

# HOUSING FORWARD OVERVIEW OF SEPT 2025 PROPOSED ORDINANCES

Jacob Moskowitz, Assistant Zoning Administrator Community Information Meeting, September 30, 2025







## **Increase Housing Choice**

- Look for ways to make lot division and subdivision processes simpler to create more new lots for homes
- Continue to simplify zoning standards for infill housing
- Pursue more code and process changes to support small-scale "missing middle" housing,

Leg ID 89916

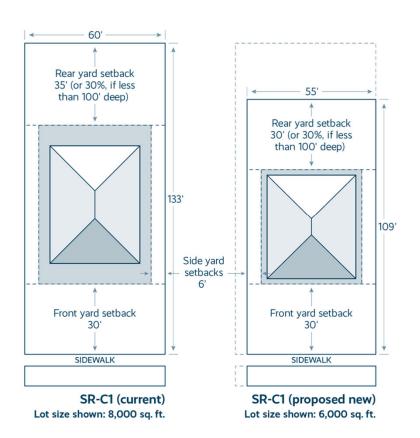
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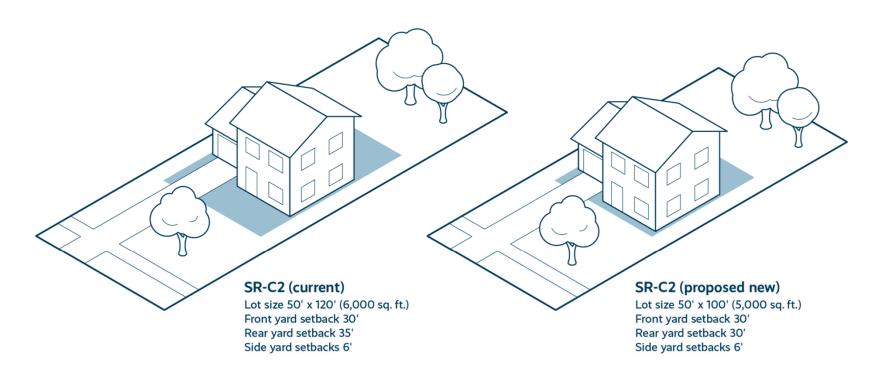
## Adjust lot area, lot width, & alley attached garage rear setback minimums





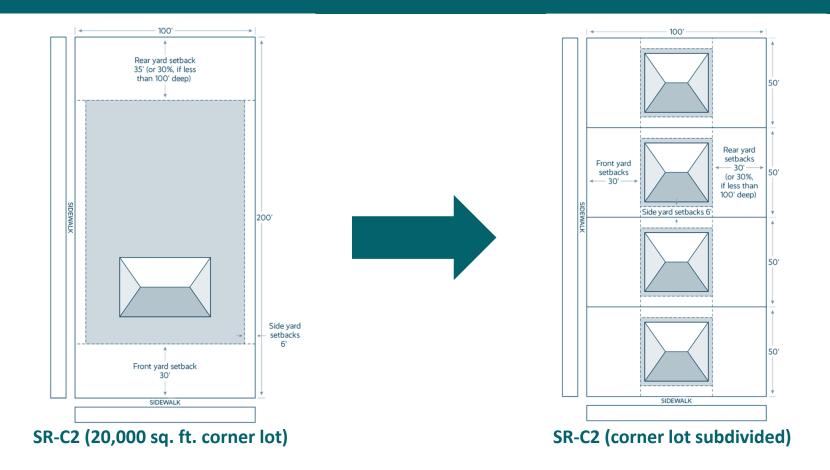
- Small adjustments across the city to decrease the amount of land area required for new homes
- Over time, can support gentle infill when owners decide to divide their properties



