



Location

5002 Siggelkow Road

Project Name

Ellefson Development

Applicant

Tom Ellefson – The Ellefson Company/
Chad Obright – The Ellefson Company

Existing Use

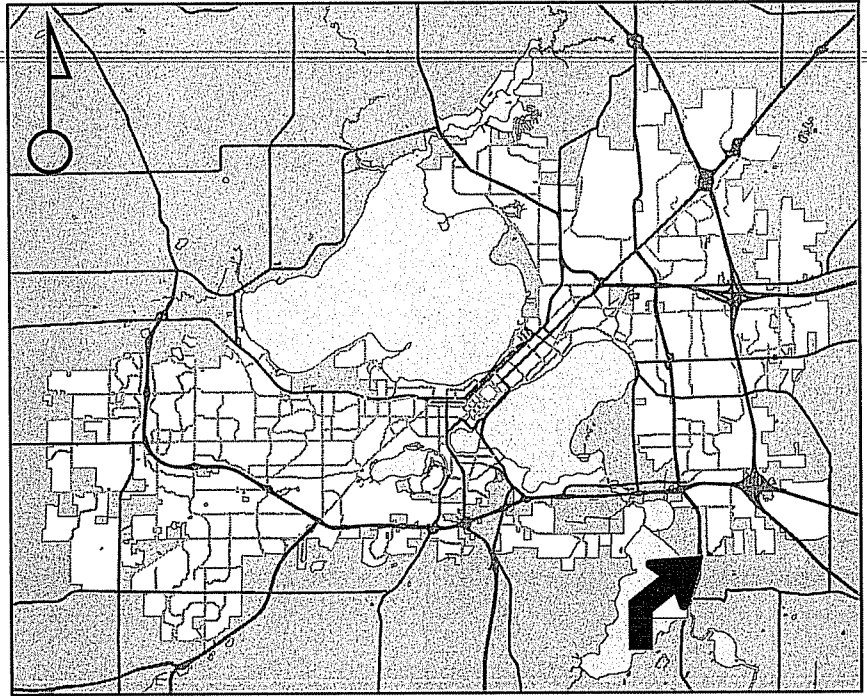
Vacant

Proposed Use

56-Unit Planned Residential
Development

Public Hearing Date

Plan Commission
18 September 2006



For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

FOR OFFICE USE ONLY:

Amt. Paid 1150 Receipt No. _____
Date Received 7-26-06
Received By RJT
Parcel No. 0710-341-0534-6
Aldermanic District 16, Judy Compton
GQ OK!
Zoning District R4
For Complete Submittal
Application Letter of Intent
IDUP N/A Legal Descript.
Plan Sets Zoning Text N/A
Alder Notification Waiver _____
Ngrhd. Assn Not. Waiver _____
Date Sign Issued _____

1. Project Address: 5002 Sigglecow Road Project Area in Acres: 3.4 Acres

Project Title (if any): None at this time

2. This is an application for: (check at least one)

<input type="checkbox"/> Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input type="checkbox"/> Rezoning from _____ to _____	<input type="checkbox"/> Rezoning from _____ to PUD/PCD-SIP	
<input type="checkbox"/> Rezoning from _____ to PUD/PCD-GDP	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP	
<input checked="" type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. Applicant, Agent & Property Owner Information:

Applicant's Name: Tom Ellefson Company: Cornerstone Design & Development, LLC
Street Address: 1018 Gammon Lane suite 10 City/State: Madison, WI Zip: 53719
Telephone: (608) 274-1594 Fax: (608) 276-7880 Email: Cobright1@charter.net
Project Contact Person: Chad Obright Company: The Ellefson Companies
Street Address: Same as above City/State: _____ Zip: _____
Telephone: () _____ Fax: () _____ Email: Cobright1@charter.net
Property Owner (if not applicant): _____
Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a general description of the project and all proposed uses of the site: 56 units of 2 bedroom, one bath apartments under a PRD conditional use of R-4 zoning.

Development Schedule: Commencement Summer of 2007 Completion Fall of 2010

CONTINUE →

5. Required Submittals:

Site Plans submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
- **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
- **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper

Letter of Intent: Twelve (12) copies describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.

Legal Description of Property: Lot(s) of record or metes and bounds description prepared by a land surveyor.

Filing Fee: \$ 800 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

N/A For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.

N/A A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.

N/A A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

Conformance with adopted City plans: Applications shall be in accordance with all adopted City of Madison plans:

→ The site is located within the limits of Liberty Place Subdivision Plan, which recommends:

R-4 use with up to 64 units for this property.

Pre-application Notification: Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:

→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:

The Alder was contacted 5/8/06, The Neighborhood Association is controlled by Venidian and was contacted 4/12/06
If the alder has granted a waiver to this requirement, please attach any such correspondence to this form. When the offer was accepted

Pre-application Meeting with staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.

Planner Brod Murphy Date 6/26/06 | Zoning Staff Ratny Joeck Date 6/26/06

The signer attests that this form has been completed accurately and all required materials have been submitted:

Printed Name Chad Obright Date 7/25/06

Signature [Signature] Relation to Property Owner Employee

Authorizing Signature of Property Owner [Signature] Date 7/25/2006

The Ellefson Companies
SINCE 1975

Letter of Intent
PRD Request for Approval
August 18, 2006

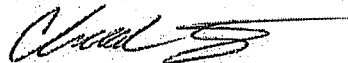
To: The City of Madison Plan Commission

The attached set of plans is a formal submittal approval request for PRD zoning on Lot 199 of the Liberty Place subdivision (5002 Sigglecow Road).

The 56 unit apartment project will consist of 4—12 unit buildings and 1—8 unit building. As a builder/developer, we are planning to take this 148,104 square foot existing lot through the approval stages and start construction in the summer of 2007. Our expected completion based on construction of one to two buildings per year would be fall of 2010. The make up of these buildings consists of units being approximately 950 square feet with two bedrooms and one bath. Each unit will have its own clothes washing location and garage.

For this project, we did the site work in house and had the assistance of Architect Jeff Groenier for plan modifications. This unit design is similar to favorable projects complete within the last five years in the City of Madison. Such projects include one on the corner of Gammon Lane and one off of Maple Grove Road.

Sincerely,



Chad Obright
Development Manager
The Ellefson Company

COMMERCIAL

PARK

WESTERN BLVD

CHERRY BLVD

WISCONSIN BLVD

N 02°08'20" W 182.21'

