



City of Madison

Proposed Rezoning

Location
7933 Tree Lane

Applicant
Michael Goldberg-Heartland Housing/
David Jennerjahn-Valerio Dewalt Train

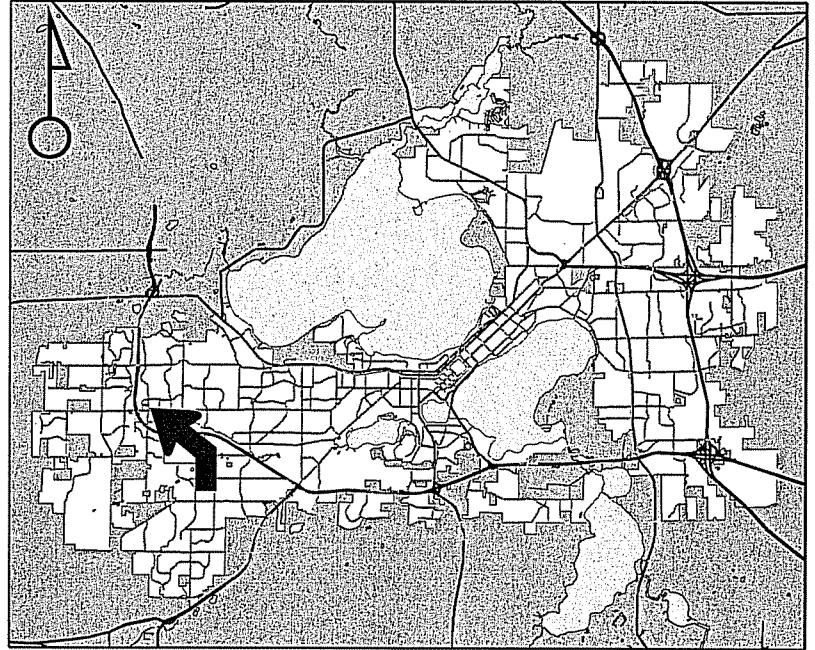
From: CC To: PD(GDP-SIP)

Existing Use
Surface parking lot and vacant land

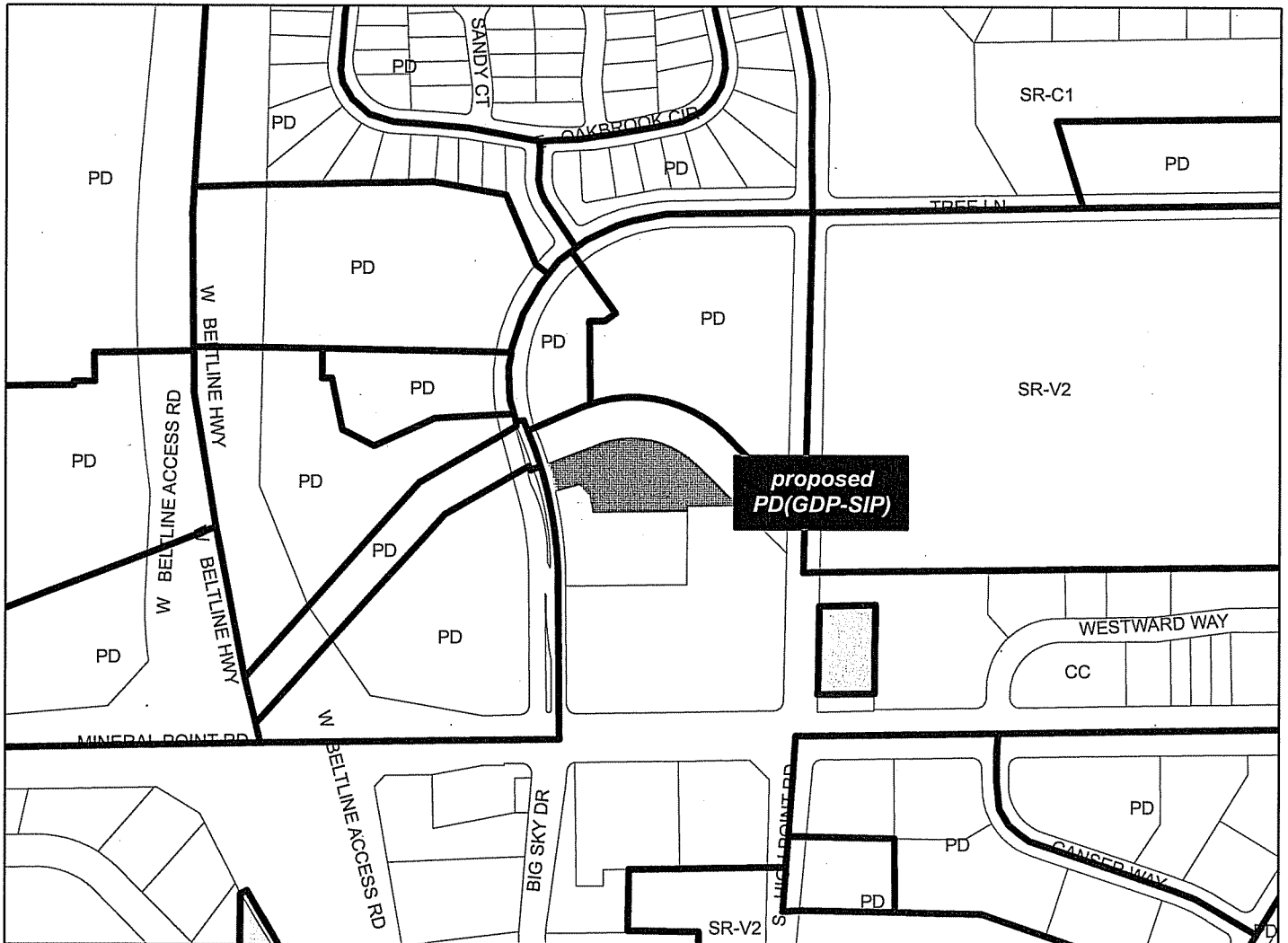
Proposed Use
Construct 45-unit apartment building

