



# Madison Landmarks Commission APPLICATION

City of Madison Planning Division  
215 Martin Luther King Jr. Blvd. | Room LL.100 | P.O. Box 2985 | Madison, WI 53701-2985

## 1. LOCATION

Project Address: 1344 E. Washington Ave Aldermanic District: 2

## 2. PROJECT

Date Submitted: \_\_\_\_\_

Project Title / Description: Pasqual's / tenant improvement - outdoor deck

This is an application for: (check all that apply)

- Alteration / Addition to a Designated Madison Landmark
- Alteration / Addition to a building adjacent to a Designated Madison Landmark
- Alteration / Addition to a building in a Local Historic District (specify):
  - Mansion Hill
  - University Heights
  - Third Lake Ridge
  - Marquette Bungalows
  - First Settlement
- New Construction in a Local Historic District (specify):
  - Mansion Hill
  - University Heights
  - Third Lake Ridge
  - Marquette Bungalows
  - First Settlement
- Demolition
- Variance from the Landmarks Ordinance
- Referral from Common Council, Plan Commission, or other referral
- Other (specify): \_\_\_\_\_

## 3. APPLICANT

Applicant's Name: Kirk Biodrowski Company: Shulfer Architects LLC  
 Address: 1918 Paramentor St Suite #2 City/State: Middleton, WI Zip: 53562  
 Telephone: 608-836-7570 E-mail: kbiodrowski@shulferarchitects.com  
 Property Owner (if not applicant): Mullins Group LLC  
 Address: 401 N. Carroll St City/State: Madison, WI Zip: \_\_\_\_\_

Property Owner's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

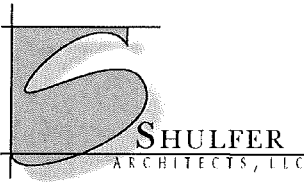
### GENERAL SUBMITTAL REQUIREMENTS

Twelve (12) collated paper copies and electronic (.pdf) files of the following: (Note the filing deadline is 4:30 PM on the filing day)

- Application
- Brief narrative description of the project
- Scaled plan set reduced to 11" x 17" or smaller pages. Please include:
  - Site plan showing all property lines and structures
  - Building elevations, plans and other drawings as needed to illustrate the project
  - Photos of existing house/building
  - Contextual information (such as photos) of surrounding properties
- Any other information that may be helpful in communicating the details of the project and how it complies with the Landmarks Ordinance, including the impacts on existing structures on the site or on nearby properties.

**Questions?** Please contact the  
Historic Preservation Planner:  
Amy Scanlon  
Phone: 608.266.6552  
Email: [ascanlon@cityofmadison.com](mailto:ascanlon@cityofmadison.com)

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.



June 30, 2014

City of Madison  
Department of Planning & Development (Landmarks)  
215 Martin Luther King Jr. Blvd.  
Room LL.100  
P.O. Box 2985  
Madison, WI 53701-2985

RE: Landmark building narrative  
1344 E. Washington Ave., Madison, WI.

Dear Commission members and Landmarks Staff:

On behalf of Pasqual's and the Mullins Group, LLC, Shulfer Architects, LLC is submitting this narrative and application for approval of the proposed changes to the building located at 1344 E. Washington Ave. We are seeking approval for an outdoor patio at this location. The proposed changes have already been approved unanimously by the Tenney-Lapham neighborhood association as well as the plan commission. It also has the support of Alderperson Ledell Zellers (AD #2).

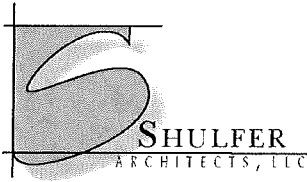
**Proposal Summary:** This building is the former home to several restaurants most recently Fyfes Bistro and has been vacant for several years. We propose to renovate the existing building to accommodate a new restaurant. Add an outdoor patio facing the parking lot behind the building. Add bicycle parking racks to accommodate the growing number of bicyclists and to meet current city codes. With the exception of eliminating six parking stalls to make room for the patio, no changes to the parking stalls nor the landscaping is being proposed at this time. The patio will be two tiered. The upper tier will be at an elevation equal to the existing first floor plate and be constructed of recycled composite wood material. The second tier will be at parking grade and be constructed of stamped concrete. The entire patio will be enclosed with a 3'-6" railing. The railing will be steel pipe with horizontal metal cable (see sheet A3.1 for further details). The parking side of the patio will be screened using a vertical planter which consists of a concrete planter with a steel vertical screen upon which vegetation will grow (see attached document for further description).

**Existing conditions:**

With the exception of adding an outdoor patio area, there will be no changes to the site nor the exterior of the building.

**Proposed use:**

The proposed use of the building will be to house Pasqual's corporate offices, a southwestern restaurant, lounge, and commissary kitchen.



**Project Team:**

The key individuals and firms involved in this planning and design process include:

**Tenant:**

Pasqual's  
C/O Ben Roberts  
2831 Parmenter St  
Middleton, WI. 53562

**Architect:**

Steve Shulfer, AIA  
Shulfer Architects, LLC  
1918 Parmenter St., Suite 2  
Middleton, WI 53562

**Building General Contractor:**

Lake Country  
C/O Brett Steele  
161 Horizon Dr. #103  
Verona, WI

**Owner:**

Mullins Group, LLC  
C/O Brad Mullins  
401 N. Carroll St.  
Madison, WI

Please feel free to contact us with any questions you may have regarding this request.

Respectfully,

A handwritten signature in black ink, appearing to read 'Kirk Biodrowski', with a long horizontal flourish extending to the right.

Kirk Biodrowski, Assoc. AIA.  
Shulfer Architects, LLC

[kbiodrowski@shulferarchitects.com](mailto:kbiodrowski@shulferarchitects.com)

# PASQUAL'S

## TENANT IMPROVEMENT

### MADISON, WISCONSIN

1918 PARMENTER ST., SUITE 402  
MIDDLETON, WI 53598  
TELEPHONE: 608.836.7570  
FAX: 608.836.7500

**SHULFER**  
ARCHITECTS, LLC

**PROJECT DATA:**

LOCATION: 1344 E. WASHINGTON AVE (AKA 1356 E. WASHINGTON AVE)  
MADISON, WI.

REGULATING MUNICIPALITIES:  
CITY OF MADISON  
DANE COUNTY  
STATE OF WISCONSIN

BUILDING CODE:  
CITY OF MADISON ZONING ORDINANCES  
WISCONSIN ADMINISTRATIVE CODE  
2009 INTERNATIONAL BUILDING CODE

OCCUPANCY TYPE = "A-2" ASSEMBLY (RESTAURANT)

CONSTRUCTION TYPE:  
TYPE "VB"  
2 STORY  
SPRINKLERED

OCCUPANCY:

EMPLOYEES @ 100/200 SF GROSS	= 34 OCC.
RESTAURANT	= 65 OCC
LOUNGE	= 81 OCC
BANQUETTE (FUTURE)	= 110 OCC
INTERIOR BLDG SUB-TOTAL	= 290 OCC
PATIO	= 97 OCC
TOTAL	= 387 OCC.

AREA CALCULATIONS:

FIRST FLOOR:	5,937 GSF
SECOND FLOOR:	4,185 GSF
BASEMENT:	2,905 GSF
BUILDING AREA:	13,007 GSF

**PLUMBING:**

REQUIRED:

MEN TOILET/UR.	= 3, LAV = 1
WOMEN TOILET	= 3, LAV = 1
TOTAL REQ'D	= 6 = 2

PROVIDED:

MEN TOILET/UR.	= 3, LAV = 2
WOMEN TOILET	= 4, LAV = 2
TOTAL REQ'D	= 7 = 4

**FIRE CONTROL:**

THIS IS A FULLY SPRINKLERED BUILDING  
NO FIRE AREAS PROVIDED

**EXIT TRAVEL DISTANCE:**

FULLY-SPRINK. BLDG = 200 FT MAX TRAVEL  
75 FT COMMON PATH OF TRAVEL/30 FT FROM ANY FIXED SEAT

**EXITS:**

TWO EXISTS REQUIRED

**ACCESSIBILITY:**

PER ANSI A117.1

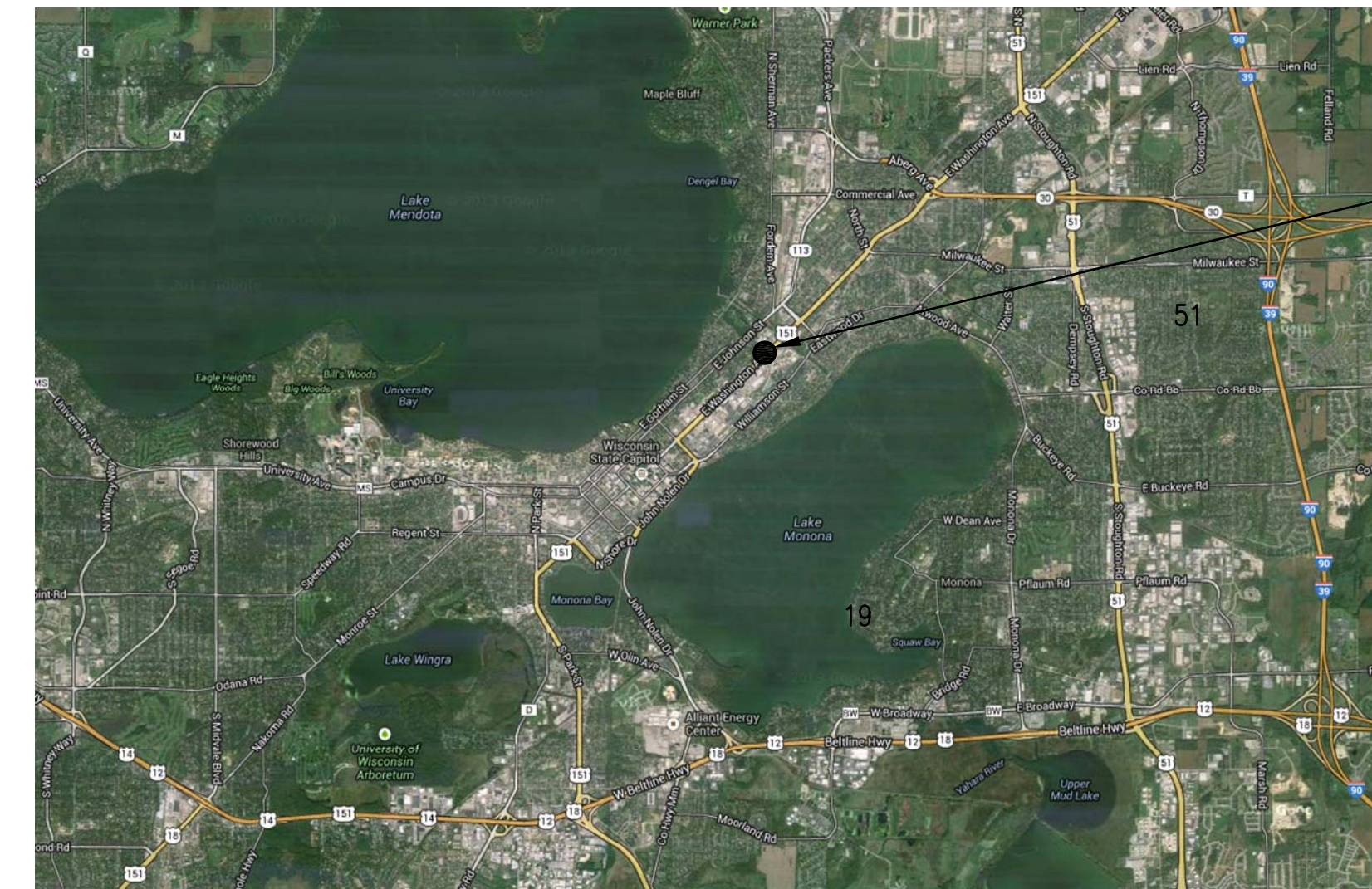
**GENERAL NOTES:**

- DIMENSIONS ARE TO FACE OF WALL OR TO COLUMN CENTERLINE UNLESS NOTED OTHERWISE. VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERING ANY DISCREPANCIES OR CONFLICTING INFORMATION IN THESE DOCUMENTS. CONTRACTOR SHALL CAREFULLY REVIEW AND COMPARE ALL DRAWINGS DURING THE BIDDING PERIOD AND BEFORE INSTALLATION OF THEIR WORK. ANY INCONSISTENCIES IN THE DRAWINGS SHALL BE REPORTED PROMPTLY TO THE ARCHITECT AND ENGINEER(S) FOR CLARIFICATION.
- DO NOT SCALE DRAWINGS. THE DRAWINGS ARE NOT NECESSARILY TO SCALE - USE GIVEN DIMENSIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED EXISTING SITE CONDITIONS AFFECTING THE EXECUTION OF THESE DOCUMENTS (SUCH AS HAZARDOUS MATERIALS, ETC.).
- CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS GOVERNING THIS PROJECT.
- JOB SITE SHALL BE BROOM SWEEPED AND CLEAN AT THE END OF EACH DAY. ALL DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY INTO APPROVED CONTAINER.
- MAINTAIN DESIGNATED EGRESS ROUTES DURING CONSTRUCTION BY KEEPING CLEAR OF CONSTRUCTION DEBRIS AND CLEARLY MARKING THE PATH OF EGRESS TRAVEL.
- ALL MECHANICAL (HVAC), ELECTRICAL, AND PLUMBING ("MEP") DESIGN AND CONSTRUCTION TO BE BY A DESIGN-BUILD DELIVERY METHOD AND ARE SUBSEQUENTLY NOT PART OF THESE DOCUMENTS. IT IS THE MEP CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE GENERAL CONTRACTOR AND WITH THESE DRAWINGS THE FINAL DESIGN, RETROFIT AND INSTALLATION OF THESE SYSTEMS. NOTIFY THE ARCHITECT PRIOR TO MAKING ANY REVISIONS TO THE STRUCTURE OR ARCHITECTURAL FEATURES.
- ELECTRICIAN TO VERIFY NEW LIGHT FIXTURE LAYOUT AND SUBMIT LIGHTING ENERGY CALC'S AS REQUIRED PER CODE. REVIEW PLAN WITH ARCHITECT.
- HVAC CONTRACTOR SHALL SUBMIT PROPER DESIGN DRAWINGS AS NEEDED FOR PLAN APPROVAL AND BUILDING PERMITS.
- ENSURE A CLEAR PATHWAY TO ALL EXISTS IS MAINTAINED AND SUSTAINED.

**SHEET INDEX:**

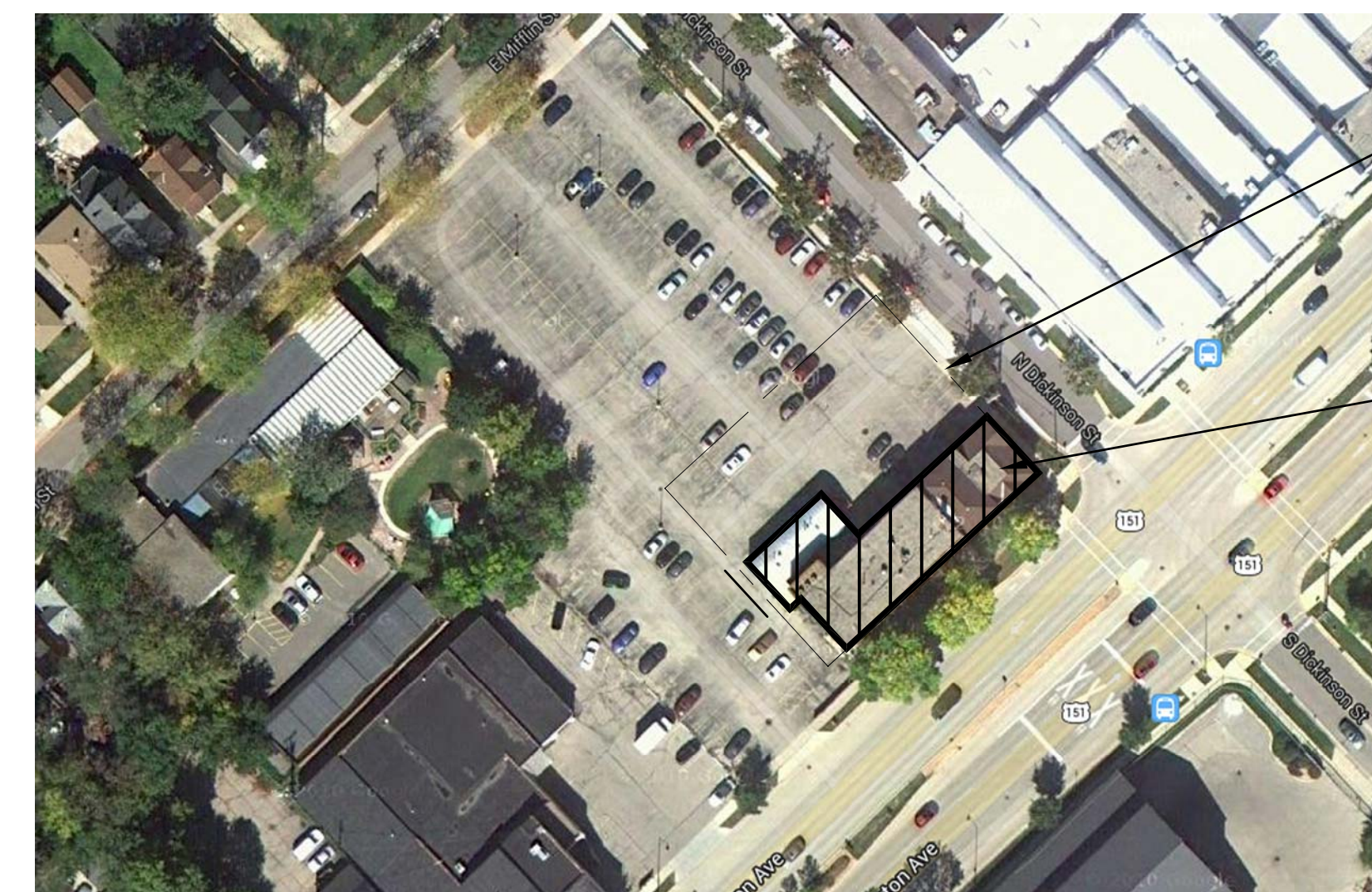
- A0.1 COVER SHEET  
A0.2 SYMBOLS & ABBREVIATIONS
- ARCHITECTURAL**  
A1.1 SITE PLAN  
A2.1 FIRST FLOOR DEMO PLAN  
A2.2 SECOND FLOOR DEMO PLAN  
A2.3 FIRST FLOOR PLANS  
A2.4 SECOND FLOOR PLANS  
A3.1 PATIO EXTERIOR ELEVATIONS

**PROJECT LOCATION MAP:**



PROJECT SITE

**TENANT LOCATION:**



PARCEL 1356 BOUNDARY

TENANT LOCATION

**PATIO RENDERING:**



**CONTACTS:**

**TENANT:**  
PASQUAL'S  
2831 PARMENTER ST  
MIDDLETON, WI

BEN ROBERTS  
608-445-1676

**OWNER:**  
MULLINS GROUP, LLC  
401 N. CARROLL ST  
MADISON, WI

BRAD MULLINS  
608-229-5902

**ARCHITECT:**  
SHULFER ARCHITECTS, LLC  
1918 PARMENTER ST., STE 2  
MIDDLETON, WI 53562

KIRK BIODROWSKI  
608-836-7570

**GENERAL CONTRACTOR:**  
LAKE COUNTRY  
161 HORIZON DR. #103  
VERONA, WI

BRETT STEELE  
608-225-1319

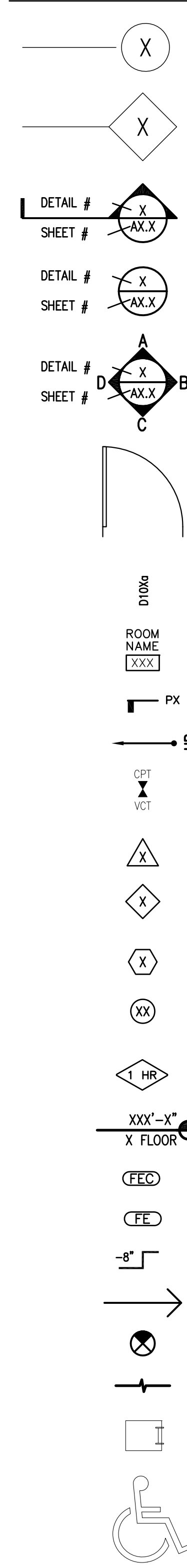
**PASQUAL'S**  
TENANT IMPROVEMENT  
1344 E. WASHINGTON AVE  
MADISON, WISCONSIN

