction Neighborhood Dev. Plan, which recommends: medium density residential for this property.
- Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:
 - List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:
Paul Skidmore, 8/23/07
 - NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.
Planner _____ Date _____ | Zoning Staff _____ Date _____

The signer attests that this form is accurately completed and all required materials are submitted:

Printed Name PATRICK B. MCGOWAN Date 9/19/07
 Signature Patrick B. McGowan Relation to Property Owner Architect

Authorizing Signature of Property Owner _____ Date 9/19/07
Craig Enzenroth
 Authorized Agent
 Churchill Crossing LLC

brownhouse

September 19, 2007

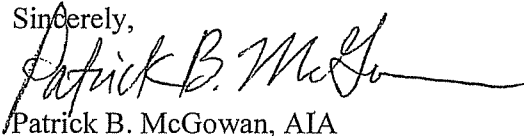
Mr. Brad Murphy
Planning Division Director
Room LL-100, Municipal Building
215 Martin Luther King Jr. Blvd
Madison, WI 53703

Re: Churchill Crossing
639 Pleasant View Road (f.k.a. 3982 Pleasant View Road)
Madison, WI

Dear Mr. Murphy,

Per the city attorney's office, we have attached a land use application seeking removal of the Inclusionary Zoning requirements for this project. Specifically, we wish to remove the requirements specified in Item #23 of the conditions of approval letter dated December 15, 2004.

Sincerely,



Patrick B. McGowan, AIA

also included in this land use are minor alterations to the project listed on the "Alteration to an Approved & Recorded Specific Implementation Plan". This form has been provided for informational purposes.



Making The Space of Life a Pleasure

202 W. Gorham St., Madison, WI 53703 608.663.5100 phone 608.663.5151 fax
www.brownhousedesigns.com

Document Number	Document Title
-----------------	----------------

**ALTERATION TO AN APPROVED & RECORDED
SPECIFIC IMPLEMENTATION PLAN**

City of Madison Date:

Project Name: Churchill Crossing

1. Legal Description of Property: All of Lots 1 & 2, Certified Survey Map 2021, as recorded in Volume 8 of Certified Survey Maps, on Pages 185-186, as Document Number 1469696 Dane County Registry.

Recording Area
Name and Return Address:

2. Property Address: 639 Pleasant View Road (also 615, 627, 641 & 653).

Parcel Identification Number (PIN)
251/0708-222-0106-1

3. The SIP for the above-described property is hereby amended by (description of change): increasing landscaping, add fountains, add elevators to 2 buildings, update exterior materials colors, reconfigure drop-off @ main entrance and reconfigure swimming pool and shown on the: plans attached to this minor alteration.

4. This proposed amendment is authorized according to the SIP text recorded as: Document No. _____, in the Dane County Register of Deeds Office.

The proposed alteration, as outlined above, is considered a minor alteration and is hereby approved by the Director of the Planning Unit of the Department of Planning and Development.

No BLUE ink or FAXED copies please!

Aldersperson Date

Bradley J. Murphy, Director Date
Planning Unit, Dept. of Planning & Development

Owner's Signature Date

State of Wisconsin
County of Dane

Personally came before me this _____ day of _____, _____, the above-named Bradley J. Murphy, Director, Planning Unit of the Department of Planning and Development, and acting in said capacity and known by me to be the person who executed the foregoing instrument.

Notary Public, Dane County, Wisconsin (Signature)

Notary Public (print name)
My commission expires: _____

This instrument was drafted by:

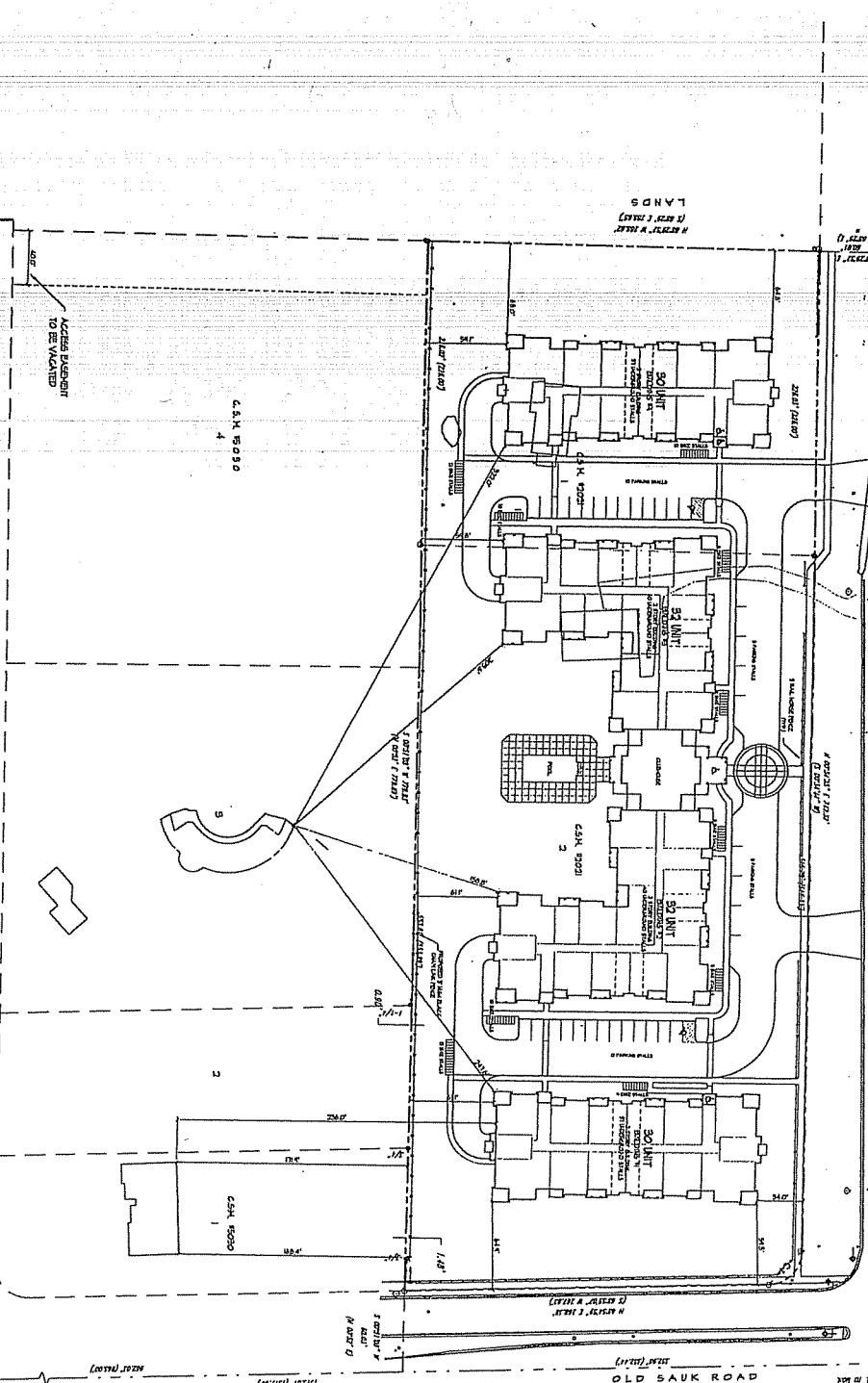
This document and any attachments shall be recorded in the Dane County Register of Deeds Office.

SHEET INDEX

C-11 SITE PLAN
 C-12 GRADING, STORMWATER & UTILITY PLAN
 L-11 LANDSCAPE PLAN

A-1.0 BLDG #1 BASEMENT PLAN
 A-1.1 BLDG #1 FIRST FLOOR PLAN
 A-1.2 BLDG #1 SECOND FLOOR PLAN
 A-1.3 BLDG #2 & #3 BASEMENT PLAN
 A-1.4 BLDG #2 & #3 FIRST FLOOR PLAN
 A-1.5 BLDG #2 & #3 SECOND FLOOR PLAN
 A-1.6 BLDG #4 BASEMENT PLAN
 A-1.7 BLDG #4 FIRST FLOOR PLAN
 A-1.8 BLDG #4 SECOND FLOOR PLAN

A-2.1 ELEVATIONS
 A-2.2 ELEVATIONS



SITE PLAN
 OF 1" = 40'

PUD-GDP-SIP
 SITE PLAN
 APPROVED IN
 DECEMBER 2004

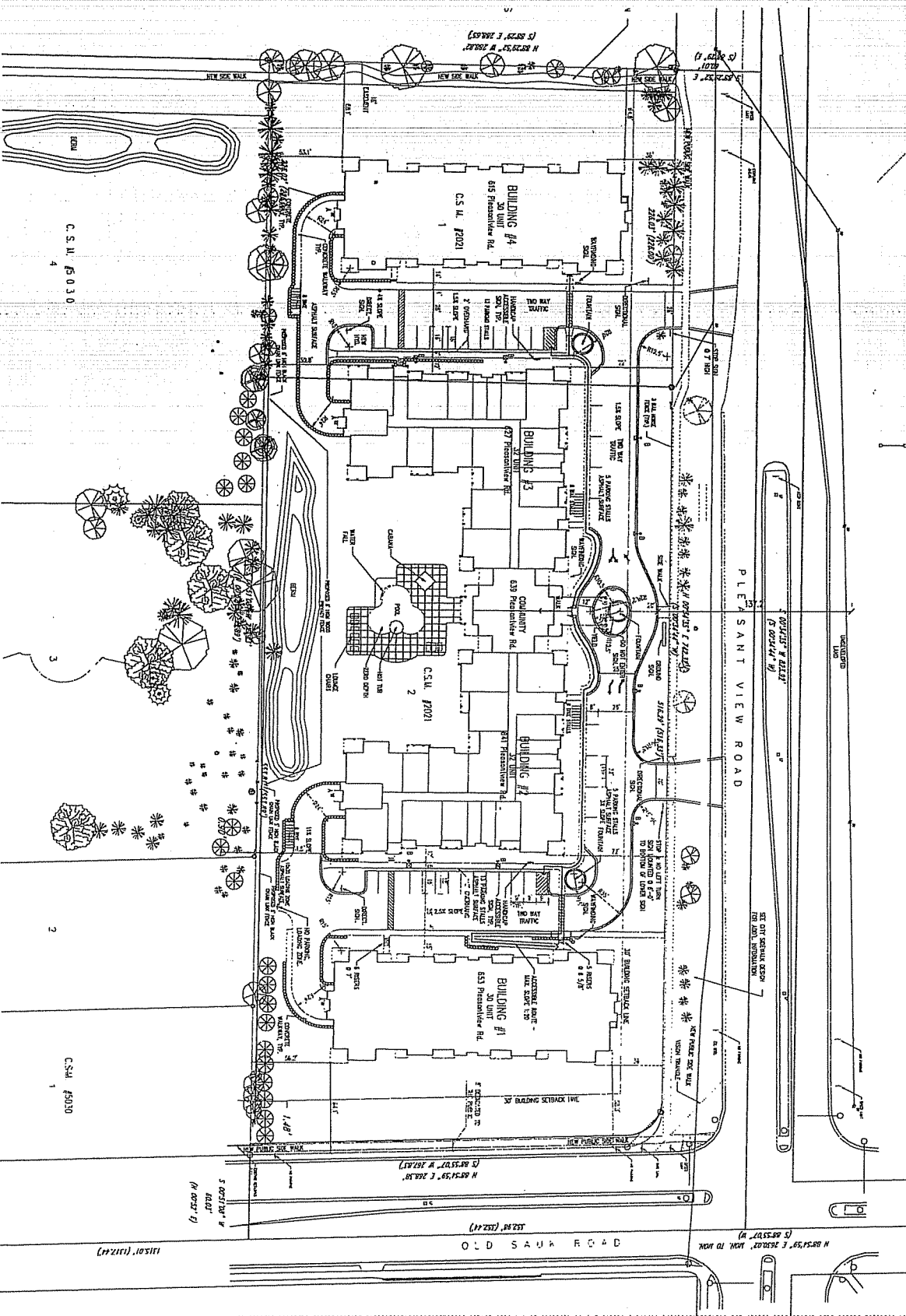
SITE DEVELOPMENT STATISTICS

DESCRIPTION	QUANTITY	UNIT
LOT AREA	234,000	SQ. FT.
PAVED AREA	145,000	SQ. FT.
GRAVEL AREA	100,000	SQ. FT.
GRASS AREA	100,000	SQ. FT.
OPEN SPACE	100,000	SQ. FT.
PERCENTAGE OF OPEN SPACE	43%	
PERCENTAGE OF PAVED AREA	62%	
PERCENTAGE OF GRAVEL AREA	43%	
PERCENTAGE OF GRASS AREA	43%	
PERCENTAGE OF OPEN SPACE	43%	
TOTAL	345,000	SQ. FT.