Public Hearing Date
Plan Commission
07 December 2015

Common Council
05 January 2015

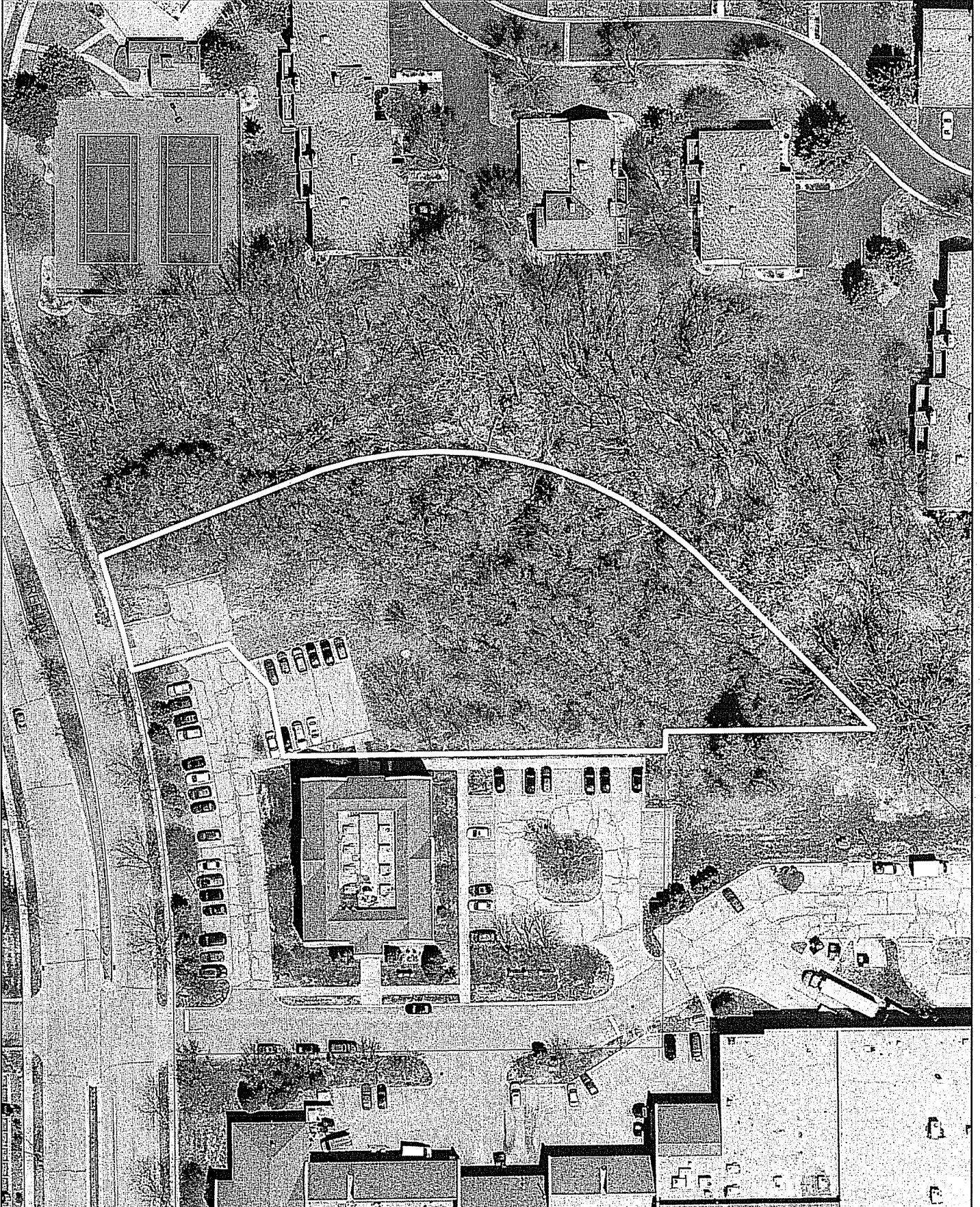


For Questions Contact: Heather Stouder at: 266-5974 or hstouder@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 30 November 2015



October 6, 2015

Heather Stouder, AICP
City of Madison
Department of Planning & Community & Economic Development
215 Martin Luther King, Jr. Blvd
Madison, WI 53701

RE: Land Use Application: PD-GDP-SIP
7933 Tree Lane

Dear Ms. Stouder,

Heartland Housing, Inc. is pleased to submit this Land Use Application for PD-GDP-SIP for review and approval by the City of Madison for our family permanent supportive housing development planned for 7933 Tree Lane (the "Development").

In fall 2014, an advisory group formed by the City of Madison's Community Development Authority (CDA) chose Heartland Housing, Inc. to serve as developer and property manager of a permanent supportive housing development that will contribute to the City's effort to end chronic homelessness. The Development will follow Heartland's proven housing model of maintaining affordability while providing on-site supportive services and property management.

We hope to receive Planned Development approval at the January 5, 2016 common council meeting. We will be submitting this Development for application to the Wisconsin Housing Economic Development Authority (WHEDA) in late January of 2016 and hope to receive an award of low-income housing tax credits in the second quarter of 2016.

Enclosed please find the Land Use Application and Letter of Intent, the Land Use Supplemental Requirements and narrative, 7 copies of full sized plan set, 25 copies of the plan set reduced to fit onto 11 X 17-inch paper, 1 copy of the plan set reduced to fit onto 8 ½ X 11-inch paper and a CD containing electronic copies of this submittal.

Please note that an application to the Urban Design Commission for Initial and Final Approval have been submitted separately from this PD-GDP-SIP submittal.

We look forward to working with the City of Madison on this important supportive housing development. Please contact me at 414-207-4442 if any addition information would be helpful.

Sincerely,



Matt Melendes
Heartland Housing, Inc.



LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:	
Amt. Paid _____	Receipt No. _____
Date Received _____	
Received By _____	
Parcel No. _____	
Aldermanic District _____	
Zoning District _____	
Special Requirements _____	
Review Required By:	
<input type="checkbox"/> Urban Design Commission	<input type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. **Project Address:** 7933 Tree Lane
Project Title (if any): _____

2. **This is an application for** (Check all that apply to your Land Use Application):

- Zoning Map Amendment from CC to PD-GDP-SIP
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. **Applicant, Agent & Property Owner Information:**

Applicant Name: Michael Goldberg **Company:** Heartland Housing, Inc.
Street Address: 320 East Center Street **City/State:** Milwaukee, Wisconsin **Zip:** 53212
Telephone: (414) 207-4443 **Fax:** () **Email:** mmelendes@heartlandalliance.org

Project Contact Person: David Jennerjahn **Company:** Valerio Dewalt Train Associates, Inc.
Street Address: 500 North Dearborn Street Suite 900 **City/State:** Chicago, Illinois **Zip:** 60654
Telephone: (312) 260-7300 **Fax:** () **Email:** djennerjahn@buildordie.com

Property Owner (if not applicant): _____
Street Address: _____ **City/State:** _____ **Zip:** _____

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: New 60,000 GSF development of 45 supportive family residential units in a 4-story building to include two, three and four bedroom units, amenity spaces and administrative offices.

Development Schedule: Commencement Spring 2017 Completion Spring 2018

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
Notice to District 9 Alder made on 9/1/2015.

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: DAT Date: 8-6-2015 Zoning Staff: DAT Date: 8-6-2015

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Michael Goldberg Relationship to Property: Developer & Option to Purchase Agreement Assignee

Authorizing Signature of Property Owner  Date 10/5/2015

**HEARTLAND
ALLIANCE**
HOUSING

Heartland Housing, Inc.
208 South LaSalle Street
Suite 1818
Chicago, IL 60604

P 312.660.1300
F 312.660.1500
heartlandalliance.org

October 6, 2015

Heather Stouder, AICP
City of Madison
Department of Planning & Community & Economic Development
215 Martin Luther King, Jr. Blvd
Madison, WI 53701

Re **Letter of Intent**
7933 Tree Lane
Madison, WI 53717
PD-GDP-SIP

Dear Ms. Stouder,

Please accept this Letter of Intent, application and attachments as our formal request for a PD-GDP-SIP review and approval by the City of Madison for the Madison Family Supportive Housing project at 7933 Tree Lane which is detailed below.

PROJECT TEAM:

Developer:

Heartland Housing, Inc.
208 S. LaSalle St., Suite 1300
Chicago, IL 60604
Contact: Matt Melendes
Phone: (414) 207-4443
Fax: (414) 208-4952
Email: mmelendes@heartlandalliance.org

Architect:

Valerio Dewalt Train Associates (VDTA)
500 N. Dearborn St., Suite 900
Chicago, IL 60654
Contact: David Jennerjahn AIA
Phone: (312) 260-7336
Fax: (312) 260-7301
Email: djennerjahn@buildordie.com

Civil Engineer:

Ayres Associates Inc.
101 East Badger Road
Madison, WI 53713
Contact: Marcus Fink, P.E.
Phone: (608) 441-4598
Email: FinkM@AyresAssociates.com

Landscape Architect:

Ayres Associates Inc.
101 East Badger Road
Madison, WI 53713
Contact: Jacob Blue
Phone: (608) 441-3564
Email: BlueJ@AyresAssociates.com

PROJECT OVERVIEW

In fall of 2014, an advisory group formed by the City of Madison's Community Development Authority (CDA) chose Heartland Housing, Inc. to serve as developer and property manager of a family permanent supportive housing development that will contribute to the City's effort to increase the amount of affordable housing and to end chronic homelessness. The development will follow Heartland Housing, Inc.'s proven housing model of maintaining affordability while providing on-site professional supportive services and property management. On-site supportive services will be provided by the YWCA of Madison.