**COVER SHEET**

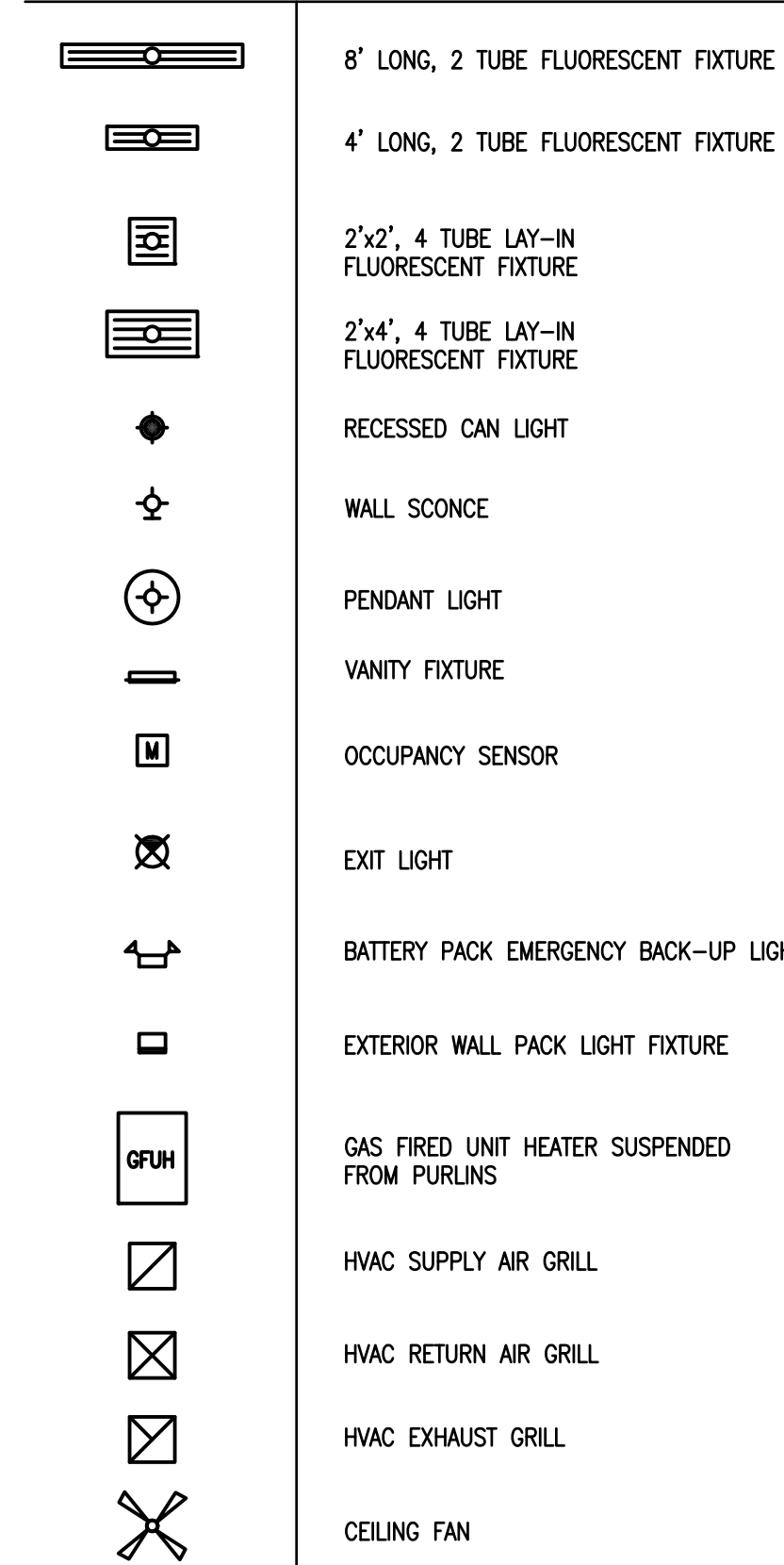
05/20/2014  
BID SET

**A0.1**

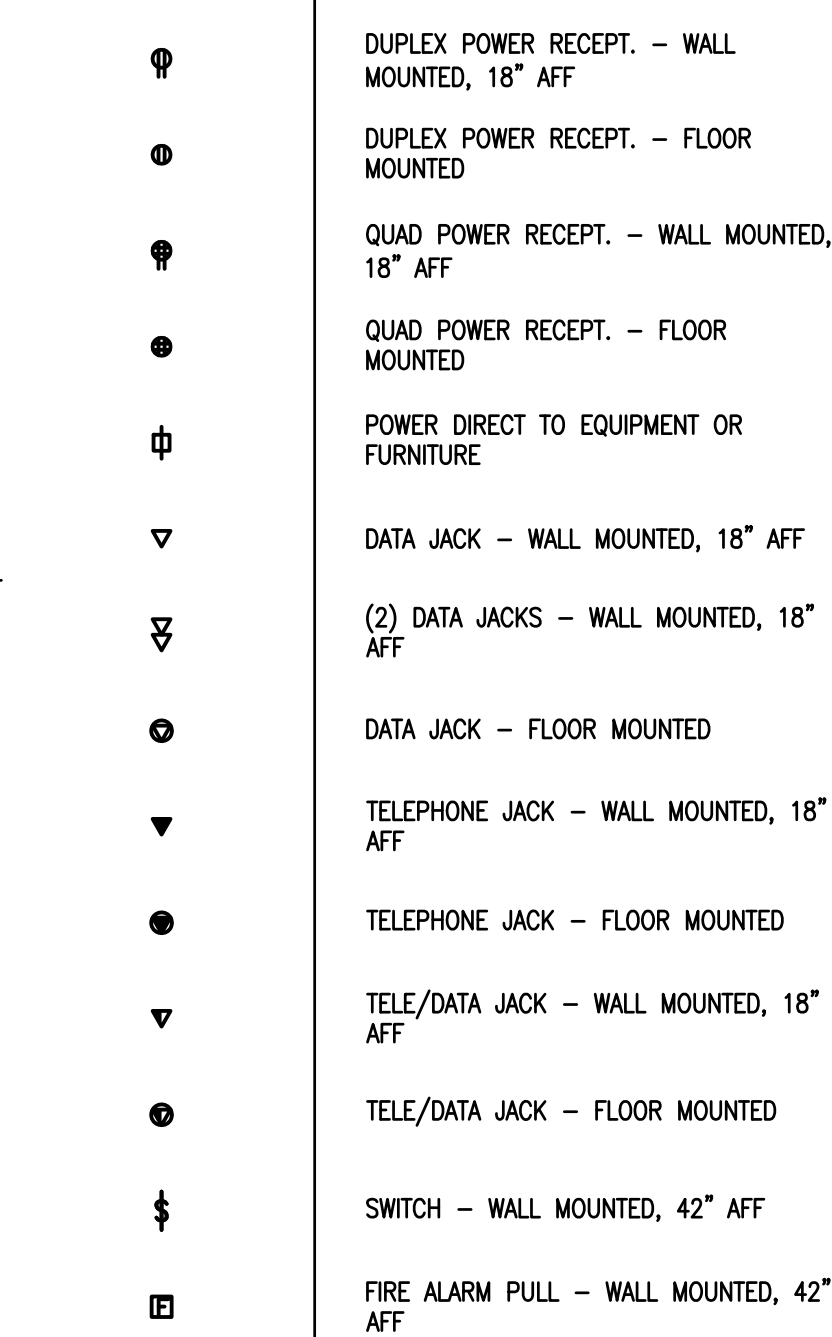
**SYMBOLS KEY:**



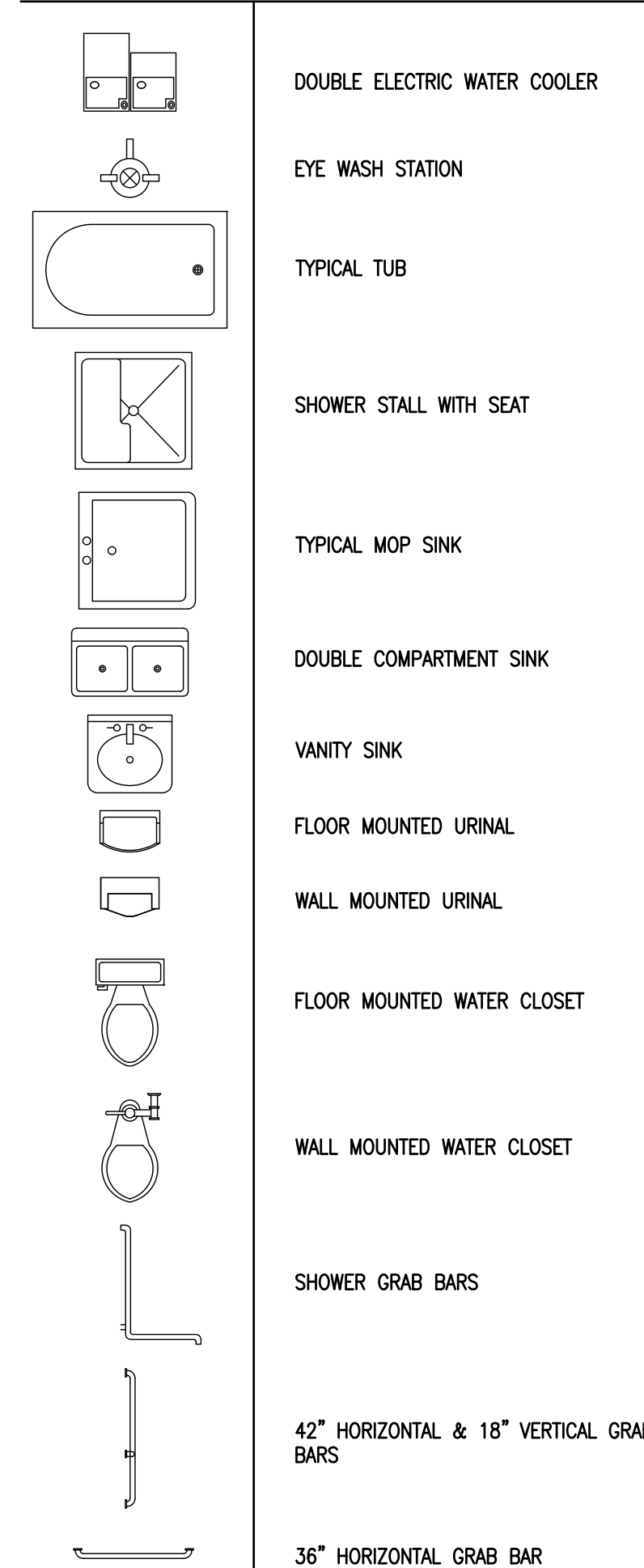
**ELECTRICAL FIXTURE SYMBOLS:**



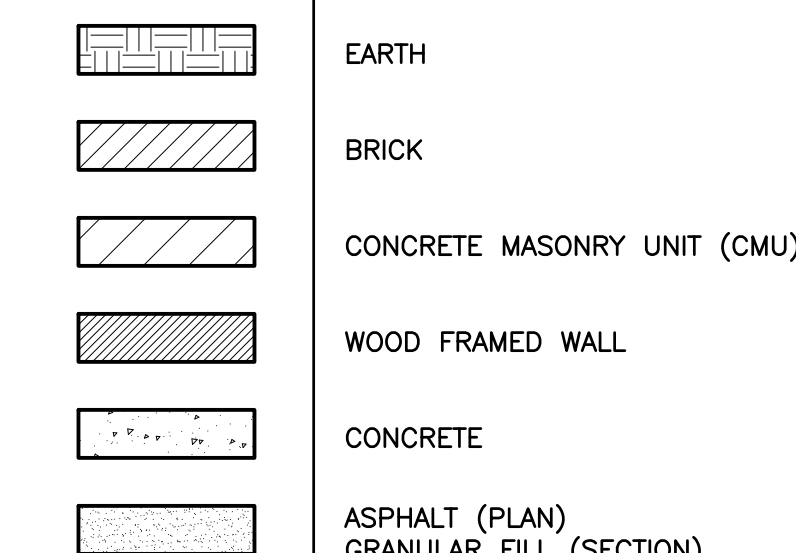
**POWER AND DATA SYMBOLS:**



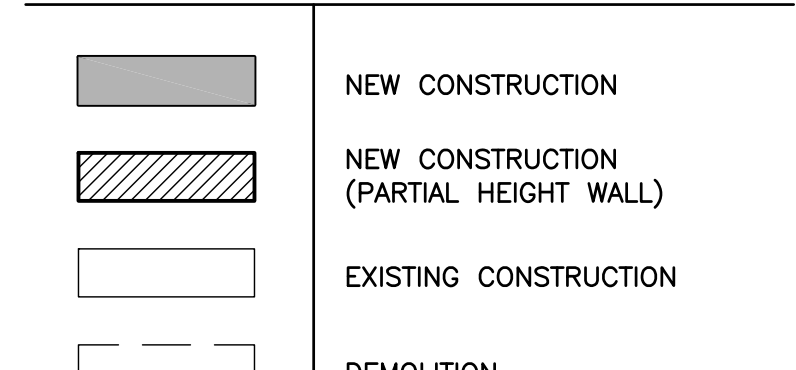
**PLUMBING FIXTURE SYMBOLS:**



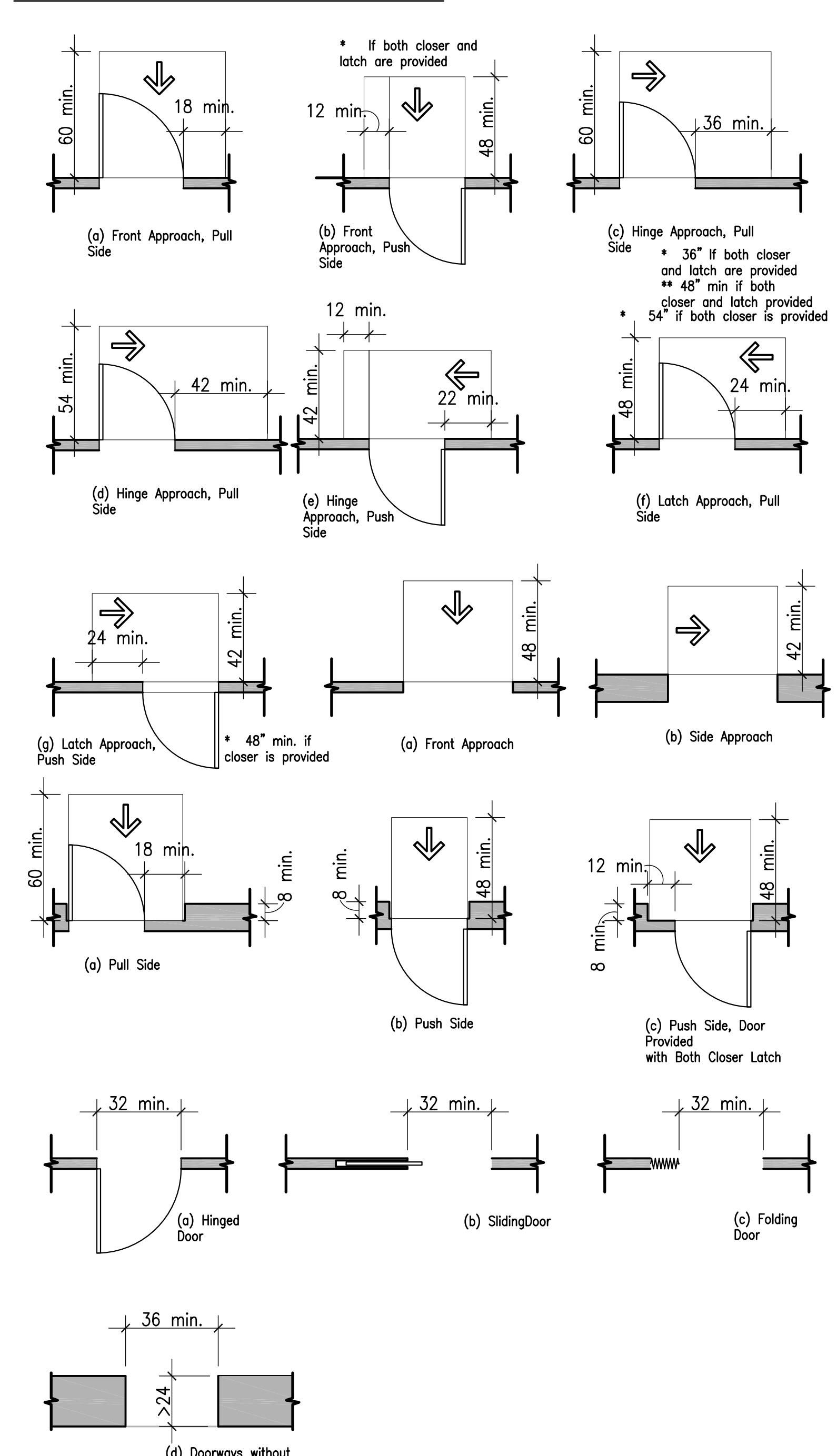
**HATCH PATTERNS (DETAILS):**



**HATCH PATTERNS (WALLS):**

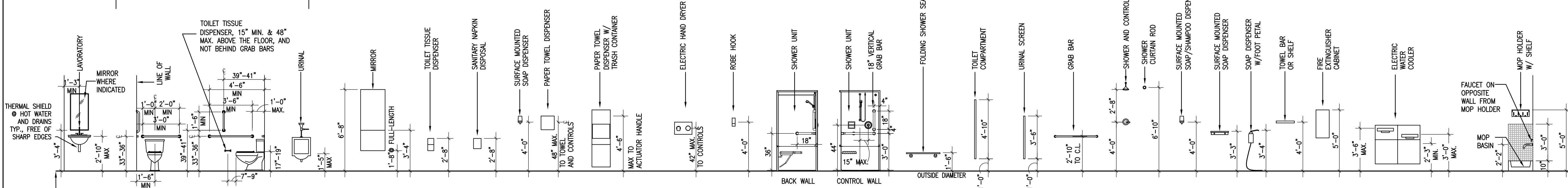


**CLEARANCES AT MANUAL DOOR SWINGS:**



**COMMON ABBREVIATIONS:**

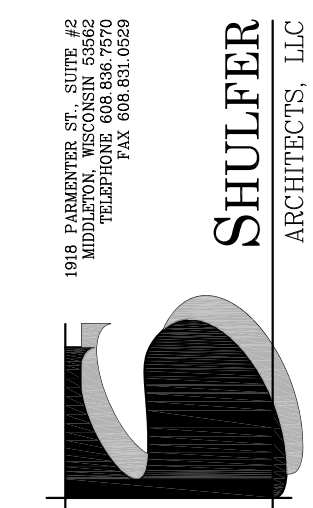
AB	ANCHOR BOLT	NIC	NOT IN CONTRACT
ACT	ACOUSTICAL CEILING TILE	NOM	NOMINAL
AFF	ABOVE FINISH FLOOR	NTS	NOT TO SCALE
AGG	AGGREGATE	N-S	NORTH-SOUTH DIRECTION
ALUM	ALUMINUM	OC	ON CENTER
ALT	ALTERNATE	OCEW	ON CENTER EACH WAY
ARCH	ARCHITECT/ARCHITECTURAL	OD	OUTSIDE DIAMETER
B-B	BACK-TO-BACK	OH	OVER HEAD
BLDG	BUILDING	OPP	OPPOSITE
BLK	BLOCK	PEMB	PRE-ENGINEERED METAL BUILDING
BM	BEAM	PERIM	PERIMETER
BOT	BOTTOM	P/C	PLUMBING CONTRACTOR
BRG	BEARING	P/CP	PRECAST/PRESTRESSED
BS	BOTH SIDES	PL	STEEL PLATE DESIGNATION
		P/T	POST TENSIONED
C	CHANNEL DESIGNATION	RB	RUBBER BASE
CIP	CAST IN PLACE	REINF	REINFORCING
CJ	CONSTRUCTION JOINT	REQD	REQUIRED
CL	CENTER LINE	RTU	ROOF TOP UNIT
CLJ	CONTROL JOINT		
CLR	CLEAR DISTANCE	SCHD	SCHEDULE
CMU	CONCRETE MASONRY UNIT	SIM	SIMILAR
COL	COLUMN	SHT	SHEET
CONC	CONCRETE	SOG	SLAB ON GRADE
CONN	CONNECTION	SPA	SPACE/SPACES
CONT	CONTINUOUS	SPEC	SPECIFICATION
CONTR	CONTRACTOR	SQ	SQUARE