Project No.: **Church Hill Crossing**
 at Old Sauk
 3902 Pleasant View Rd.
 Middleton, WI

Drawn by: **Site Plan**
 Checked by: **9422**
 Date: **C-11**

1 SITE PLAN
 SCALE: 1/32" = 1'-0"
 TRUE NORTH



C200
 SITE PLAN

Churchill Crossing
 000 Pleasant View Road
 Madison, WI

brown *INC*
 202 West Gorham St. Madison, WI 53703 608.663.5100 608.663.5151 fax

RESTRICTIONS:
 This plan is prepared for the use of the Wisconsin Department of Transportation (WisDOT) and is not to be used for any other purpose without the written consent of the engineer. The engineer is not responsible for any errors or omissions in this plan or for any consequences arising from its use. The engineer is not responsible for any construction or for any damage to property or persons resulting from the use of this plan. The engineer is not responsible for any construction or for any damage to property or persons resulting from the use of this plan. The engineer is not responsible for any construction or for any damage to property or persons resulting from the use of this plan.

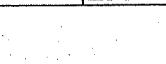
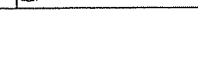
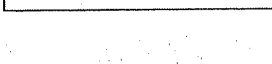
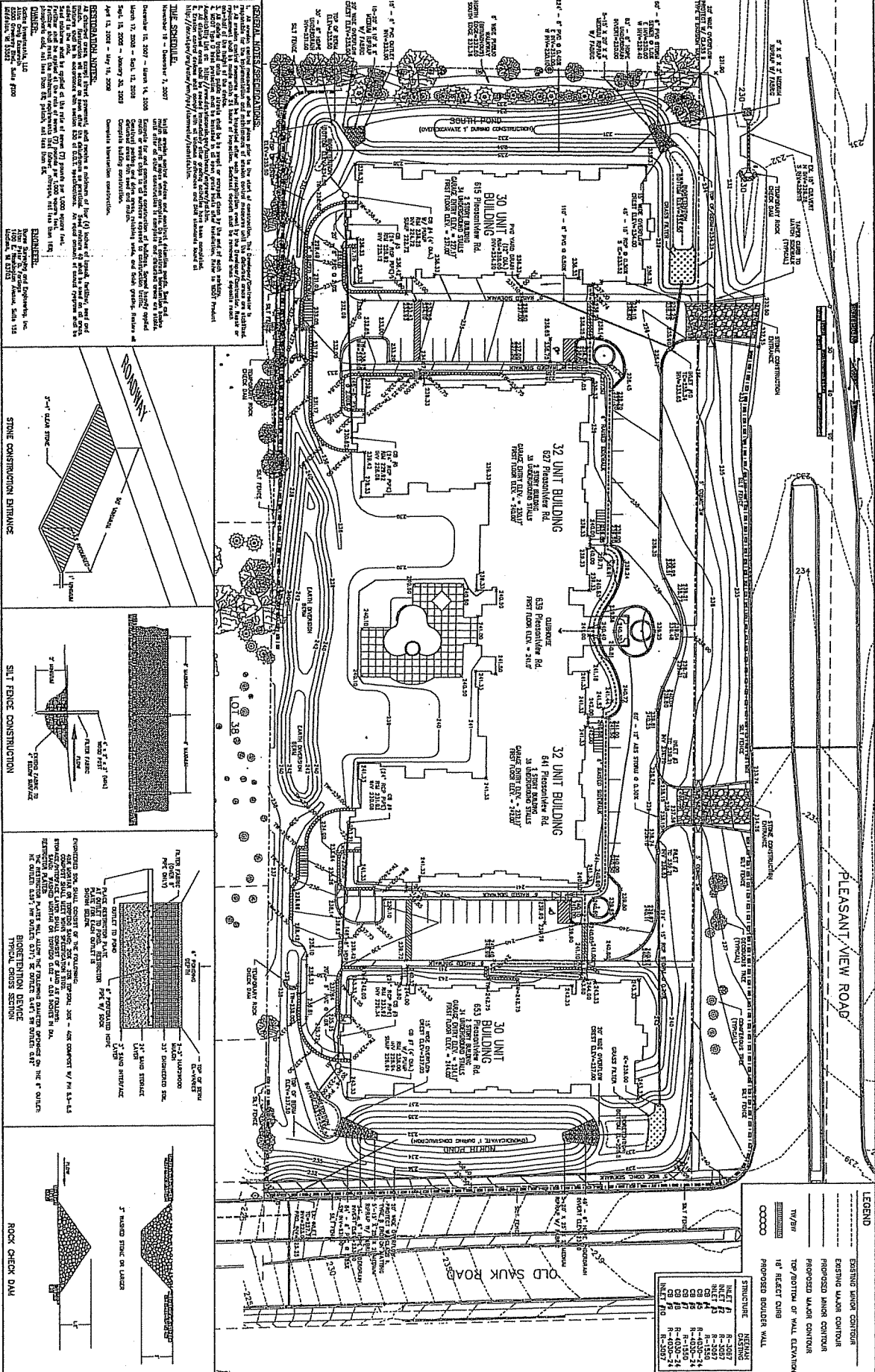
GENERAL NOTES:
 1. All construction shall be in accordance with the Wisconsin Department of Transportation (WisDOT) Standard Specifications for Road and Bridge Construction, 2003 Edition, and any amendments thereto.
 2. All construction shall be in accordance with the Wisconsin Department of Transportation (WisDOT) Standard Specifications for Road and Bridge Construction, 2003 Edition, and any amendments thereto.
 3. All construction shall be in accordance with the Wisconsin Department of Transportation (WisDOT) Standard Specifications for Road and Bridge Construction, 2003 Edition, and any amendments thereto.

GENERAL NOTES:
 4. All construction shall be in accordance with the Wisconsin Department of Transportation (WisDOT) Standard Specifications for Road and Bridge Construction, 2003 Edition, and any amendments thereto.
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GENERAL NOTES:
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 12. All construction shall be in accordance with the Wisconsin Department of Transportation (WisDOT) Standard Specifications for Road and Bridge Construction, 2003 Edition, and any amendments thereto.

GENERAL NOTES:
 13. All construction shall be in accordance with the Wisconsin Department of Transportation (WisDOT) Standard Specifications for Road and Bridge Construction, 2003 Edition, and any amendments thereto.
 14. All construction shall be in accordance with the Wisconsin Department of Transportation (WisDOT) Standard Specifications for Road and Bridge Construction, 2003 Edition, and any amendments thereto.
 15. All construction shall be in accordance with the Wisconsin Department of Transportation (WisDOT) Standard Specifications for Road and Bridge Construction, 2003 Edition, and any amendments thereto.



LEGEND

---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	TOP/BOTTOM OF WALL ELEVATION
---	10' REFLECT CHAIN
---	PROPOSED BOLLARD WALL

