



# Madison Landmarks Commission APPLICATION

City of Madison Planning Division  
215 Martin Luther King Jr. Blvd. | Room LL.100 | P.O. Box 2985 | Madison, WI 53701-2985

## 1. LOCATION

Project Address: 1013 Mound St. and 1015 Mound St. Aldermanic District: 13

## 2. PROJECT

Date Submitted: June 30, 2014

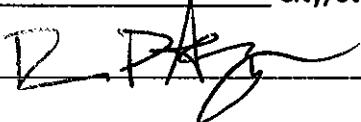
Project Title / Description: Longfellow Historic and Longfellow 64 Apartment Buildings

This is an application for: (check all that apply)

- Alteration / Addition to a Designated Madison Landmark
- Alteration / Addition to a building adjacent to a Designated Madison Landmark
- Alteration / Addition to a building in a Local Historic District (specify):
  - Mansion Hill
  - University Heights
  - Third Lake Ridge
  - Marquette Bungalows
  - First Settlement
- New Construction in a Local Historic District (specify):
  - Mansion Hill
  - University Heights
  - Third Lake Ridge
  - Marquette Bungalows
  - First Settlement
- Demolition
- Variance from the Landmarks Ordinance
- Referral from Common Council, Plan Commission, or other referral
- Other (specify): Exterior signage

## 3. APPLICANT

Applicant's Name: John Seamon Company: Iconica  
 Address: 901 Deming Way City/State: Madison, WI Zip: 53717  
 Telephone: (608) 664-3550 E-mail: john.seamon@iconicacreates.com  
 Property Owner (if not applicant): Longfellow Properties, LLC c/o Alexander Company  
 Address: 145 East Badger Road, Suite 200 City/State: Madison, WI Zip: 53713

Property Owner's Signature:  Date: 6-30-14

### GENERAL SUBMITTAL REQUIREMENTS

Twelve (12) collated paper copies and electronic (.pdf) files of the following: (Note the filing deadline is 4:30 PM on the filing day)

- Application
- Brief narrative description of the project
- Scaled plan set reduced to 11" x 17" or smaller pages. Please include:
  - Site plan showing all property lines and structures
  - Building elevations, plans and other drawings as needed to illustrate the project
  - Photos of existing house/building
  - Contextual information (such as photos) of surrounding properties
- Any other information that may be helpful in communicating the details of the project and how it complies with the Landmarks Ordinance, including the impacts on existing structures on the site or on nearby properties.

**Questions?** Please contact the  
 Historic Preservation Planner:  
 Amy Scanlon  
 Phone: 608.266.6552  
 Email: [ascanlon@cityofmadison.com](mailto:ascanlon@cityofmadison.com)

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.



Signage Design Intent  
The Longfellow School Adaptive Re-use and New Apartment Complex  
June 30, 2014

**Project Description:**

The proposed uses include: 50,432 SF of residential in the historic Longfellow school, 70,815 SF of residential and 39,841 SF of enclosed parking in the new building. The redevelopment of the former Longfellow School includes the conversion to 40 market rate apartments along with a new three-story, 64 unit apartment building over 2 levels of self-contained parking with 101 stalls and 18 surface stalls. Pedestrian access to both the historic building and the new building will be available from Chandler and Mound Streets along with a connector between both buildings located on the upper parking level. The parking access is from both Chandler and Mound street with trash/recycling pick up and resident loading/unloading from the Mound street only.

The new building footprint mimics the existing school, and consequently, creates a common courtyard and gardens with a pedestrian building connection between the historic building and the proposed new building. Enhanced sidewalk and street front landscaping provide an aesthetically cohesive environment. The massing, articulation and architectural style is intended to be cohesive with the Meriter campus and neighborhood but most specifically, respect and preserve the architectural identity of its closest neighbor, the historic Longfellow School. However, the modern design sensibility of the new building also allows for the historic building and the new Children's Center to maintain their respective identities, history and presence.

**Historic Preservation:**

Every attempt is being made to exploit all character features of the school to create a singular sense of place for its residents, Meriter and the neighborhood. The restoration of the historic Longfellow School meets or exceeds the standards set by the US Department of Interior for property that is listed on the National Register of Historic Places and the guidelines established by the City of Madison Landmarks Commission.

**Signage design:**

The signage design is intended to have little to no design impact on either building, historic or new. The minimal design is restrained and allows the architecture to take center stage. Clean, simple black plate steel with laser cut or white applied letters serve to identify and instruct but not compete with the architecture. The 6 privacy signs are located near the sidewalks for 3 reasons. 1.) Adding signage to the building entry doors or adjacent walls is not an acceptable solution to the National park service; 2.) Signs at the doors are a privacy concern, as we don't want people looking don't into units from the elevated position of the entry stair landings; and 3.) To keep hospital visitors from smoking on the property.

Thank you for your time in reviewing our proposal and I look forward to meeting with you.

Sincerely,

John Seamon  
Architectural Director, Iconica

901 Deming Way // Madison, WI 53717 // Ph: 608.664.3500 // Fx: 608.664.3535 //

[Iconicacreates.com](http://Iconicacreates.com)

**PARKING LOT PLAN SITE INFORMATION BLOCK**

SITE ADDRESS: 1013 & 1015 MOUND STREET, MADISON WISCONSIN 53715  
 SITE AREA: 1.747 ACRES  
 NUMBER OF BUILDING STORIES (ABOVE GRADE): 4  
 BUILDING HEIGHT: 43'-0"  
 DUAL TYPE OF CONSTRUCTION TYPE VIA CONSTRUCTION  
 TOTAL SQUARE FOOTAGE OF BUILDINGS: 111,745 S.F.

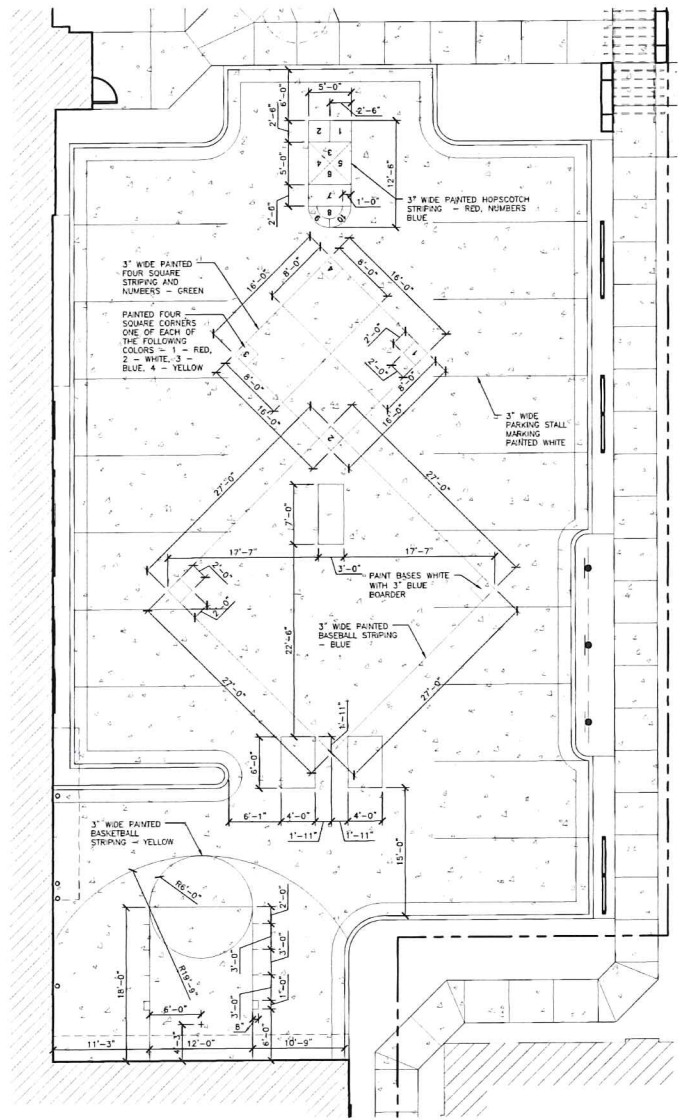
USE OF PROPERTY: RESIDENTIAL APARTMENTS  
 NUMBER OF BICYCLE STALLS SHOWN: 22 EXTERIOR, 72 INTERIOR  
 NUMBER OF PARKING STALLS

STANDARD CAR: 116  
 ACCESSIBLE: 5  
 TOTAL: 121

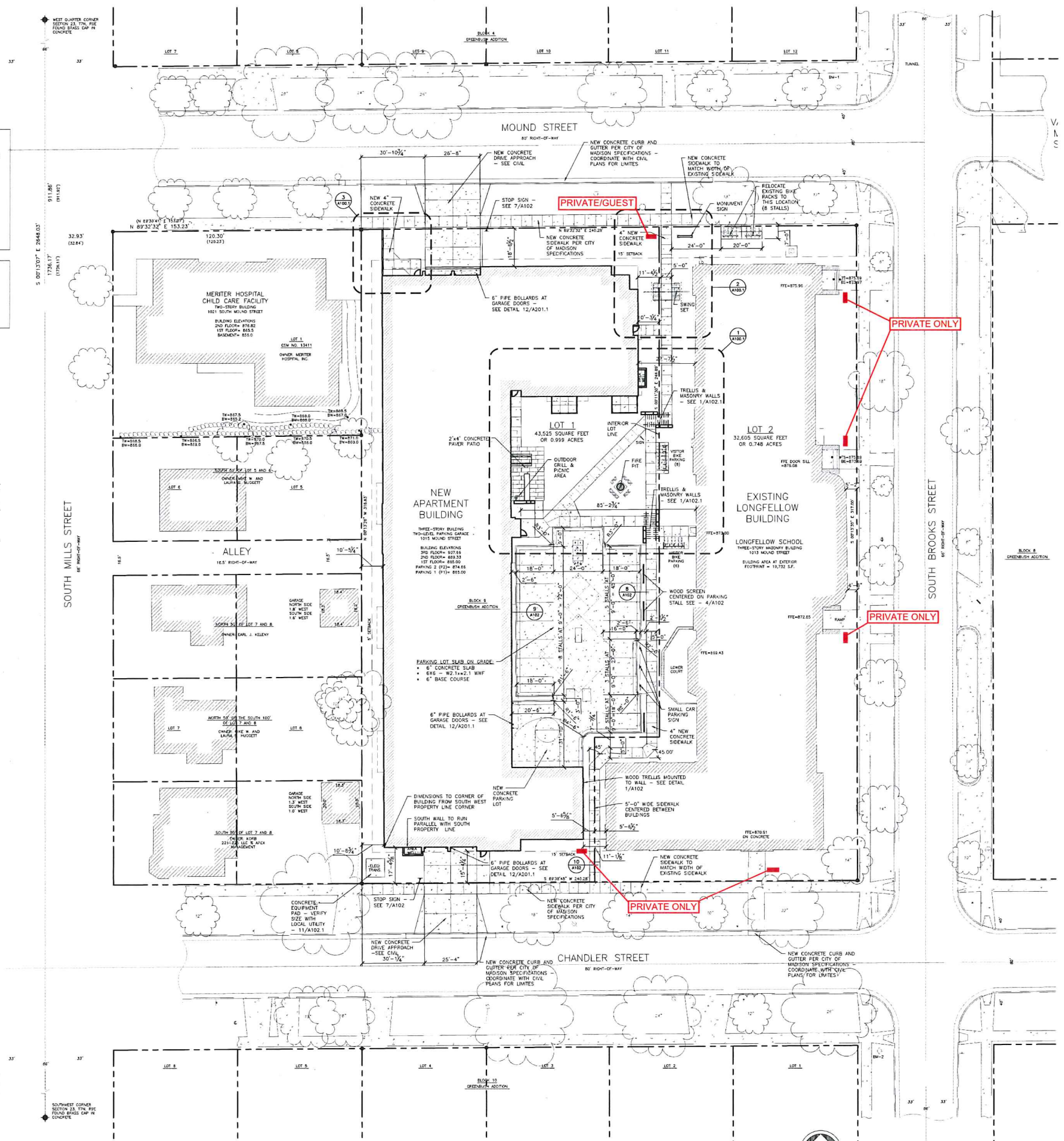
NUMBER OF TREES SHOWN: SEE LANDSCAPE PLAN

**NOTES:**

THE DEVELOPER HAS DECLARED SHARED ACCESS, PARKING AND SERVICE/OPERATION AGREEMENTS TO GOVERN THE PD DISTRICT AND THAT RELEASE OR MODIFICATION OF THOSE AGREEMENTS BY THE OWNER(S) OF LOTS 1 AND 2 SHALL REQUIRE WRITTEN APPROVAL OF A MODIFICATION TO THE ZONING APPROVAL BY THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND COMMUNITY AND ECONOMIC DEVELOPMENT OR HIS/HER DELEGATE.