The Development will be located in the city of Madison on the west side at the addresses of 7933 Tree Lane. The residential development will consist of a four-story building of approximately 60,000 square feet. The development has been designed to include and must have 45 apartments in order to achieve the onsite property management and supportive service programming necessary to make this permanent supportive housing development successfully operate. The building will include: 45 residential units; non-residential accessory use on the ground floor, which includes offices for service providers, a multi-purpose room, a business center and library; and bike parking and storage in the basement.

The Development is unable to meet the requirements of a conventional zoning district and will need a PD-GPD-SIP approval due to the unusual shape of the parcel, the bordering wetlands and in order to preserve the traffic circulation to the South. The parcel is irregularly shaped; the northern boundary is mostly a curving arc that terminates at the point to the east. The Tree Lane frontage is only 75 feet, the overall east-west dimension, measured diagonally from the Northwest corner at Tree Lane to the eastern point measures approximately 482 feet. The north-south dimension measures approximately 185 feet at its widest point. Meeting the street frontage requirement is not financially and logistically feasible given the very narrow and long parcel when combined with the requirements of providing fire lane accessibility and preserving traffic circulation. Including true commercial space in the development would require the loss of indoor amenity spaces for the residents and on site office space for supportive series.

EXISTING CONDITIONS:

The project site is 57,495 SF or 1.32 acres consisting of a paved driveway, a parking lot and overgrown green space with wetland to the north, retail to the south and west, and residential to the east. According to the City of Madison zoning districts, the project site is located within the Commercial Corridor District (CC). The maximum height and number of stories for this district are 68' and 5 stories. The project site is contained within District 9.

PROJECT SCHEDULE:

The project is currently scheduled to begin construction in Spring 2017 with completion in Winter 2017.

PROPOSED USES:

The building contains residential, office, and community serving space. The building will include 45 residential 2-bedroom, 3-bedroom and 4-bedroom apartment units on the first through fourth floors. In addition, the first floor will include a 1,400 SF lobby/reception, a 1,000 SF multi-purpose room, 230 SF business center, and 220 SF library room. It will also contain approximately 1,000 SF of office and meeting space for the provision of professional property management and supportive services. The basement will include 1,600 SF of residential storage lockers and 1,800 SF of bike storage (60 bike spaces).

HOURS OF OPERATION:

Residential occupancy: 24 hours per day, 7 days per week. The Development will have a total of between 5 to 6 property management and supportive service staff.

BUILDING SQUARE FOOTAGE:

Approximately 52,715 SF not including 7,451 SF of basement.

NUMBER OF DWELLING UNITS:

The building will include 45 residential 2-bedroom, 3-bedroom and 4-bedroom apartment units. The approximate unit sizes for a 2-bedroom, 3-bedroom and 4-bedroom will be 750 SF, 1,000 SF and 1,200 SF respectively. There will be a mix of standard units and accessible units. There are 9 units on the ground floor, 12 units on the second, third and fourth floors.

AUTO AND BIKE PARKING STALLS:

Auto Parking:

There will be 27 on site surface parking stalls which will include 4 handicap stalls for vehicles. Most families will rely on public transportation and will not have a vehicle.

Bike Parking:

There will be 60 resident bike parking spaces located in the basement. Public bike parking is provided on site as there are 7 bike racks, with each rack providing accommodations for 2 bikes, for a total of 14 exterior spaces.

LOT COVERAGE AND OPEN SPACE:

More than 50% of the site is preserved as open space including approximately 4,592 SF of usable open space featuring a tot lot to the West and a yard to the East for families to utilize. The development has been positioned to meet the constraints of the irregularly shaped parcel including the wetland to the north, the wetland to the east which includes storm water detention facility and the utility easement to the south, while preserving traffic circulation and providing fire lane accessibility.

NEIGHBORHOOD INPUT:

There have been two neighborhood meetings (January and September) to answer questions and receive neighborhood input about the project. A third neighborhood meeting is scheduled for late October. The project was presented to the Development Assistance Team on August 6 and the project was presented at the Urban Design Commission (for informational purposes) on September 16.

VALUE OF LAND:

The site is currently owned by the City of Madison and therefore has not been assessed. It was acquired in 1997 for \$250,000.

ESTIMATED PROJECT COST:

The total development costs are approximately \$12,000,000

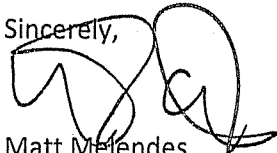
NUMBER OF CONSTRUCTION & FULL-TIME EQUIVALENT JOBS CREATED:

It is estimated that the project will create between 12 to 15 construction jobs during the building period and 6 new positions on the operating side including 3 in property management and 3 in social services.

PUBLIC SUBSIDY REQUESTED:

The developer is applying to the Wisconsin Housing and Economic Development Authority (WHEDA) for Low Income Housing Tax Credits and has requested grant and loan funding as well as project based rental assistance from the City of Madison and Dane County.

Sincerely,



Matt Melendes

Copied: Nadia Underhill, James Lewis, David Jennerjahn, Jacob Blue



LAND USE APPLICATION - SUPPLEMENTAL REQUIREMENTS

Certain land use applications require supplemental submittal information or process steps. Please contact Planning or Zoning Staff at 608.266.4635 to schedule a pre-application meeting to discuss your application.

Applications for all Zoning Map Amendments

In addition to items required for all land use applications, the following is required for all proposed zoning map amendments.

- Legal description of the property, complete with the proposed zoning districts in square feet and acres, in MS Word format. When multiple zoning districts are requested, a map showing those districts on the site is required. Unless comprised of whole platted lots, a metes and bounds description prepared by a Registered Land Surveyor in the State of Wisconsin must be included.

Applications for Zoning Map Amendments to Planned Development (PD) District

In addition to items required for all land use applications and zoning map amendments, the following items are required for all proposed Planned Developments, as per MGO Section 28.098.