GALLINA - CHURCHILL CROSSING - GRADING & EROSION CONTROL PLAN

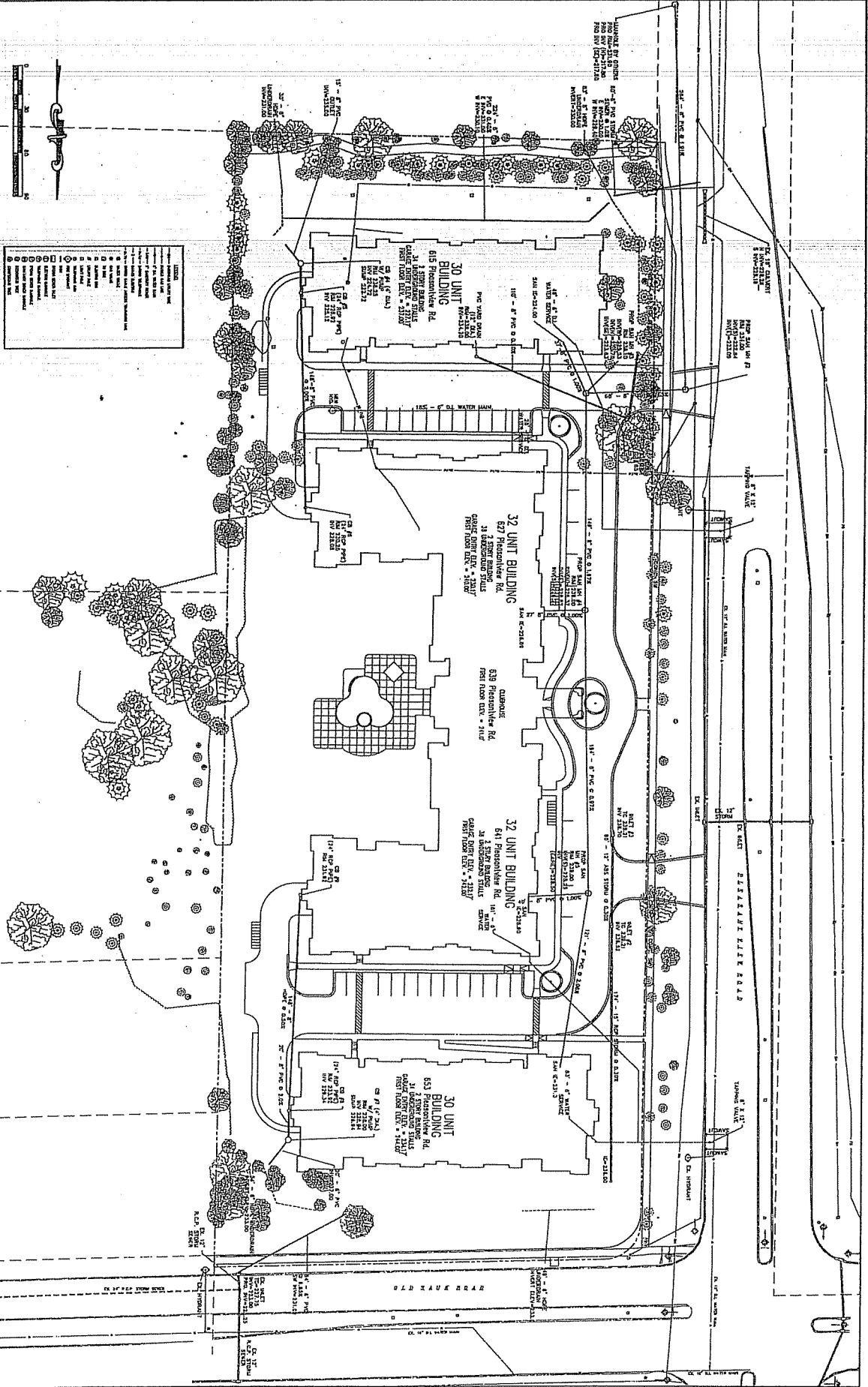
GEOP

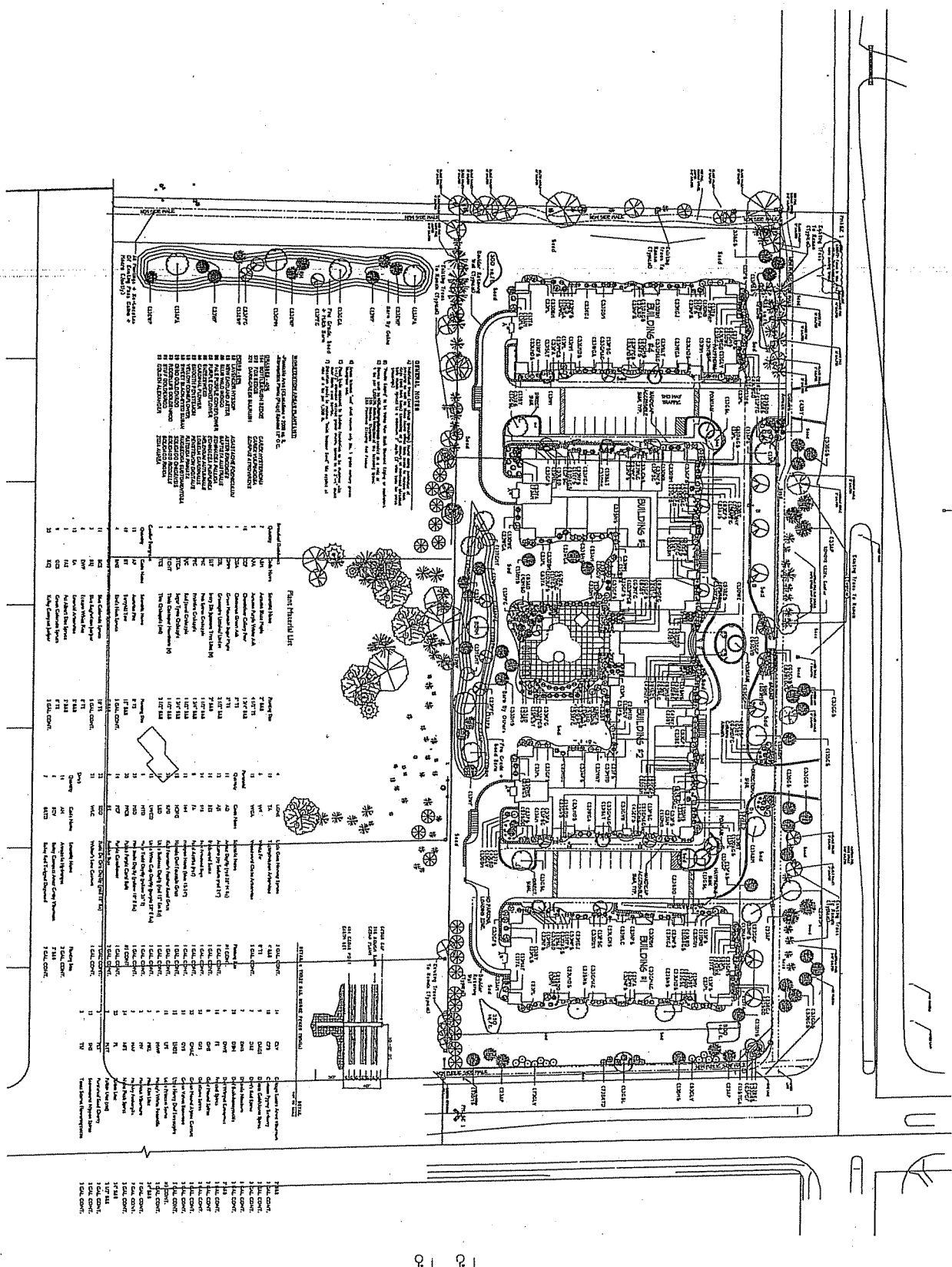
DATE: 04-21-2008
 DRAWN BY: [illegible]
 CHECKED BY: [illegible]

PROJECT: [illegible]
 SHEET: U-1

GALLINA - CHURCHILL CROSSING

U-1





CONCRETE
 BRICK
 STONE
 WOOD

GENERAL NOTES

1. See Notes on other sheets for general information.
2. All work shall conform to the latest editions of the Building Code of the City of San Francisco.
3. All materials shall be of the highest quality and shall be approved by the Architect.
4. All work shall be completed within the specified time frame.
5. All work shall be done in accordance with the approved plans and specifications.
6. All work shall be done in accordance with the approved plans and specifications.
7. All work shall be done in accordance with the approved plans and specifications.
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10. All work shall be done in accordance with the approved plans and specifications.

PLANT MATERIAL LIST

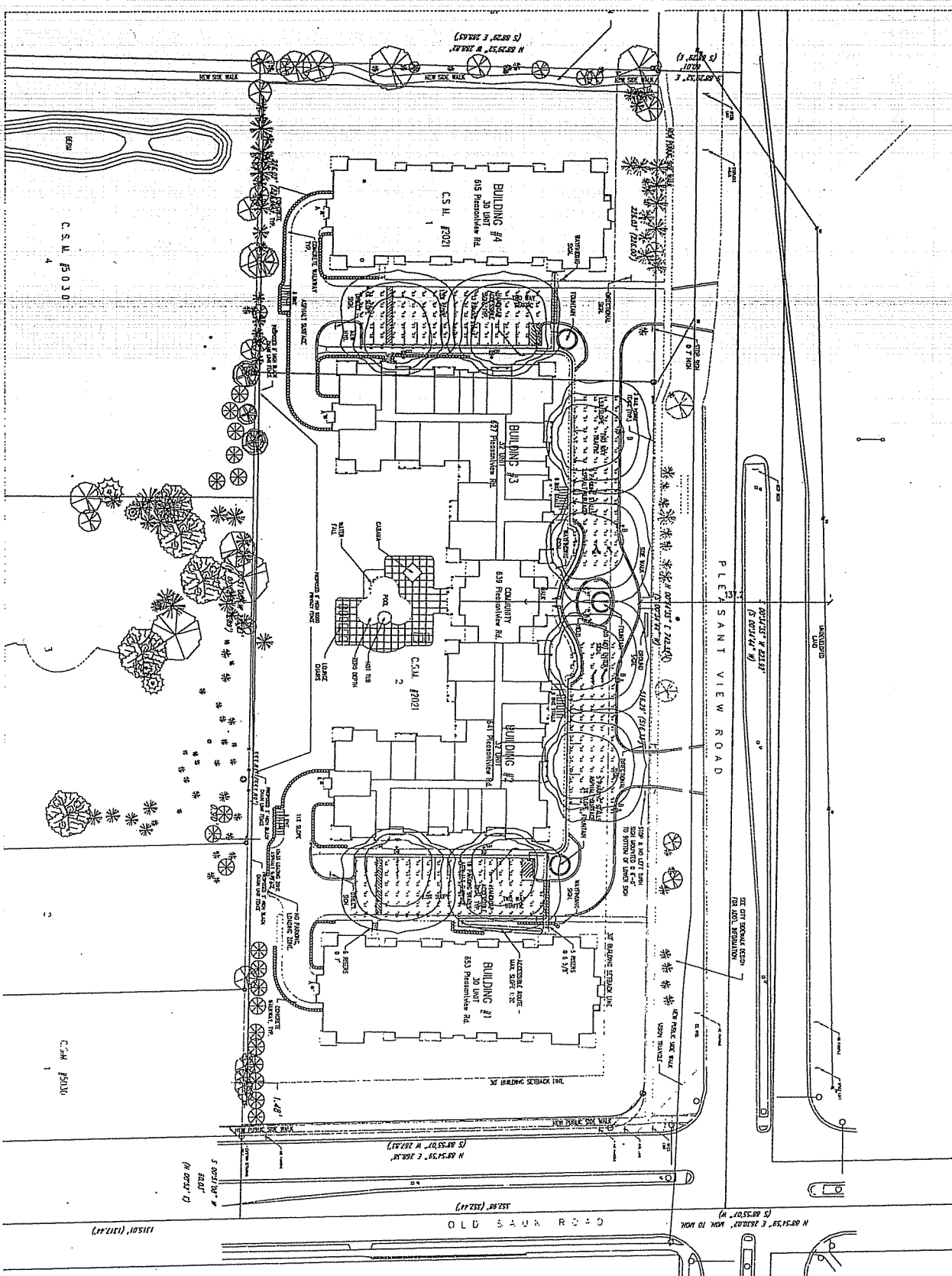
Quantity	Plant Name	Plant Code	Plant Description
10	Redwood	RE	Redwood Tree
5	Oak	OA	Oak Tree
15	Maple	MA	Maple Tree
20	Juniper	JU	Juniper Tree
30	Yucca	YU	Yucca Plant
40	Boxwood	BO	Boxwood Shrub
50	Hydrangea	HY	Hydrangea Shrub
60	Philadelphus	PH	Philadelphus Shrub
70	Spirea	SP	Spirea Shrub
80	Abelia	AB	Abelia Shrub
90	Andromeda	AN	Andromeda Shrub
100	Camellia	CA	Camellia Shrub
110	Cherry	CH	Cherry Tree
120	Peach	PE	Peach Tree
130	Apple	AP	Apple Tree
140	Orange	OR	Orange Tree
150	Lemon	LE	Lemon Tree
160	Lime	LI	Lime Tree
170	Pine	PI	Pine Tree
180	Cedar	CE	Cedar Tree
190	Spruce	SP	Spruce Tree
200	Fir	FI	Fir Tree

SITE PLAN
 1" = 40'

Project Title: Church Hill Crossing Apartments
 Site Address: 65 Pigeon View Rd.
 City: San Francisco, CA
 Date: 11/11/09
 Designer: [Name]
 Scale: 1" = 40'
 Project No.: [Number]

Issued - Jan 21, 2004
 If Issued - August 16, 2004
 Plan Complete - August 16, 2004
 Issued for Review - 4/16/05
 Issued for Construction - April 21, 2005
 Issued for Final Review - April 11, 2005

1 LANDSCAPING PLAN
Scale: 1/2" = 1'-0"
DATE: 08/11/11



C204

DATE: 08/11/11	BY: [Signature]
SCALE: 1/2" = 1'-0"	PROJECT: Churchill Crossing
SHEET: 1 OF 1	CLIENT: [Name]
DESIGNER: [Name]	APPROVER: [Name]