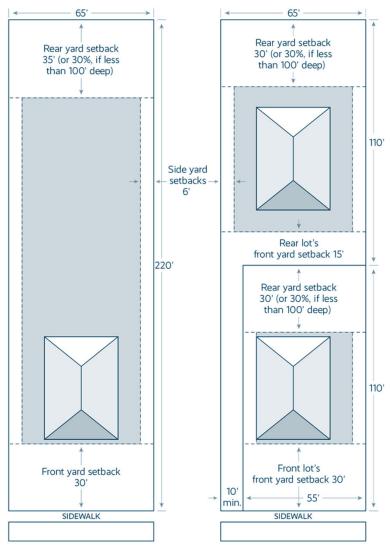


# Adjust lot area, lot width, & alley attached garage rear setback minimums





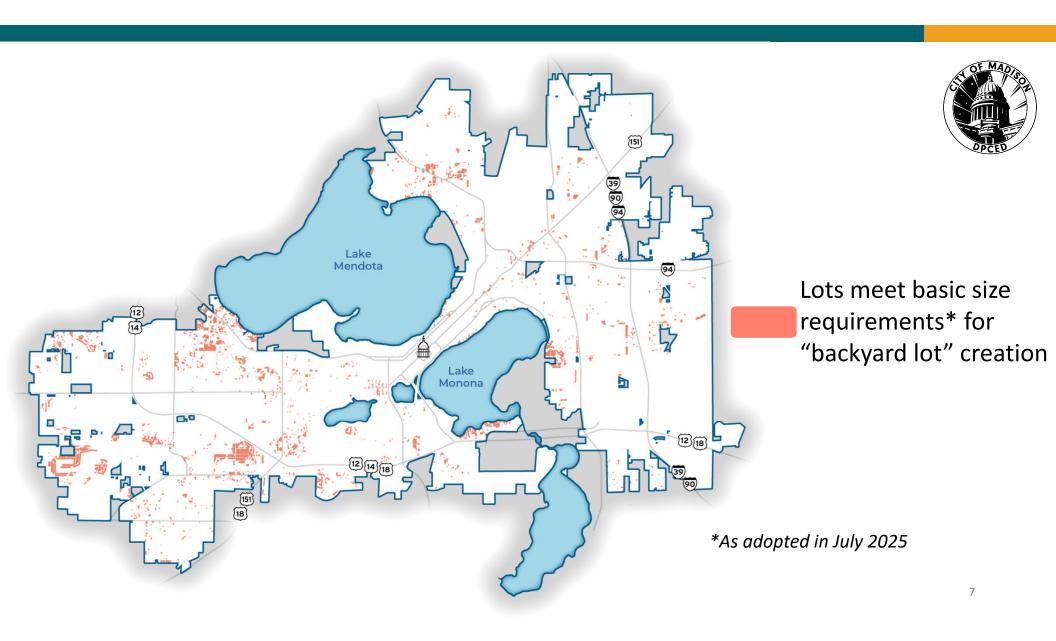
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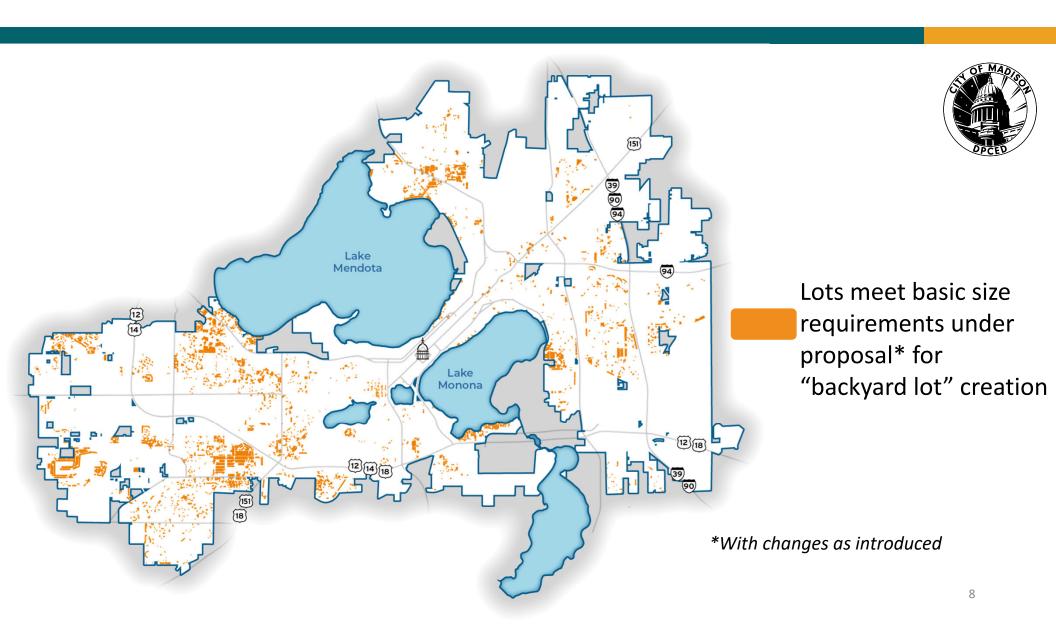