Prior to Filing an Application

- Pre-Design Conference with Planning and Zoning staff to discuss the site, its context, potential impacts of the project, and initial design direction
- Concept Presentation to Urban Design Commission for informational purposes, including contextual information such as topography, photos of the site and surrounding properties, and a discussion of the initial design direction (the Commission may request additional materials if necessary)

General Development Plan Submittal

- Compelling documentation demonstrating why the available conventional zoning districts cannot accommodate this or a substantially similar proposal
- Zoning Text, including a list of proposed permitted and conditional uses, dimensions, bulk, height, scale and massing of buildings, family definition, and other relevant standards
- Accurate map of the project area including its relationship to surrounding properties, existing topography, and key features, including existing buildings and structures
- A plan of the proposed project showing the placement of buildings and structures, density, height, floor area, and dimensional requirements for lots, a phasing plan, if applicable, and sufficient detail to make possible the evaluation of the standards for approval (continued above)

General Development Plan Submittal continued:

- Proposed circulation systems (pedestrian, bicycle, auto, transit) by type, and how they relate to the existing network outside of this site
- Analysis of potential economic impacts to the community, including cost of municipal services and any additional infrastructure

Specific Implementation Plan Submittal

- Accurate map of the area covered by the plan including the relationship to the general development plan
- Pattern of public and private streets, driveways, walkways, and parking facilities; traffic projections and mitigation measures
- Detailed lot layout and subdivision plat, where required
- Arrangement of building groups, other than single-family residences, and their architectural character
- Location and treatment of open space areas and recreational or other special amenities (Note: at least 20% of the project area excluding public right of way shall be preserved as open space, unless waived by the Common Council, as per MGO Sec. 28.098(4)(e))
- Location and description of any areas to be dedicated to the public
- Lighting photometrics and fixture cut sheets
- Signage detail

Demolition Permits

In addition to items required for all land use applications, the following items are required for all proposed demolitions, as per MGO Section 28.185.

- Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City 30 days prior to filing their application using the online notification tool found at <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>.
 - Photos of the exterior and interior of the building shall be submitted with the application materials.
 - Approval of a **Reuse and Recycling Plan** by the City's Recycling Coordinator is required prior to issuance of permits, pursuant to MGO Section 28.185(7)(a)5. Recycling Coordinator George Dreckmann can be reached at 608-267-2626 or gdreckmann@cityofmadison.com.
 - Within 60 days of the completion of demolition activity, the applicant shall submit documentation showing compliance with the approved Reuse and Recycling Plan, pursuant to MGO Section 28.185(10).
-

Lakefront Development (Conditional Use Application)

In addition to items required for all land use applications, the following items are required for proposed lakefront development, as per MGO Section 28.138.

- Complete inventory of shoreline vegetation in any area proposed for building, filling, grading, or excavating
 - Any trees and shrubs to be removed as a result of the proposed development (limit of 30% clearing of trees and shrubs within 35 feet of the Ordinary High Water Mark (OHWM))
 - Measurement of the lot coverage within 35 feet of the OHWM (limit of 20%, with the exception of public paths within this area)
 - Detailed plans for site grading, filling, and any retaining walls
 - Contextual information related to the height and bulk of the five buildings on either side or within 300 feet on either side of the subject property (whichever is less)
 - If utilizing as-built data from nearby properties to determine the lakefront yard, a survey completed by a Registered Land Surveyor in the State of Wisconsin showing the pertinent principal building setbacks of nearby properties must be included. The required minimum lakefront yard may be either:
 - The average distance between the OHWM and the principal buildings on the two adjoining lots, assuming these distances are within 20' of one another.
 - OR
 - The median setback of the principal building on the five (5) developed lots or 300 feet on either side (whichever is less). If this method is utilized, the established setback must be no less than 30% of the lot depth of the subject property, and could be more, based on the placement of buildings as measured to establish the median.
-

Outdoor Eating Areas (Conditional Use Application)

In addition to items required for all land use applications, the following items are required for outdoor eating area requests.

- Seating plan showing entrance and exit locations
- Operational details, including hours of operation, total proposed occupancy (seated and standing, inside and outside), and a description of how the area will be separated from parking areas or sidewalks

NOTE: The applicant should also contact the City Clerk regarding any changes to alcohol service permit.

Development Adjacent to Public Parks (Conditional Use Application)

In addition to items required for all land use applications, the following items are required for requests for non-residential development within 200 feet of a City-owned public park, as per MGO Section 28.139.

- Complete inventory of vegetation in any area proposed for development within 100 feet of a park boundary
 - Any proposed removal of trees and other vegetation within 100 feet of the park boundary (removal of vegetation within 35 feet of the park boundary may be limited)
 - Detailed grading and drainage plan for the area within 35 feet of the park boundary
-

Telecommunication Facilities and Antennas (Conditional Use Application)

In addition to items required for all land use applications, the following items are required for telecommunication facilities and antennas requests, as per MGO Section 28.143.

- Identity and legal status of the registrant, including any affiliates
 - Name, address, and telephone number of the officer, agent, or employee responsible for the accuracy of the registration statement
 - Narrative and map description of the registrant's existing telecommunication facilities within the City, adjacent cities, villages, and townships
 - Basic tower and building design
 - If less than three antenna arrays are proposed, documentation explaining why collocation is not possible
 - If a new facility is proposed within ¼ mile of an existing facility, evidence of clear need for tower and infeasibility of co-location on an existing site
 - Alternatives analysis
 - Visual analysis (including photo simulations) identifying the potential visual impacts, design capacity of the proposed facility, and any mitigation measures
-

Development within Downtown Core (DC) and Urban Mixed Use (UMX) District

Qualified development within the Downtown Core District and Urban Mixed-Use District are required to address how the proposal relates to the adopted Downtown Urban Design Guidelines. This information should be provided along with all copies of the other application materials.

Land Use Application – Supplemental Requirements

Applications for all Zoning Map Amendments

- Please see separate MS Word document entitled “Legal Description”.
- Legal Description: Lot 2, Certified Survey Map No. 8493, as recorded on February 25, 1997 with the Dane County Register of Deeds, Volume 46 of Certified Surveys, pages 193-198, as Document No. 2834147, in the City of Madison, Dane County, Wisconsin.
- 57,495 SF or 1.32 acres

Prior to Filing Application

- Pre-Design Conference was held at the August 6, 2015 Development Assistance Team meeting.
- Concept Presentation to the Urban Design Commission (Informational Meeting) was held on September 16, 2015.

General Development Plan Submittal

- The Development is unable to meet the requirements of a conventional zoning district and will need a PD-GPD-SIP approval due to the unusual shape of the parcel, the bordering wetlands and in order to preserve the traffic circulation to the South. The parcel is irregularly shaped; the northern boundary is mostly a curving arc that terminates at the point to the east. The Tree Lane frontage is only 75 feet, the overall east-west dimension, measured diagonally from the Northwest corner at Tree Lane to the eastern point measures approximately 482 feet. The north-south dimension measures approximately 185 feet at its widest point. Meeting the street frontage requirement is not financially and logistically feasible given the very narrow and long parcel when combined with the requirements of providing fire lane accessibility and preserving traffic circulation. Including true commercial space in the development would require the loss of indoor amenity spaces for the residents and on site office space for supportive services.
- Zoning Text
 - Please see “Zoning Text” attachment and MS Word document entitled “Zoning Text”.
- Accurate Map of the Project Area
 - Please see submitted plans.
- Plan of Proposed Project
 - Please see submitted plans.
- Proposed Circulation Systems
 - Please see submitted plans.
- Analysis of Potential Economic Impacts
 - Research indicates that Permanent Supportive Housing provides housing stability which results in long term cost savings and reduction of usage of homeless shelters and emergency healthcare services. Heartland Housing, Inc. does not anticipate increased municipal infrastructure to complete the development.

Specific Implementation Plan Submittal

- Accurate Map of Area Covered by the Plan
– Please see submitted plans.
- Pattern of Public & Private Streets
– Not Applicable
- Detailed Lot Layout & Subdivision Plat
– Not Applicable
- Arrangement of Building Groups
– Not Applicable
- Location and Treatment of Open Space Areas
– Please see submitted plans.
- Location and Description of any Areas to be Dedicated to the Public
– Not Applicable
- Lighting Photometrics and Fixture Cut Sheets
– Please see submitted plans.
- Signage Detail
- Signage plan will be submitted as a separate application and will be consistent with Chapter 31 of the Code.