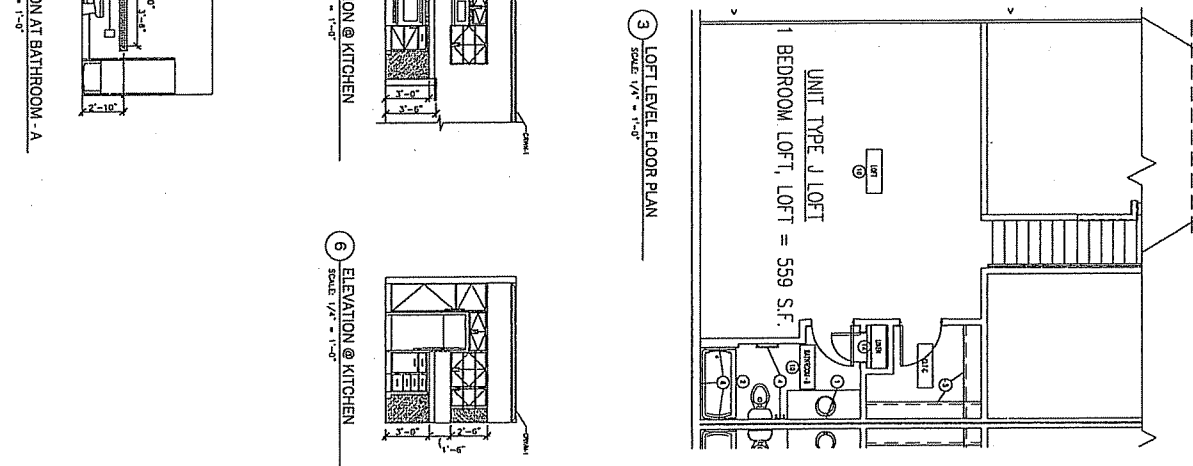
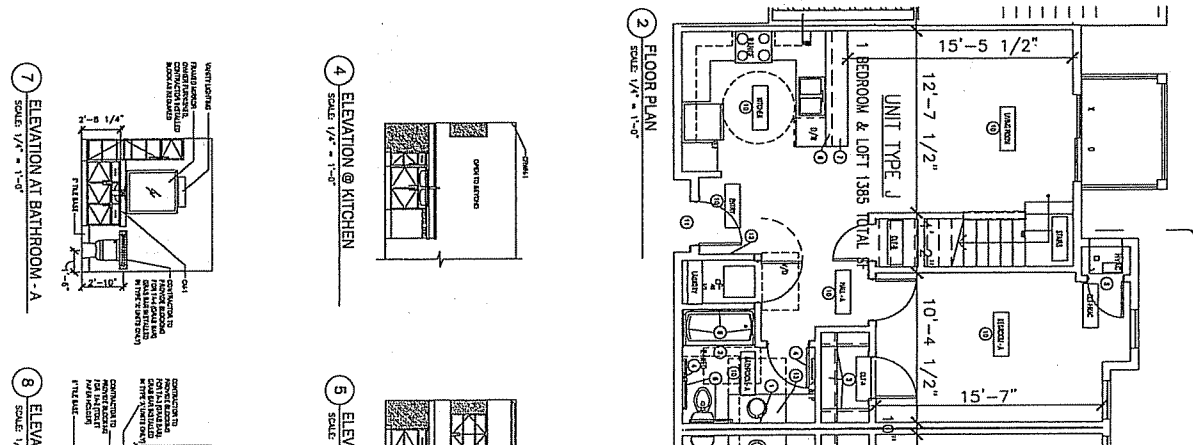
Churchill Crossing
000 Pleasant View Road
Madison, WI

brown
202 West Gorham St., Madison, WI 53703 608.663.5100 608.663.5151 fax

12

1 TYPICAL UNIT SCHEDULES
SCALE: NO SCALE

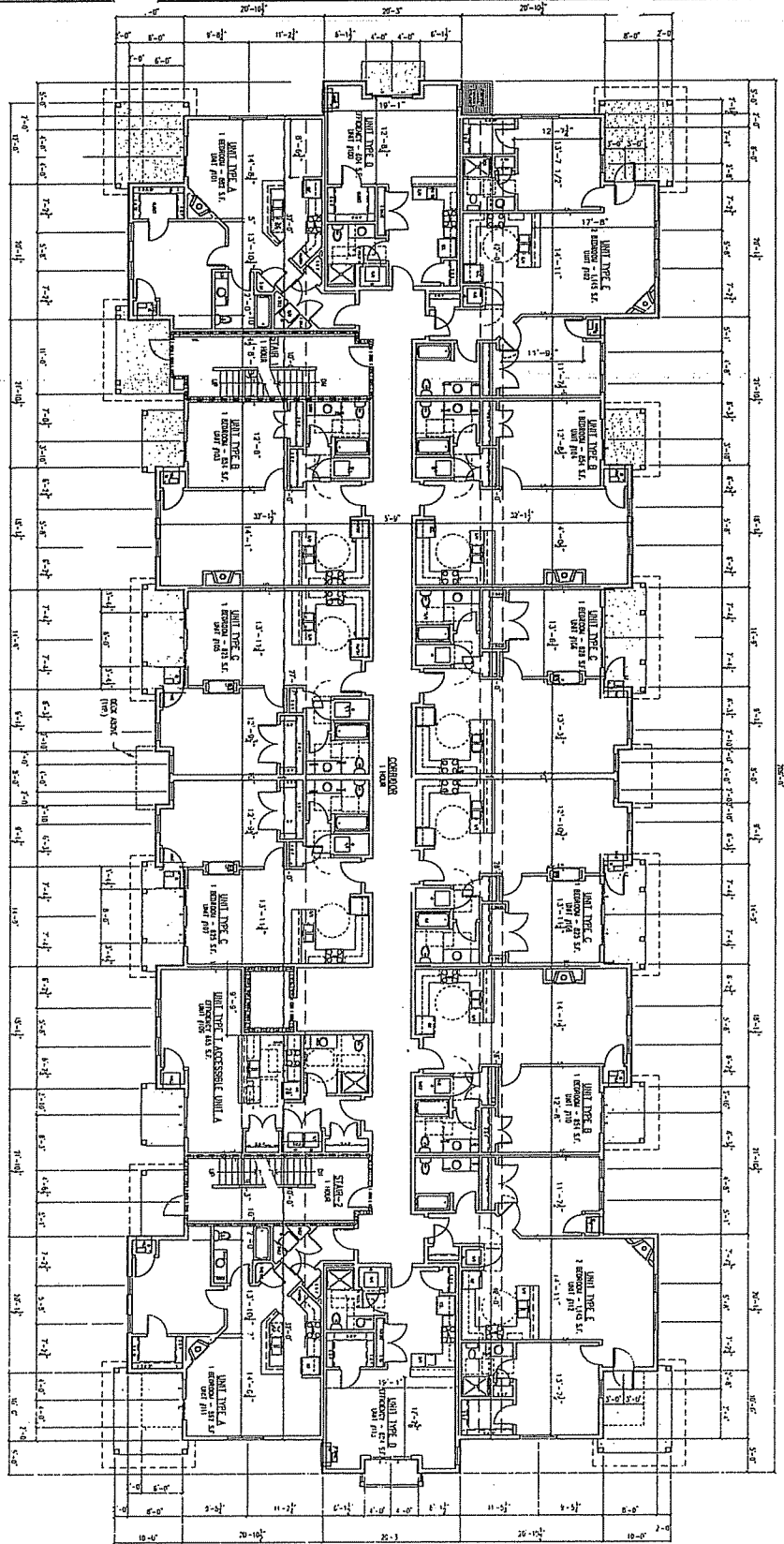
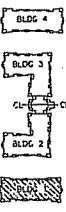
UNIT FINISH PRODUCT LIST	
ITEM NO.	DESCRIPTION
1	WALLS: 1/2" GYPSUM BOARD ON STUDS
2	CEILING: 5/8" GYPSUM BOARD ON JOISTS
3	FLOOR: 3/4" OSB ON JOISTS
4	DOORS: 1 3/4" SOLID CORE
5	WINDOWS: 1/2" GLASS ON 1 1/2" ALUMINUM
6	BASEBOARDS: 1/2" GYPSUM BOARD
7	TRIM: 1/2" GYPSUM BOARD
8	PAINT: INTERIOR WALLS AND CEILING
9	PAINT: EXTERIOR WALLS
10	PAINT: FLOOR
11	PAINT: CABINETS
12	PAINT: APPLIANCES
13	PAINT: BATHROOM
14	PAINT: KITCHEN
15	PAINT: HALLWAYS
16	PAINT: STAIRS
17	PAINT: PORCHES
18	PAINT: DRIVEWAYS
19	PAINT: GARAGES
20	PAINT: ROOFS
21	PAINT: SLOTTED ROOFS
22	PAINT: DRIVEWAYS
23	PAINT: GARAGES
24	PAINT: ROOFS
25	PAINT: SLOTTED ROOFS
26	PAINT: DRIVEWAYS
27	PAINT: GARAGES
28	PAINT: ROOFS
29	PAINT: SLOTTED ROOFS
30	PAINT: DRIVEWAYS
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94	PAINT: DRIVEWAYS
95	PAINT: GARAGES
96	PAINT: ROOFS
97	PAINT: SLOTTED ROOFS
98	PAINT: DRIVEWAYS
99	PAINT: GARAGES
100	PAINT: ROOFS



- FLOOR PLAN KEY NOTES:**
- 1 PROVIDE ELEVATION IN THIS PORTION OF THE WALL FOR FINISHED BASEBOARD - CONTINGENT FINISHES CONTRACTOR TO BE DETERMINED
 - 2 PROVIDE WOOD SHELF W/ROPE AT CLOSET
 - 3 PROVIDE BROOMING AT TOWER, BATH & TOILET (W/ENL. DISPENSER)
 - 4 PROVIDE BROOMING AT TOWER, BATH & TOILET (W/ENL. DISPENSER)
 - 5 PROVIDE BROOMING AT TOWER, BATH & TOILET (W/ENL. DISPENSER)
 - 6 PROVIDE BROOMING AT TOWER, BATH & TOILET (W/ENL. DISPENSER)
 - 7 PROVIDE BROOMING AT TOWER, BATH & TOILET (W/ENL. DISPENSER)
 - 8 PROVIDE BROOMING AT TOWER, BATH & TOILET (W/ENL. DISPENSER)
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 - 98 PROVIDE BROOMING AT TOWER, BATH & TOILET (W/ENL. DISPENSER)
 - 99 PROVIDE BROOMING AT TOWER, BATH & TOILET (W/ENL. DISPENSER)
 - 100 PROVIDE BROOMING AT TOWER, BATH & TOILET (W/ENL. DISPENSER)

FOR REFERENCE ONLY

1 FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 BUILDING 1, BLOC 4 SELL, UNBARRICAD
 PLAN NUMBER



- FLOOR PLAN - GENERAL NOTES
1. FINISHES ON FLOOR PLAN ARE SHOWN BY LINE OF FINISHED WALL TO FACE OF FINISHED WALL. FOUNDATION WALLS, EXTERIOR CLASH OF FACE AND INTERIOR WALLS, SHALL BE SHOWN BY LINE OF FINISHED WALL TO FACE OF FINISHED WALL.
 2. VERIFY ALL DIMENSIONS AND CONDITIONS AT CONSTRUCTION AND AFTER FRESH FINISHES.
 3. ALL FINISHES IS TO BE UNLESS STATED OTHERWISE.
 4. ALL INTERIOR WALLS AND PARTITIONS SHALL BE CONSTRUCTION STRENGTH TO PROVIDE PROPER SOUND ATTENUATION TO ADJACENT SPACES.
 5. INTERIOR WALLS SHALL BE CONSTRUCTION STRENGTH TO PROVIDE PROPER SOUND ATTENUATION TO ADJACENT SPACES.
 6. INTERIOR WALLS SHALL BE CONSTRUCTION STRENGTH TO PROVIDE PROPER SOUND ATTENUATION TO ADJACENT SPACES.
 7. INTERIOR WALLS SHALL BE CONSTRUCTION STRENGTH TO PROVIDE PROPER SOUND ATTENUATION TO ADJACENT SPACES.
 8. INTERIOR WALLS SHALL BE CONSTRUCTION STRENGTH TO PROVIDE PROPER SOUND ATTENUATION TO ADJACENT SPACES.
 9. INTERIOR WALLS SHALL BE CONSTRUCTION STRENGTH TO PROVIDE PROPER SOUND ATTENUATION TO ADJACENT SPACES.
 10. INTERIOR WALLS SHALL BE CONSTRUCTION STRENGTH TO PROVIDE PROPER SOUND ATTENUATION TO ADJACENT SPACES.