CPT	CARPET	STL	STEEL
CT	CERAMIC TILE	STR	STRUCTURAL
D	DEPTH	T	TALL
DB	DESIGN BUILD	THK	THICK
DIA	DIAMETER	TO	TOP OF
DM	DIMENSION	TOC	TOP OF CONCRETE
DN	DOWN	TOF	TOP OF FLOOR
DTL	DETAIL	TOW	TOP OF WALL
DWG	DRAWING	TL	TOP OF LEDGE ELEVATION
DWL	DOWEL	TP	TOP OF PIER ELEVATION
EA	EACH	TW	TOP OF WALL ELEVATION
EC	ELECTRICAL CONTRACTOR	TYP	TYPICAL
EJ	EXPANSION JOINT	UNO	UNLESS NOTED OTHERWISE
EL	ELEVATION		
ELEV	ELEVATOR	VB	VINYL BASE (OR) VAPOR BARRIER
ENG	ENGINEER	VCT	VINYL COMPOSITION TILE
EQ	EQUAL	VERT	VERTICAL
EW	EACH WAY	VF	VERIFY IN FIELD
E-W	EAST-WEST DIRECTION	VR	VAPOR RETARDER
EXIST	EXISTING	W	WIDTH
EXP	EXPANSION	W/O	WITHOUT
EXT	EXTERIOR	WD	WOOD
		WF	WIDE FLANGE DESIGNATION
FDN	FOUNDATION	WP	WORKING POINT
FIN	FINISH (OR) FINNED	WSB	WOOD STUD BEARING WALL
FF	FINISH FLOOR	WWF	WELDED WIRE FABRIC
F-F	FACE-TO-FACE		
FLG	FLANGE		
FTG	FOOTING		
FUT	FUTURE		
FV	FIELD VERIFY		
GA	GAUGE		
GALV	GALVANIZED		
GC	GENERAL CONTRACTOR		
GL	GRID LINE		
GWB	GYPSON WALL BOARD		
GYP	GYPSON		
H	HEIGHT		
HORIZ	HORIZONTAL		
HP	HIGH POINT		
HR	HOUR		
HT	HEIGHT		
HVAC	HEATING, VENTILATING & AIR CONDITIONING		
HW	HARDWOOD		
ID	INSIDE DIAMETER		
INSUL	INSULATION		
INT	INTERIOR		
JT	JOINT		
KO	KNOCK OUT		
L	LENGTH		
L	LENGTH ANGLE DESIGNATION		
LG	LENGTH/LONG		
LGMF	LIGHT GAGE METAL FRAMING		
LLH	LONG LEG HORIZ		
LLV	LONG LEG VERT		
LP	LOW POINT		
LVL	LAMINATED VENEER LUMBER		
MANF	MANUFACTURER		
MAX	MAXIMUM		
MBW	MASONRY BEARING WALL		
MC	MECHANICAL CONTRACTOR		
MEP	MECHANICAL, ELECTRICAL, PLUMBING		
MIN	MINIMUM		
MTL	METAL		