ZONING TEXT
7933 Tree Lane
PD-GDP-SIP

Legal Description: Lot 2, Certified Survey Map No. 8493, as recorded on February 25, 1997 with the Dane County Register of Deeds, Volume 46 of Certified Surveys, pages 193-198, as Document No. 2834147, in the City of Madison, Dane County, Wisconsin.

- A. Statement of Purpose: This zoning district is established to allow the construction of a residential development with 45 dwelling units.
- B. Permitted Uses: Following are permitted uses:
 - 1. Multifamily residential uses as allowed in the TR-U2 zoning district.
 - 2. Accessory uses including but not limited to:
 - a. Accessory uses directly associated with those permitted uses including parking for residents and guests.
 - b. Temporary buildings for storage of building materials and equipment for construction purposes when on the same lot as a principal use for a period not to exceed the duration of such construction.
- C. Lot Area: As shown on the approved plans.
- D. Height Regulations: As shown on the approved plans.
- E. Yard Regulations: As shown on the approved plans.
- F. Landscaping: Site landscaping will be provided as shown on the approved plans.
- G. Usable Open Space Requirements: Usable open space will be provided as shown on the approved plans.
- H. Parking & Loading: Off-street parking and loading shall be provided as shown on the approved plans.
- I. Family Definition: The family definition shall coincide with the definition given in M.G.O. for the TR-U2 zoning district.
- J. Signage: Signage for the residential building will be allowed as provided by M.G.O. and is further regulated for the TR-U2 zoning district, with signage as approved by the Urban Design Commission and Zoning Administrator.
- K. Alterations and Revisions: No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Planning Commission, however the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.



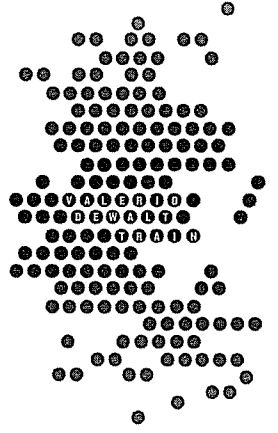
7933 TREE LANE MADISON, WI

HEARTLAND ALLIANCE HOUSING
LAND USE SUBMISSION

10/22/2015 11:46:05 AM

PROJECT NAME
**HEARTLAND
ALLIANCE**

PROJECT ADDRESS
MADISON, WI



ARCHITECT

VALERIO DEWALT TRAIN ASSOCIATES, INC.
500 N. DEARBORN, 9TH FLOOR
CHICAGO, ILLINOIS 60654
312.260.7300
www.bulldordie.com

PROJECT TEAM ARCHITECT STAMP

VDTA PROJECT NUMBER
15010.00

CONSULTANT

**AVRES
ASSOCIATES**

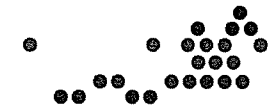
101 E. BADGER ROAD
MADISON, WI 53713
608.255.0800
www.AyresAssociates.com

CONSULTANT PROJECT NUMBER

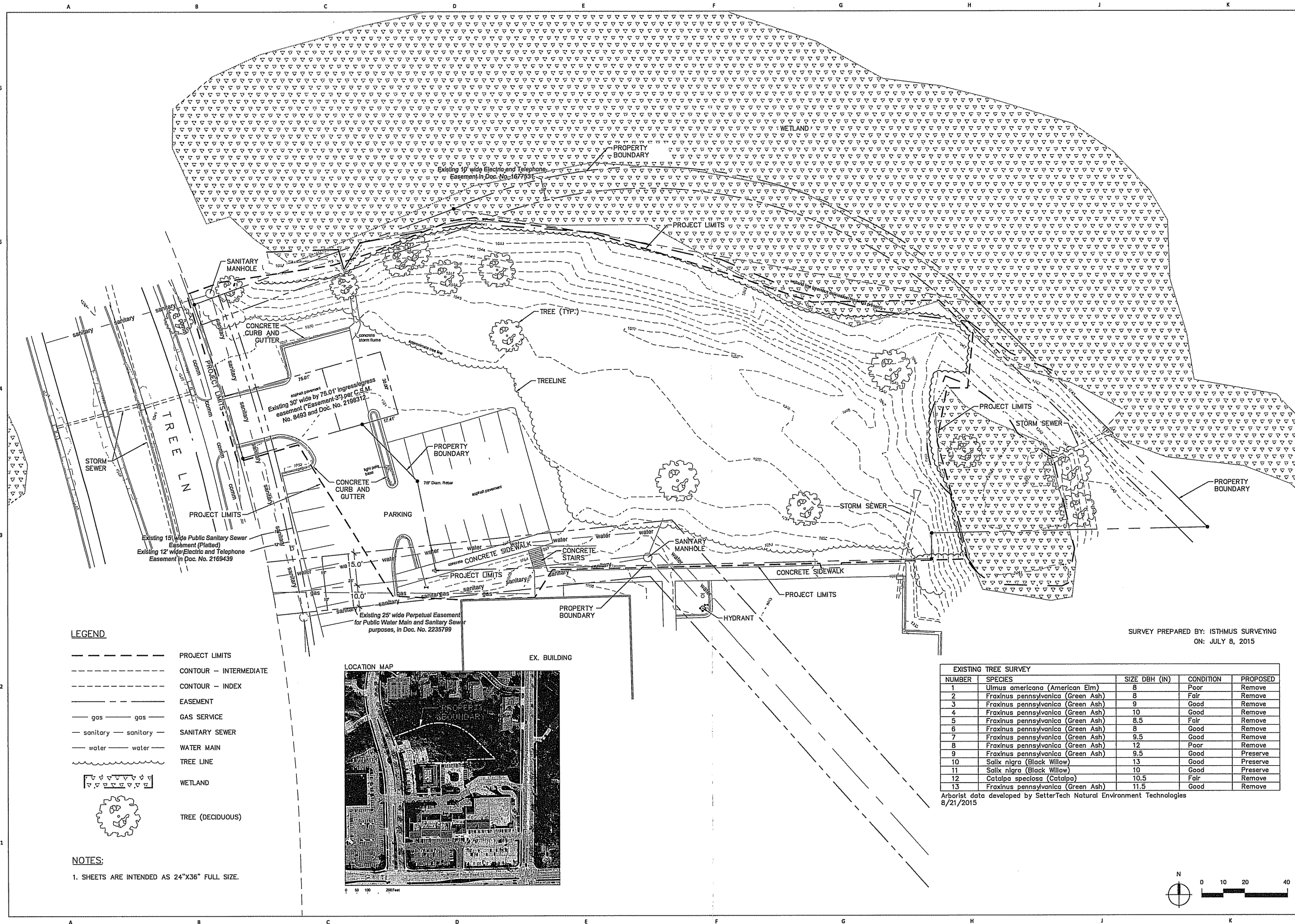
ISSUE		
NO.	REVISION DESCRIPTION	DATE
1	CITY SUBMITTAL	10.07.2015

© 2015 VALERIO DEWALT TRAIN ASSOCIATES, INC

SHEET TITLE
COVER SHEET

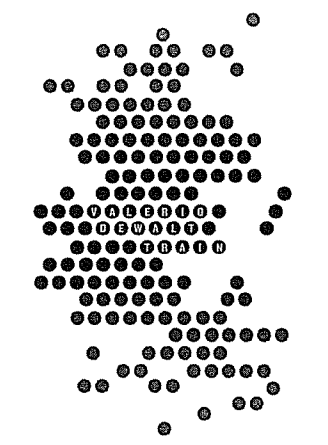


SHEET NUMBER



PROJECT NAME
HEARTLAND ALLIANCE

PROJECT ADDRESS
MADISON, WI



ARCHITECT
VALERIO DEWALT TRAIN ASSOCIATES, INC.
500 N. DEARBORN, 9TH FLOOR
CHICAGO, ILLINOIS 60654
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www.buildordie.com