EXISTING FENCE

EXISTING FENCE

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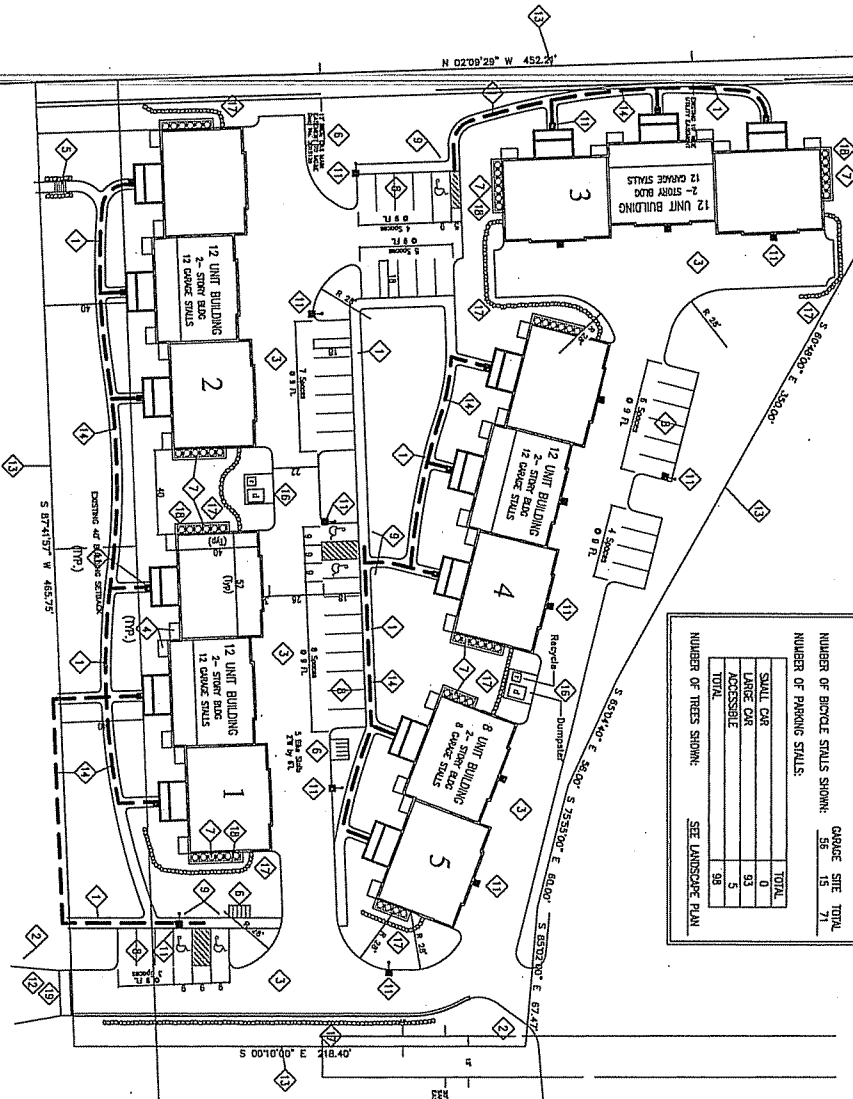
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PARKING LOT SITE PLAN INFORMATION BLOCK

SITE ADDRESS:	5002 SIGGELKOW ROAD
SITE AREA (TQWL):	148,254 SQ. FT. (3.4024 ACRES)
NUMBER OF BUILDING STORIES (AVERAGE):	2 STORY
BUILDING HEIGHT:	20 FT.
NUMBER OF CONSTRUCTION:	58
TOTAL SQUARE FOOTAGE OF BUILDINGS:	33,008 SQ. FT.
USE OF PROPERTY:	PRO/A-4
GROSS SQUARE FEET OF OFFICE:	N/A
NUMBER OF EMPLOYEES IN OFFICE:	N/A
NUMBER OF EMPLOYEES IN WAREHOUSE:	N/A
NUMBER OF EMPLOYEES IN PRODUCTION AREA:	N/A
NUMBER OF EMPLOYEES IN ASSEMBLY:	N/A
NUMBER OF BICYCLE STALLS SHOWN:	55
NUMBER OF PARKING STALLS:	15
NUMBER OF BICYCLE STALLS:	71
STALL CAR	0
STALL CAR	53
STALL CAR	5
TOTAL	58



NOTES:

- 1 5" WIDE CONCRETE WALK (TYP) - SEE DETAIL 3/1-4
- 2 STOP SIGN PER CITY OF MADISON SITS. MOUNTING HEIGHT TO BE 7' TO BOTTOM OF SIGN.
- 3 BURNISHED FINISH - SEE DETAIL 4/1-2
- 4 PAVD AT GRADE - SEE ARCHITECTURAL
- 5 C/P, CONCRETE STAIRS W/ HANDRAILS
- 6 5" THICK CONC. PAD FOR BIKE RACK - WOODY WINDER PLUS (OR EQUAL) WITH BLACK POWDERCOAT FINISH
- 7 AC CONDENSERS ON CONC. SLAB
- 8 PARKING STRIPING
- 9 DISBURD PARKING SIGN - SEE DETAIL 4/1-4
- 10 DOWNPOUT LOCATION (DS) - SEE GRADING PLAN
- 11 SITE LIGHTING - SEE PHOTOGENICS PROVIDED BY OWNER
- 12 CLASS II BOREHOLE ENTRANCE PER MADISON GENERAL ORD.
- 13 PROPERTY LINE (TYP)
- 14 ACCESSIBLE ROUTE (DASHED) SEE GRADING PLAN FOR ADPTN. INFO.
- 15 PROPOSED FIRE HAZARD - SEE SITE UTILITY PLAN
- 16 TRUSS ENCLOSURE ON 5" THICK CONC. PAD - 6" SOLID BOARD CEILING WOOD PANEL ENCLOSURE
- 17 PEDESTAL REMAINING WALL SYSTEM - SEE GRADING AND LANDSCAPE PLANS
- 18 REORGANIZE FENCE ENCLOSURE FOR CONDENSERS - SEE ARCH.
- 19 7" THICK CONC. WALK - SEE FIRE ACCESS PLAN FOR ADPTN. INFO.

PRELIMINARY SITE DEVELOPMENT DATA

LEGAL DESCRIPTION: LOT 199, LIBERTY PLACE
MADISON, WISCONSIN
ADDRESS: 5002 SIGGELKOW ROAD
LOT AREA - 148,254 SQ. FT. (3.4024 AC.)
DWELLING UNITS - 58 UNITS
LOT AREA / D.U. - 2,554 SQ. FT.
DENSITY - 16.45 UNITS/ACRE
DWELLING UNIT LAY
2 BEDROOM UNITS 56
PARKING PROVIDED 55 (INCLUDES 5 ACCESSIBLE)
TOTAL PARKING - 80 (INCLUDES 5 ACCESSIBLE)
PARKING REQUIRED 80
PARKING / D.U. 1.75 / D.U.
BIKE PARKING STALLS - (15) SURFACE/50) GARAGE
BUILDING COVERAGE - 33,008 SQ. FT. (22.26% OF SITE)
SIDEWAYS/PAVD COVERAGE - 6,733 SQ. FT.
TOTAL PAVED/BIKE - 49,741 SQ. FT. (33.54% OF SITE)
OPEN SPACE - 65,372 SQ. FT. (44.09% OF SITE)
USABLE OPEN SPACE REQUIRED - 28,000 SQ. FT.



SCALE: 1"=30'
10' 30' 60'