FLOOR PLAN - SYMBOLS LEGEND

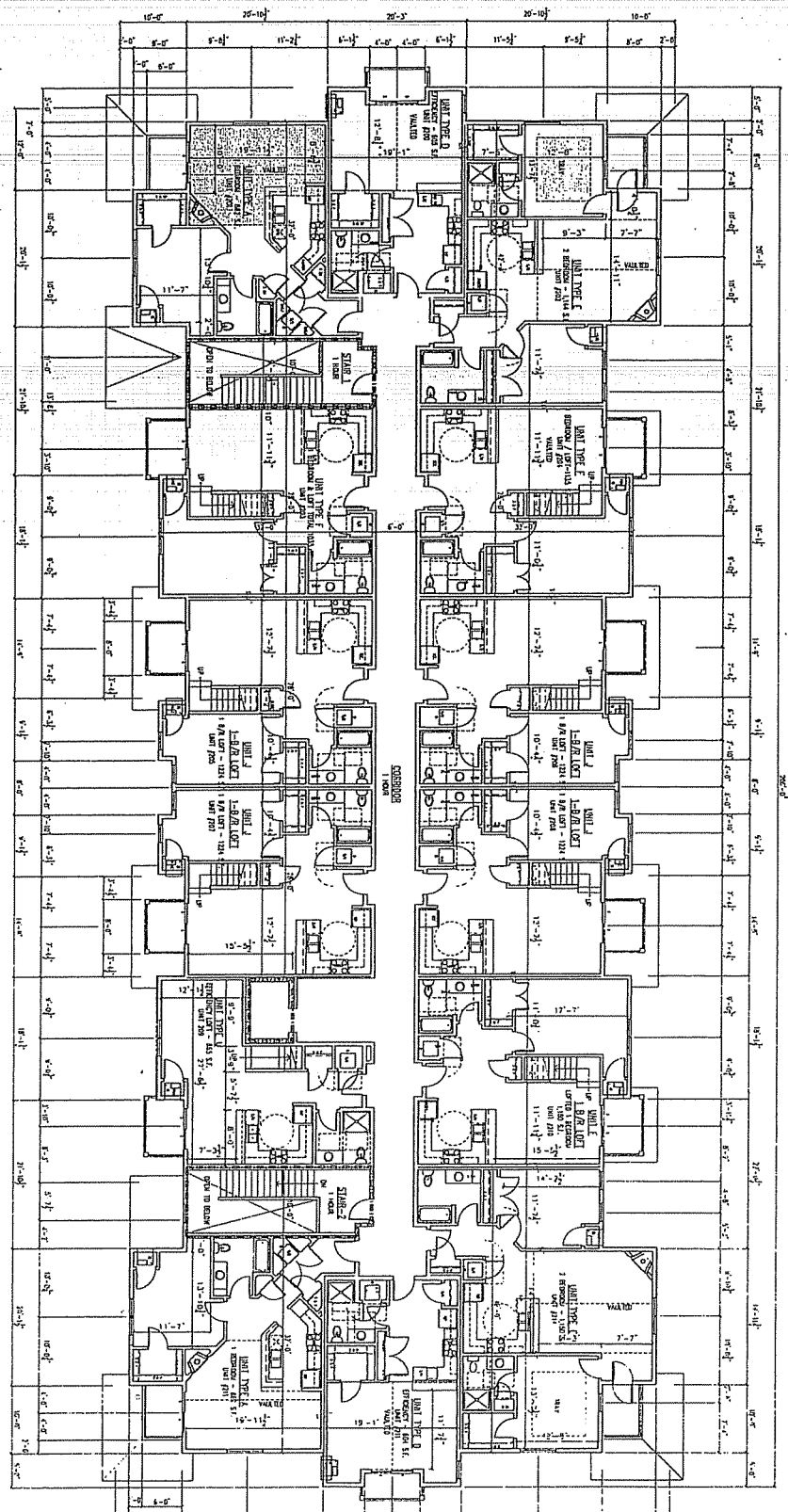
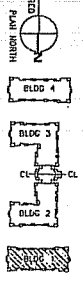
- 4" x 8" / 4" x 12" / 6" x 8" / 6" x 12"
- 1" x 4" / 1" x 6" / 1" x 8" / 1" x 10"
- 1" x 12" / 1" x 14" / 1" x 16"
- 1" x 18" / 1" x 20" / 1" x 22"
- 1" x 24" / 1" x 26" / 1" x 28"
- 1" x 30" / 1" x 32" / 1" x 34"
- 1" x 36" / 1" x 38" / 1" x 40"
- 1" x 42" / 1" x 44" / 1" x 46"
- 1" x 48" / 1" x 50" / 1" x 52"
- 1" x 54" / 1" x 56" / 1" x 58"
- 1" x 60" / 1" x 62" / 1" x 64"
- 1" x 66" / 1" x 68" / 1" x 70"
- 1" x 72" / 1" x 74" / 1" x 76"
- 1" x 78" / 1" x 80" / 1" x 82"
- 1" x 84" / 1" x 86" / 1" x 88"
- 1" x 90" / 1" x 92" / 1" x 94"
- 1" x 96" / 1" x 98" / 1" x 100"

BLOC 144
 1ST FLOOR
 A201

Churchill Crossing
 000 Pleasant View Road
 Madison, WI

brownhouse
 202 West Gorman St., Madison, WI 53702 608.663.5100 608.663.5151 fax

SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0" BUILDING 1, BLDG 4 SHOWN



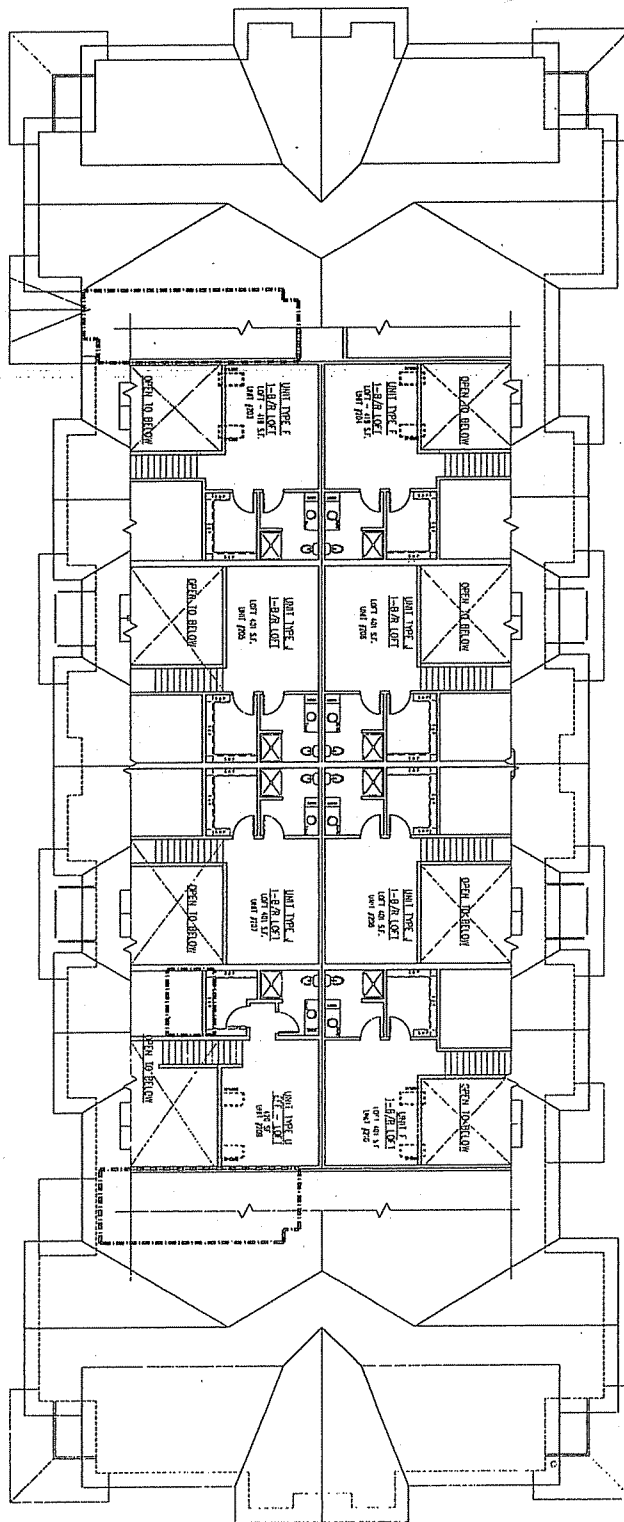
- FLOOR PLAN - GENERAL NOTES**
1. DIMENSIONS ON FLOOR PLAN ARE GIVEN ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL. FOUNDATION WALL OR EXTERIOR WALL TO FACE OF FINISHED WALL TO FACE OF FINISHED WALL.
 2. ALL INTERIOR WALLS AND PARTITIONS ARE TO BE CONSTRUCTED PER DETAIL UNLESS OTHERWISE NOTED.
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 10. ALL PARTITIONS ARE TO BE CONSTRUCTED PER DETAIL UNLESS OTHERWISE NOTED.

- FLOOR PLAN - SYMBOLS & LEGEND**
- 1. ROOM NUMBER
 - 2. ROOM NAME
 - 3. ROOM TYPE
 - 4. ROOM AREA
 - 5. ROOM PERIMETER
 - 6. ROOM CENTERLINE
 - 7. ROOM CORNER
 - 8. ROOM MIDDLELINE
 - 9. ROOM CENTERLINE
 - 10. ROOM CORNER
 - 11. ROOM MIDDLELINE
 - 12. ROOM CENTERLINE
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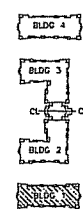
BLDG 1&4
2ND FLOOR
A202

Churchill Crossing
000 Pleasant View Road
Madison, WI

brownhouse
201 West Gorham St., Madison, WI 53703 608.663.5100 608.663.5151 fax



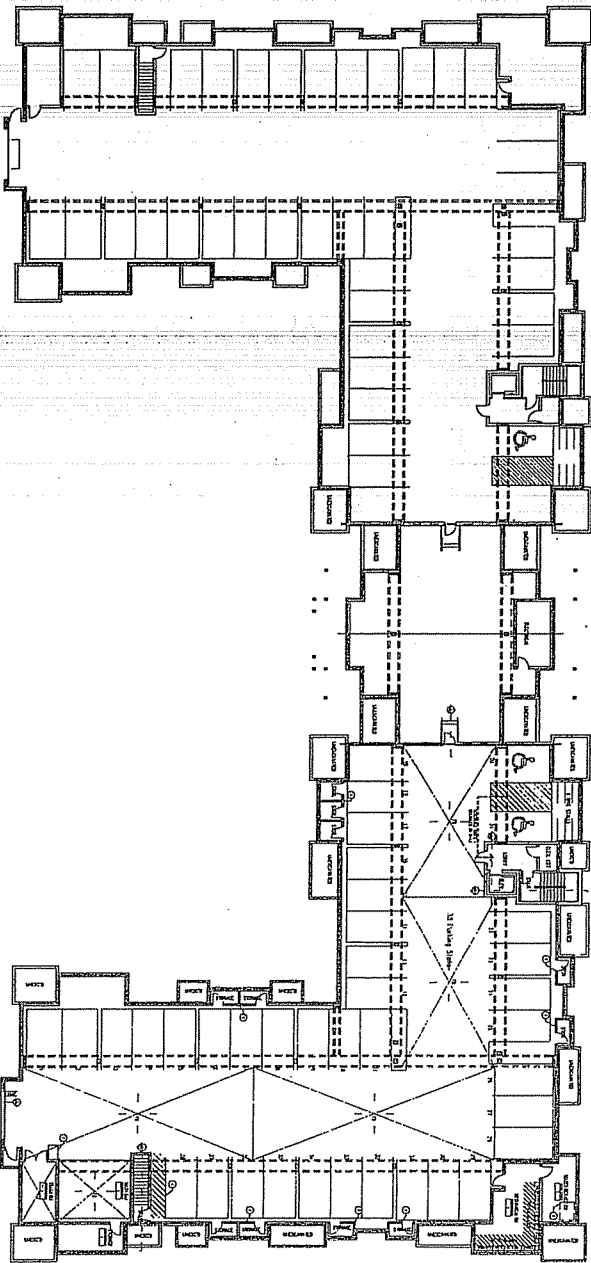
1 SECOND FLOOR LOFT FLOOR PLAN
 SCALE: 1/8" = 1'-0" BUILDING 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100