**2 PLAYGROUND GAME PAINT PLAN**  
 SCALE: SCALE: 1" = 20'-0"



**1 SITE PLAN**  
 SCALE: SCALE: 1" = 20'-0"



**LONGFELLOW SCHOOL APARTMENTS**  
 1015 MOUND STREET  
 MADISON, WI 53715

**LONGFELLOW PROPERTIES, LLC**  
 1015 MOUND STREET  
 MADISON, WI 53715

**ISSUE DATES:**  
 BID PACKAGE #5: 12-03-13

**RFI/DATE:**

This document contains confidential or proprietary information to Iconica. Neither the document nor the information herein is to be reproduced, distributed, used or disclosed, either in whole or in part, except as specifically authorized by Iconica.

**PROJECT #:** 20130050  
**SHEET NUMBER**

**A100**

©2013 Iconica, Inc.

ENTER DWG  
VERSION HERE

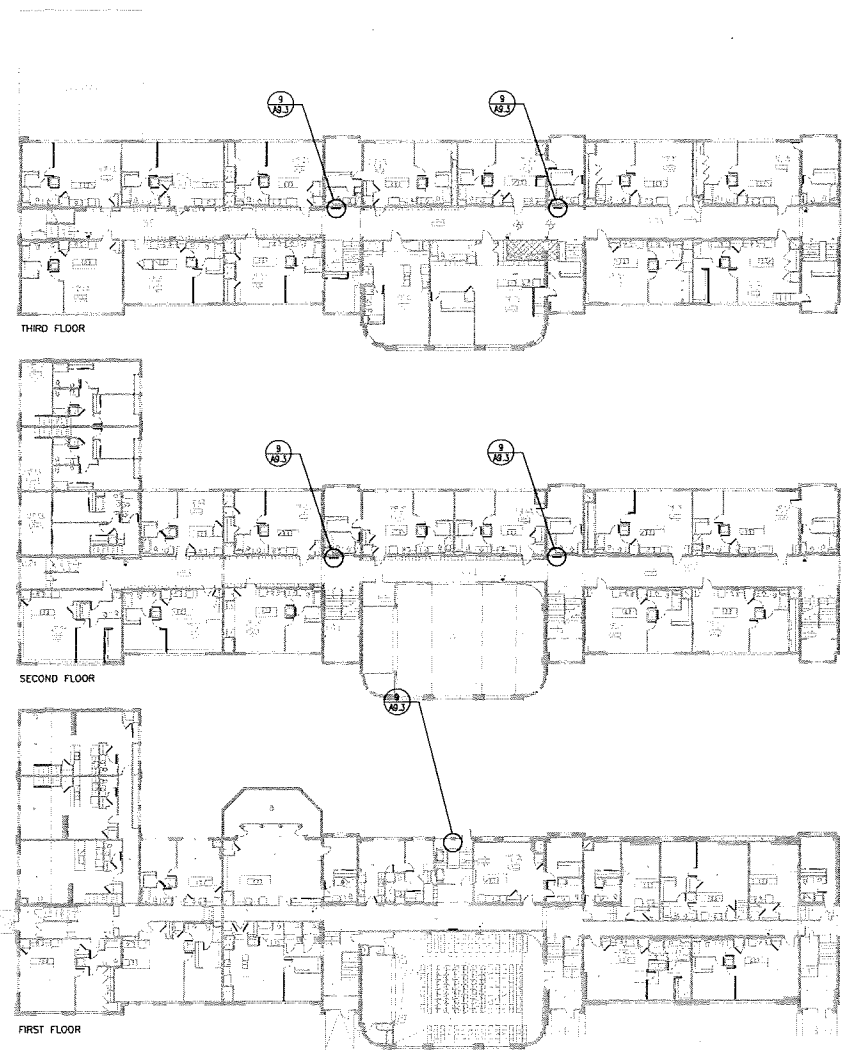
6-5-B	PHOT 2 SUBMITTAL
7-5-B	REVISED PHOT 2 SUBMITTAL
8-5-B	PHOT 1 ASSEMBLY
10-5-B	CO BURN OFF
10-5-C	SPM / BLD GET
10-5-D	PERMIT GET
11-5-B	PLAN REVIEW REVISIONS
14-N	ADDENDUM #1
2-5-N	CB-01
3-5-N	CB-02
4-5-N	CB-03
4-25-N	CB-04 REV. 1
4-25-N	CB-07
4-25-N	CB-08
5-5-N	CB-09
5-5-N	CB-10
6-25-N	CB-12

DRAWN: ALS APPR: DNK

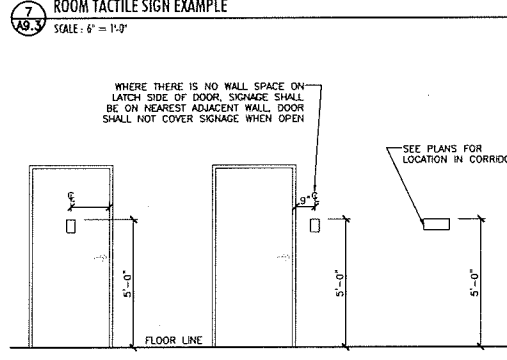
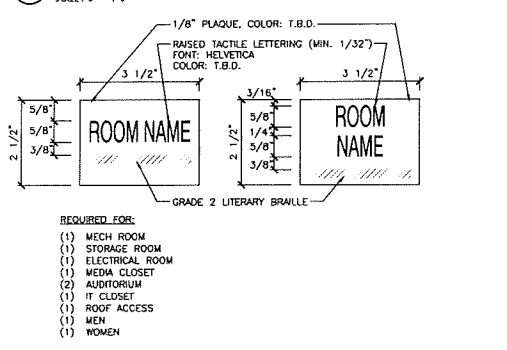
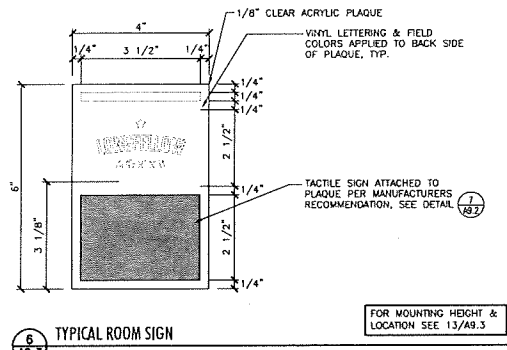
LONGFELLOW  
SCHOOL  
MADISON, WI 53715  
  
PROJECT # 10-715

ARCHITECTURAL  
DETAILS - SIGNAGE

**A9.3**

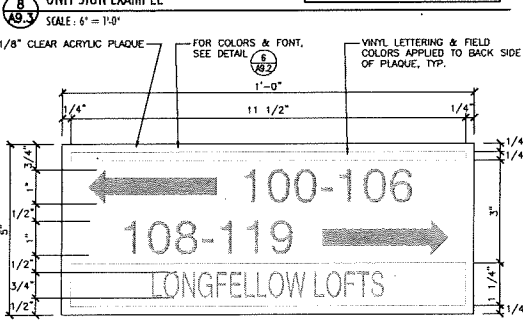
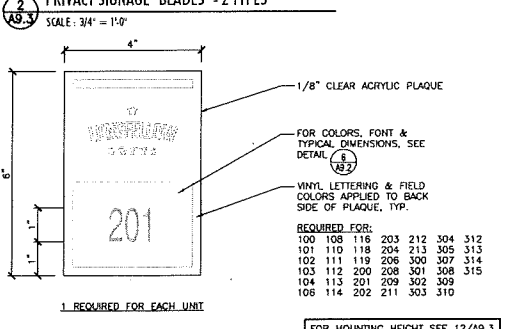
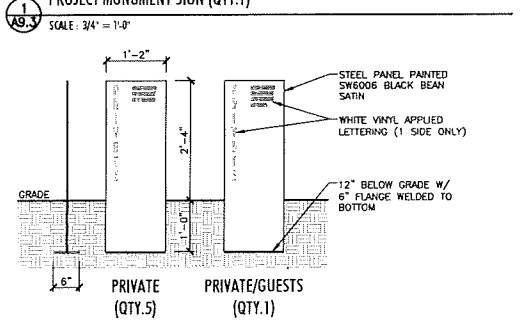
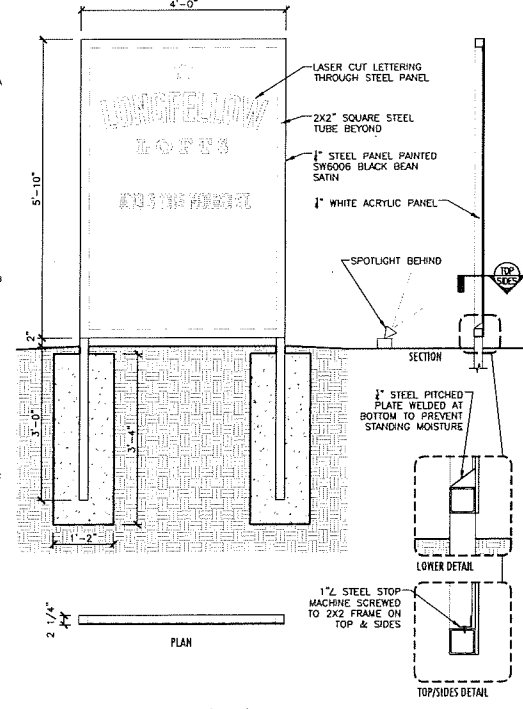