**FIXTURE MOUNTING HEIGHTS**

1/4"=1'-0"

**NOTES:**  
 1. ACCESSORIES SHALL BE VERIFIED WITH THE OWNER & TENANT FOR SELECTED MODEL/MFR.  
 2. PROVIDE BLOCKING WITHIN WALLS TO SUPPORT ACCESSORIES @ HEIGHTS INDICATED

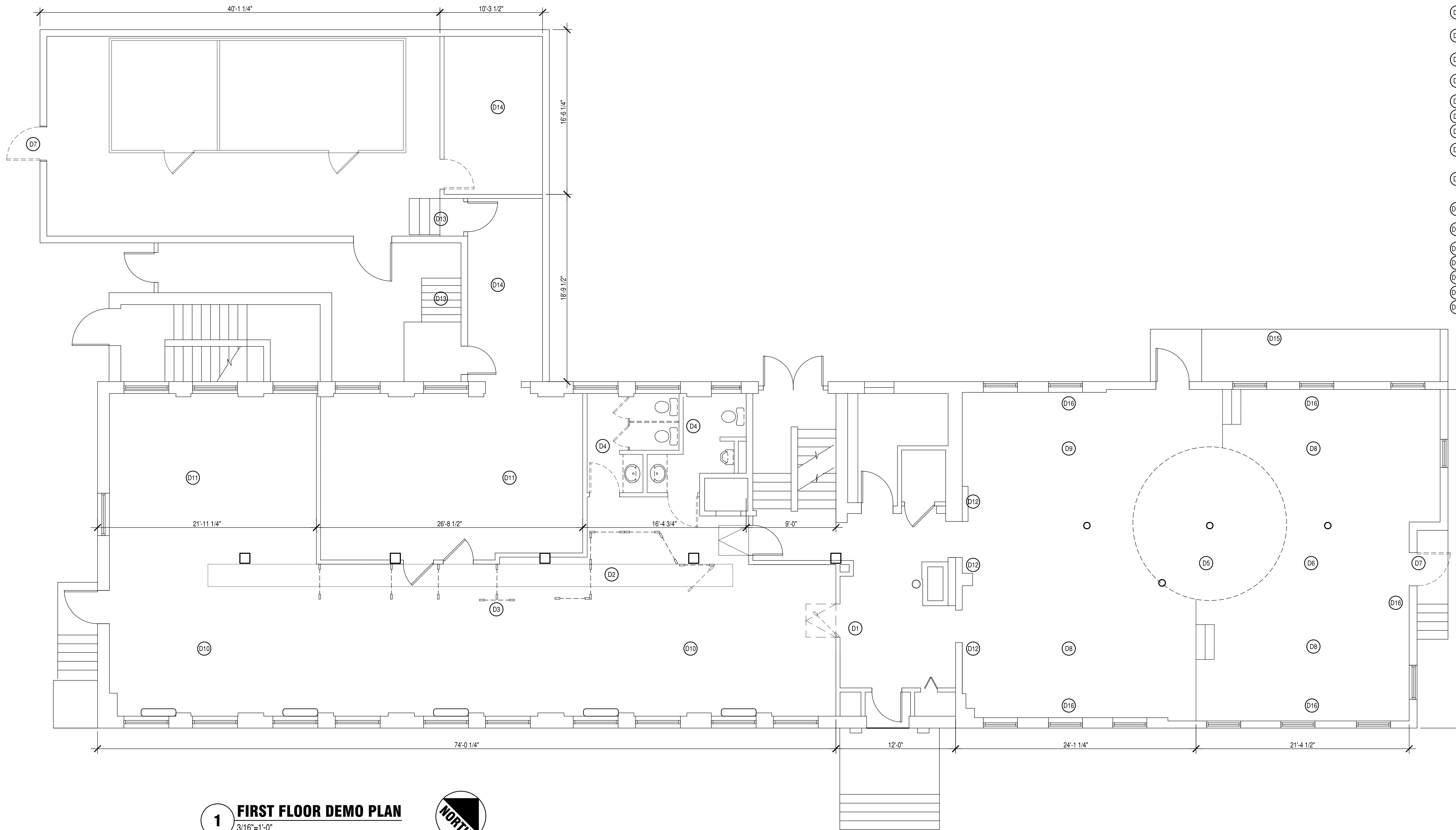


**EXISTING/ DEMOLITION PLAN NOTES**

1. SALVAGE AND TURN OVER TO OWNER ALL EXISTING LIGHT FIXTURES, DOORS, TRIM, FRAMES, EQUIPMENT, CEILING TILES AND GRID, AND HARDWARE FOR REUSE WHERE APPLICABLE.
2. REMOVE ALL "DASHED" WALLS FLOOR TO DECK INCLUDING ALL ELECTRICAL, DATA OR PLUMBING. PATCH ALL DISTURBED FINISHES TO MATCH FINISH SCHEDULE.
3. EXISTING EXTERIOR WALLS, STRUCTURE AND FLOORS SHALL REMAIN INTACT AND UNDISTURBED. WHERE MODIFICATION IS NECESSARY, RESTORE TO EXISTING CONDITION.
4. PREPARE ALL EXISTING AREAS INVOLVED WITH DEMOLITION TO RECEIVE NEW WORK OR NEW FINISHES PER PLANS, ROOM FINISH SCHEDULE AND SPECIFICATIONS. CONTACT ARCHITECT OR ENGINEER BEFORE BEGINNING NEW WORK IF THERE ARE ANY DISCREPANCIES OR QUESTIONS REGARDING EXISTING CONDITIONS NOT CLEARLY DEFINED ON THE DRAWINGS THAT AFFECT NEW CONSTRUCTION.
5. GENERAL CONTRACTOR TO SECURE CONSTRUCTION AREA DURING CONSTRUCTION WORK. SEAL ALL DOORS AS REQUIRED. CONSTRUCT AND MAINTAIN A FLOOR TO CEILING DUST BARRIER, TO PROVIDE SEPARATION FOR DUST, DEBRIS AND SOUND.
6. GENERAL CONTRACTOR TO COORDINATE SYSTEMS AND UTILITY SHUT-DOWNS WITH OWNER PRIOR TO COMMENCEMENT OF WORK.
7. GENERAL CONTRACTOR TO MAINTAIN PATH THROUGH PORTIONS OF THE CONSTRUCTION AREA FOR ACCESS TO EGRESS STAIRWAYS.
8. SAFELY REMOVE ALL CARPET AND DISPOSE OF IN A PROPER RECYCLING FACILITY. PREP FLOOR FOR NEW FLOORING PER FINISH FLOOR PLANS
9. VERIFY MATERIALS AND PAINTS BEING REMOVED ARE NON-HAZARDOUS MATERIALS. IF HAZARDOUS, REMOVE WITH THE PROPER CARE AND PER CITY, STATE AND FEDERAL CODES

**DEMO PLAN NOTES:**

- D1 DEMO WALL AND DOOR TO CREATE NEW OPENING PATCH AND REPAIR FLOOR
- D2 DEMO SOFFIT ABOVE. REMOVE, CAP, OR RE-ROUTE ALL EXISTING ELECTRICAL, DATA, PLUMBING, AND HVAC
- D3 REMOVE EXISTING "WALLS" SALVAGE DOORS FOR USE IN OFFICES ON SECOND FLOOR
- D4 DEMO BATHROOMS FLOOR TO CEILING. REMOVE WALLS BETWEEN BATHROOMS AND ALL ASSOCIATED UTILITIES
- D5 DEMO EXISTING BAR
- D6 DEMO RAISED FLOOR
- D7 DEMO EXTERIOR DOOR
- D8 REMOVE EXISTING CEILING GRID AND TILES. REMOVE EXPOSED UTILITIES. RE-ROUTE, OR CAP AS NECESSARY REMOVE LATH AND PLASTER CEILING TO EXPOSE WOOD JOIST ABOVE
- D9 REMOVE EXISTING CEILING GRID AND TILES. REMOVE EXPOSED UTILITIES. RE-ROUTE, OR CAP AS NECESSARY. DO NOT REMOVE LATH AND PLASTER ABOVE
- D10 REMOVE EXISTING CEILING GRID AND TILES. REMOVE EXPOSED UTILITIES. RE-ROUTE OR CAP AS NECESSARY
- D11 DEMO KITCHEN, INCLUDING ALL EQUIPMENT, FLOORING, FRP ON WALLS, CEILING GRID AND TILES. PREPARE FOR NEW GRID AND TILES
- D12 DEMO FURRED OUT WALL TO EXPOSE BRICK BEHIND
- D13 DEMO STAIRS AND REBUILD TO MEET CODE
- D14 REMOVE ALL SHELVING, STRIP WALLS, CEILING AND FLOOR
- D15 DEMO METAL HANDRAIL ON RAMP
- D16 REMOVE ALL WOOD WAINSCOT TRIM IN LOUNGE