**SR-C1** deep residential lot

SR-C1 backyard lot





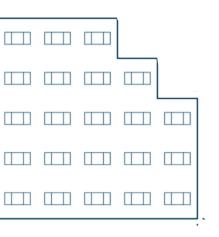






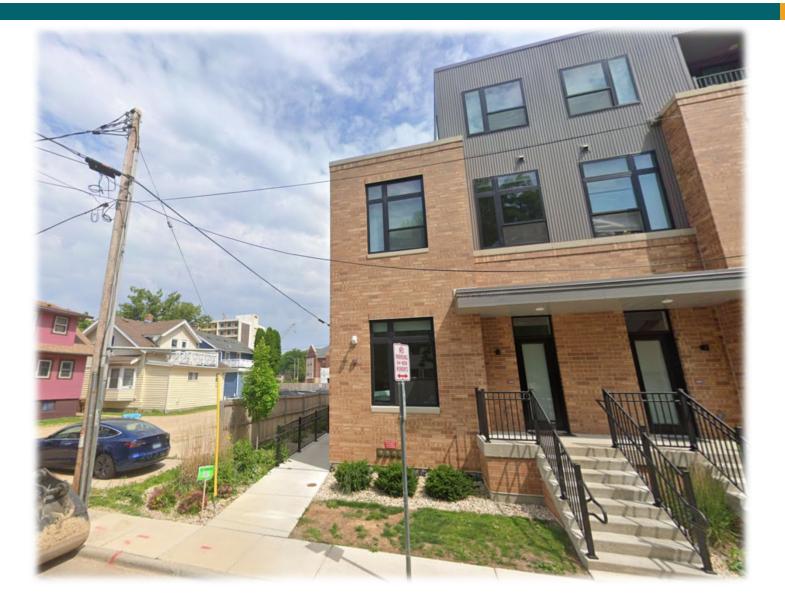








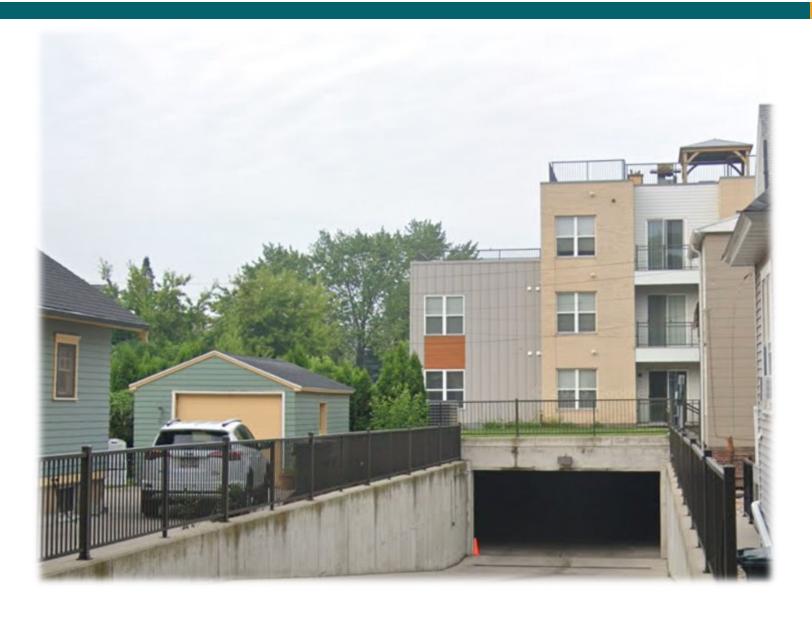
- Commercial corridors across the city support infill redevelopment at all scales
- "Step-down" requirements for buildings next to residential zoning districts are important, but also limiting
- The proposed change would allow height to equal the *maximum height* in the adjacent residential district