**15 DIRECTIONAL SIGN LOCATIONS**  
SCALE: 3/8" = 1'-0"  
NOT TO SCALE



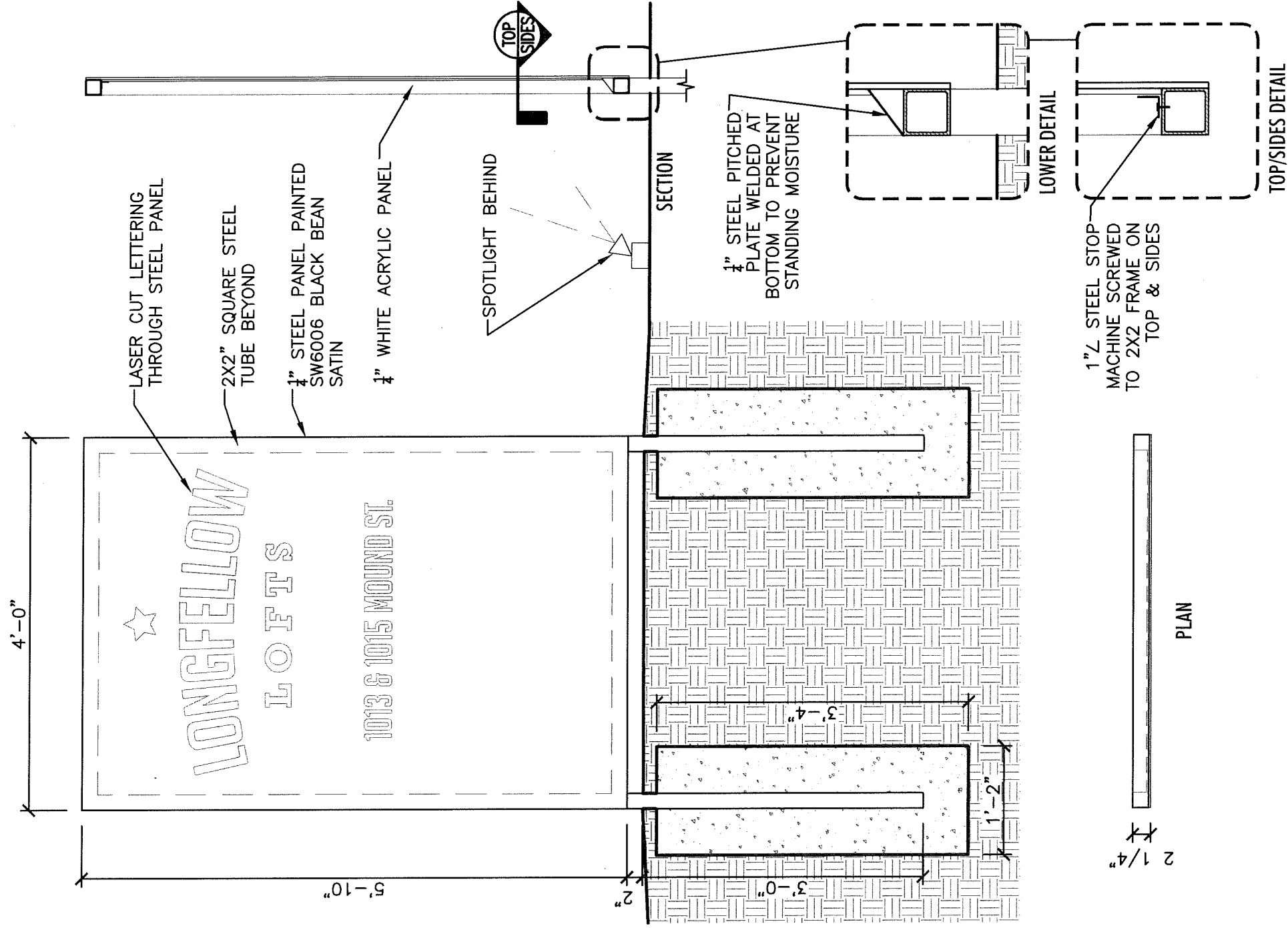
**13 ROOM SIGN LOCATION**  
SCALE: 3/8" = 1'-0"

**14 DIRECTIONAL SIGN LOCATION**  
SCALE: 3/8" = 1'-0"



**1 REQUIRED EACH FOR:**

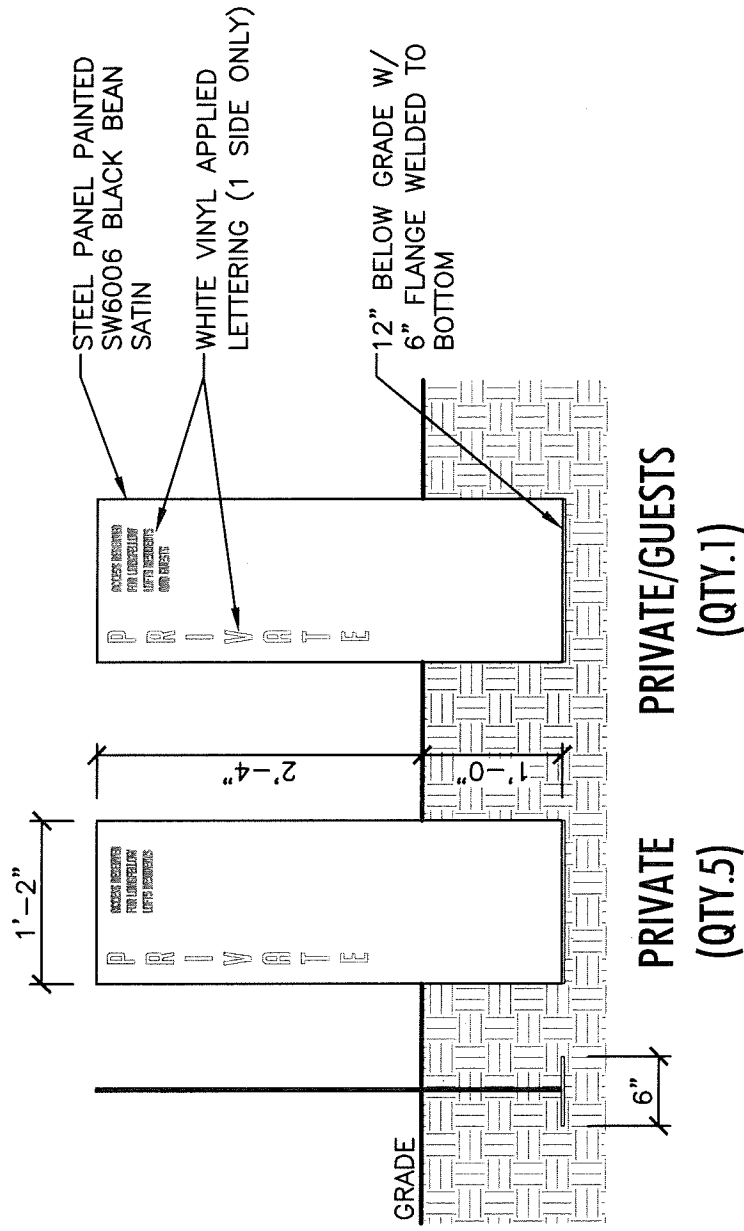
100-106, 108-119
208-213, 200-206
204-213, 200-203
308-315, 300-306
304-315, 300-303



**PROJECT MONUMENT SIGN (QTY.1)**

**1**  
**A9.3**

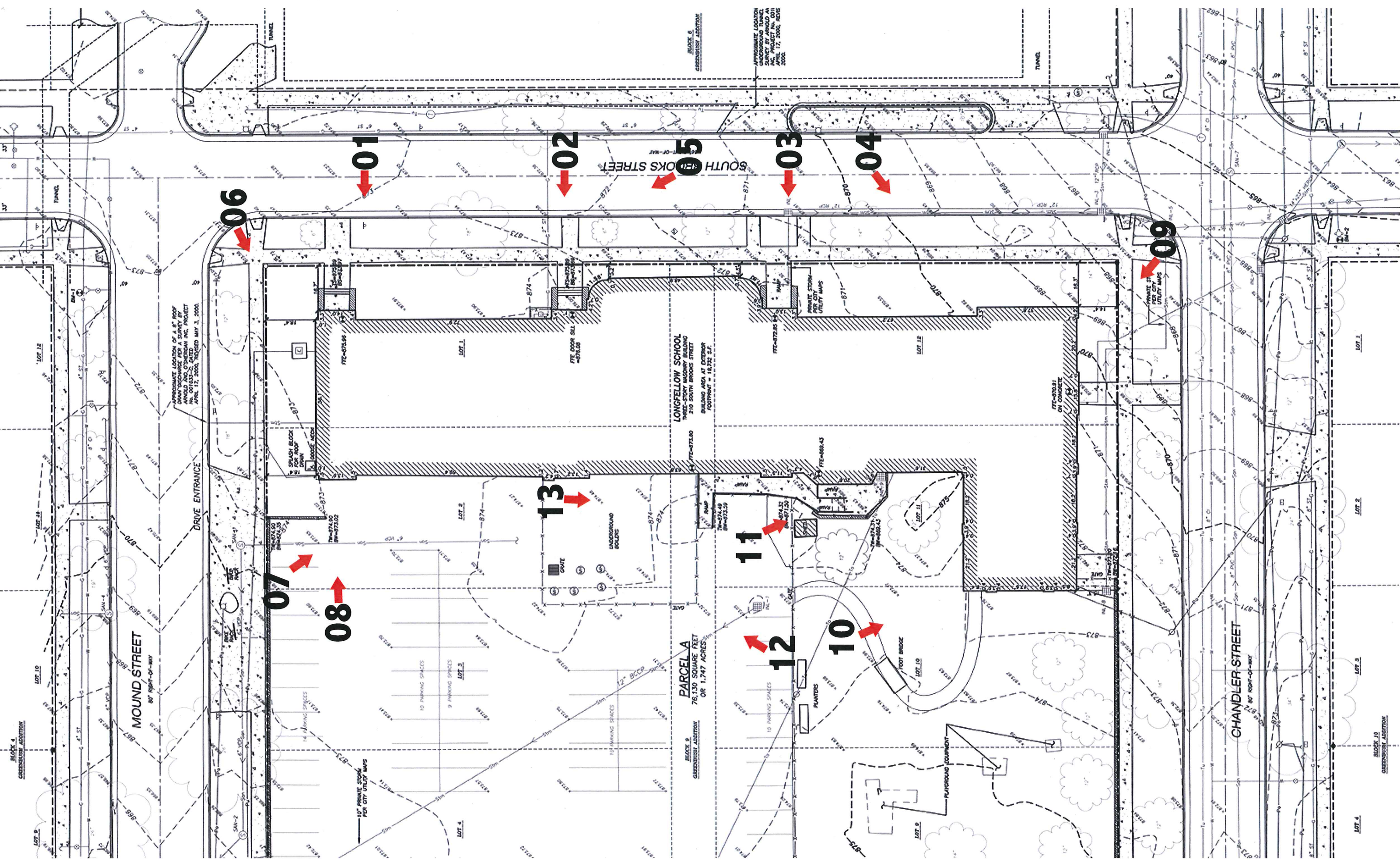
SCALE : 3/4" = 1'-0"



**PRIVACY SIGNAGE "BLADES" - 2 TYPES**

**2**  
**A9.3**

SCALE : 3/4" = 1'-0"



APPROXIMATE LOCATION OF A 6" ROOF DRAIN SCHEDULE FOR A SURVEY BY [unreadable] INC. PROJECT NO. 021033-10 DATED APRIL 17, 2000, REVISION MAY 3, 2000.

LONGFELLOW SCHOOL  
BUILDING AREA AT EXTERIOR  
FOOTPRINT = 18,732 S.F.

PARCELA  
76,130 SQUARE FEET  
OR 1.747 ACRES

MOUND STREET  
60' RIGHT-OF-WAY

CHANDLER STREET  
60' RIGHT-OF-WAY

SOUTH BROOKS STREET  
12' RIGHT-OF-WAY

BLOCK 4  
CADDENBUSH ADDITION

BLOCK 10  
CADDENBUSH ADDITION

APPROXIMATE LOCATION  
UNDERGROUND TUNNEL  
AND CONDUIT  
PROJECT NO. 021033-10  
APRIL 17, 2000, REVISION  
MAY 3, 2000.

