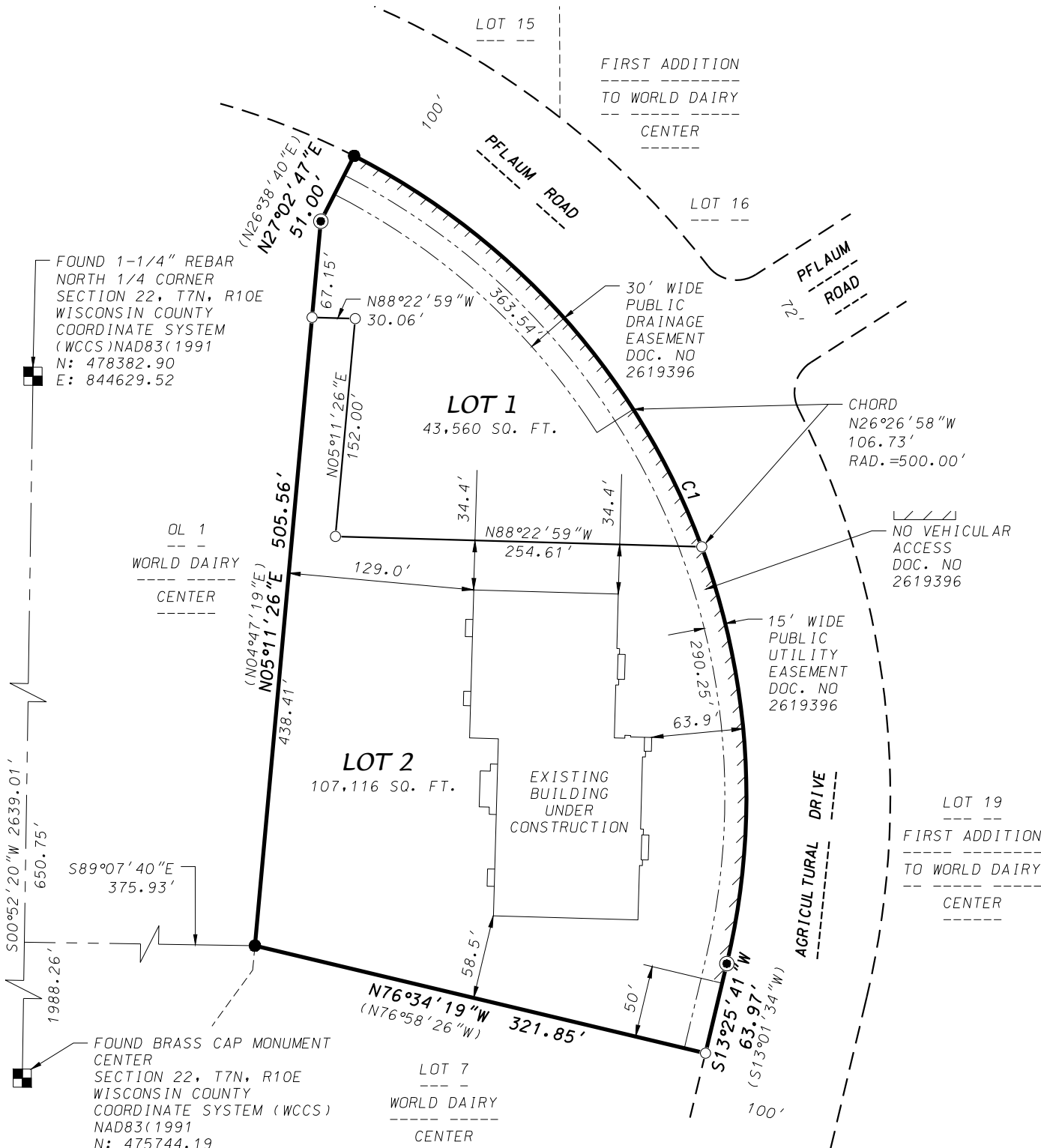


CERTIFIED SURVEY MAP

LOT 8, WORLD DAIRY CENTER, LOCATED IN THE NW1/4 OF THE NE1/4
OF SECTION 22, T7N, R10E, CITY OF MADISON, DANE COUNTY, WISCONSIN