- FLOOR PLAN - GENERAL NOTES**
1. REFER TO ALL/100 DRAWING SETS FOR GENERAL NOTES, PERMITS, FINISH SCHEDULES, AND SPECIFICATIONS. ALL NOTES, PERMITS, FINISH SCHEDULES, AND SPECIFICATIONS ARE TO BE USED IN CONJUNCTION WITH THIS DRAWING SET.
 2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
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10. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

12

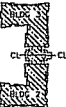


1 OVERALL BASEMENT PLAN
SCALE: 1/8" = 1'-0"

BUILDING 2, CHURCHILL CROSSING

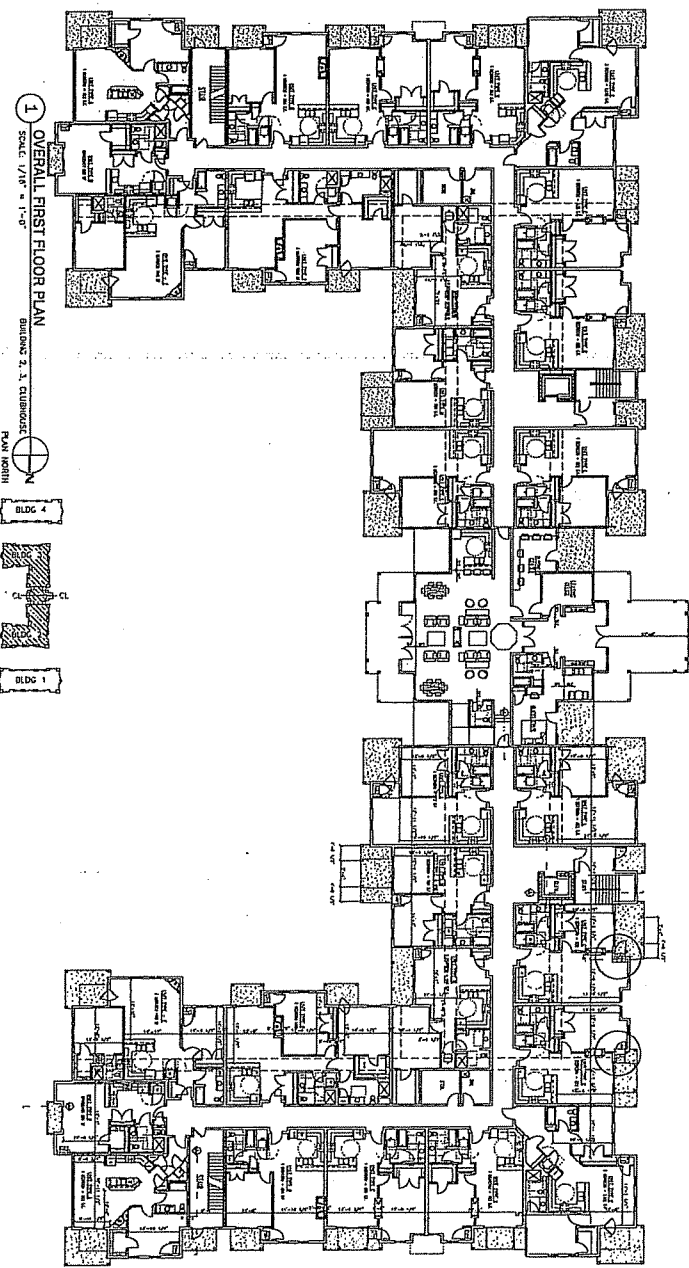


BLDG 4



BLDG 1

- FLOOR PLAN - GENERAL NOTES
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 2. VERIFY ALL DIMENSIONS AND CONDITIONS AT CONSTRUCTION. VERIFY ALL DIMENSIONS AND CONDITIONS AT CONSTRUCTION. VERIFY ALL DIMENSIONS AND CONDITIONS AT CONSTRUCTION.
 3. ALL FINISHES TO BE VERIFIED STUD FINISHES.
 4. ALL INTERLOCKING JOINTS RECEIVING SHALL BE SUFFICIENT STRENGTH TO RECEIVE JOINTS. ALL INTERLOCKING JOINTS RECEIVING SHALL BE SUFFICIENT STRENGTH TO RECEIVE JOINTS.
 5. PROVIDE PROTECTIVE CURBS AND RAMPING AS SHOWN ON DRAWING. PROVIDE PROTECTIVE CURBS AND RAMPING AS SHOWN ON DRAWING.
 6. PROVIDE PROTECTIVE CURBS AND RAMPING AS SHOWN ON DRAWING. PROVIDE PROTECTIVE CURBS AND RAMPING AS SHOWN ON DRAWING.
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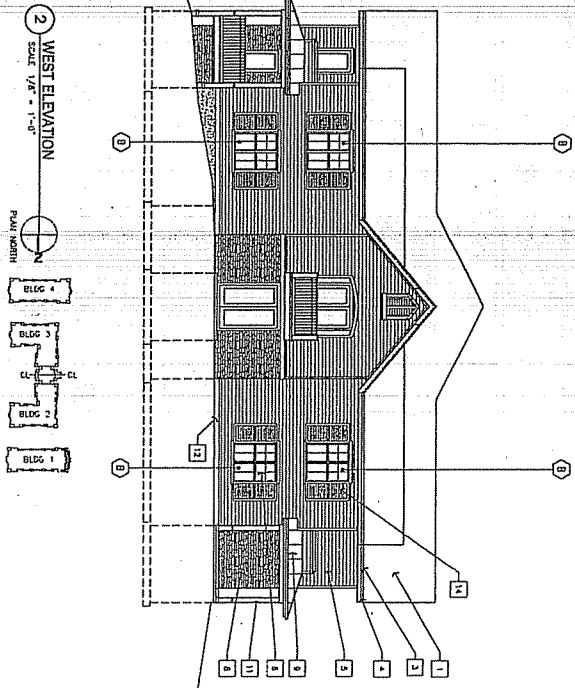
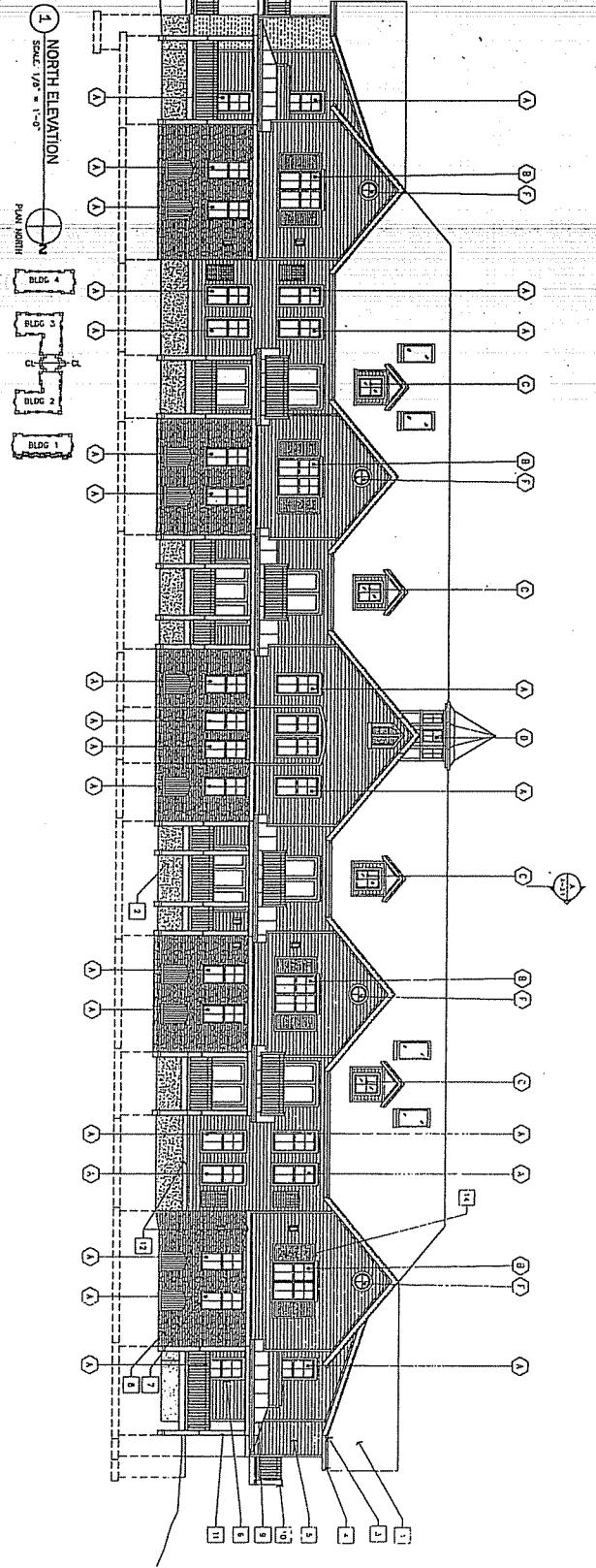
1 OVERALL FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