BLOCK 6  
CADDENBUSH ADDITION



Photo 1



Photo 2



Photo 3



Photo 4



Photo 6



Photo 5



Photo 7





Photo 8



Photo 9



Photo 10



Photo 11



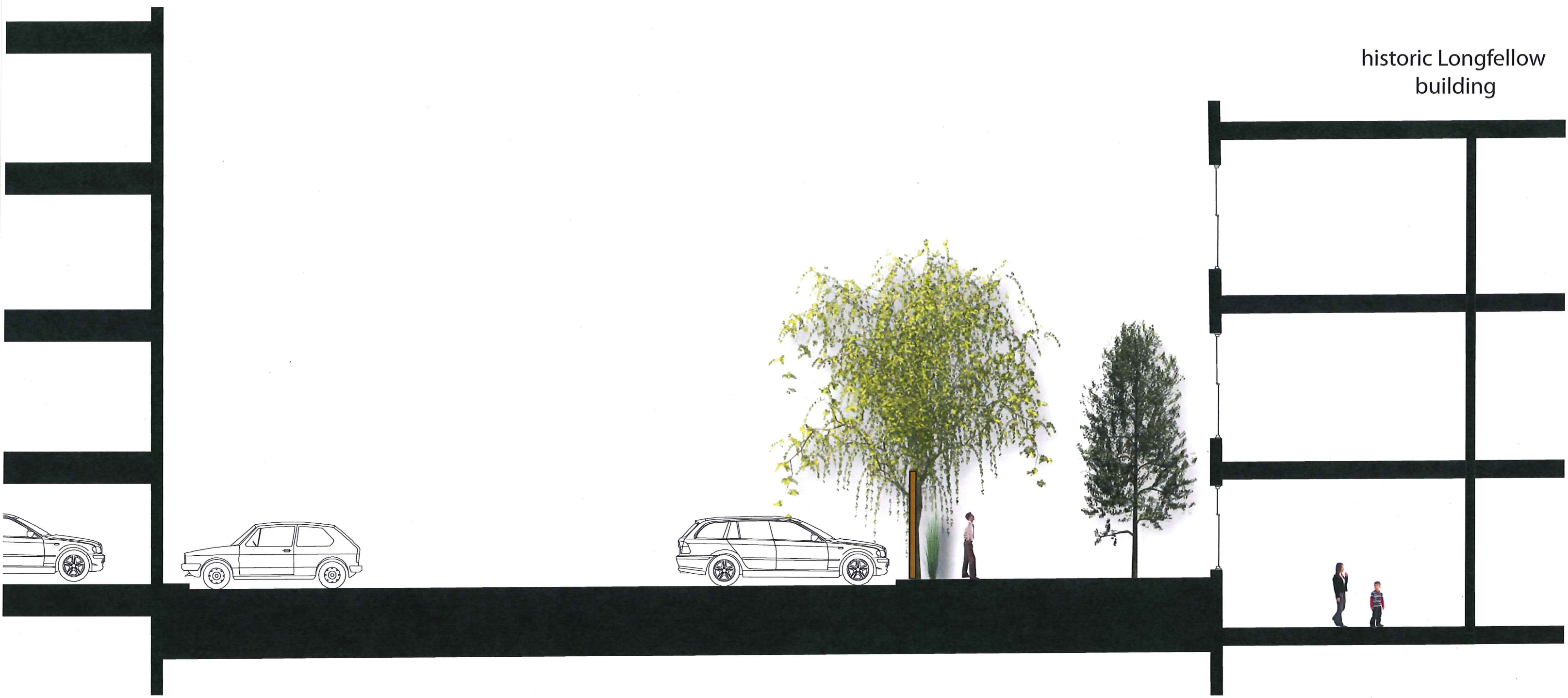
Photo 12



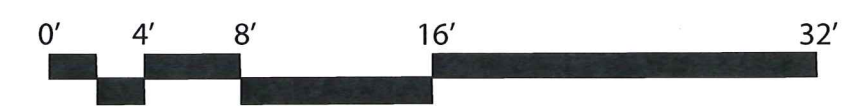
Photo 13

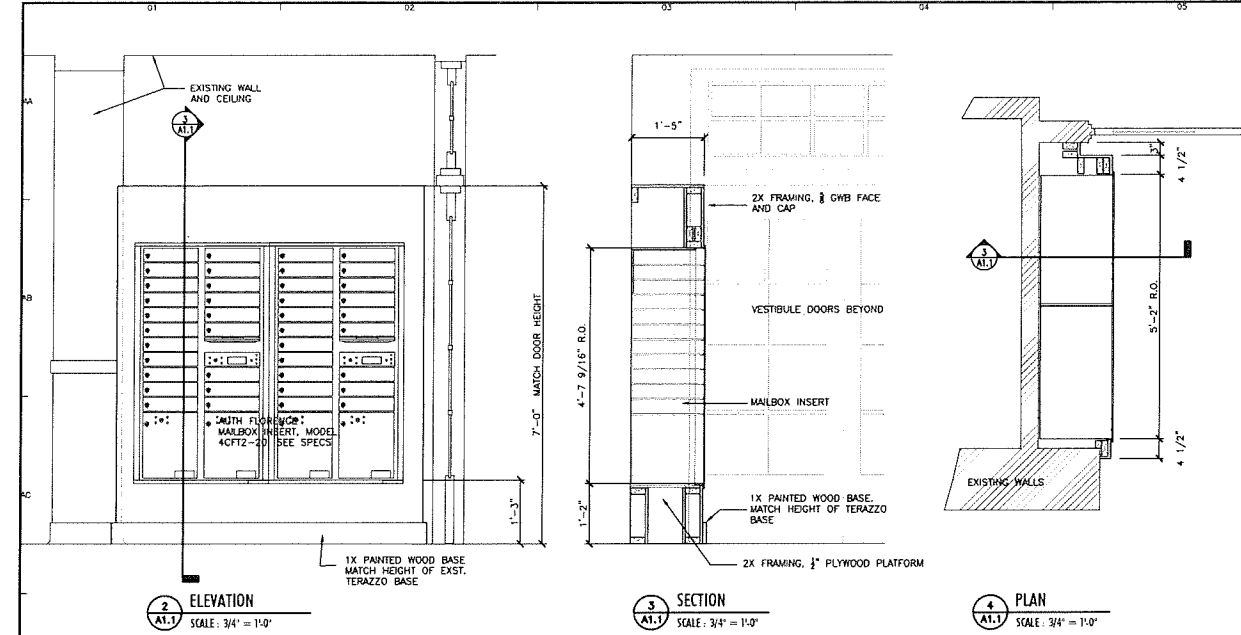


historic Longfellow  
building



*the* Longfellow  
Partial Courtyard Section  
- looking north

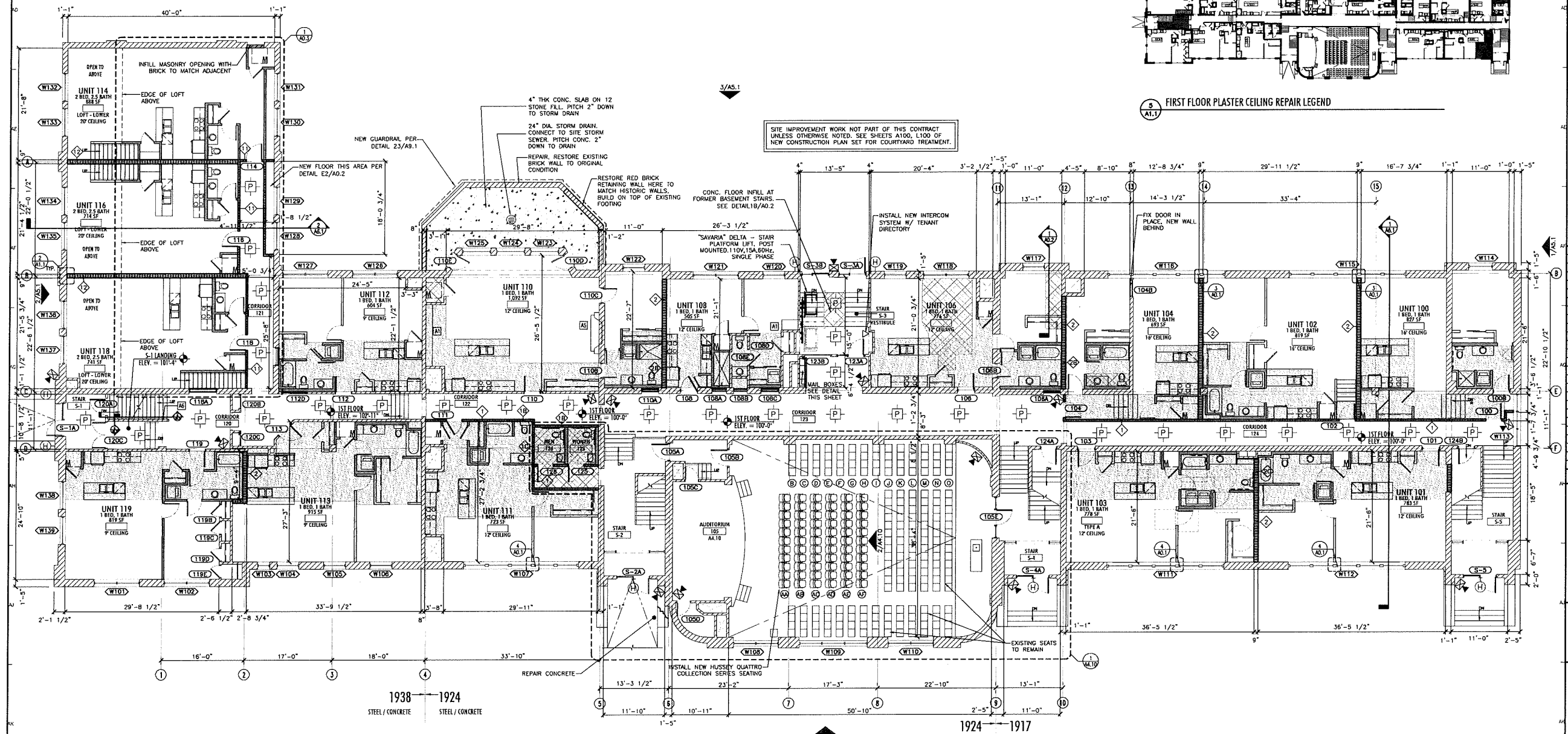




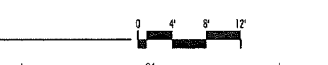
**MAILBOX DETAILS**

- GENERAL NOTES:**
- FOR SYMBOL AND ABBREVIATION DESCRIPTIONS SEE SHEET G2.1.
  - FOR WALL TYPE DESCRIPTIONS SEE PARTITION SCHEDULE ON SHEET T1. WALL TYPES INDICATED ON THIS SHEET TO BE FRAMED PRIOR TO UNIT PARTITIONS. FOR WALL TYPES WITHIN UNITS, REFER TO SHEETS A4.1-A4.6.
  - FOR INTERIOR FINISHES SEE FINISH SCHEDULE AND HARDWARE SCHEDULE ON SHEETS A11.1, 2.
  - FOR DOOR TYPE DESCRIPTIONS SEE DOOR AND HARDWARE SCHEDULE ON SHEETS A11.2 TO A11.3.
  - REFER TO DEMOLITION PLANS FOR EXISTING CONDITIONS AND ADDITIONAL INFORMATION.
  - FOR COMPLETE UNIT LAYOUT AND DIMENSIONING SEE 1/4" SCALE UNIT PLANS.
  - THE INTENT OF THE ELECTRICAL WORK SHOWN ON THIS PLAN IS TO ESTABLISH DESIRED LOCATIONS OF FIXTURES. IT IS NOT TO BE CONSIDERED AS A COMPREHENSIVE PLAN OF ALL FIXTURES AND DEVICES REQUIRED BY THE SPECIFICATIONS AND CODES. THE ELECTRICAL CONTRACTOR MAINTAINS RESPONSIBILITY FOR QUANTITIES AND LOCATIONS OF ALL FIXTURES AND DEVICES, INCLUDING LIFE SAFETY AND FIRE ALARM/DETECTION SYSTEMS AS REQUIRED BY STATE, LOCAL, AND FEDERAL AUTHORITIES.
  - EXISTING WORK IN PLACE THAT IS DISTURBED DUE TO NEW WORK SHALL BE RESTORED TO ITS ORIGINAL CONDITION AFTER THE NEW WORK IS IN PLACE.
  - WITH THE EXCEPTION OF THE AUDITORIUM (ROOM 105), THE LOWER GYM AND THE STAIR WELLS, ALL EXISTING PLASTER CEILING ARE TO BE COVERED WITH 1" FURRING CHANNELS AND 1/2" GWB. UNSOUND OR DAMAGED WALLS, CEILINGS, COLUMNS, ETC. ARE TO BE REPAIRED AS REQUIRED PRIOR TO APPLYING FINISH. AREAS ABOVE NEW DROPPED SOFFITS DO NOT REQUIRE NEW GWB BUT DAMAGED PLASTER NEEDS TO BE REPAIRED TO MAINTAIN FIRE RATING. EXPOSED WOOD JOISTS AT CEILING OF UNITS 100, 102, 104 TO RECEIVE TREATMENT PER DETAIL F1/A0.2.
- GENERAL WALL KEY:**
- EXISTING MASONRY WALL
  - EXISTING WALL
  - NEW FIRE RATED WALL
  - NEW INTERIOR WALL
  - NEW PARTIAL HEIGHT INTERIOR WALL
  - NEW MASONRY WALL
- CEILING NOTES:**
- SHADED AREA INDICATES GYPSUM BOARD CEILING. 8'-0" A.F.F. TYPICAL UNLESS OTHERWISE NOTED AS BELOW.
  - 6" GWB CEILING
  - HEIGHT ABOVE FINISHED FLOOR 10'-0"
  - UNDERSIDE OF JOIST (WHERE INDICATED)

- GENERAL FLOOR PLAN NOTES:**
- FOR SYMBOL AND ABBREVIATION DESCRIPTIONS, SEE SHEET G2.1.
  - FOR GENERAL FLOOR PLAN NOTES, SEE SHEET A1.1.
- KEY NOTES:**
- REPAIR/RESTORE EXISTING MILLWORK.
  - PLASTER CEILING REPAIR.
  - MODIFY CHALKBOARD AS REQUIRED TO FIT AS INDICATED.
  - WOOD FLOOR REPAIR.