**1 FIRST FLOOR DEMO PLAN**  
3/16"=1'-0"



1100 PARKWOOD ST., SUITE 402  
 MADISON, WI 53704  
 TEL: 608.261.7070  
 FAX: 608.261.7070  
**SHULFER**  
 ARCHITECTS, LLC

**PASQUALS**  
 TENANT IMPROVEMENT  
 1344 E. WASHINGTON AVE  
 MADISON, WI

**FIRST FLOOR DEMO PLANS**

05/20/2014  
BID SET

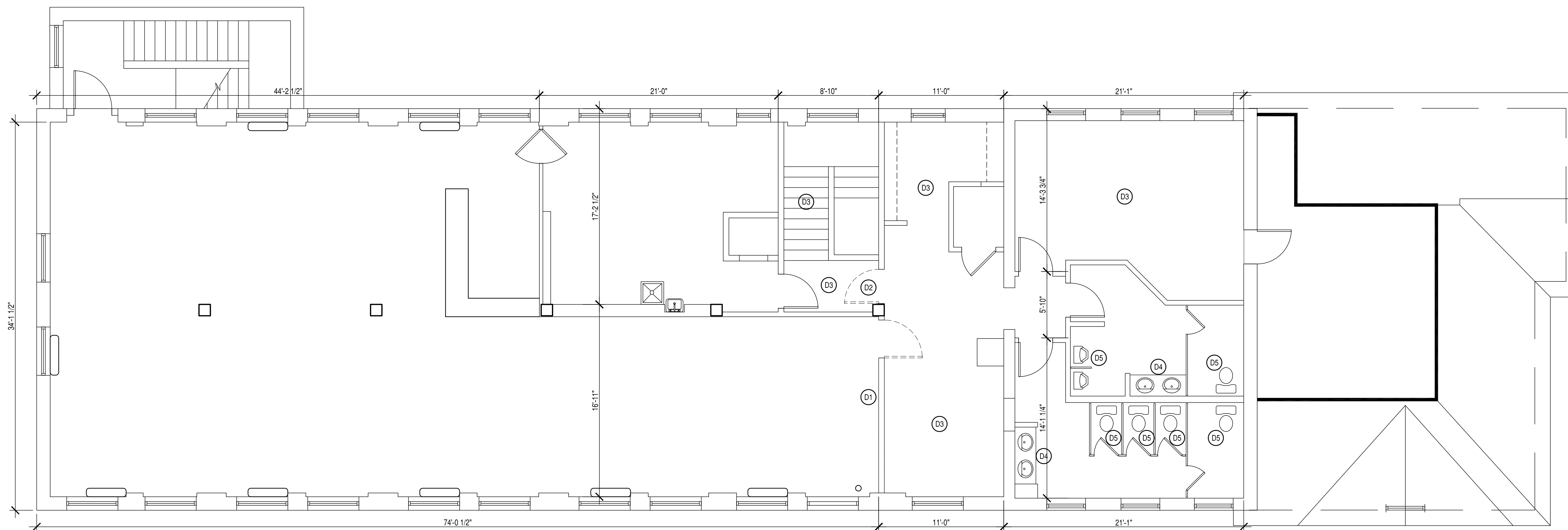
**A2.1**

**EXISTING/ DEMOLITION PLAN NOTES**

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2. REMOVE ALL "DASHED" WALLS FLOOR TO DECK INCLUDING ALL ELECTRICAL, DATA OR PLUMBING. PATCH ALL DISTURBED FINISHES TO MATCH FINISH SCHEDULE.
3. EXISTING EXTERIOR WALLS, STRUCTURE AND FLOORS SHALL REMAIN INTACT AND UNDISTURBED, WHERE MODIFICATION IS NECESSARY, RESTORE TO EXISTING CONDITION.
4. PREPARE ALL EXISTING AREAS INVOLVED WITH DEMOLITION TO RECEIVE NEW WORK OR NEW FINISHES PER PLANS, ROOM FINISH SCHEDULE AND SPECIFICATIONS. CONTACT ARCHITECT OR ENGINEER BEFORE BEGINNING NEW WORK IF THERE ARE ANY DISCREPANCIES OR QUESTIONS REGARDING EXISTING CONDITIONS NOT CLEARLY DEFINED ON THE DRAWINGS THAT AFFECT NEW CONSTRUCTION.
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**DEMO PLAN NOTES:**

- (D1) DEMO WALL AND DOOR
- (D2) DEMO DOOR, SALVAGE AND REUSE
- (D3) REMOVE ALL CARPET, PREP FOR NEW FLOORING PER FINISH FLOOR PLANS
- (D4) DEMO LAVATORIES, SALVAGE SINKS
- (D5) REMOVE EXISTING BATHROOM FIXTURES. QUOTE AS ADD ALTERNATE