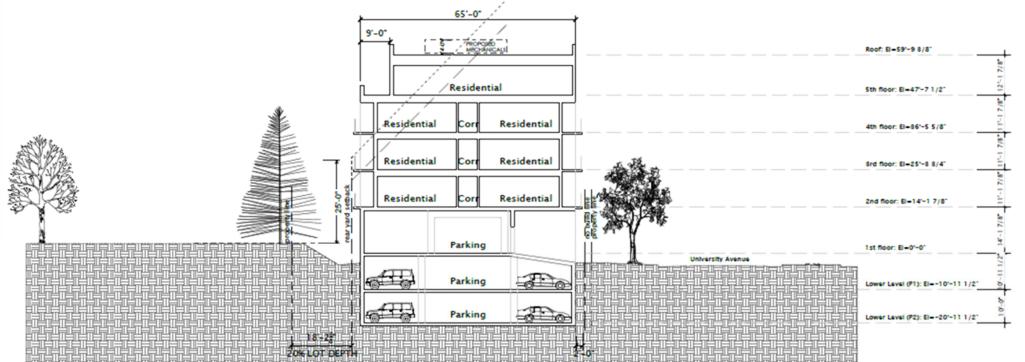


#### **Current Requirement**



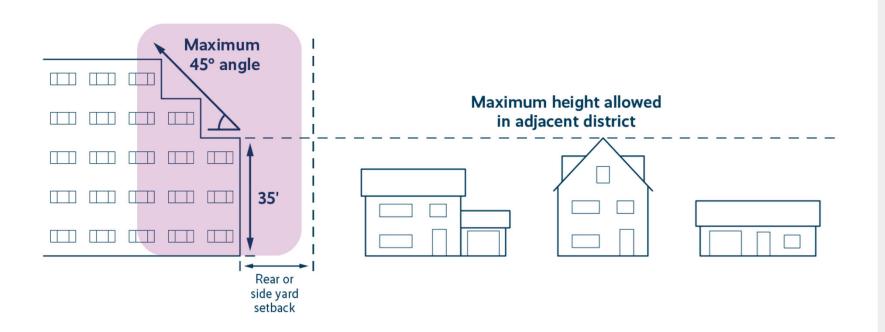
## Current Requirement can be modified through conditional use approval