  - REPAIR/RESTORE EXISTING FIREPLACE.
  - VERIFY EXISTING CONDITION PLASTER. PATCH/REPAIR AS REQUIRED PER SPECIFICATION.
- GENERAL WALL KEY:**
- EXISTING MASONRY WALL
  - EXISTING WALL
  - NEW FIRE RATED WALL
  - NEW INTERIOR WALL
  - NEW PARTIAL HEIGHT INTERIOR WALL
  - NEW MASONRY WALL
- CEILING NOTES:**
- SHADED AREA INDICATES GYPSUM BOARD CEILING. 8'-0" A.F.F. TYPICAL UNLESS OTHERWISE NOTED AS BELOW.
  - 6" GWB CEILING
  - HEIGHT ABOVE FINISHED FLOOR 10'-0"
  - UNDERSIDE OF JOIST (WHERE INDICATED)



**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



1938 - 1924  
STEEL / CONCRETE

1924 - 1917  
STEEL / CONCRETE WOOD / CONCRETE

**BID SET**  
**10-9-13**  
**SITE PLAN**  
**VERIFICATION**

63-B	PART 2 ELEMENTAL
74-B	REMOVED PART 2 ELEMENTAL
84-B	PART 2 AMENDMENT
104-B	CD BIDDING
104-B	SPX / BID SET

DRAWN: ALS APPR: DNK

LONGFELLOW  
SCHOOL  
MADISON, WI 53715

PROJECT # 10-715

SECOND FLOOR PLAN

**A1.2**

**GENERAL NOTES:**

FOR GENERAL NOTES, REFERENCE SHEET A1.1.

**GENERAL FLOOR PLAN NOTES:**

- A. FOR SYMBOL AND ABBREVIATION DESCRIPTIONS, SEE SHEET 02.1
- B. FOR GENERAL FLOOR PLAN NOTES, SEE SHEET A1.1

**KEYED NOTES:**

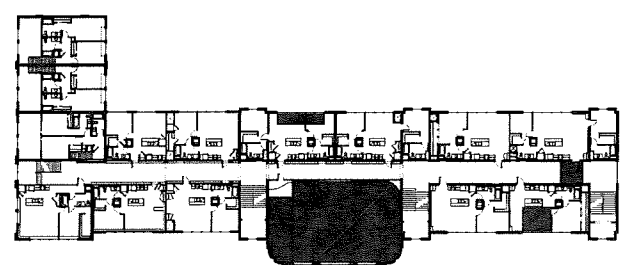
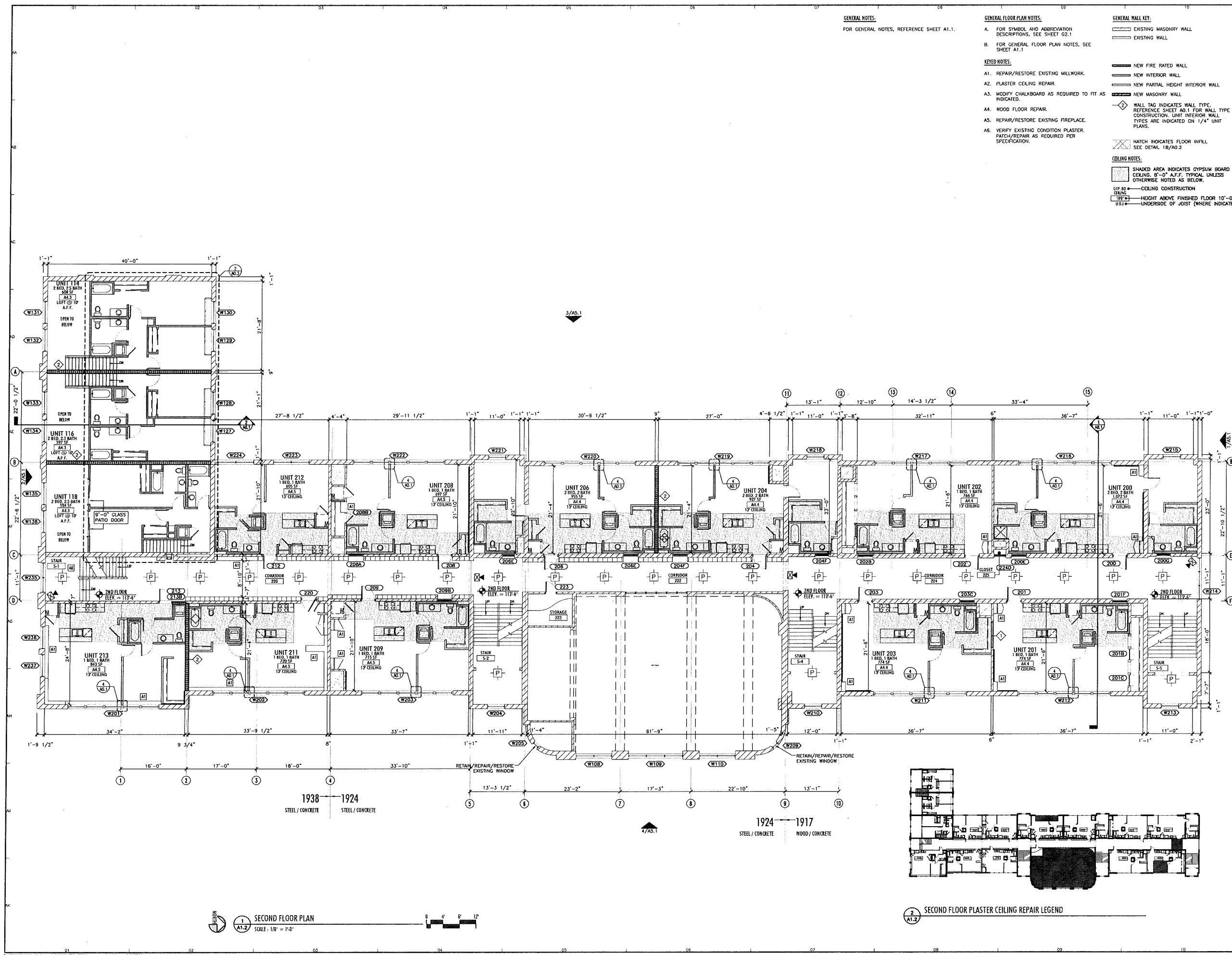
- A1. REPAIR/RESTORE EXISTING MILLWORK.
- A2. PLASTER CEILING REPAIR.
- A3. MODIFY CHALKBOARD AS REQUIRED TO FIT AS INDICATED.
- A4. WOOD FLOOR REPAIR.
- A5. REPAIR/RESTORE EXISTING FIREPLACE.
- A6. VERIFY EXISTING CONDITION PLASTER. PATCH/REPAIR AS REQUIRED PER SPECIFICATION.

**GENERAL WALL KEY:**

- EXISTING MASONRY WALL
- EXISTING WALL
- NEW FIRE RATED WALL
- NEW INTERIOR WALL
- NEW PARTIAL HEIGHT INTERIOR WALL
- NEW MASONRY WALL
- WALL TAG INDICATES WALL TYPE. REFERENCE SHEET A0.1 FOR WALL TYPE CONSTRUCTION. UNIT INTERIOR WALL TYPES ARE INDICATED ON 1/4" UNIT PLANS.

**CEILING NOTES:**

- SHADED AREA INDICATES GYPSUM BOARD CEILING, 8'-0" A.F.F. TYPICAL UNLESS OTHERWISE NOTED AS BELOW.
- OP BR CEILING - CEILING CONSTRUCTION
- HT - HEIGHT ABOVE FINISHED FLOOR 10'-0"
- UDJ - UNDERSIDE OF JOIST (WHERE INDICATED)



1 SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

2 SECOND FLOOR PLASTER CEILING REPAIR LEGEND

**BID SET**  
**10-9-13**  
**SITE PLAN**  
**VERIFICATION**

6-9-D PAINT 2 SUBMITTAL  
7-4-B REPAIR PAINT 2 SUBMITTAL  
8-9-B PAINT 2 MEASUREMENT  
9-3-B CD DEMO  
10-4-B SPK / BID SET

DRAWN: ALS APPR: DNK

**LONGFELLOW SCHOOL**  
MADISON, WI 53715

PROJECT # 10-715

THIRD FLOOR PLAN

**A1.3**

**GENERAL FLOOR PLAN NOTES:**

- A. FOR SYMBOL AND ABBREVIATION DESCRIPTIONS, SEE SHEET 02.1
- B. FOR GENERAL FLOOR PLAN NOTES, SEE SHEET A1.1

**KEYED NOTES:**

- A1. REPAIR/RESTORE EXISTING MILLWORK.
- A2. PLASTER CEILING REPAIR.
- A3. MODIFY CHALKBOARD AS REQUIRED TO FIT AS INDICATED.
- A4. WOOD FLOOR REPAIR.
- A5. REPAIR/RESTORE EXISTING FIREPLACE.
- A6. VERIFY EXISTING CONDITION PLASTER. PATCH/REPAIR AS REQUIRED PER SPECIFICATION.