PROJECT TEAM **ARCHITECT STAMP**

VDTA PROJECT NUMBER

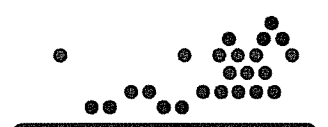
CONSULTANT
AYRES ASSOCIATES
101 E. BADGER ROAD
MADISON, WI 53713
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CONSULTANT PROJECT NUMBER
27-1019

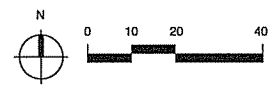
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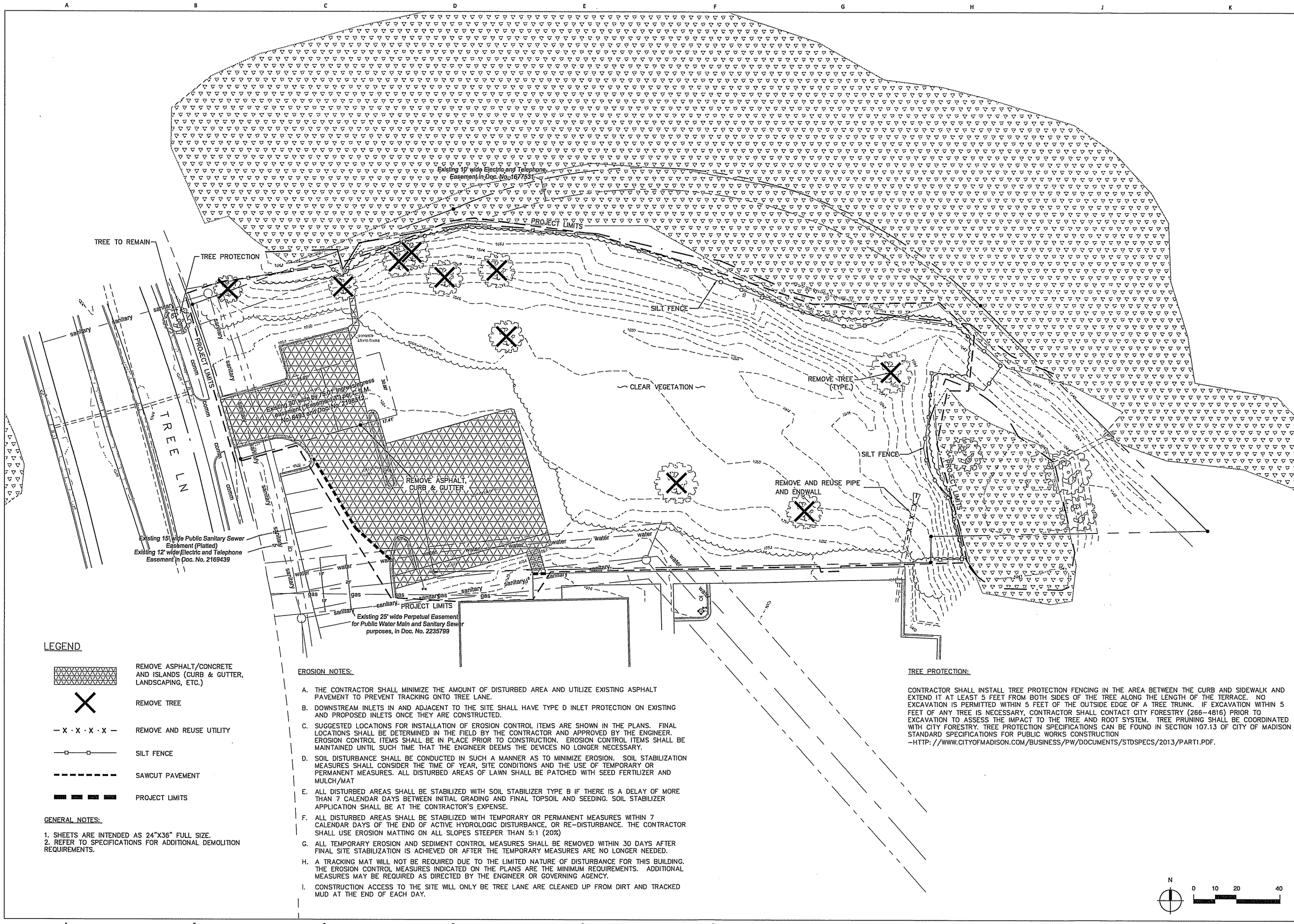
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SHEET TITLE
Existing Conditions



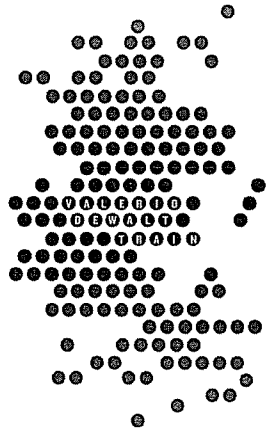
SHEET NUMBER
C-001





PROJECT NAME
HEARTLAND ALLIANCE

PROJECT ADDRESS
MADISON, WI



ARCHITECT
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PROJECT TEAM ARCHITECT STAMP

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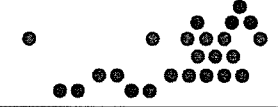
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SHEET TITLE
Demolition and Erosion Control



SHEET NUMBER
C-100

LEGEND

- REMOVE ASPHALT/CONCRETE AND ISLANDS (CURB & GUTTER, LANDSCAPING, ETC.)
- REMOVE TREE
- REMOVE AND REUSE UTILITY
- SILT FENCE
- SAWCUT PAVEMENT
- PROJECT LIMITS

GENERAL NOTES:

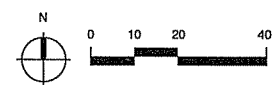
1. SHEETS ARE INTENDED AS 24"x36" FULL SIZE.
2. REFER TO SPECIFICATIONS FOR ADDITIONAL DEMOLITION REQUIREMENTS.