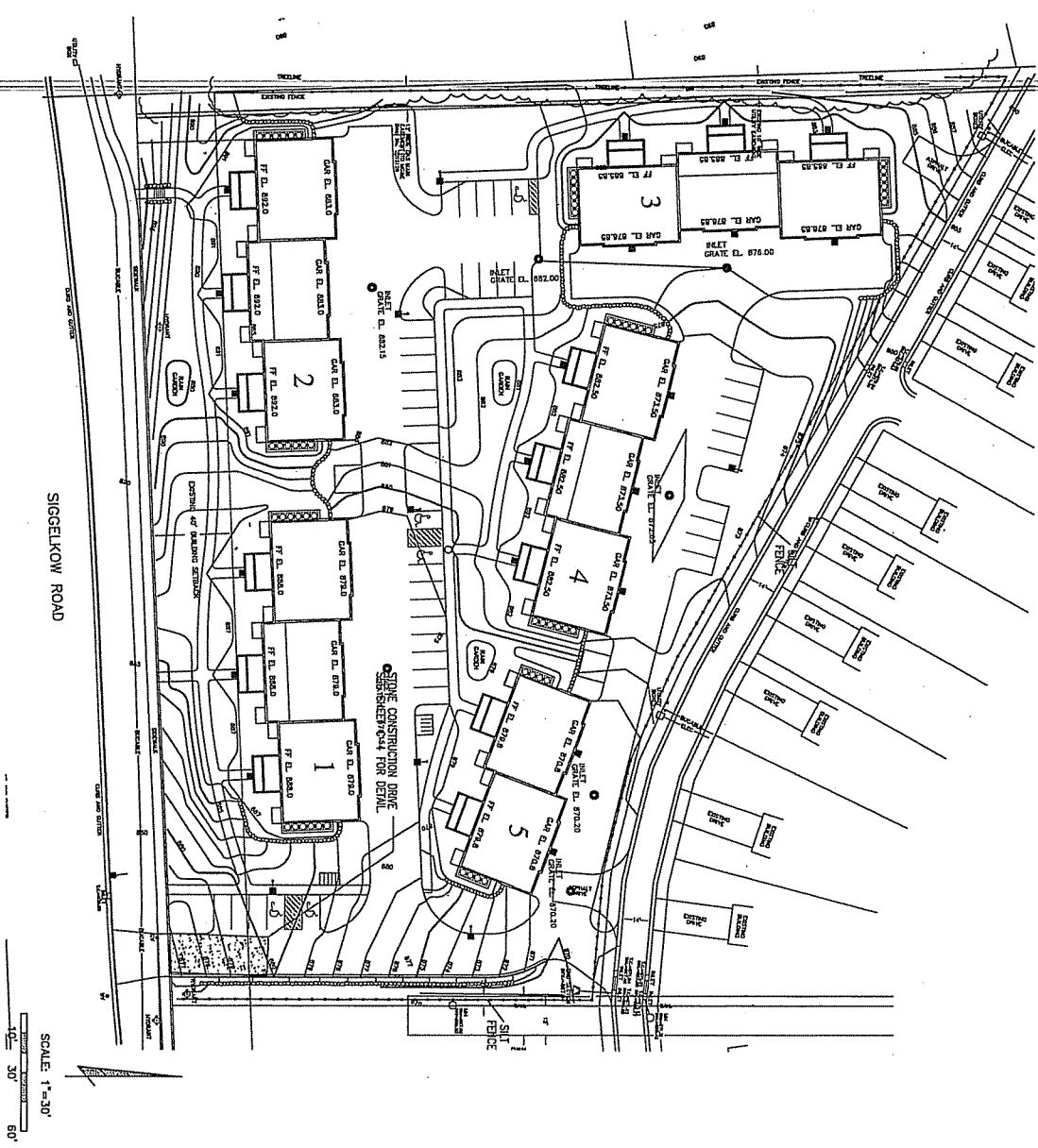
CALL DIRECTOR'S OFFICE
FOR MORE INFORMATION
ON THE CITY OF MADISON
PLANNING DEPARTMENT
100 N. MONROE ST.
MADISON, WI 53703
TEL: 608/261-3000
WWW.CITYOFMADISON.WI.GOV

THE ELLEFSON COS., INC.
1013 Gannon Lane
Suite 100
Madison, WI 53719

Lewis A. Averill, P.E.
1037 Daves Road
Spring Green, WI
(609) 588-7942

SITE LAYOUT PLAN

Project: Lot 199 Liberty Place
Date: July 26, 2005
Sheet: 1"=30'
C-1



SIGGELKOW ROAD

SCALE: 1" = 30'



CALL SURVEYOR NOTICE

THESE EROSION CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL THE EROSION CONTROL PLAN IS APPROVED BY THE LOCAL HEALTH DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF THESE MEASURES. THE LOCAL HEALTH DEPARTMENT SHALL BE NOTIFIED IMMEDIATELY IN WRITING OF ANY DAMAGE TO OR FAILURE OF THESE MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF THESE MEASURES AT HIS OWN EXPENSE. THE LOCAL HEALTH DEPARTMENT SHALL BE NOTIFIED IMMEDIATELY IN WRITING OF ANY DAMAGE TO OR FAILURE OF THESE MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF THESE MEASURES AT HIS OWN EXPENSE.

- EROSION CONTROL NOTES:**
1. FROM THE LINE AND DISTANCE AGREEMENT, THE EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL THE EROSION CONTROL PLAN IS APPROVED BY THE LOCAL HEALTH DEPARTMENT.
 2. ALL EXPOSED TERRACE AREAS TO BE RESTORED WITH TOPSOIL, PERIMETER, SEED, AND MULCH.
 3. CONTRIBUTION TO IMPROVE ANNUAL, EROSION CONTROL MEASURES SHALL BE NECESSARY TO THE CONTROL OF EROSION AND SEDIMENTATION OF THE SITE.
 4. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL THE ACCEPTANCE OF THE PROJECT.
 5. DURING CONSTRUCTION, PERSONS OF THE EROSION CONTROL MEASURES ARE TO BE PERFORMED AT LEAST ONCE EVERY 7 DAYS OR MORE FREQUENTLY IF ONE MAY NOT BE WORKING.
 6. ALL BUILDING AND WASTE MATERIALS ARE TO BE STORED AND PROTECTED IN ACCORDANCE WITH STATE FEDERAL, AND FEDERAL REQUIREMENTS.
 7. THE EROSION CONTROL MEASURES FOR LUNenburg COUNTY, VIRGINIA SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL THE ACCEPTANCE OF THE PROJECT.
 8. TRUCKS LEAVING SITE SHALL CLEAN TIRES. ALL MATERIALS DEPOSITED IN TRUCK TIRERS SHALL BE CLEANED BY THE DRIVER.
 9. EXPOSED TOPSOIL STOCK PILES SHALL BE PROTECTED BY SILT FENCES AS SHOWN.
 10. SEE STANDARD SPECIFICATIONS FOR GRADING SCHEDULE.

Prepared for:
THE HILFSON COS., INC.
 1013 Gannon Lane
 Suite 100
 Madison, WI 53719

General Notes

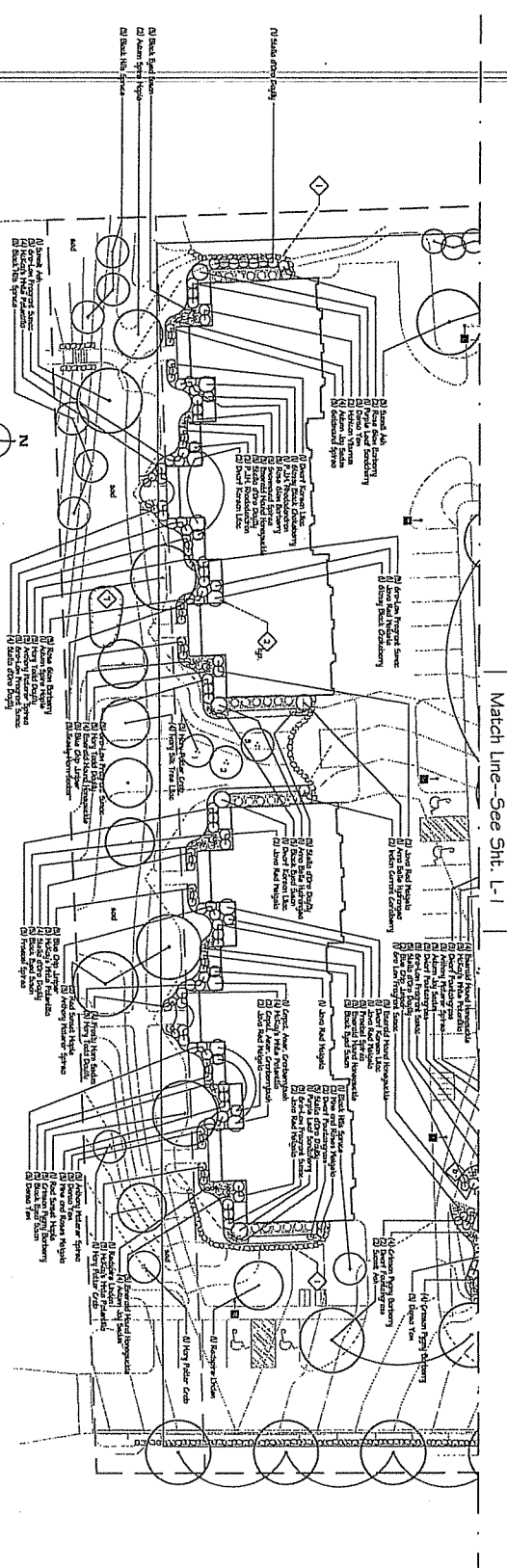
No.	Revision/Issue	Date
1	Site Plan Rev.	8/9/05