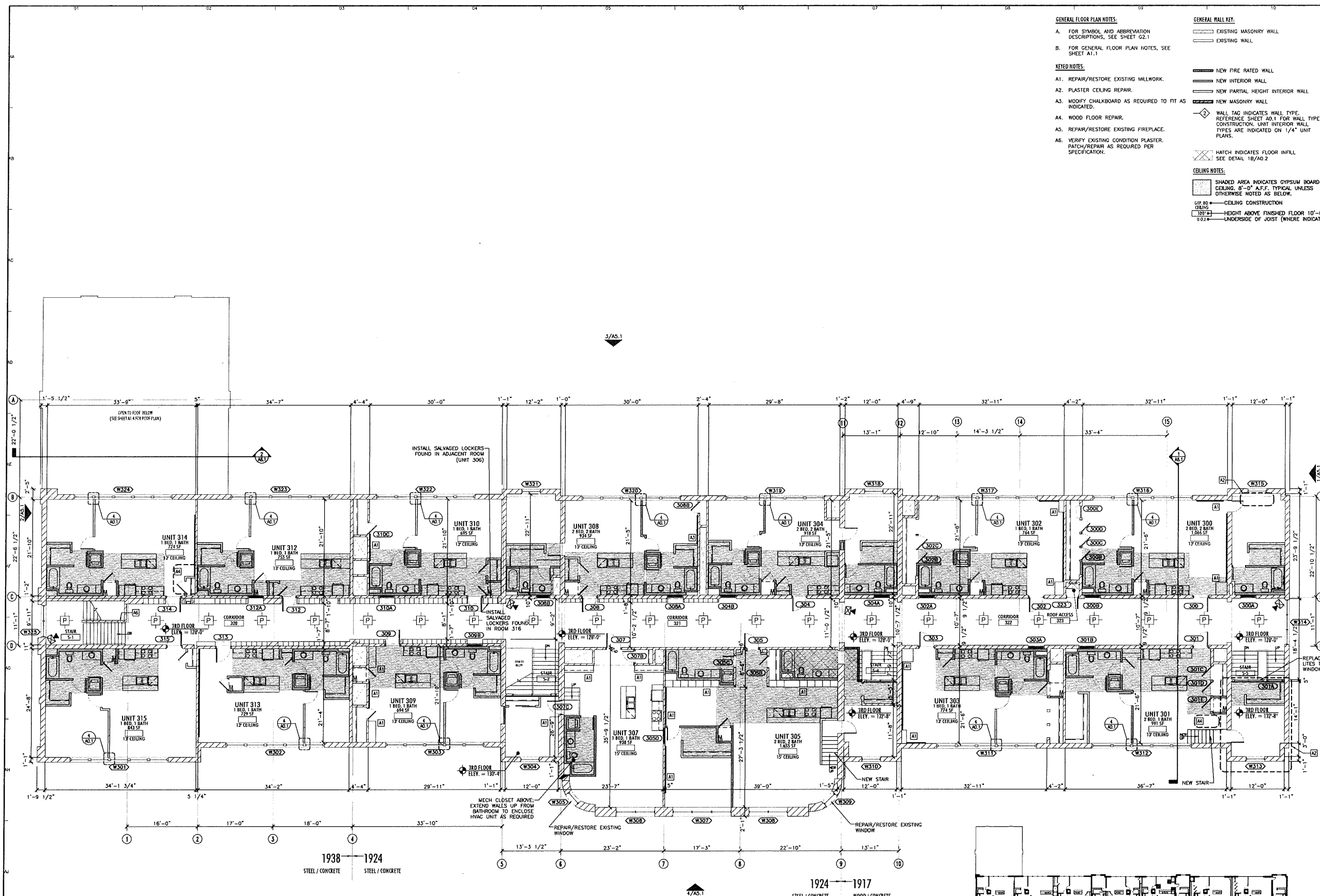
**GENERAL WALL KEY:**

- EXISTING MASONRY WALL
- EXISTING WALL
- NEW FIRE RATED WALL
- NEW INTERIOR WALL
- NEW PARTIAL HEIGHT INTERIOR WALL
- NEW MASONRY WALL
- WALL TAG INDICATES WALL TYPE. REFERENCE SHEET A0.1 FOR WALL TYPE CONSTRUCTION. UNIT INTERIOR WALL TYPES ARE INDICATED ON 1/4" UNIT PLANS.

HATCH INDICATES FLOOR INFILL. SEE DETAIL 18/A0.2

**CEILING NOTES:**

- SHADED AREA INDICATES GYPSUM BOARD CEILING, 8'-0" A.F.F. TYPICAL UNLESS OTHERWISE NOTED AS BELOW.
- OR IS CEILING CONSTRUCTION
- HEIGHT ABOVE FINISHED FLOOR 10'-0" UNLESS OTHERWISE NOTED



**1 THIRD FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**2 THIRD FLOOR PLASTER CEILING REPAIR LEGEND**

**LONGFELLOW SCHOOL APARTMENTS**

MOUND STREET  
MADISON, WI  
The Alexander Company  
146 E. Bagley Road, Suite 200  
MADISON, WI 53710

ISSUE DATES:

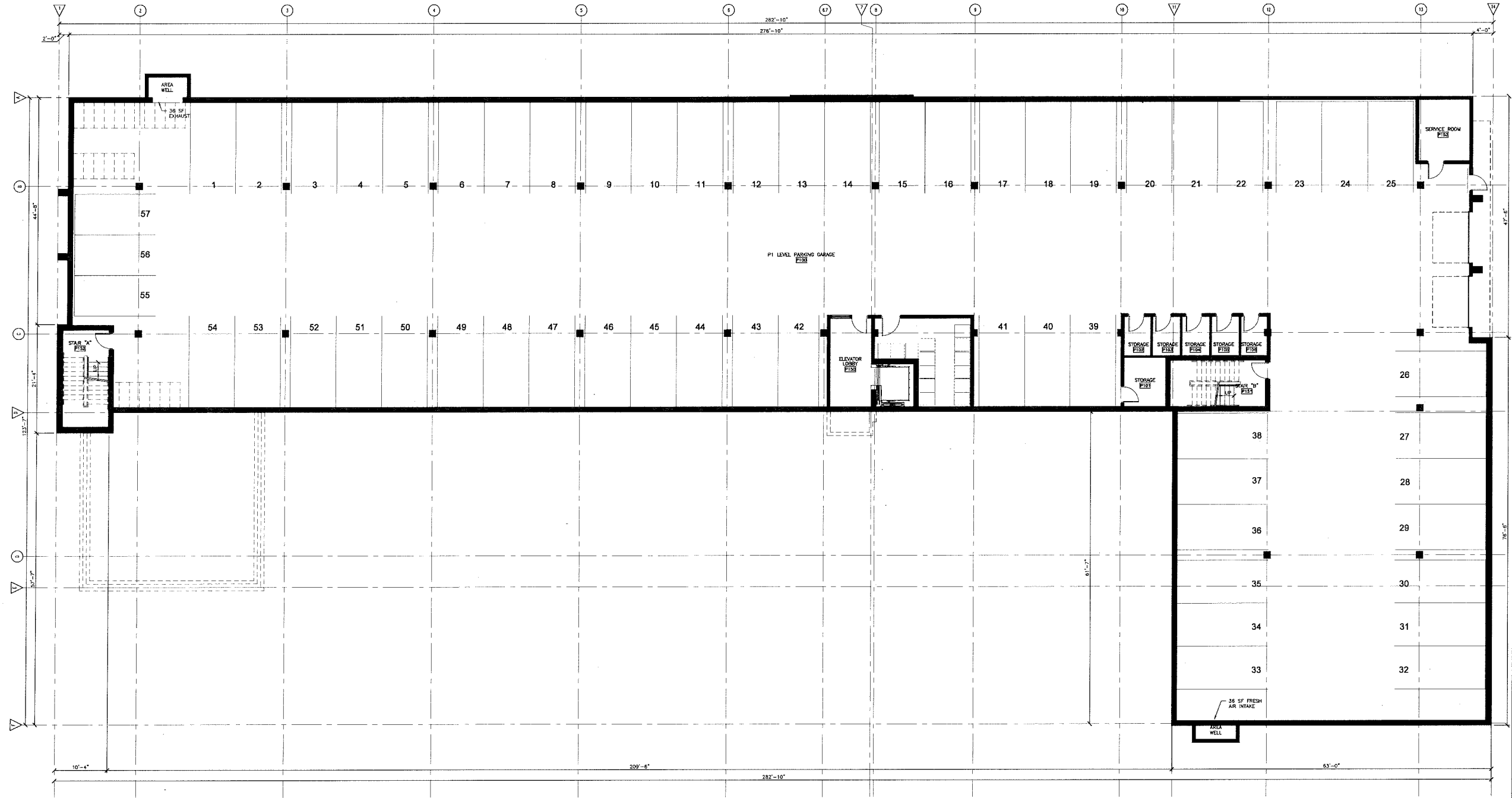
RF/IS/ DATE:

This document contains confidential or proprietary information of Iconica. Neither the document nor the information herein is to be reproduced, distributed, used or disclosed, either in whole or in part, except as specifically authorized by Iconica.

PROJECT #: 20130050  
SHEET NUMBER

**A2P1**

©2013 Iconica, Inc.



**1** P1 LEVEL FLOOR PLAN  
A2P1 SCALE: 1/8" = 1'-0"

**LONGFELLOW SCHOOL APARTMENTS**

MOOND STREET  
MADISON, WI  
The Alexander Company  
145 E. Badger Road, Suite 200  
MADISON, WI 53710