**1 SECOND FLOOR DEMO PLAN**  
3/16"=1'-0"



1100 PARKMANVILLE ST., SUITE 202  
MADISON, WI 53703  
TELEPHONE: 608.836.3070  
FAX: 608.836.3070

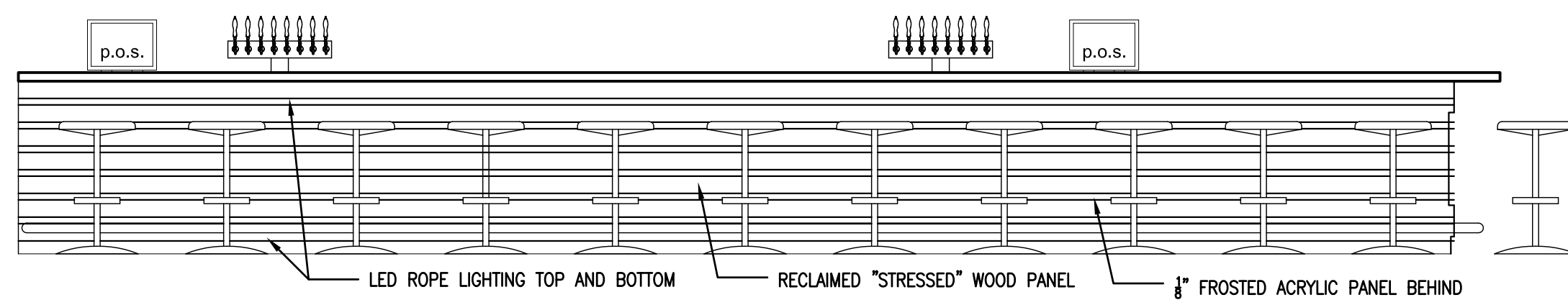
**SHULFER**  
ARCHITECTS, LLC

**PASQUALS**  
TENANT IMPROVEMENT  
1344 E. WASHINGTON AVE  
MADISON, WI

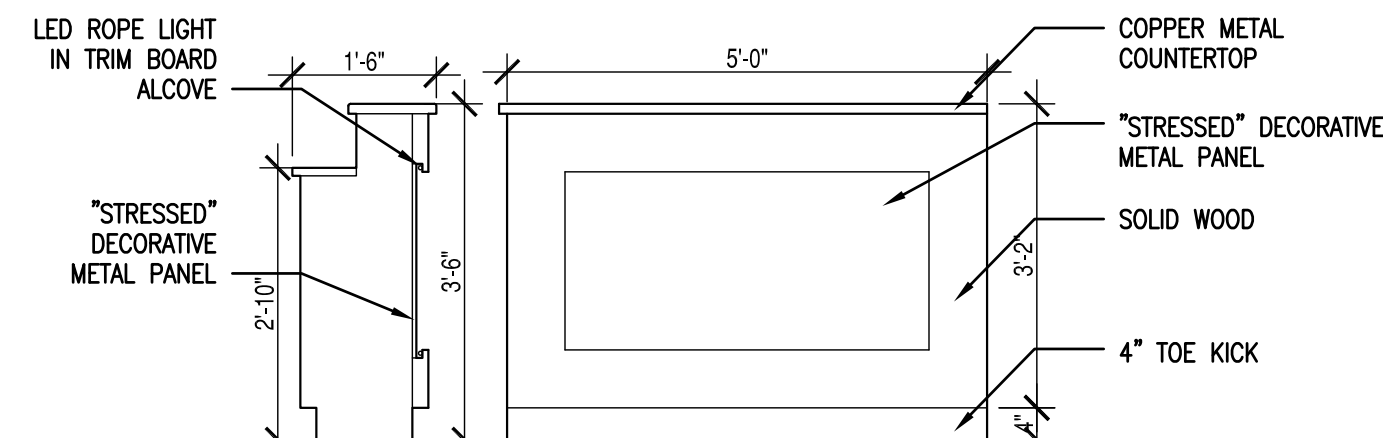
**SECOND FLOOR DEMO PLANS**

05/20/2014  
BID SET

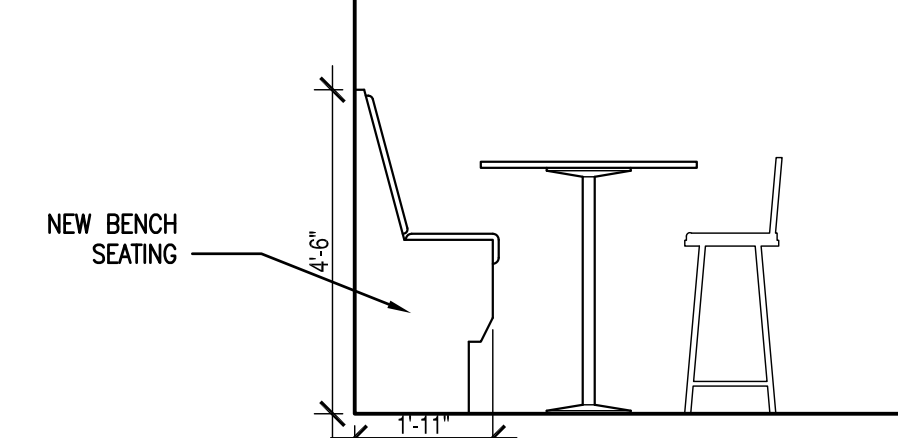
**A2.2**



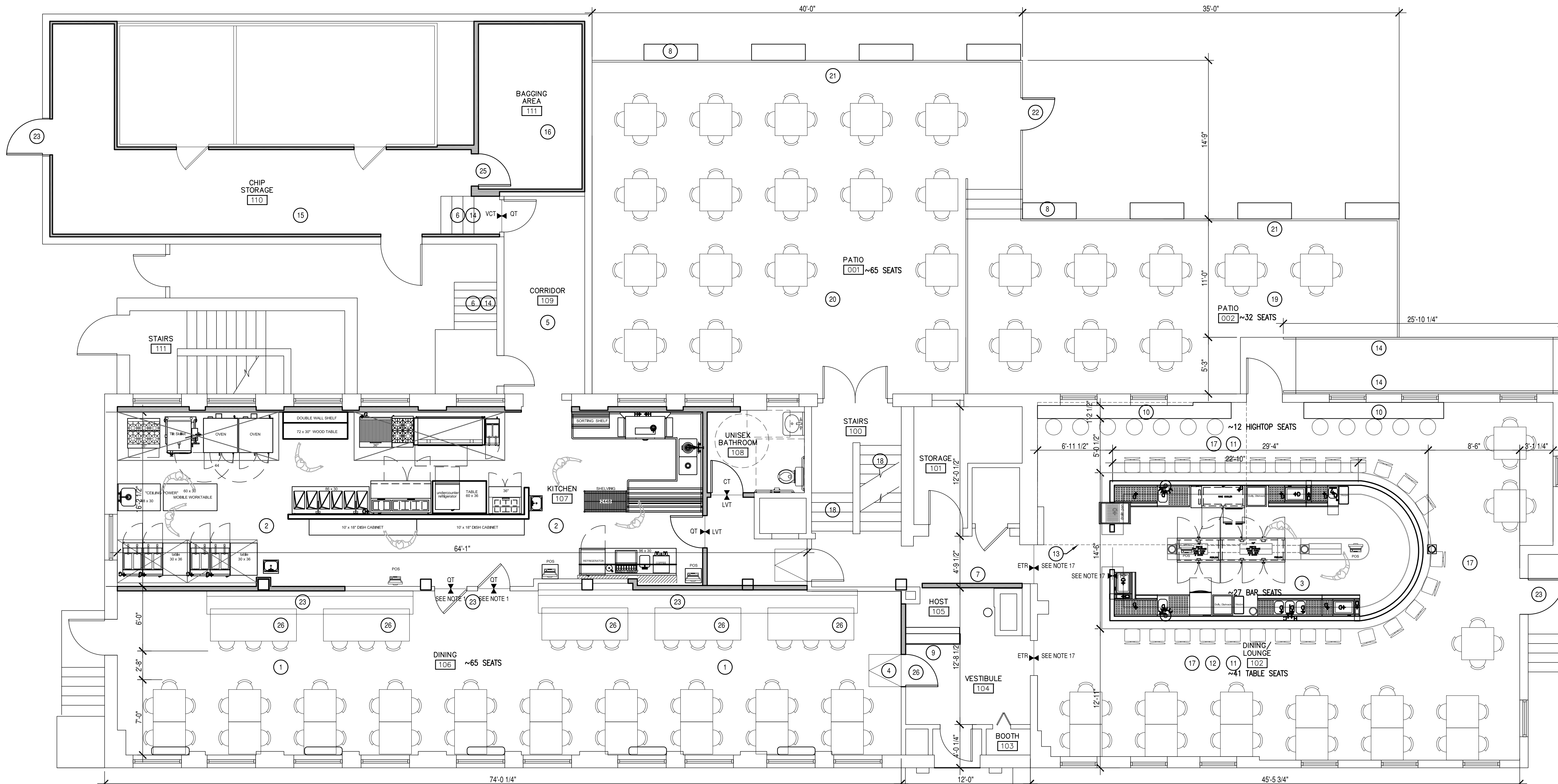
**2 BAR SIDE ELEVATION**  
3/8"=1'-0"



**3 GREETER'S CASEWORK**  
1/2"=1'-0"



**4 TYP. HIGH BOOTH SEATING ELEVATION**  
3/8"=1'-0"



**2 FIRST FLOOR PLAN**  
3/16"=1'-0"

**GENERAL PLAN NOTES**

1. PAINT ALL EXPOSED GWB WALLS (USE LOW VOC PAINT), COLOR TBD
2. PAINT ALL EXPOSED CEILINGS (USE LOW VOC PAINT), COLOR TBD
3. PATCH AND REPAIR EXISTING WALLS WHERE NECESSARY
4. PATCH AND REPAIR LOUNGE WALLS WHERE WOOD WAINSCOT HAS BEEN REMOVED

**FIRST FLOOR PLAN NOTES:**

1. CLEAN AND BUFF COBBLESTONE FLOOR AND PREP FOR SELF-LEVELING CLEAR SEALANT
2. NEW QUARRY TILE FLOOR IN KITCHEN, COLOR/STYLE TBD
3. NEW BAR LOCATION, REPAIR SUBFLOOR AS REQUIRED, RUBBER FLOOR IN BAR AREA, FOR BAR CONSTRUCTION SEE DETAIL 2/A2.3
4. CUT NEW RAMP AT NEW DOOR LOCATION
5. INSPECT EXISTING STRUCTURAL AND WALL CONDITIONS, BUILD NEW WALLS, ROOF, FLOOR AS REQUIRED, NEW QUARRY TILE FLOOR, FRP ON WALLS TO CEILING, NEW FINISHED AND PAINTED GWB CEILING
6. RE-BUILD STAIRS: HANDRAILS TO MEET CODE, TWO HANDRAILS EACH SIDE OF STAIRS
7. WALL WITH PASS-THROUGH WINDOW
8. PLANTER BOXES WITH VERTICAL VEGETATION, (GSKY BASIC WALL SYSTEM)
9. NEW GREETERS STATION, CONSTRUCTED USING RECLAIMED WOOD WHERE POSSIBLE, SEE DETAIL 3/A2.3 FOR DESIGN CONCEPT
10. NEW SOLID WOOD HIGHTOP TABLES, WITH STEEL POSTS
11. NEW HVAC UNIT SERVING LOUNGE, PAINTED HVAC SPIRAL DUCT DROPPED AND EXTENDING EAST AND WEST FROM EXISTING CEILING OPENINGS IN INDICATED LOCATION
12. PAINT EXISTING PVC PLUMBING PIPING IN CEILING TO MASK PIPING
13. FINISHED AND PAINTED GWB CEILING IN THIS LOCATION, ALL OTHER CEILING AREAS IN LOUNGE TO BE EXPOSED STRUCTURE
14. NEW STEEL HANDRAILS FOR RAMP, BOTH SIDES, TO MEET CURRENT ANS I 117 STANDARDS
15. NEW WALLS, 3" STUDS, FILLED WITH INSULATION, WITH FINISHED AND PAINTED GWB OVER VAPOR RETARDER, NEW VINYL 2X2 DROP CEILING TILES AND GRID AT 9'-0" WITH VAPOR RETARDER AND INSULATION ABOVE, NEW VCT FLOORS
16. STRIP WALLS, FLOOR, AND CEILING: INSPECT AND REPLACE INSULATION AS REQUIRED, APPLY NEW FINISHED AND PAINTED GWB OVER VAPOR RETARDER, NEW VCT FLOOR
17. NEW QUARRY TILE TO MATCH EXISTING IN LOUNGE (RUBBER FLOOR IN BAR AREA) \*ADD ALTERNATE: DEMO EXISTING TILE ADD STAINED AND FINISHED WOOD FLOOR (ASSUME \$6.00 SF FOR WOOD FLOOR MATERIALS)
18. NEW BROADLOOM CARPET ALONG STAIRS, MFG AND STYLE TBD (ASSUME \$3.50 SF FOR MATERIALS)
19. NEW RAISED PATIO (TO DOOR STOOP - 2'-8" HIGH), COMPOSITE DECKING WITH POURED FOOTINGS
20. NEW 4" THICK REINFORCED POURED IN PLACE STAMPED CONCRETE PATIO, SLOPED TOWARD PARKING AREA, NO FROST WALL
21. NEW STEEL PIPE RAILING WITH HORIZONTAL STAINLESS STEEL CABLE, SEE ELEVATIONS A3.1
22. SWINGING GATE DOOR WITH ELECTRONIC SIGNAL WHEN OPENED
23. PAINTED EXPOSED SPIRAL DUCT WITH INTEGRATED VENTS TO BE PLACED ALONG INSIDE WALL (PAINTED TO MATCH CEILING)
24. NEW 3'-4" X 7'-0" PAINTED, INSULATED HM DOOR AND FRAME
25. RE-USE SALVAGED DOOR
26. HIGH-BOOTH SEATING SEE DETAIL 4/A2.3

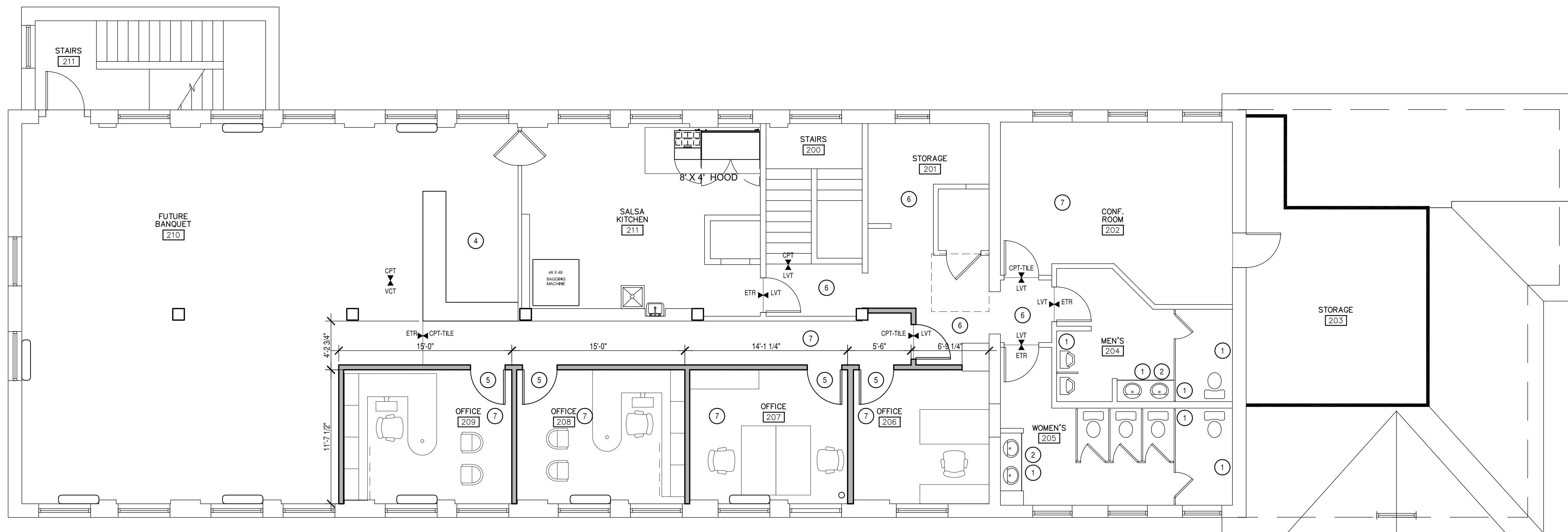


**GENERAL PLAN NOTES**

1. REPLACE ALL URINALS AND WATERCLOSETS
2. CONTACT ARCHITECT REGARDING ANY INTERFERENCE BETWEEN PROPOSED WALLS AND EXISTING OR NEW FACILITIES (PLUMBING, HVAC, LIGHTING)
3. PATCH AND REPAIR EXISTING WALLS WHERE NECESSARY