Prepared by:
Lewis A. Averill, P.E.
 1037 Davies Road
 Spring Green, WI
 (609) 588-7842

Project Name:
**PRELIMINARY
 SITE GRADING AND
 EROSION CONTROL PLAN**

Project No:
 199 Liberty Place
 July 26, 2005
 Scale: 1" = 30'

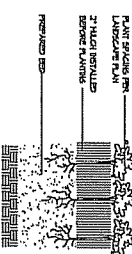
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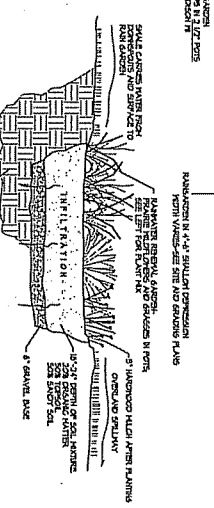
Match Line-See Sht. L-1

1 LANDSCAPE PLAN

2 SHRUB PLANTING



4 TREE PLANTING



3 PERENNIAL PLANTING

5 RAINGARDEN DETAIL

PLANT SCHEDULE

Canopy & Ornamental Trees	Perennials
Adam Elm Tree	1 1/2" x 1/2" x 1/2"
Aspen Tree	1 1/2" x 1/2" x 1/2"
Boxwood Tree	1 1/2" x 1/2" x 1/2"
... (many more rows)

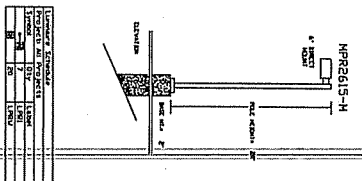
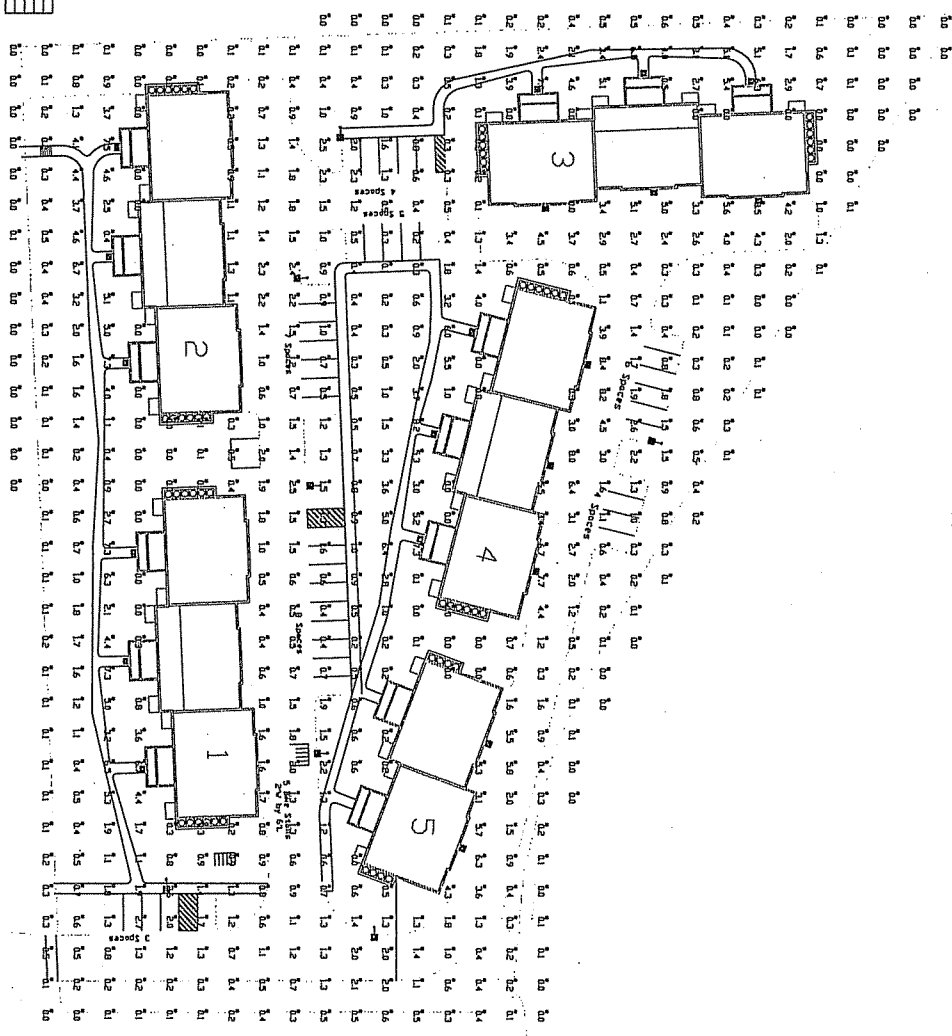
The Eileston Companies
 1016 Gannon Lane
 5442 100th Madison WI 53719
 Phone: 608-276-7554
 Fax: 608-276-7550
 Consultants
 Lavis A. Avenell, P.E.
 1037 Davies Road
 Spring Green, WI
 (608) 588-7842

- ◆ ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON SPECIFICATIONS.
- ◆ ALL MATERIALS SHALL BE APPROVED BY THE CITY OF MADISON BEFORE INSTALLATION.
- ◆ ALL PLANTINGS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF MADISON SPECIFICATIONS.
- ◆ ALL PLANTINGS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF MADISON SPECIFICATIONS.
- ◆ ALL PLANTINGS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF MADISON SPECIFICATIONS.

100% REVIEW
 JUL 24, 2024 - ISSUED PER 22030
 AUG 1, 2024 - REVISION PER 22030

Project Title
 Liberty Place
 Condominiums--
 City of Madison
 Drawing Title
 Landscape Plan--
 Lot 199