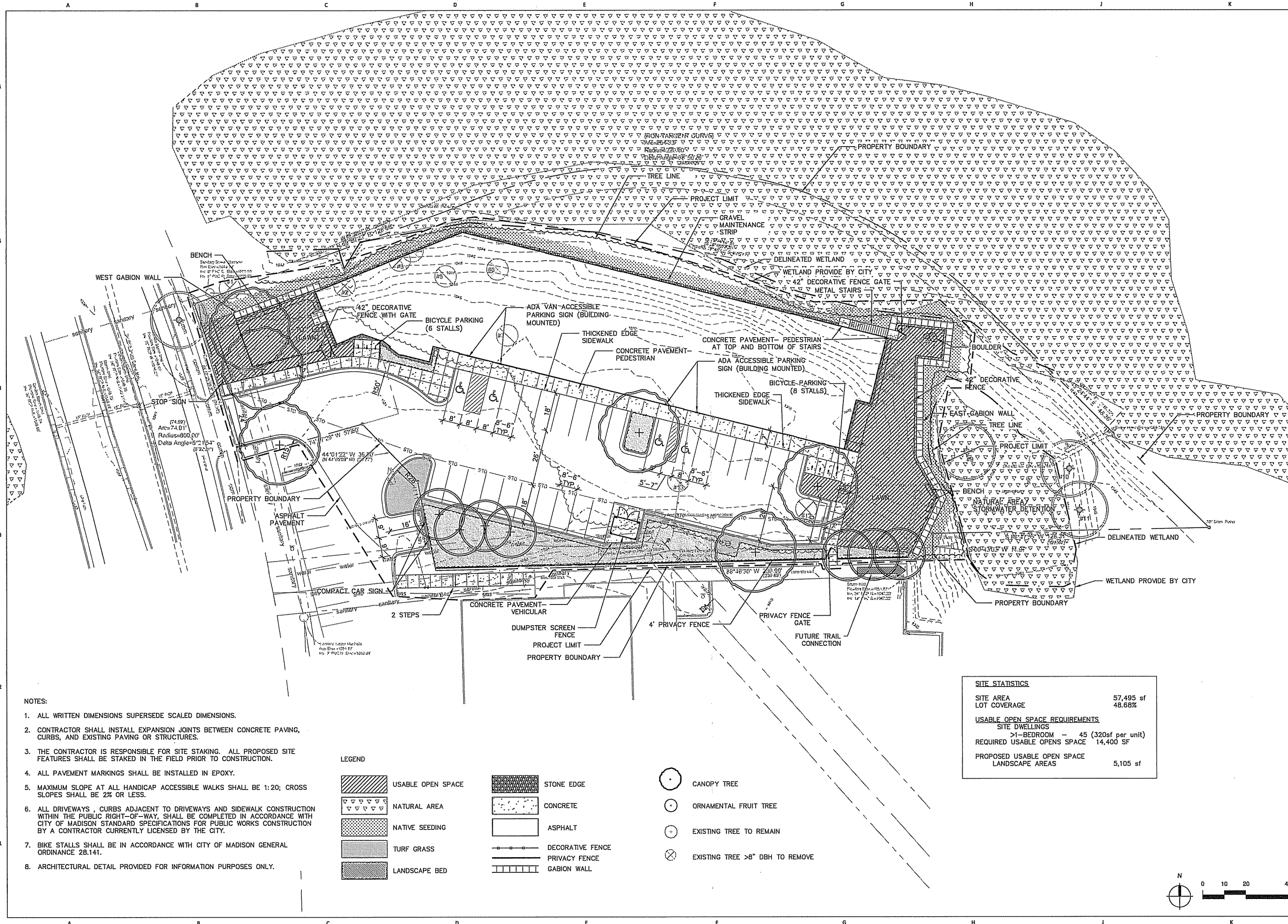
EROSION NOTES:

- A. THE CONTRACTOR SHALL MINIMIZE THE AMOUNT OF DISTURBED AREA AND UTILIZE EXISTING ASPHALT PAVEMENT TO PREVENT TRACKING ONTO TREE LANE.
- B. DOWNSTREAM INLETS IN AND ADJACENT TO THE SITE SHALL HAVE TYPE D INLET PROTECTION ON EXISTING AND PROPOSED INLETS ONCE THEY ARE CONSTRUCTED.
- C. SUGGESTED LOCATIONS FOR INSTALLATION OF EROSION CONTROL ITEMS ARE SHOWN IN THE PLANS. FINAL LOCATIONS SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR AND APPROVED BY THE ENGINEER. EROSION CONTROL ITEMS SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL ITEMS SHALL BE MAINTAINED UNTIL SUCH TIME THAT THE ENGINEER DEEMS THE DEVICES NO LONGER NECESSARY.
- D. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS OF LAWN SHALL BE PATCHED WITH SEED FERTILIZER AND MULCH/MAT
- E. ALL DISTURBED AREAS SHALL BE STABILIZED WITH SOIL STABILIZER TYPE B IF THERE IS A DELAY OF MORE THAN 7 CALENDAR DAYS BETWEEN INITIAL GRADING AND FINAL TOPSOIL AND SEEDING. SOIL STABILIZER APPLICATION SHALL BE AT THE CONTRACTOR'S EXPENSE.
- F. ALL DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS OF THE END OF ACTIVE HYDROLOGIC DISTURBANCE, OR RE-DISTURBANCE. THE CONTRACTOR SHALL USE EROSION MATTING ON ALL SLOPES STEEPER THAN 5:1 (20%)
- G. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- H. A TRACKING MAT WILL NOT BE REQUIRED DUE TO THE LIMITED NATURE OF DISTURBANCE FOR THIS BUILDING. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED AS DIRECTED BY THE ENGINEER OR GOVERNING AGENCY.
- I. CONSTRUCTION ACCESS TO THE SITE WILL ONLY BE TREE LANE ARE CLEANED UP FROM DIRT AND TRACKED MUD AT THE END OF EACH DAY.

TREE PROTECTION:

CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION
 --HTTP://WWW.CITYOFMADISON.COM/BUSINESS/PW/DOCUMENTS/STDSPECS/2013/PART1.PDF.





- NOTES:
1. ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS.
 2. CONTRACTOR SHALL INSTALL EXPANSION JOINTS BETWEEN CONCRETE PAVING, CURBS, AND EXISTING PAVING OR STRUCTURES.
 3. THE CONTRACTOR IS RESPONSIBLE FOR SITE STAKING. ALL PROPOSED SITE FEATURES SHALL BE STAKED IN THE FIELD PRIOR TO CONSTRUCTION.
 4. ALL PAVEMENT MARKINGS SHALL BE INSTALLED IN EPOXY.
 5. MAXIMUM SLOPE AT ALL HANDICAP ACCESSIBLE WALKS SHALL BE 1:20; CROSS SLOPES SHALL BE 2% OR LESS.
 6. ALL DRIVEWAYS, CURBS ADJACENT TO DRIVEWAYS AND SIDEWALK CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY, SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION BY A CONTRACTOR CURRENTLY LICENSED BY THE CITY.
 7. BIKE STALLS SHALL BE IN ACCORDANCE WITH CITY OF MADISON GENERAL ORDINANCE 28.141.
 8. ARCHITECTURAL DETAIL PROVIDED FOR INFORMATION PURPOSES ONLY.

LEGEND

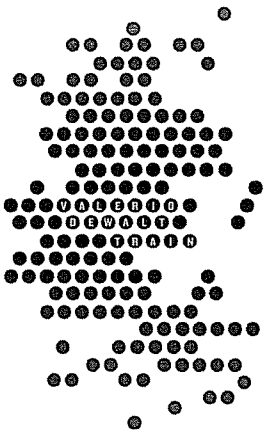
	USABLE OPEN SPACE		STONE EDGE		CANOPY TREE
	NATURAL AREA		CONCRETE		ORNAMENTAL FRUIT TREE
	NATIVE SEEDING		ASPHALT		EXISTING TREE TO REMAIN
	TURF GRASS		DECORATIVE FENCE		EXISTING TREE >8" DBH TO REMOVE
	LANDSCAPE BED		PRIVACY FENCE		
			GABION WALL		

SITE STATISTICS

SITE AREA	57,495 sf
LOT COVERAGE	48.68%
USABLE OPEN SPACE REQUIREMENTS	
SITE DWELLINGS	
>1-BEDROOM	- 45 (320sf per unit)
REQUIRED USABLE OPEN SPACE	14,400 SF
PROPOSED USABLE OPEN SPACE	
LANDSCAPE AREAS	5,105 sf