FOUND 1-1/4" REBAR
NORTH 1/4 CORNER
SECTION 22, T7N, R10E
WISCONSIN COUNTY
COORDINATE SYSTEM
(WCCS) NAD83(1991)
N: 478382.90
E: 844629.52

FOUND BRASS CAP MONUMENT
CENTER
SECTION 22, T7N, R10E
WISCONSIN COUNTY
COORDINATE SYSTEM (WCCS)
NAD83(1991)
N: 475744.19
E: 844589.35

PER CITY OF MADISON
N: 475744.08
E: 844589.35

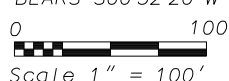
CURVE NUMBER	LOT	RADIUS (FEET)	CHORD (FEET)	ARC (FEET)	CHORD BEARING	CENTRAL ANGLE	TANGENT BEARING
1		500.00	618.28	666.56	S24°45'46"E (N25°09'53"W)	76°22'54"	IN-S62°57'13"E
1		500.00	363.54	372.07	S41°38'08"E	42°38'10"	
2		500.00	290.25	294.49	S03°26'41"E	34°44'44"	

LEGEND

- FOUND 1-1/4" REBAR
- FOUND 3/4" REBAR
- PLACED 3/4" REBAR
WT=1.5 LBS/FT
- () RECORDED AS INFORMATION



GRID NORTH
WISCONSIN COUNTY
COORDINATE SYSTEM (WCCS)
DANE COUNTY NAD83(1991)
THE WEST LINE OF THE NE1/4
OF SECTION 33, T7N, R8E
BEARS S00°52'20"W



CURVE TABLE

DATE: January 30, 2023
 F.N.: 23-07-102
 C.S.M. NO. _____
 DOC. NO. _____
 VOL. _____ SHEET _____

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

CERTIFIED SURVEY MAP

LOT 8, WORLD DAIRY CENTER, LOCATED IN THE NW1/4 OF THE NE1/4
SECTION 22, T7N, R10E, CITY OF MADISON, DANE COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

I, Brett T. Stoffregan, Professional Land Surveyor, S-2742, do hereby certify that this survey is in full compliance with Chapter 236.34 of the Wisconsin Statutes and the Subdivision Regulations of the City of Madison, Dane County, Wisconsin and under the direction of the Owners listed below, I have surveyed, divided and mapped the land described herein and that said map is a correct representation of the exterior boundaries of the land surveyed and the division thereof. Said land is described as follows:

Lot 8, World Dairy Center, recorded in Volume 56-194B of Plats on pages 610-612 as Document Number 2619363 in the Dane County Register of Deeds Office, located in the NW1/4 of the NE1/4 of Section 22, T7N, R10E, City of Madison, Dane County, Wisconsin. Containing 150,676 square feet (3.459 acres).

Dated this 30th day of January, 2023.

Brett T. Stoffregan, Professional Land Surveyor, S-2742

NOTES

1. All lots within this Certified Survey Map are subject to public easements for drainage purposes which shall be a minimum of 6 feet in width measured from the property line to the interior of each lot except that the easements shall be 12 feet in width on the perimeter of the plat, EXCEPT where shown otherwise on the face of the plat. For purposes of two (2) or more lots combined for a single development site, or where two (2) or more lots have a shared driveway agreement, the public easement for drainage purposes shall be a minimum of 6 feet in width and shall be measured only from the exterior property lines of the combined lots that create a single development site, or have a shared driveway agreement, except that the easement shall be twelve (12) in width along the perimeter of the plat. Easements shall not be required on property lines shared with greenways or public streets. No buildings, driveways, or retaining walls shall be placed in any easement for drainage purposes. Fences may be placed in the easement only if they do not impede the anticipated flow of water.