RUUD LIGHTING

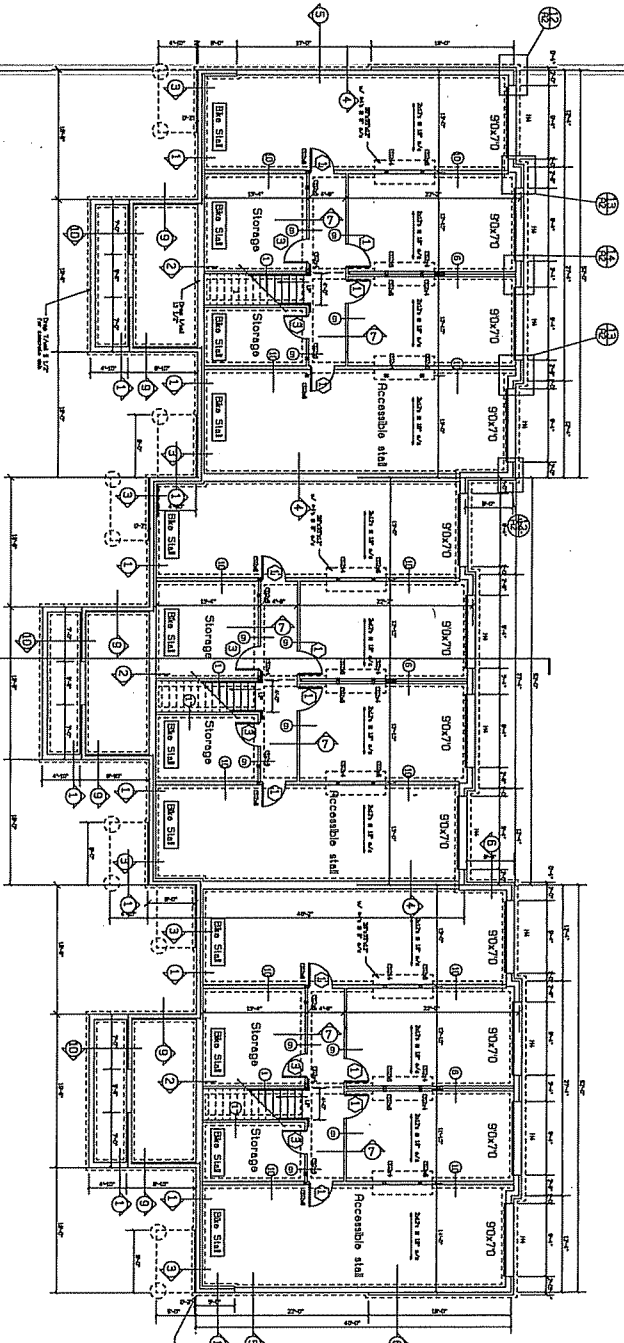


ITEM NO.	QUANTITY	DESCRIPTION
1	1	NPR2613-H
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SEE ELEVATION 4244B

RUUD LIGHTING
 800-234-7000 USA (www.ruudlighting.com) 909.571.1911 CAN
 Ruud Lighting is a leading manufacturer of lighting fixtures and lighting solutions. We are committed to providing high-quality lighting products and services to our customers. Our products are designed to be energy-efficient and long-lasting. We offer a wide range of lighting fixtures for residential, commercial, and industrial applications. Our lighting solutions are designed to meet the specific needs of our customers. We are proud to be a part of the lighting industry and to provide our customers with the best possible lighting solutions.

DATE	12/15/2010
PROJECT	LIBERT PLACE
PROJECT NO.	2010-001
PROJECT NAME	LIBERT PLACE
PROJECT ADDRESS	1000 LIBERT PLACE, WASHINGTON, DC 20004
PROJECT CONTACT	LIBERT PLACE
PROJECT PHONE	202-462-1000
PROJECT FAX	202-462-1000
PROJECT EMAIL	LIBERT@LIBERTPLACE.COM
PROJECT WEBSITE	LIBERTPLACE.COM
PROJECT ARCHITECT	LIBERT PLACE
PROJECT ENGINEER	LIBERT PLACE
PROJECT CONTRACTOR	LIBERT PLACE
PROJECT OWNER	LIBERT PLACE
PROJECT SCHEDULE	LIBERT PLACE
PROJECT BUDGET	LIBERT PLACE
PROJECT STATUS	LIBERT PLACE
PROJECT COMMENTS	LIBERT PLACE



Foundation Plan
Scale: 1/8" = 1'-0"

Typical section
1-5

Note: See Sheet R2
for Concrete walls
See Sheet R3
for wood walls

Note: Provide Tie down at all corners.
Use: HTS2D Roof to post
CMSTC16W/25" Wall to floor to wall
STD8B Foundation to floor

Design Summary

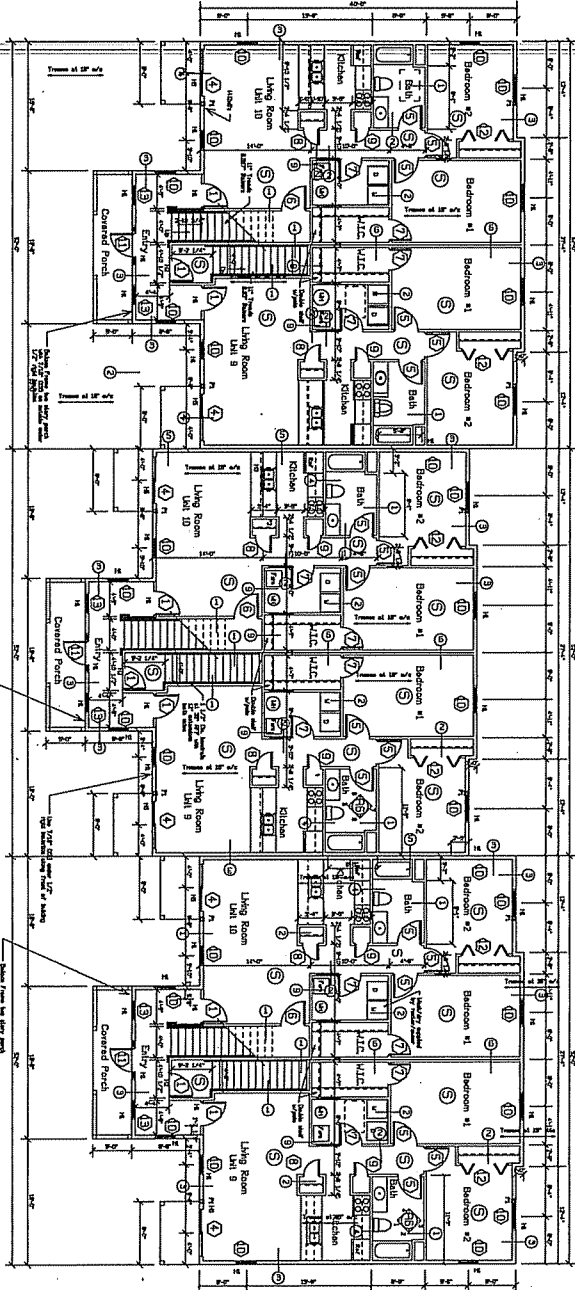
Occupancy Type - R2
Building SF - 18,720 SF
Sprinklered per NFPA 13
First Floor Live Load 40 psf
Second Floor Live Load 40 psf
Roof live load 20 psf
Roof Snow load
 $P_g = 35$ psf (ground)
 $P_e = 24.5$ psf (first floor)
 $A_e = 10$ (snow exposure factor)
 $C_t = 10$ (thermal factor)
 $P_u = 24.5$ psf balanced beam
 $P_u = 7.51$ psf unbalanced beam
 $P_u = 49$ psf (sliding snow load lower porch roof)

Wind Load

Basic wind speed (3 second gust) = 90 mph
 $I_w = 10$ (wind importance factor)
 $K_d = 0.85$ (directional exposure factor)
 $K_z = 1.0$ (topographic exposure factor)
 $C_e = 1.0$ (component & cladding)
 $C_{d1} = 0.8$ (overhang)

Earthquake design data

Seismic Design Category A
 $S_{ds} = 0.089$
 $S_{d1} = 0.089$
 $S_{d2} = 0.089$
 $S_{d3} = 0.089$
 Light Frame walls w/ shear panels (LFD)
 Design base shear = 858 kips



First Floor Plan

Smoke Detection

Smoke Detector directly and permanently wired to a proper unswitched circuit and be provided with backup power source.