**SECOND FLOOR PLAN NOTES:**

1. TILE ALL WET WALLS TO 6'-0" IN BOTH EXISTING BATHROOMS (ASSUME \$5.00 SF FOR MATERIALS)
2. NEW SOLID SURFACE VANITY COUNTERTOP, REUSE SALVAGED SINKS
3. WALL TO BE EXTENDED TO BOTTOM OF CEILING, CUT AROUND EXISTING STRUCTURE AS REQUIRED. ALL WALLS TO BE SOUND INSULATED, WITH SOUND TAPE OR CALK AT THE CEILING JOINT
4. EXISTING BAR TO REMAIN
5. SALVAGED DOORS FROM FIRST FLOOR
6. NEW LUXURY VINYL TILES, MFG AND STYLE TBD (ASSUME \$3.50 SF MATERIAL COST) \*ADD ALTERNATE, WOOD FLOORS AT \$6.00 SF MATERIAL
7. NEW CARPET TILES IN OFFICE AREAS, MFG AND STYLE TBD (ASSUME \$3.50 SF FOR MATERIAL COSTS)



**1 SECOND FLOOR PLAN**  
3/16"=1'-0"



FOR PARAMOUNT, ET., SUITE 402  
 1344 E. WASHINGTON AVE.  
 MADISON, WI 53703  
 TEL: 608.261.1000  
 FAX: 608.261.1005  
**SHULFER**  
 ARCHITECTS, LLC

**PASQUALS**  
 TENANT IMPROVEMENT  
 1344 E. WASHINGTON AVE  
 MADISON, WI

**SECOND FLOOR PLAN**

05/22/2014  
BID SET

**A2.4**



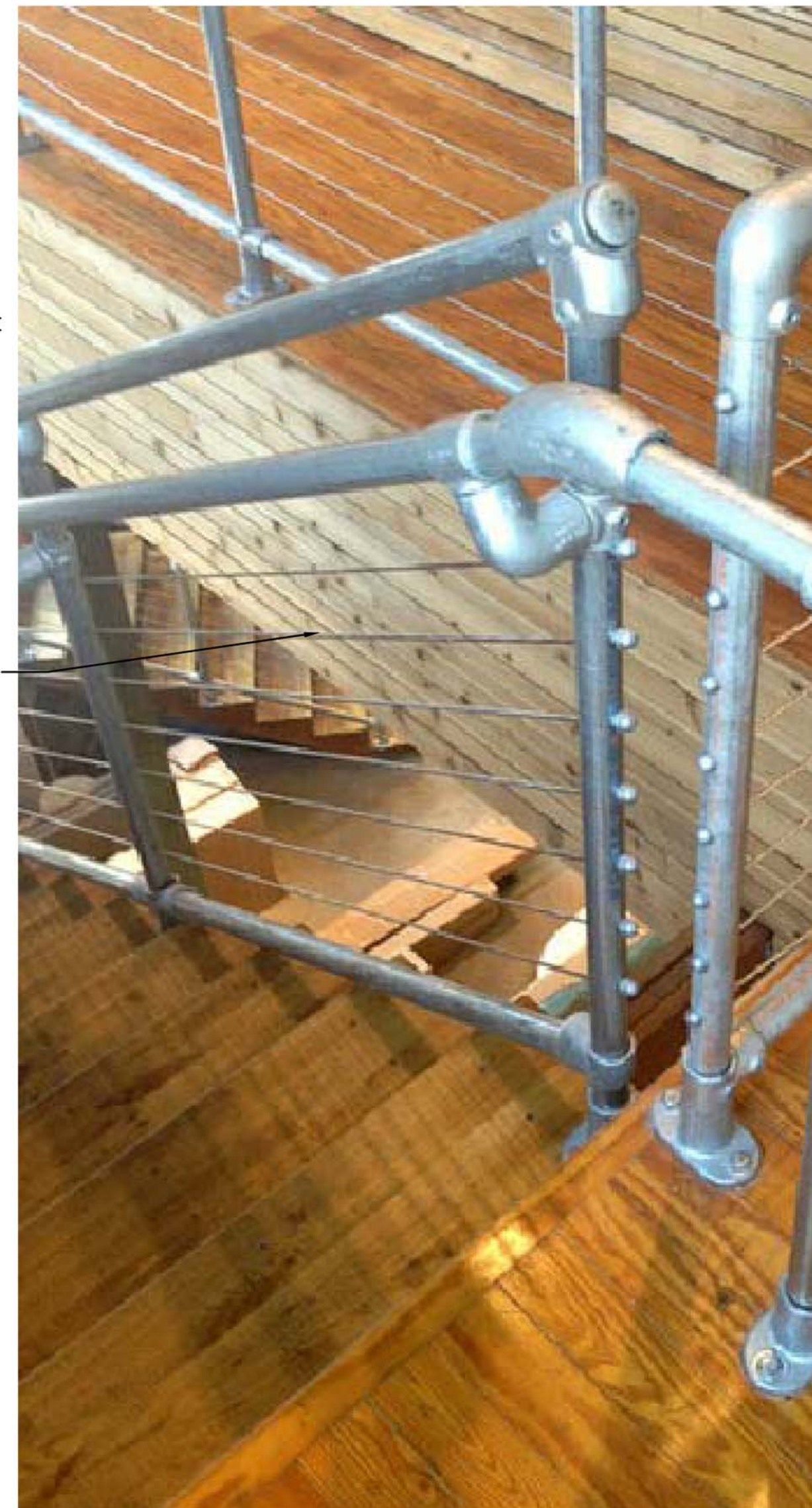
**1 PATIO ELEVATION**  
1/4"=1'-0"



STEEL PIPE FOR EXTERIOR PATIO RAILING, HORIZONTAL STEEL CABLE NOT SHOWN IN THIS IMAGE BUT WILL BE INCLUDED IN THE PATIO DESIGN, SEE 1&3/A3.1

HORIZONTAL STEEL CABLE W/ STEEL PIPE RAILING (NOT GALVANIZED AS SHOWN, INSTEAD PIPE COLOR TO MATCH DETAIL 2/A3.1)

**2 EXTERIOR RAILING**  
1/2"=1'-0"



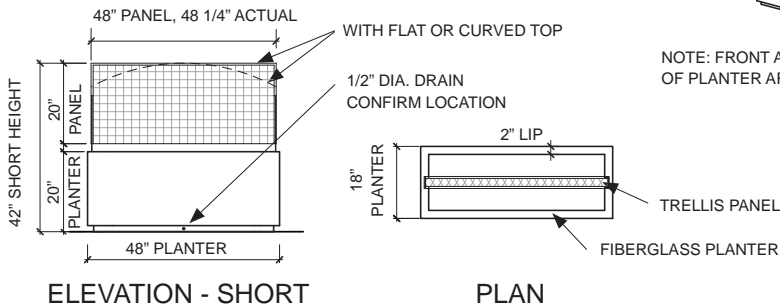
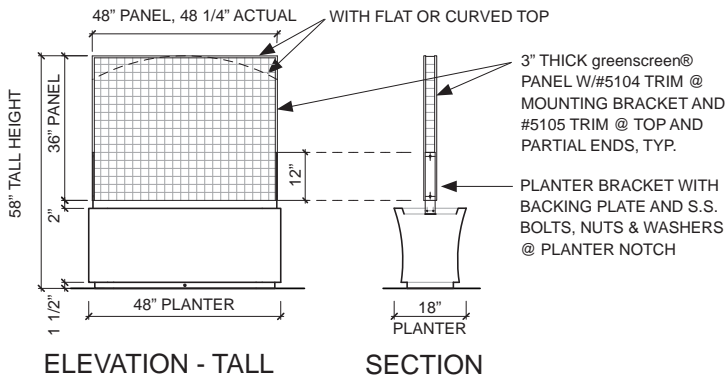
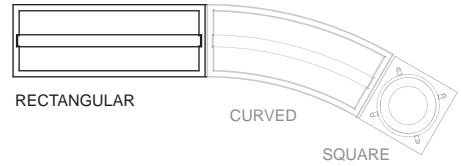
**3 EXTERIOR RAILING**  
1/2"=1'-0"



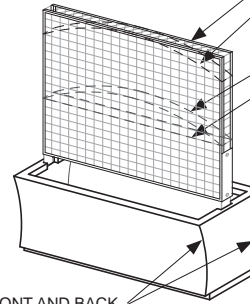


# HEDGE - A - MATIC

## rectangular



NOTE: FRONT AND BACK OF PLANTER ARE CURVED



**(4) PANEL OPTIONS:**

- 36" TALL WITH FLAT TOP
- 36" TALL WITH CURVED TOP
- 20" SHORT WITH CURVED TOP
- 20" SHORT WITH FLAT TOP

### ORDERING:

**Hedge-A-Matic / Rectangular Planter with "short curved top" greenscreen trellis panel.**

Planter size 48" w x 18" d x 20" h. Finished height of assembled unit 42".

**Hedge-A-Matic / Rectangular Planter with "tall curved top" greenscreen trellis panel.**

Planter size 48" w x 18" d x 20" h. Finished height of assembled unit 58".

**Hedge-A-Matic / Rectangular Planter with "short flat top" greenscreen trellis panel.**

Planter size 48" w x 18" d x 20" h. Finished height of assembled unit is 42".

**Hedge-A-Matic / Rectangular Planter with "tall flat top" greenscreen trellis panel.**

Planter size 48" w x 18" d x 20" h. Finished height of assembled unit 58".

**Hedge-A-Matic / Rectangular Planter without greenscreen trellis panel.**

Planter size 48" w x 18" d x 20" h

**COLORS:** Planters: Choose from 21 colors, four texture/finishes: Gloss, Orange Peel, Sand, Matte

Trellis screens: Choose from green, silver, black or white.

**SHIPPING:** F.O.B. Orange, CA. Some easy assembly required.

### SPECIFICATIONS:

Fiberglass Planter with powder coated greenscreen® trellis

**Weight:**

Planter + screen without soil = 36 lbs.

Planter + screen with soil = 161 lbs.

**Soil volume:** 6.2 cu.ft.

**Drainage:** 1/2" NPT drainage plug included.

Planters can be fitted with a perforated sub-floor/water reservoir.