The intra-block drainage easements shall be graded with the construction of each principle structure in accordance with the approved storm water drainage plan on file with the City Engineer and the Zoning Administrator, as amended in accordance with the Madison General Ordinances.

NOTE: In the event of a City of Madison Plan Commission and/or Common Council approved re-division of a previously subdivided property, the underlying public easements for drainage purposes are released and replaced by those required and created by the current approved subdivision.

2. The Lots of this Certified Survey Map are subject to the following recorded instruments:
-Declaration of Conditions and Covenants recorded as Doc. No. 2649590.
-Declaration of Covenants, Conditions and Restrictions for the World Dairy Campus recorded as Doc. Nos. 2660163 and 2667604.
-Declaration of Conditions, Covenants, Restrictions and Easements for Maintenance of Stormwater Management Measures recorded as Doc. No. 5790105.
3. Lots within this Certified Survey Map are subject to impact fees that are due and payable at the time building permit(s) are issued.
4. A reciprocal easement document affecting the Lots of this Certified Survey Map will be recorded by a separate instrument.



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DATE: January 30, 2023

F.N.: 23-07-102

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CERTIFIED SURVEY MAP

LOT 8, WORLD DAIRY CENTER, LOCATED IN THE NW1/4 OF THE NE1/4
SECTION 22, T7N, R10E, CITY OF MADISON, DANE COUNTY, WISCONSIN

OWNER'S CERTIFICATE

TLC2, LLC, a Wisconsin limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the lands described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented on this Certified Survey Map. TLC2, LLC, further certifies that this Certified Survey Map is required by s.236.34 to be submitted to the City of Madison for approval.

In witness whereof, said TLC2, LLC, LLC has caused these presents to be signed by its Limited Liability Company member(s) listed below at Madison, Wisconsin, this _____ day of _____, 2023.

TLC2, LLC, LLC

By: _____

State of Wisconsin)
)SS.
County of Dane)

Personally came before me this _____ day of _____, 2023, the above named person(s), to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.

My Commission Expires _____, _____
Notary Public, Dane County, Wisconsin

CONSENT OF CORPORATE MORTGAGEE

The Park Bank, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedicating of the land described on this certified survey, and does hereby consent to the above Owner's Certificate.

IN WITNESS WHEREOF, the said The Park Bank has caused these presents to be signed by its corporate officer listed below and its corporate seal to be hereunto affixed this _____ day of _____, 2023.

The Park Bank

State of Wisconsin)
)SS.
County of Dane)

Personally came before me this _____ day of _____, 2023, the above named person(s), to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.

My Commission Expires _____, _____
Notary Public, Dane County, Wisconsin



D'ONOFRIO KOTTKE AND ASSOCIATES, INC.

7530 Westward Way, Madison, WI 53717
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SECTION 22, T7N, R10E, CITY OF MADISON, DANE COUNTY, WISCONSIN

MADISON COMMON COUNCIL CERTIFICATE

Resolved that this Certified Survey Map located in the City of Madison was hereby approved by Resolution Number _____, File ID Number _____, adopted on the _____ day of _____, 2023 and that said enactment further provided for the acceptance of those lands dedicated and rights conveyed by said Certified Survey Map to the City of Madison for public use.

Dated this _____ day of _____, 2023.

Maribeth L. Witzel- Behl, City Clerk
City of Madison, Dane County, Wisconsin

MADISON PLAN COMMISSION CERTIFICATE

Approved for recording per the Secretary of the City of Madison Plan Commission.

By: Matt Wachter, Secretary of the Plan Commission

Date: _____

REGISTER OF DEEDS CERTIFICATE

Received for recording this _____ day of _____, 2023 at _____ .M. and recorded in Volume _____ of Certified Survey Maps on Pages _____ as Document Number _____.

Kristi Chlebowski, Dane County Register of Deeds



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