Note: Provide acid blocking under girders in floor joists and ceiling to Conc. wall

Beam and Header Schedule

Mark	Size	Material	Remarks
H1	Ø2x10's	Hem-Fir #2	4
H2	Ø2x10's	Hem-Fir #2	4
H3	Ø2L 3/4"x1L 1/4"	Microbeam	3,4,5
H4	Ø3L 3/4"x1L 1/4"	Microbeam	3,4,5
H5	Ø2L 3/4"x3 1/4"	Microbeam	3,4,5

Window headers to be 6x8 A-F-F

Post Schedule

F1 (4x20's with striping to beam and floor)
F2 (2x4's with striping to beam and floor)

Door and Window Schedule

- 1 30x68 Metal built door w/ Metal frame (9/4 th. rated) with lever dead bolt and 1/2" Sil plates
- 2 30x68 Metal built door w/ wood frame with lever handles and 1/2" Sil plates (max)
- 3 30x68 Metal built door w/ wood frame with lever handles, keyed dead bolts and 1/2" Sil plates (max)
- 4 60x98 Sliding Glass door 3/4" all plates (max)
- 5 30x68 Hollow core wood door w/ wood frame with lever handles and privacy locks
- 6 30x68 Hollow core wood door w/ wood frame with lever handles
- 7 20x68 Hollow core wood door w/ wood frame with lever handles
- 8 24x68 Hollow core wood door w/ wood frame with lever handles
- 9 18x68 Hollow core wood door w/ wood frame with lever handles
- 10 30x49 single hung unit, Nonstandard 2000 or Equal
- 11 30x68 Metal built door w/ wood frame with lever handles, 12" side lights and 1/2" all plates (max)
- 12 60x68 Br-Fold Door Nonstandard 2000 or Equal
- 13 28x34 Fixed unit, Nonstandard 2000 or Equal

Wall Schedule

- 1 5/8" type "X" gyp. bld with joints taped 2x4 wood studs at 16" o/c
- 2 3/8" type "X" gyp. bld with joints taped 2x4 wood studs at 16" o/c
- 3 5/8" type "X" gyp. bld with joints taped 2x4 wood studs at 16" o/c
- 4 5/8" type "X" gyp. bld with joints taped 2x4 wood studs at 16" o/c
- 5 5/8" type "X" gyp. bld with joints taped 2x4 wood studs at 16" o/c
- 6 5/8" type "X" gyp. bld with joints taped 2x4 wood studs at 16" o/c
- 7 5/8" type "X" gyp. bld with joints taped 2x4 wood studs at 16" o/c
- 8 5/8" type "X" gyp. bld with joints taped 2x4 wood studs at 16" o/c
- 9 5/8" type "X" gyp. bld with joints taped 2x4 wood studs at 16" o/c
- 10 5/8" type "X" gyp. bld with joints taped 2x4 wood studs at 16" o/c
- 11 5/8" type "X" gyp. bld with joints taped 2x4 wood studs at 16" o/c
- 12 5/8" type "X" gyp. bld with joints taped 2x4 wood studs at 16" o/c
- 13 5/8" type "X" gyp. bld with joints taped 2x4 wood studs at 16" o/c

Jeffery Groenier, Architect
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Concepts In Architecture, LLC

Proposed for: **Ellefson Construction Company**
1018 Gammon Lane, Suite 100
Madison, WI 53719
608-274-1494

Project: **12 Unit**
Address: Liberty Place, Madison, WI

Sheet Title: **First Floor Plan**

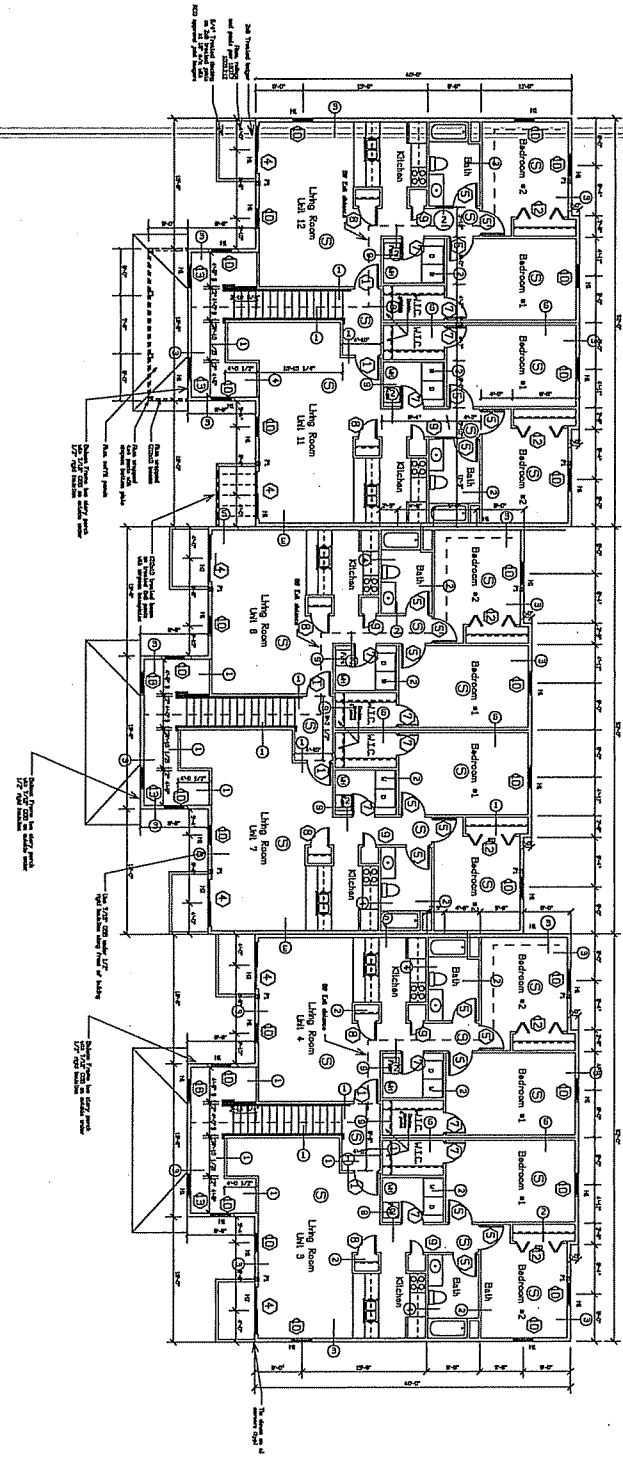
Draw: 07-26-2006

Scale: As Noted

Job #: 03-01

SHEET **A3**

Second Floor Plan
Scale: 1/8" = 1'-0"