SECTION 2.1. CIRCUMFERENTIAL NORTH



- FLOOR PLAN - GENERAL NOTES
- 1. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL. FOUNDATION WALLS ARE EXCEPTED.
 - 2. ALL DIMENSIONS AND CONDITIONS AT CONSTRUCTION MAY DIFFER FROM DRAWINGS.
 - 3. ALL FINISHES TO BE UNDER STUD DRAWING.
 - 4. ALL MECHANICAL, VENT, AND ROOFING SHALL BE DIMENSIONED, LAYOUT, AND NOTED ON EACH DRAWING AND COVERED BY SEPARATE DRAWING.
 - 5. MATERIALS, METHODS, AND SPECIFICATIONS TO BE PROVIDED BY CONTRACTOR AS NOTED FOR FINISHES, PARTS, AND MATERIALS. MATERIALS SHALL BE APPROVED BY ARCHITECT BEFORE CONSTRUCTION.
 - 6. OPENING ABOVE CEILING SHALL BE NOTED ON EACH DRAWING AND COVERED BY SEPARATE DRAWING.
 - 7. SETBACKS TO EXISTING STRUCTURE SHALL BE NOTED ON EACH DRAWING AND COVERED BY SEPARATE DRAWING.
 - 8. ALL PROJECTS SHALL BE NOTED ON EACH DRAWING AND COVERED BY SEPARATE DRAWING.
 - 9. ALL PROJECTS SHALL BE NOTED ON EACH DRAWING AND COVERED BY SEPARATE DRAWING.
 - 10. ALL PROJECTS SHALL BE NOTED ON EACH DRAWING AND COVERED BY SEPARATE DRAWING.
 - 11. ALL PROJECTS SHALL BE NOTED ON EACH DRAWING AND COVERED BY SEPARATE DRAWING.
 - 12. ALL PROJECTS SHALL BE NOTED ON EACH DRAWING AND COVERED BY SEPARATE DRAWING.
 - 13. ALL PROJECTS SHALL BE NOTED ON EACH DRAWING AND COVERED BY SEPARATE DRAWING.
 - 14. ALL PROJECTS SHALL BE NOTED ON EACH DRAWING AND COVERED BY SEPARATE DRAWING.
 - 15. ALL PROJECTS SHALL BE NOTED ON EACH DRAWING AND COVERED BY SEPARATE DRAWING.
 - 16. ALL PROJECTS SHALL BE NOTED ON EACH DRAWING AND COVERED BY SEPARATE DRAWING.
 - 17. ALL PROJECTS SHALL BE NOTED ON EACH DRAWING AND COVERED BY SEPARATE DRAWING.
 - 18. ALL PROJECTS SHALL BE NOTED ON EACH DRAWING AND COVERED BY SEPARATE DRAWING.
 - 19. ALL PROJECTS SHALL BE NOTED ON EACH DRAWING AND COVERED BY SEPARATE DRAWING.
 - 20. ALL PROJECTS SHALL BE NOTED ON EACH DRAWING AND COVERED BY SEPARATE DRAWING.

- 1. FINISHES TO BE UNDER STUD DRAWING.
- 2. ALL FINISHES TO BE UNDER STUD DRAWING.
- 3. ALL FINISHES TO BE UNDER STUD DRAWING.
- 4. ALL FINISHES TO BE UNDER STUD DRAWING.
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- 7. ALL FINISHES TO BE UNDER STUD DRAWING.
- 8. ALL FINISHES TO BE UNDER STUD DRAWING.
- 9. ALL FINISHES TO BE UNDER STUD DRAWING.
- 10. ALL FINISHES TO BE UNDER STUD DRAWING.
- 11. ALL FINISHES TO BE UNDER STUD DRAWING.
- 12. ALL FINISHES TO BE UNDER STUD DRAWING.
- 13. ALL FINISHES TO BE UNDER STUD DRAWING.
- 14. ALL FINISHES TO BE UNDER STUD DRAWING.
- 15. ALL FINISHES TO BE UNDER STUD DRAWING.
- 16. ALL FINISHES TO BE UNDER STUD DRAWING.
- 17. ALL FINISHES TO BE UNDER STUD DRAWING.
- 18. ALL FINISHES TO BE UNDER STUD DRAWING.
- 19. ALL FINISHES TO BE UNDER STUD DRAWING.
- 20. ALL FINISHES TO BE UNDER STUD DRAWING.

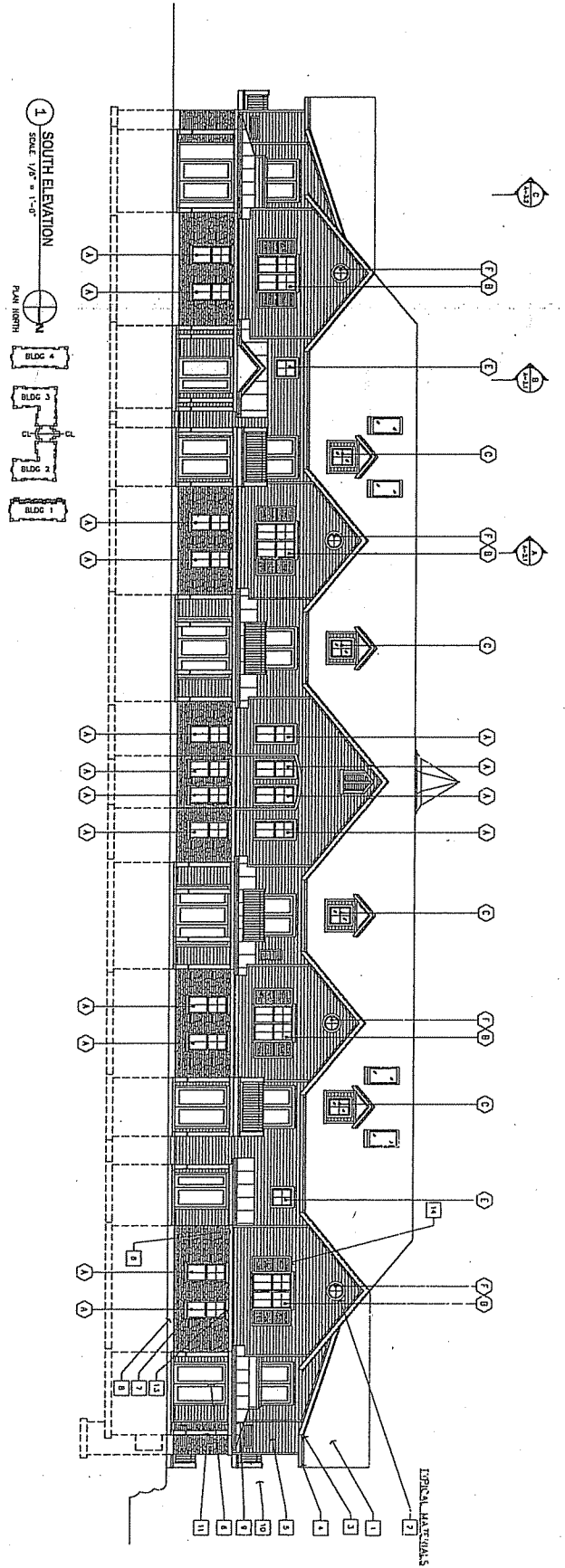


- MATERIALS:**
- 1 ASPHALT SHINGLES, CAR. MERRIMAC SELECT 40
 - 2 COLOR WEATHERED WOOD BLEND
 - 3 SMOOTH FINISH ON CONCRETE FOUNDATION WALL.
 - 4 ALUMINUM GUTTERS & DOWNSPOUTS, COLOR TO MATCH ALCOA GUTTERS DO NOT COLOR, FINISH ALUMINUM WRAPPED 1/4\"/>
 - 5 ALUMINUM WRAPPED FASCIA, ALCOA, PERFORMANCE METALS
 - 6 COLOR: WOODMAN SIDING
 - 7 VINE Siding, ALCOA, VASTIC PREFERRED Siding, DRESS 1 SIDING
 - 8 COLOR: PEDESTALIC CLAY
 - 9 WINDOWS - WINE WOODS & TRIV - 02,03,08
 - 10 EOOD (WOODEN 0 WOODS WINDOWS)
 - 11 PRECAST SILL & HEAD
 - 12 DRESS COGNAC ANTIQUED STONE CORNER, CHARBONNAY SHIMMER LEXINGTON (CSY-2054)
 - 13 SLIDING STAIN METAL ROOF
 - 14 COLOR - 3/4-CENT AGED COPPER
 - 15 BALCONY TRIM, POSTS, AND BRACKS - PAINTED
 - 16 PAINTED WOOD COLUMNS - PAINTED HANDPINK OR HYDRANLAK COLORED - SAND
 - 17 PAINTED WOOD COLUMNS - PAINTED HANDPINK OR HYDRANLAK COLORED - SAND
 - 18 WHIT. TRIM, COLOR: PEDESTALIC CLAY
 - 19 PRECAST LINTEL
 - 20 DIVISION SHUTTER AS APPROVED BY OWNER, COLOR BLACK

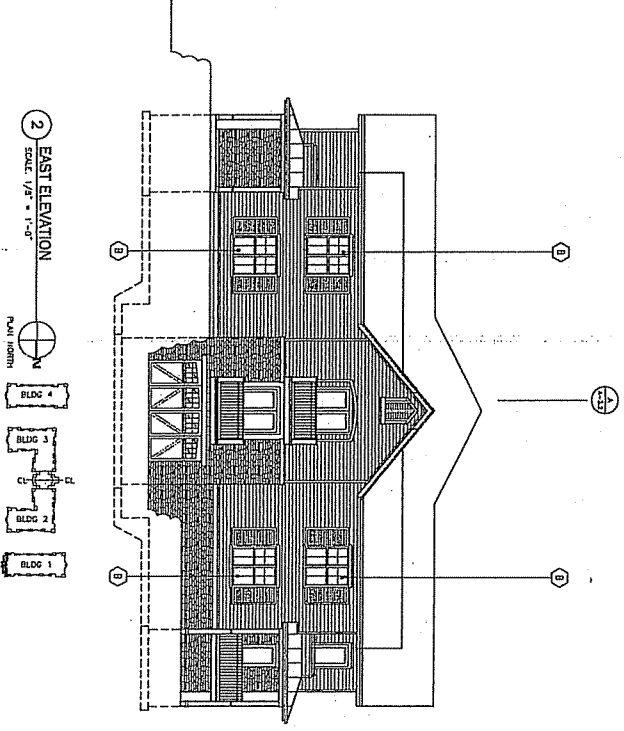
BLDG. 1-2
EXTENSION
ELEVATIONS
A300

Churchill Crossing
000 Pleasant View Road
Madison, WI

brown
202 West Gorham St., Mebbon, WI 53703 108.663.5100 608.663.5131 fax.