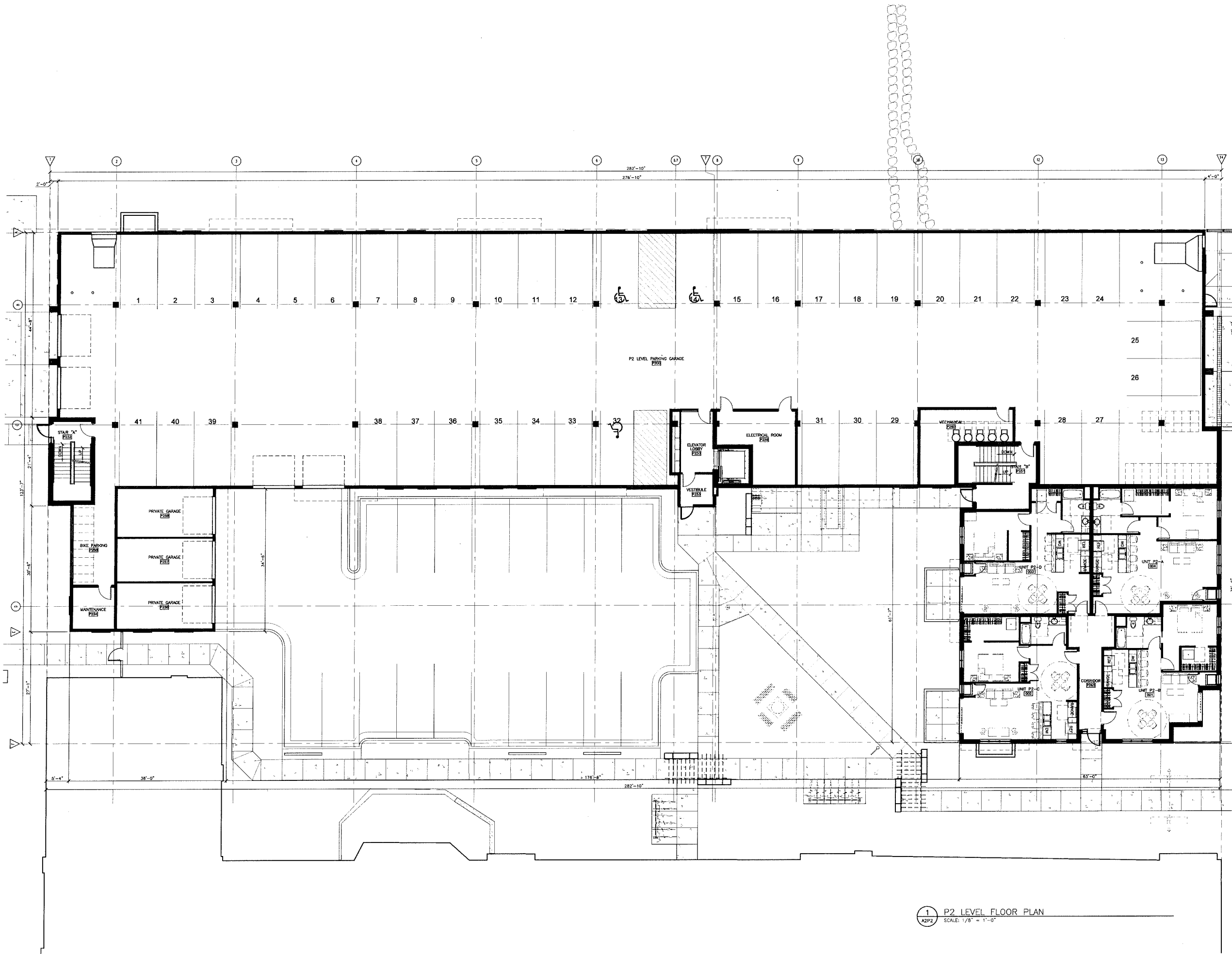
ISSUE DATES:

RF/BI DATE:

This document contains confidential or proprietary information of Iconica. Neither the document nor the information herein is to be reproduced, distributed, used or disclosed, either in whole or in part, except as specifically authorized by Iconica.

PROJECT #: 20130050  
SHEET NUMBER

**A2P2**



**1** P2 LEVEL FLOOR PLAN  
SCALE: 1/8" = 1'-0"



**LONGFELLOW SCHOOL APARTMENTS**

MOUND STREET  
MADISON, WI

The Alexander Company  
145 E. Badger Road, Suite 200  
MADISON, WI 53710

ISSUE DATES:

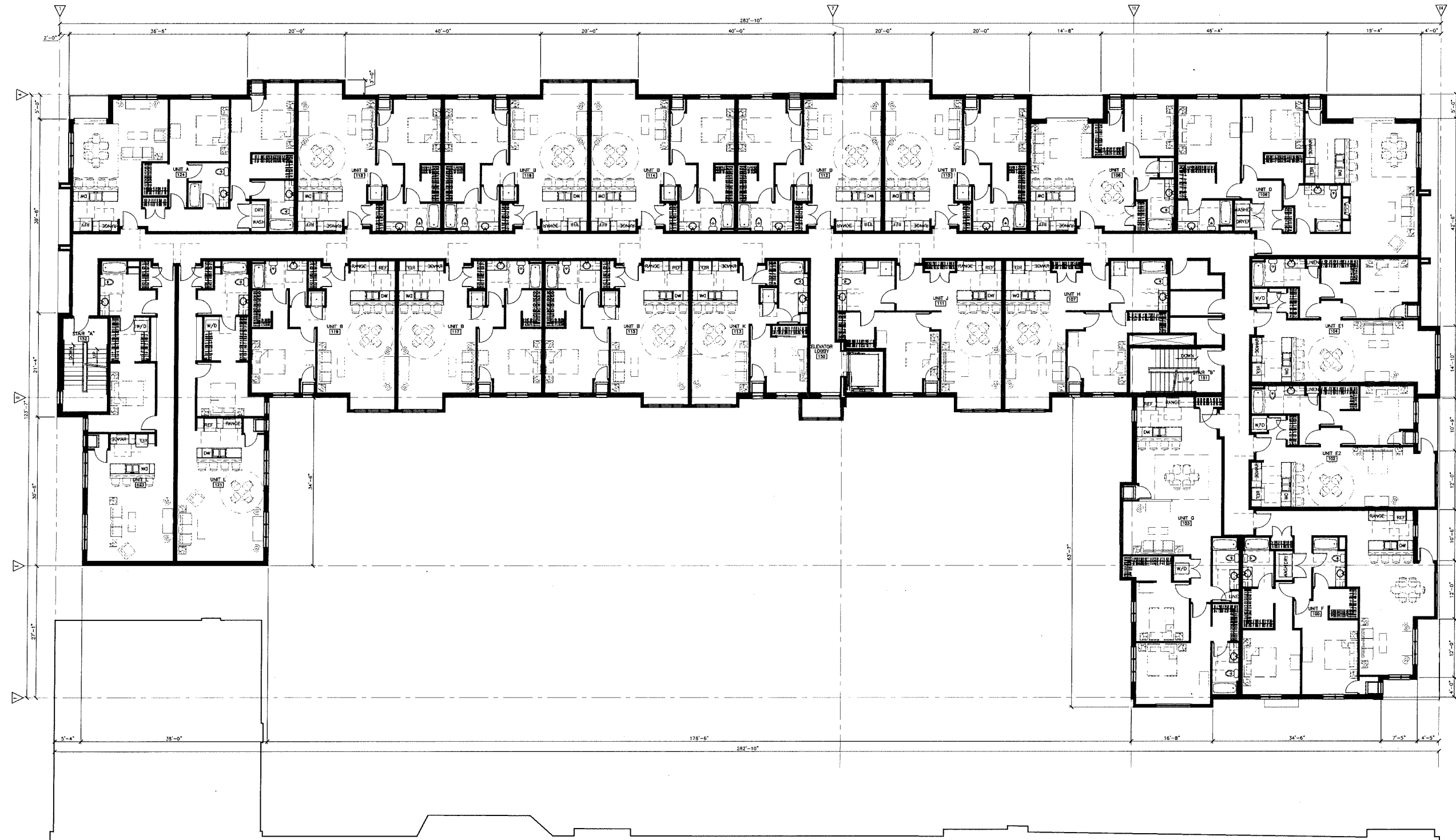
RF/BSI DATE:

This document contains confidential or proprietary information of Iconica. Neither the document nor the information herein is to be reproduced, distributed, used or disclosed, either in whole or in part, except as specifically authorized by Iconica.

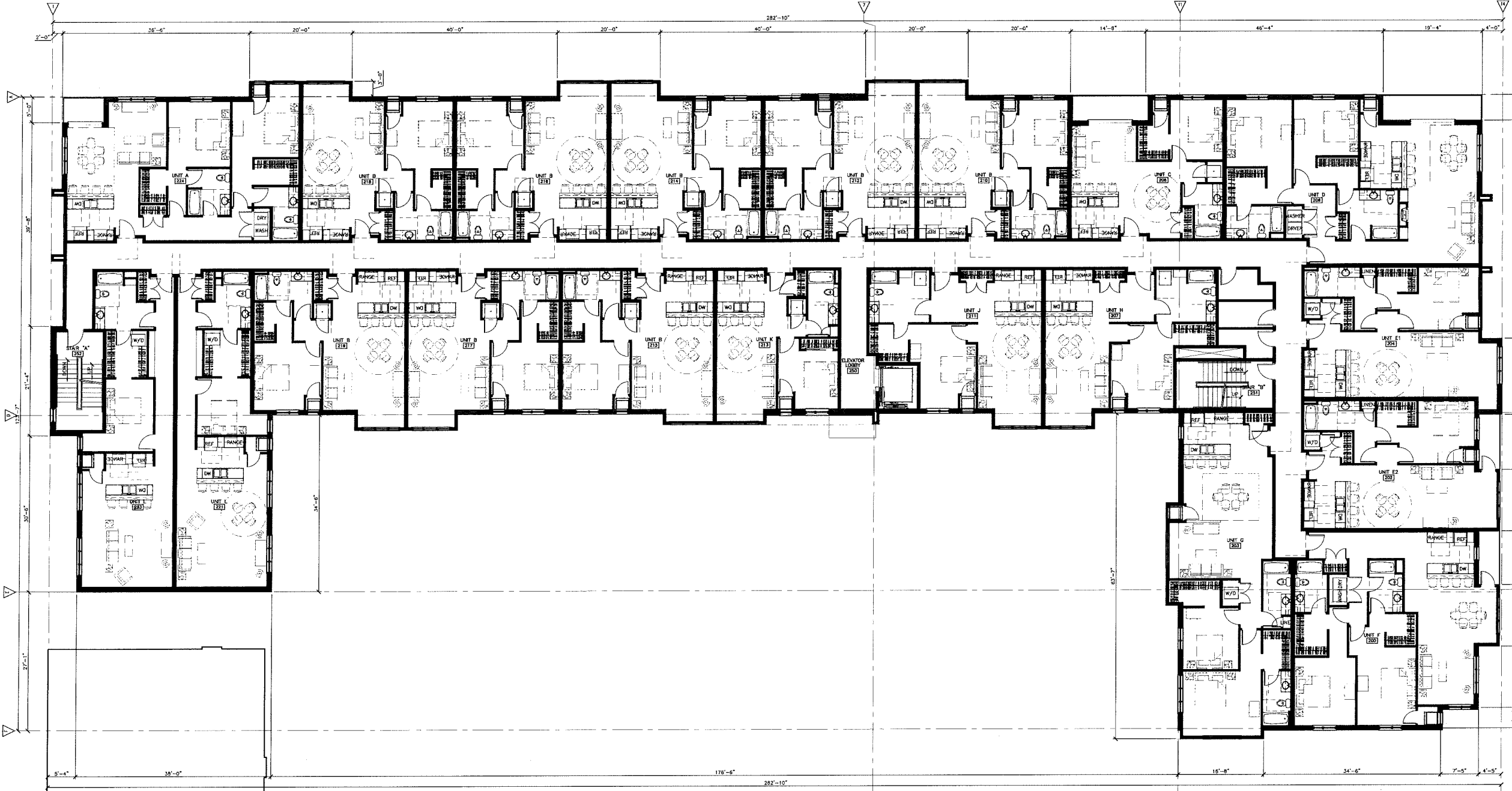
PROJECT #: 20130050  
SHEET NUMBER

**A201**

© 2012 Iconica, Inc.



**1** FIRST FLOOR RESIDENTIAL PLAN  
SCALE: 1/8" = 1'-0"



1 SECOND FLOOR RESIDENTIAL PLAN  
 SCALE: 1/8" = 1'-0"

**LONGFELLOW SCHOOL APARTMENTS**  
 MOUND STREET  
 MADISON, WI

The Alexander Company  
 146 E. Bagley Road, Suite 200  
 MADISON, WI 53710

ISSUE DATES:

RFVSI DATE:

This document contains confidential or proprietary information of Iconica. Neither the documents nor the information herein is to be reproduced, distributed, used or disclosed, either in whole or in part, except as specifically authorized by Iconica.

PROJECT #: 20130050  
 SHEET NUMBER

**A202**

© 2012 Iconica, Inc.