DATE: 06-12-2006
 SCALE: As Shown
 JOB #: 05-01

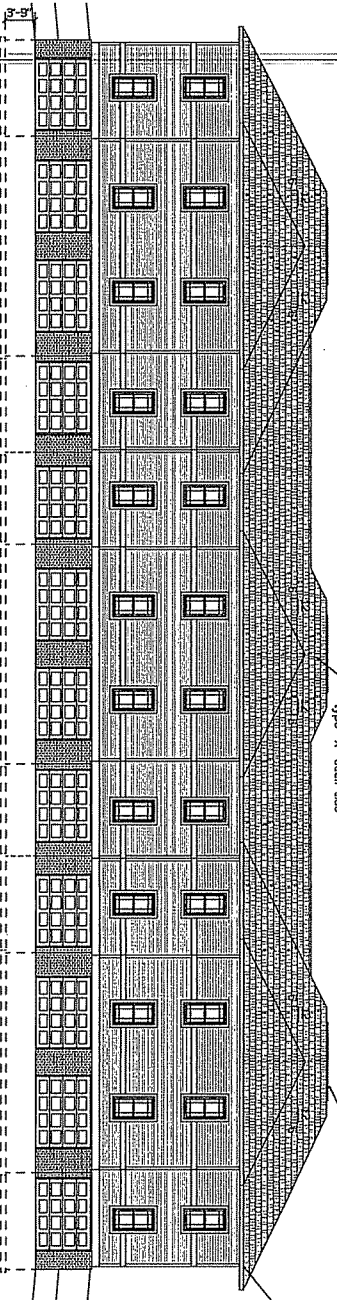
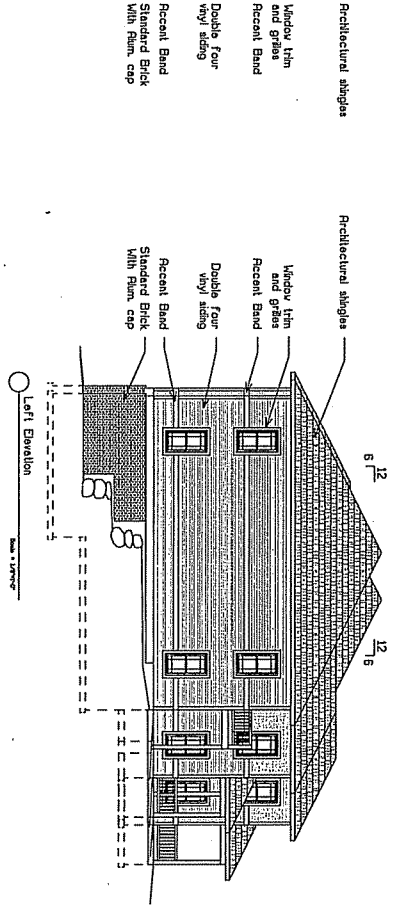
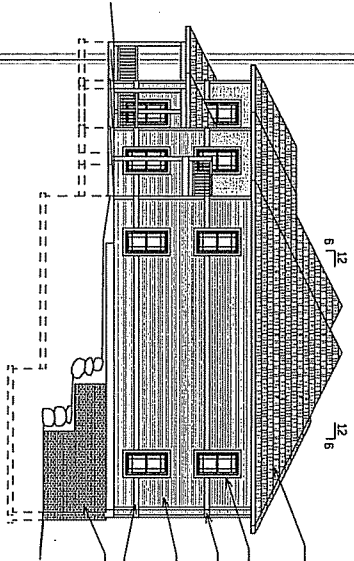
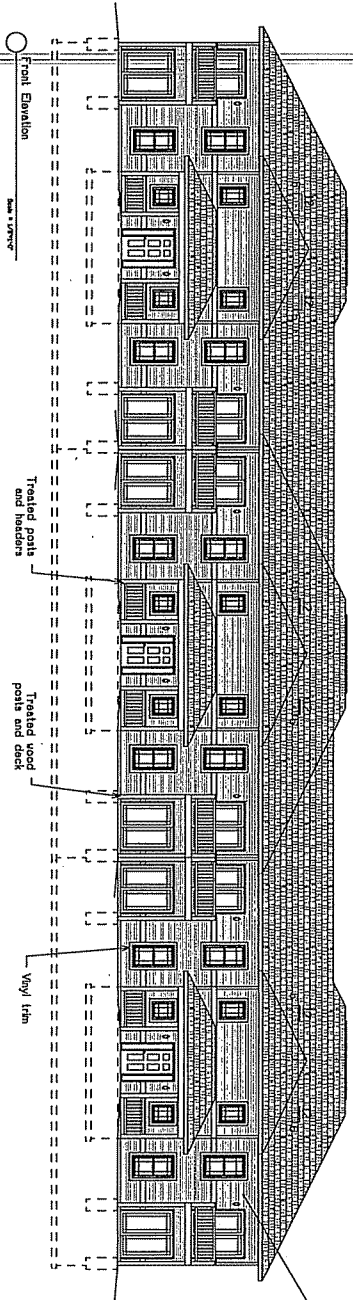
Project: **12 Unit**
 Address: Liberty Place, Madison, WI
 Sheet Title: **Second Floor Plan**

Proposed for: **Ellefson Construction Company**
 Address: 1018 Gammon Lane, Suite 100
 Madison, WI 53719
 608-274-1494

Concepts
In
Architecture, LLC

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Use 7/16" OSB nailed on 6" centers
with 2x8s on 16" face of studs
and 2x12s on 16" face of studs.



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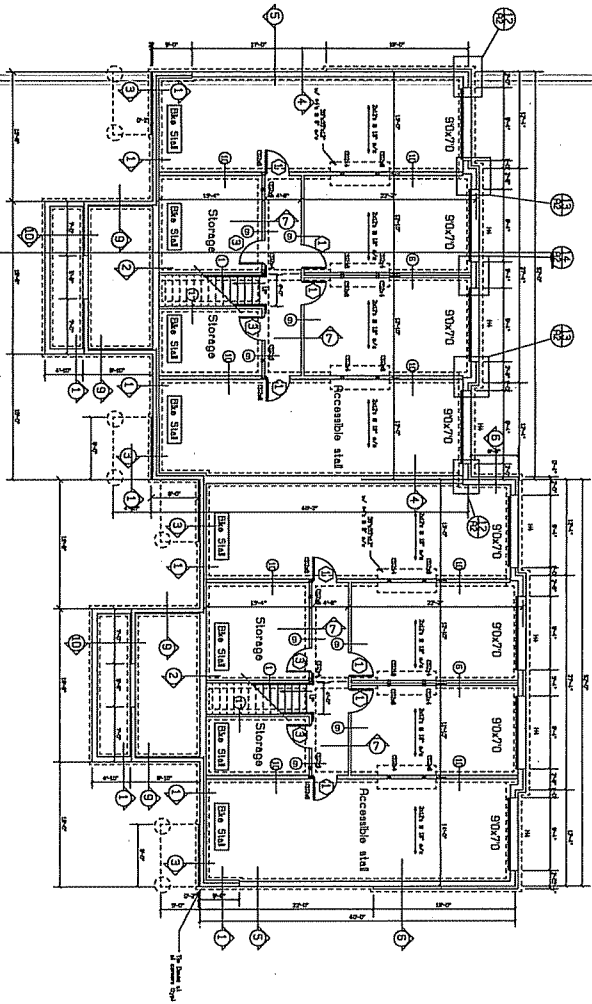
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Architecture, LLC

Proposed for: **Ellefson Construction Company**
Address: 1018 Gammon Lane, Suite 100
Madison, WI 53719
608-274-1494

Project: **12 Unit**
Address: Liberty Place, Madison, WI
Sheet Title: **Elevations**

Date: 07-26-2006
Scale: As Noted
Job #: 05-01

SHEET
A7



Note: See Sheet A2
for Concrete walls
See Sheet A3
for wood walls

Note: Provide Tie down at all corners.
Use: HTS2D Roof to post
CMSTC16M/25" Wall to floor to wall
STDH8 Foundation to floor

Design Summary

Occupancy Type - R2
Building SF - 18,720 SF
Sprinklered per NFPA 13
Final Floor Live Load 40 psf
Second Floor live load - 40 psf
Roof live load - 100 psf
Roof snow load 20 psf

Roof Snow load
Pg = 35 psf (ground)
Ce = 24.5 psf (rafter/roof)
Co = 1.0 (snow exposure factor)
Ti = 1.0 (snow load importance factor)
Tb = 1.0 (snow load importance factor)
Pu = 24.5 psf balanced
Pu = 44.1 psf unbalanced inward
Pu = 7.35 psf unbalanced outward
Pu = 49 psf (Sliding snow load lower porch roof)

Wind Load

Basic Wind speed (3 second gust) = 90 mph
Basic Wind pressure (velocity pressure)
GCf = 0.18 (external pressure)
Component & Cladding = 14.5 psf (wall)
-20.2 psf (roof)
-27.2 psf (overhang)

Earthquake design data

Seismic Design Category R
Seismic Use group = I
Soil - D05 9
Site Class = C
Basic Seismic-Force resisting system =
Light-Frame shear panels (UKS)
Design Base Shear = 858 kips

Date: 07-26-2006
Scale: As Noted
Job #: 03-01

Project: **8 Unit**
Address: Liberty Place, Madison, WI
Sheet Title: **Foundation Plan**