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



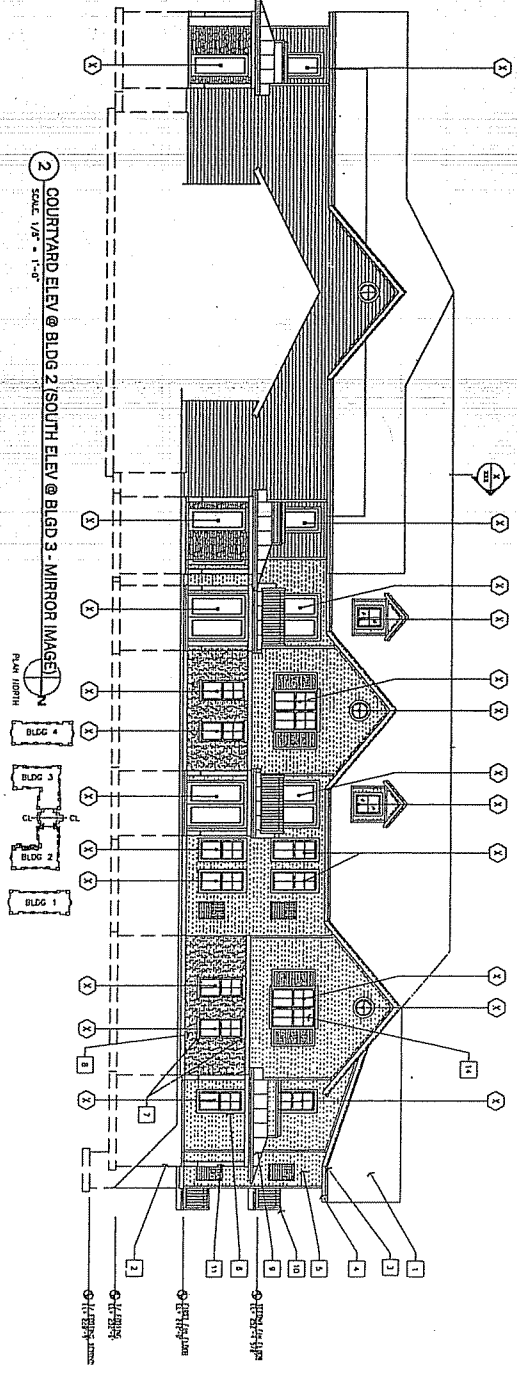
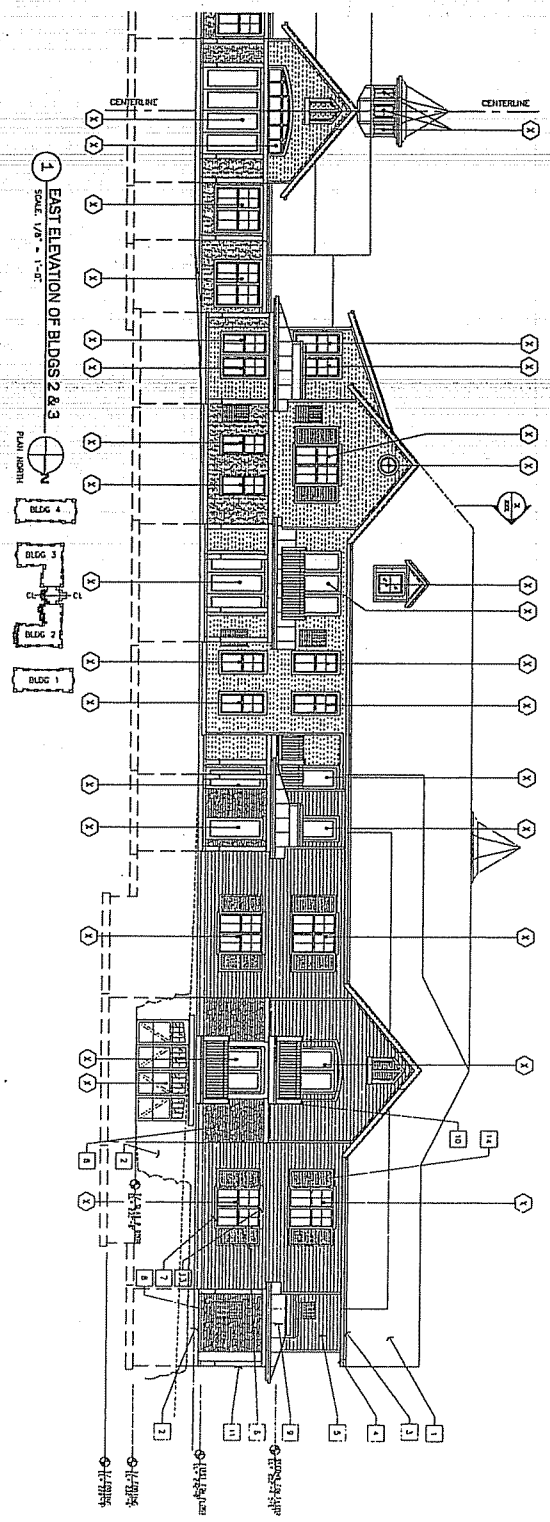
2 EAST ELEVATION
SCALE: 1/8" = 1'-0"

- TYPICAL MATERIALS:
- 1 MIRROR FINISHES OF INTERIOR SELECT 40 COLOR REFINISHED WOOD BLEND
 - 2 SLICED PINE OR CONCRETE FOUNDATION WALL
 - 3 ALUMINUM GUTTERS & DOWNSPOUTS COLOR TO MATCH ALCOA
 - 4 ALUMINUM SIDING
 - 5 ALUMINUM SHARPO PASTA ALCOA PERFORMANCE METALS COLOR: MONTANA SLIDE
 - 6 VINYL SIDING, ALCOA, MISC. PREMIUM SPONGE, QUESI 3 STRIPS COLOR: PERLSTONE C.A.T.
 - 7 WINDOWS - VINYL WINDOWS & TRIM - COLOR: BEC (GREEN & ROUND WINDOWS)
 - 8 PRECAST SILL & HEAD
 - 9 ONE'S CORNING CULTURED STONE, COLOR: CHARBONNIA SOUTHERN LEADSTONE (CSY-7054)
 - 10 STANDING SEAM METAL ROOF
 - 11 COLOR = PVC-CLAD ACID COPPER
 - 12 BALCONY TRIM, PISTS, AND RAILING - PAINTED HERRINGBONE, COLOR = SAND
 - 13 PAINTED WOOD COLUMNS - PAINTED HERRINGBONE OR COLOR, COLOR = SAND
 - 14 VINYL TRIM, COLOR: PERLSTONE CLAY
 - 15 PRECAST UNITS
 - 16 GUTTER SPLITTER, AS APPROVED BY OWNER, COLOR: SAND

TITLE: 124
EXTERIOR
ELEVATIONS
A301

Churchill Crossing
000 Pleasant View Road
Madison, WI

brown
202 West Gorham St., Madison, WI 53703 608.663.5100 608.663.5151 fax



- TYPICAL MATERIALS:**
- 1 ASPHALT SHINGLES ON 2x6 RAFTERS SELECT 40
 - 2 1/2\"/>

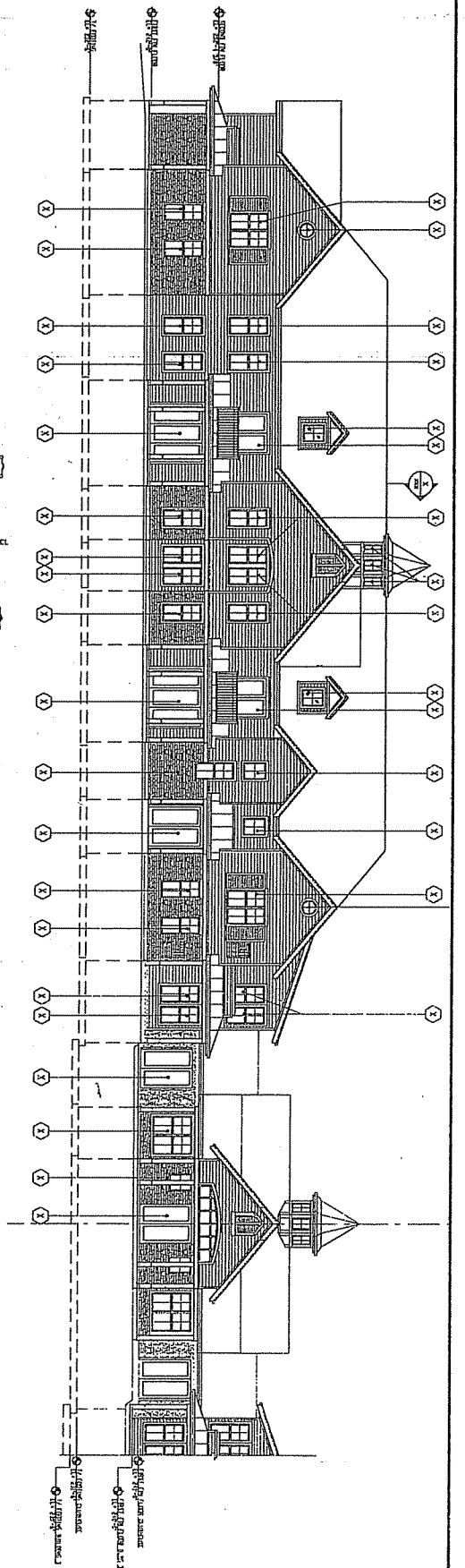
A302

BLDG 2 & 3
EXTERIOR
ELEVATIONS

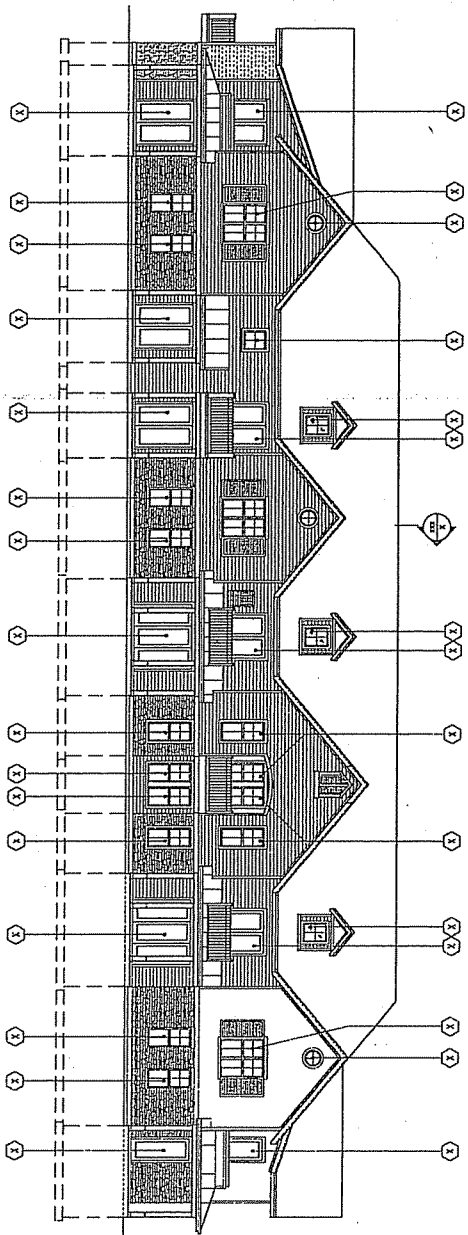
Churchill Crossing
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Madison, WI

brown
202 West Corbett St. Madison, WI 53703 608.663.5100 608.663.5151 fax

12



1 WEST ELEVATION OF BLDGS 2 & 3
SCALE: 1/8" = 1'-0"



2 NORTH ELEV. @ BLDG 2 (SOUTH ELEV. @ BLDG 3 - MIRROR IMAGE)
SCALE: 1/8" = 1'-0"

- TYPICAL MATERIALS:**
- 1 ASPHALT SHINGLES ON 1/2" SHEATHING
 - 2 COLOR KENNERLED WOOD BLEND
 - 3 STUCCO FINISH ON CONCRETE FOUNDATION WALL
 - 4 ALUMINUM GUTTERS & DOWNSPOUTS COLOR TO MATCH ALUMINUM GUTTERS DO NOT OCCUR FROM THE ALUMINUM MATERIALS
 - 5 ALUMINUM WRAPPED FASCIA, ALUMINUM PERFORMANCE VINYLS
 - 6 COLOR: DUNSMUIR SLICE
 - 7 VINYL SIDING, ALUMINUM, VINYLIC FIBERGLASS SHEET, QUARTZ 3 SERIES
 - 8 COLOR: REDBURN CLAY
 - 9 WINDOWS - VINYL WINDOWS & TRIM - COLOR: BOLD (FIELD & ROUND WINDOWS)
 - 10 PRECAST SIL & REJO
 - 11 DRINKS CANNING CULTURED STONE, COLOR: CRYSTAL
 - 12 CRYSTALLINE SANDSTONE (351-7914)
 - 13 STONE: SAND ALUMINUM ROOF
 - 14 ALUMINUM WRAPPED FASCIA, ALUMINUM PERFORMANCE VINYL
 - 15 HORIZONTAL CLADDING - PAINTED
 - 16 PAINTED WOOD CLADDING - PAINTED HARDWOOD OR CEDAR, COLOR: SAND
 - 17 VINYL TRIM, COLOR: REDBURN CLAY
 - 18 PRECAST W/RT
 - 19 DISTAL SHUTTER AS APPROVED BY OWNER, COLOR: BLACK