**ICONICA**  
True Design-Build

971 Darling Way # Madison, WI 53717  
PH: 608.664.3500 # FX: 608.664.3636  
iconicausa.com

**LONGFELLOW SCHOOL APARTMENTS**  
MOUND STREET  
MADISON, WI

The Alexander Company  
145 E. Badger Road, Suite 200  
MADISON, WI 53710

ISSUE DATES:

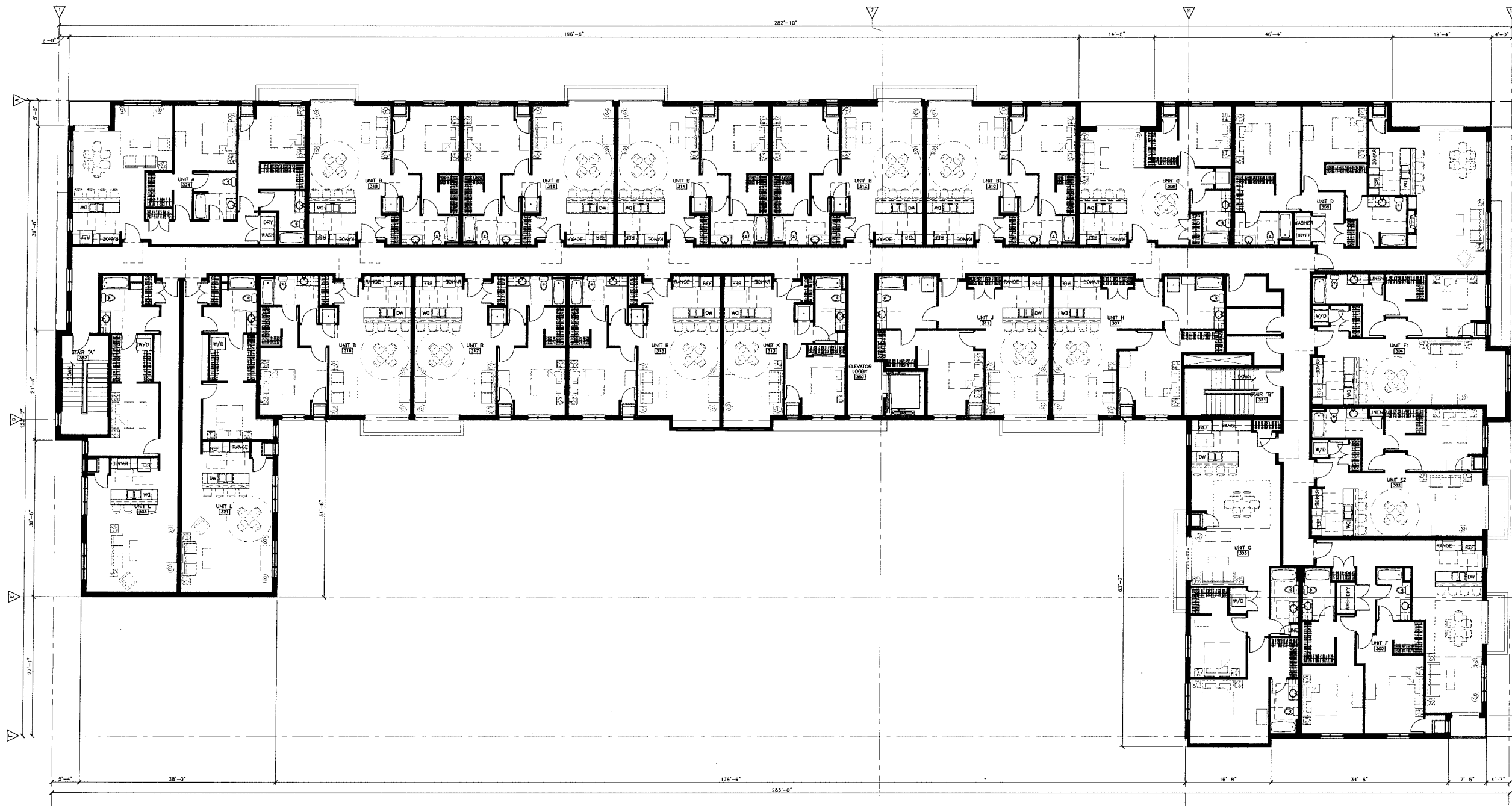
RF/BI DATE:

This document contains confidential or proprietary information of Iconica. Neither the document nor the information herein is to be reproduced, distributed, used or copied, either in whole or in part, except as specifically authorized by Iconica.

PROJECT #: 20130050  
SHEET NUMBER

**A203**

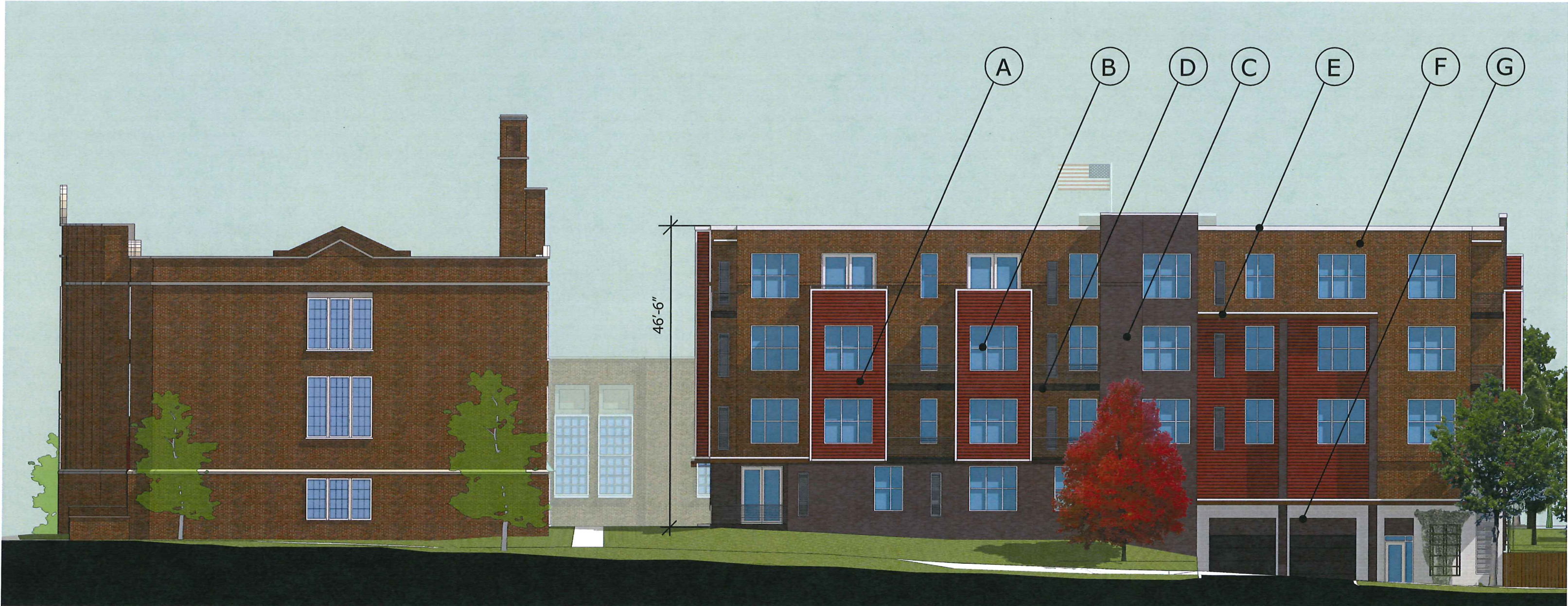
© 2013 Iconica, Inc.



1 THIRD FLOOR RESIDENTIAL PLAN  
A203 SCALE: 1/8" = 1'-0"

the Longfellow

Alexander  
Company

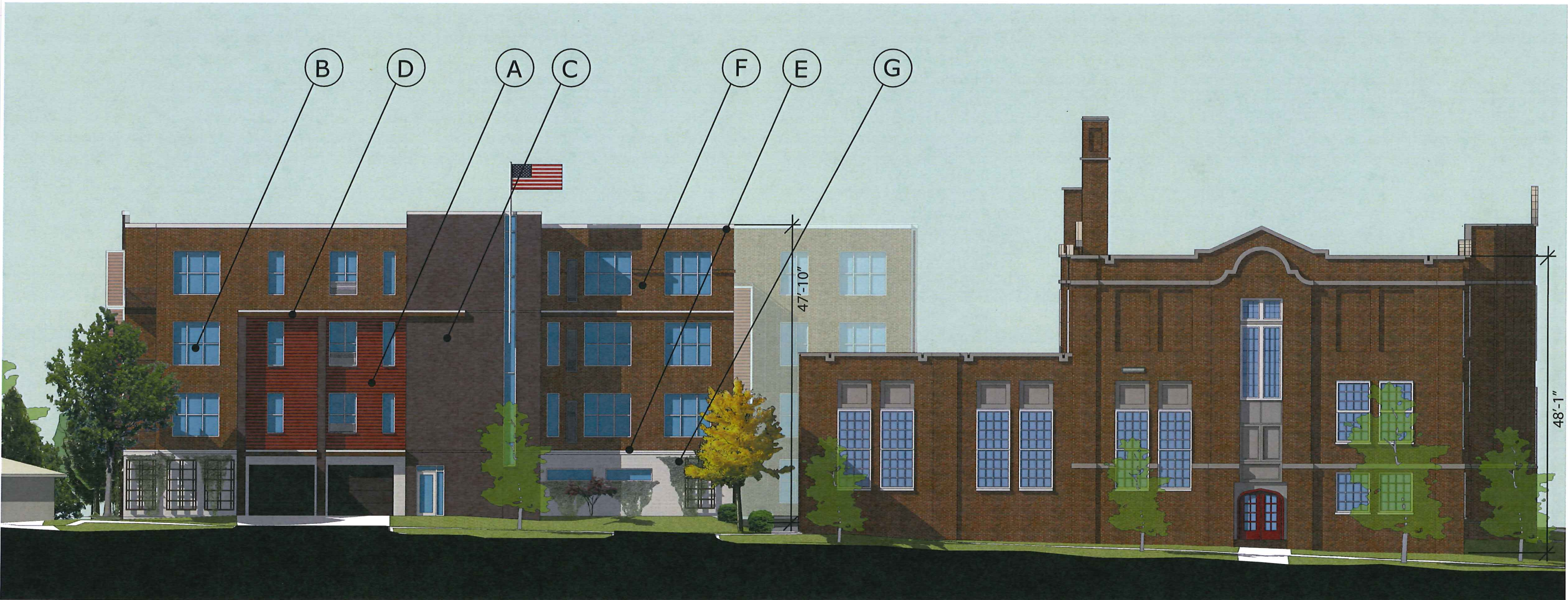


NORTH ELEVATION

- A = Horizontal architectural metal panel - Terra Cota
- B = White aluminum window and door frames
- C = Brick - Ultra Brown
- D = Cedar fascia and soffit - Dark Brown
- E = White coping drip edge
- F = Brick - Autumn Haze
- G = Colored Masonry Block - Camel (light tan)

the Longfellow

Alexander  
Company



SOUTH ELEVATION

- A = Horizontal architectural metal panel - Terra Cota
- B = White aluminum window and door frames
- C = Brick - Ultra Brown
- D = Cedar fascia and soffit - Dark Brown
- E = White coping drip edge
- F = Brick - Autumn Haze
- G = Colored Masonry Block - Camel (light tan)

*the Longfellow*

**Alexander  
Company**



WEST ELEVATION