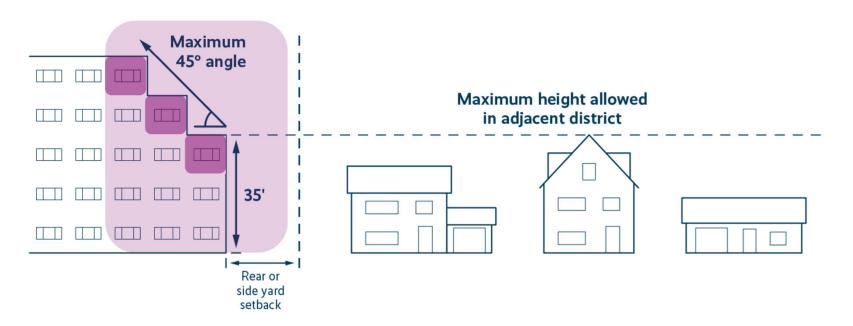


#### **Proposed Change**





Proposed Change – when adjacent to residential district with 35' max height



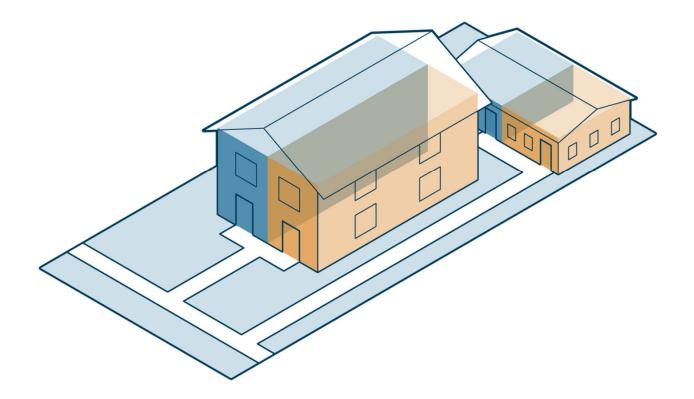


Proposed Change – when adjacent to residential district with 52' max height



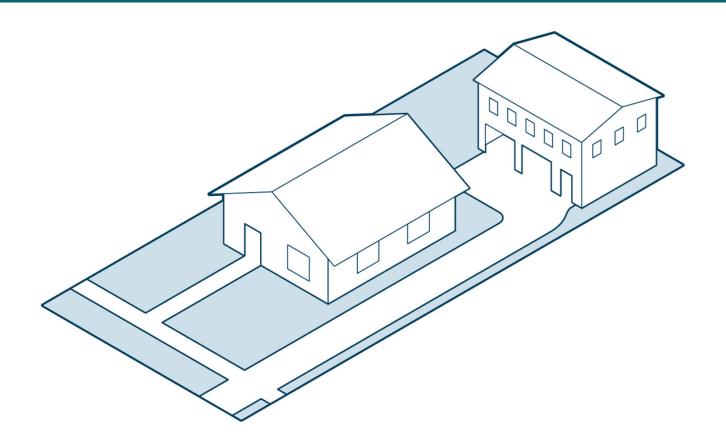
## Allow 2 Accessory Dwelling Units (ADUs) in a detached building and exempt ADUs from accessory structure maximum size





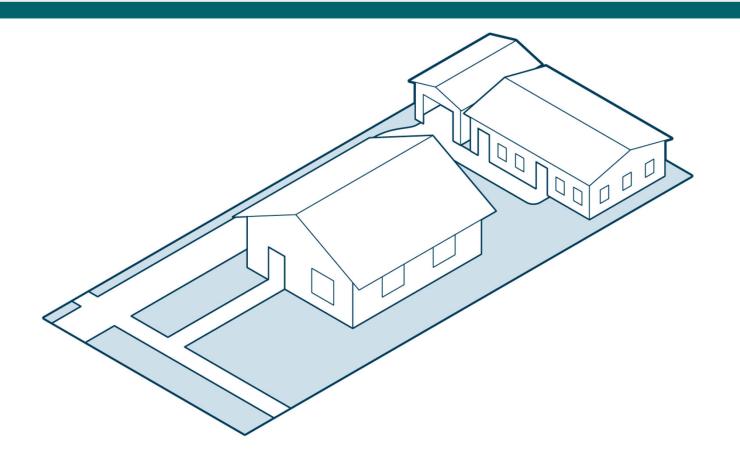
## Allow 2 Accessory Dwelling Units (ADUs) in a detached building and exempt ADUs from accessory structure maximum size





## Allow 2 Accessory Dwelling Units (ADUs) in a detached building and exempt ADUs from accessory structure maximum size





#### **Next Steps**



### **Housing Policy Committee**

(Recommended Adoption)
Thursday, September 25, 4:30 pm



### **Community Information Meeting**

Tuesday, September 30, 5:00 pm (Virtual – Zoom)

#### **Plan Commission**

Monday, October 6, 5:30 pm (Virtual – Zoom)

#### **Common Council**

Tuesday, October 7, 6:30 pm (Hybrid – City County Building Rm 201 or Zoom)



## **Questions & Discussion**



**Community Information Meeting, September 30, 2025**