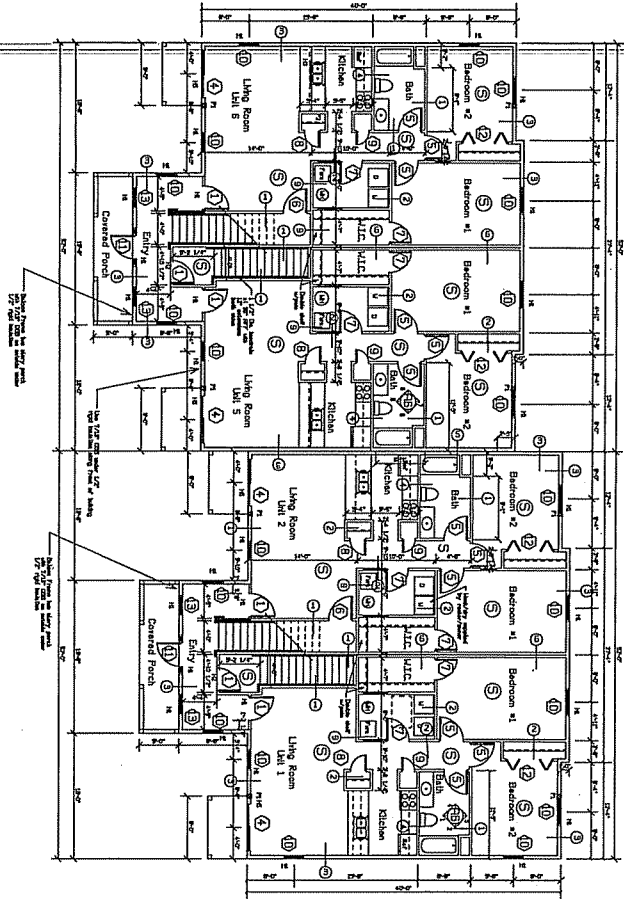
Proposed for: **Ellefson Construction Company**
Address: 1018 Gammon Lane, Suite 100
Madison, WI 53719
608-274-1494

Concepts In Architecture, LLC

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SHEET
A1

First Floor Plan
 Scale: 1/8" = 1'-0"



SHEET
 A3

Date: 07-26-2006
 Scale: As Noted
 Job #: 02-01

Project: **8 Unit**
 Address: Liberty Place, Madison, WI
 Sheet Title: **First Floor Plan**

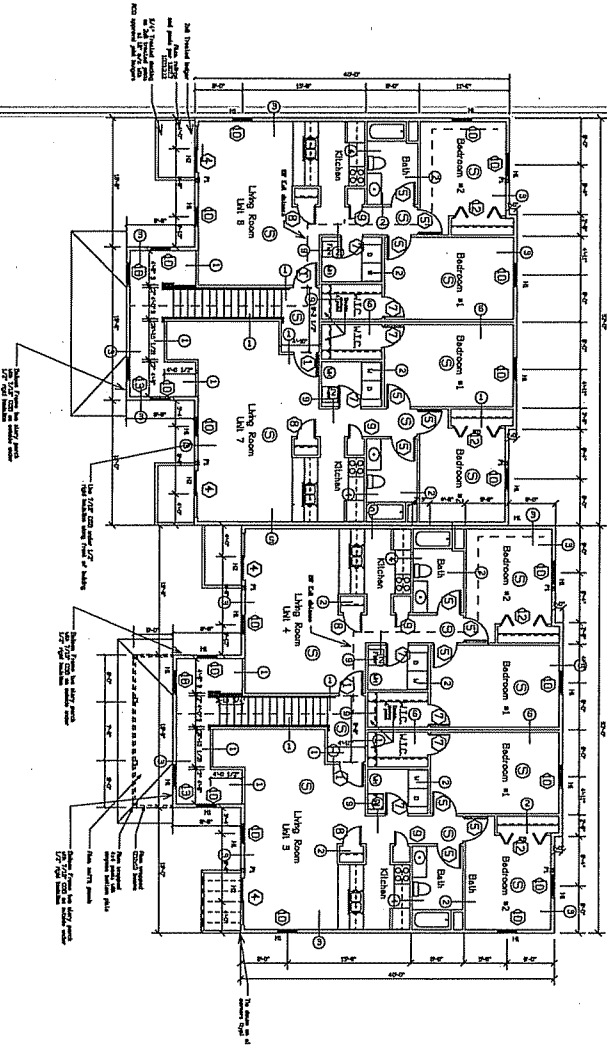
Prepared for: **Ellefson Construction Company**
 Address: 1018 Gammon Lane, Suite 100
 Madison, WI 53719
 608-274-1494

C Concepts
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A Architecture, LLC

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Second Floor Plan

Scale: 1/8" = 1'-0"



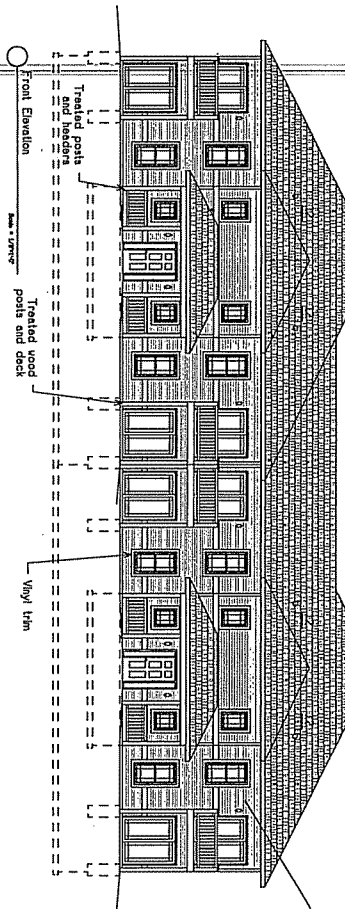
SHEET A4	Date: 06-13-2006	Project: 8 Unit
	Scale: At Nordd	Address: Liberty Place, Madison, WI
	Job #: 05-01	Sheet Title: Second Floor Plan

Proposed for: **Ellefson Construction Company**
 Address: 1018 Gammon Lane, Suite 100
 Madison, WI 53719
 608-274-1494

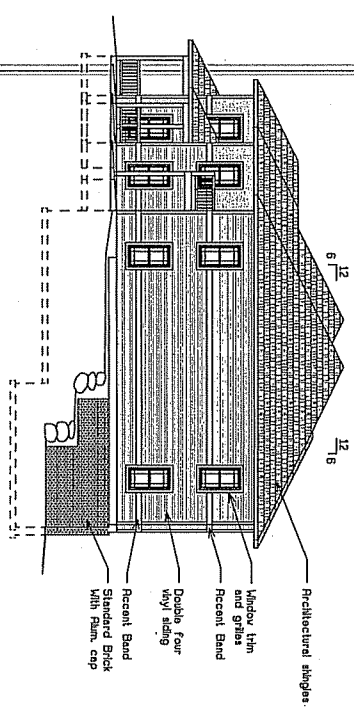
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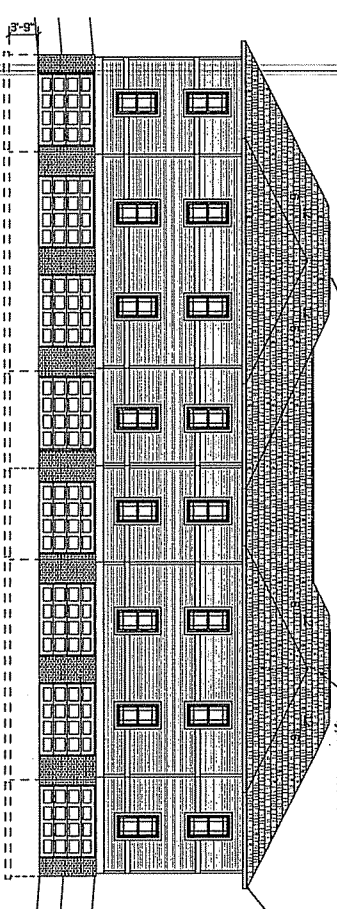
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Use 7/16" OSB nailed on 6" centers with 48 nbs on this face of building and around porch.



Provide stepping at building corners from rear to installation



Provide stepping at building corners from rear to installation