PROJECT NAME
HEARTLAND ALLIANCE

PROJECT ADDRESS
MADISON, WI



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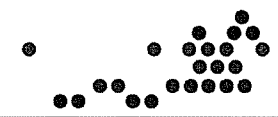
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CONSULTANT PROJECT NUMBER
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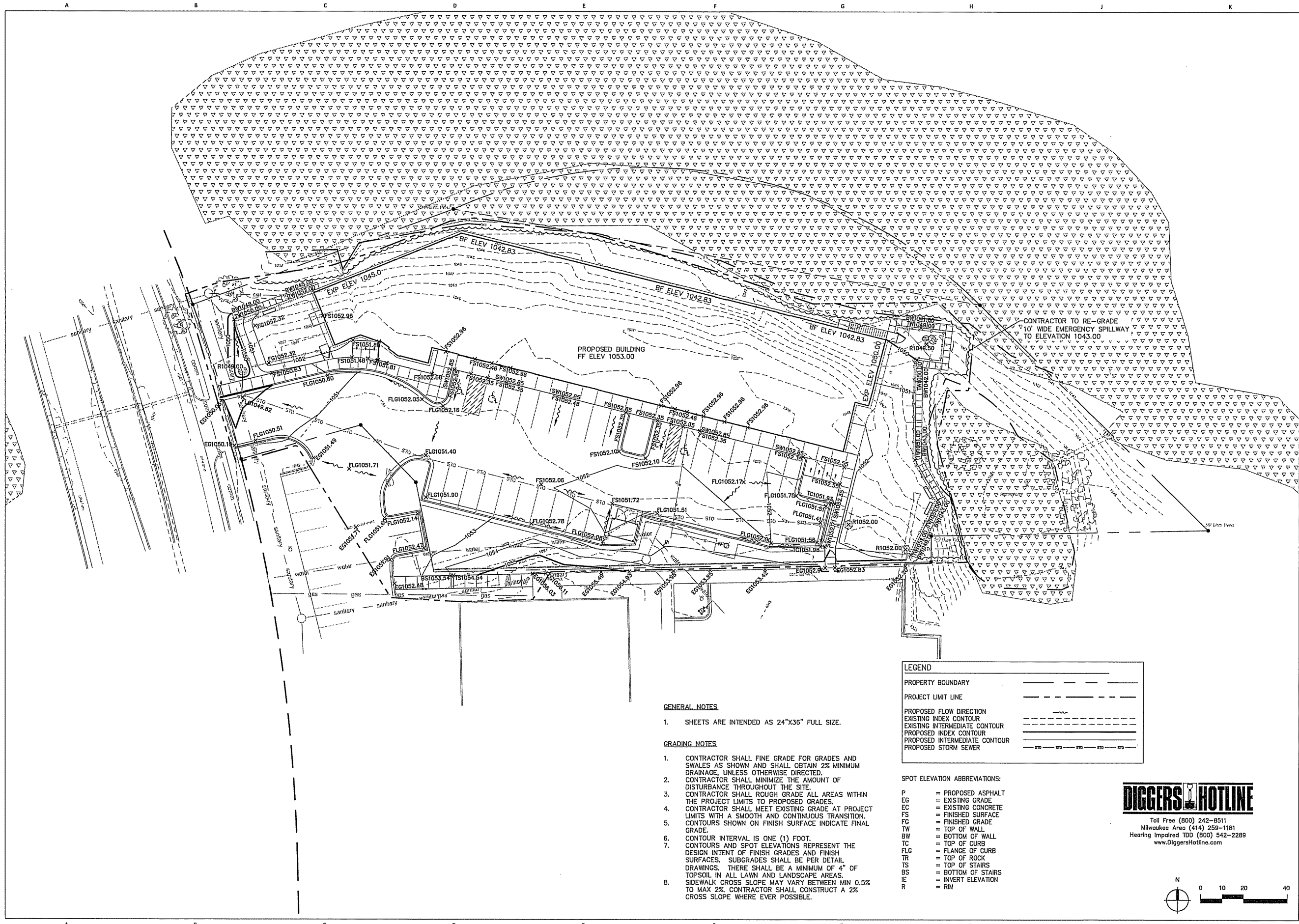
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SHEET TITLE
Site Plan



SHEET NUMBER
C-200





GENERAL NOTES

1. SHEETS ARE INTENDED AS 24"X36" FULL SIZE.

GRADING NOTES

1. CONTRACTOR SHALL FINE GRADE FOR GRADES AND SWALES AS SHOWN AND SHALL OBTAIN 2% MINIMUM DRAINAGE, UNLESS OTHERWISE DIRECTED.
2. CONTRACTOR SHALL MINIMIZE THE AMOUNT OF DISTURBANCE THROUGHOUT THE SITE.
3. CONTRACTOR SHALL ROUGH GRADE ALL AREAS WITHIN THE PROJECT LIMITS TO PROPOSED GRADES.
4. CONTRACTOR SHALL MEET EXISTING GRADE AT PROJECT LIMITS WITH A SMOOTH AND CONTINUOUS TRANSITION.
5. CONTOURS SHOWN ON FINISH SURFACE INDICATE FINAL GRADE.
6. CONTOUR INTERVAL IS ONE (1) FOOT.
7. CONTOURS AND SPOT ELEVATIONS REPRESENT THE DESIGN INTENT OF FINISH GRADES AND FINISH SURFACES. SUBGRADES SHALL BE PER DETAIL DRAWINGS. THERE SHALL BE A MINIMUM OF 4" OF TOPSOIL IN ALL LAWN AND LANDSCAPE AREAS. SIDEWALK CROSS SLOPE MAY VARY BETWEEN MIN 0.5% TO MAX 2%. CONTRACTOR SHALL CONSTRUCT A 2% CROSS SLOPE WHERE EVER POSSIBLE.
- 8.

LEGEND

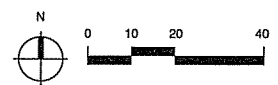
PROPERTY BOUNDARY	---
PROJECT LIMIT LINE	----
PROPOSED FLOW DIRECTION	~
EXISTING INDEX CONTOUR	-----
EXISTING INTERMEDIATE CONTOUR	-----
PROPOSED INDEX CONTOUR	-----
PROPOSED INTERMEDIATE CONTOUR	-----
PROPOSED STORM SEWER	---

SPOT ELEVATION ABBREVIATIONS:

P	= PROPOSED ASPHALT
EG	= EXISTING GRADE
EC	= EXISTING CONCRETE
FS	= FINISHED SURFACE
FG	= FINISHED GRADE
TW	= TOP OF WALL
BW	= BOTTOM OF WALL
TC	= TOP OF CURB
FLG	= FLANGE OF CURB
TR	= TOP OF ROCK
TS	= TOP OF STAIRS
BS	= BOTTOM OF STAIRS
IE	= INVERT ELEVATION
R	= RIM

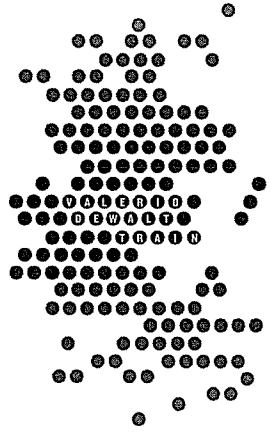


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PROJECT NAME
HEARTLAND ALLIANCE

PROJECT ADDRESS
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PROJECT TEAM **ARCHITECT STAMP**

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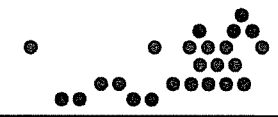
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CONSULTANT PROJECT NUMBER
 27-1019

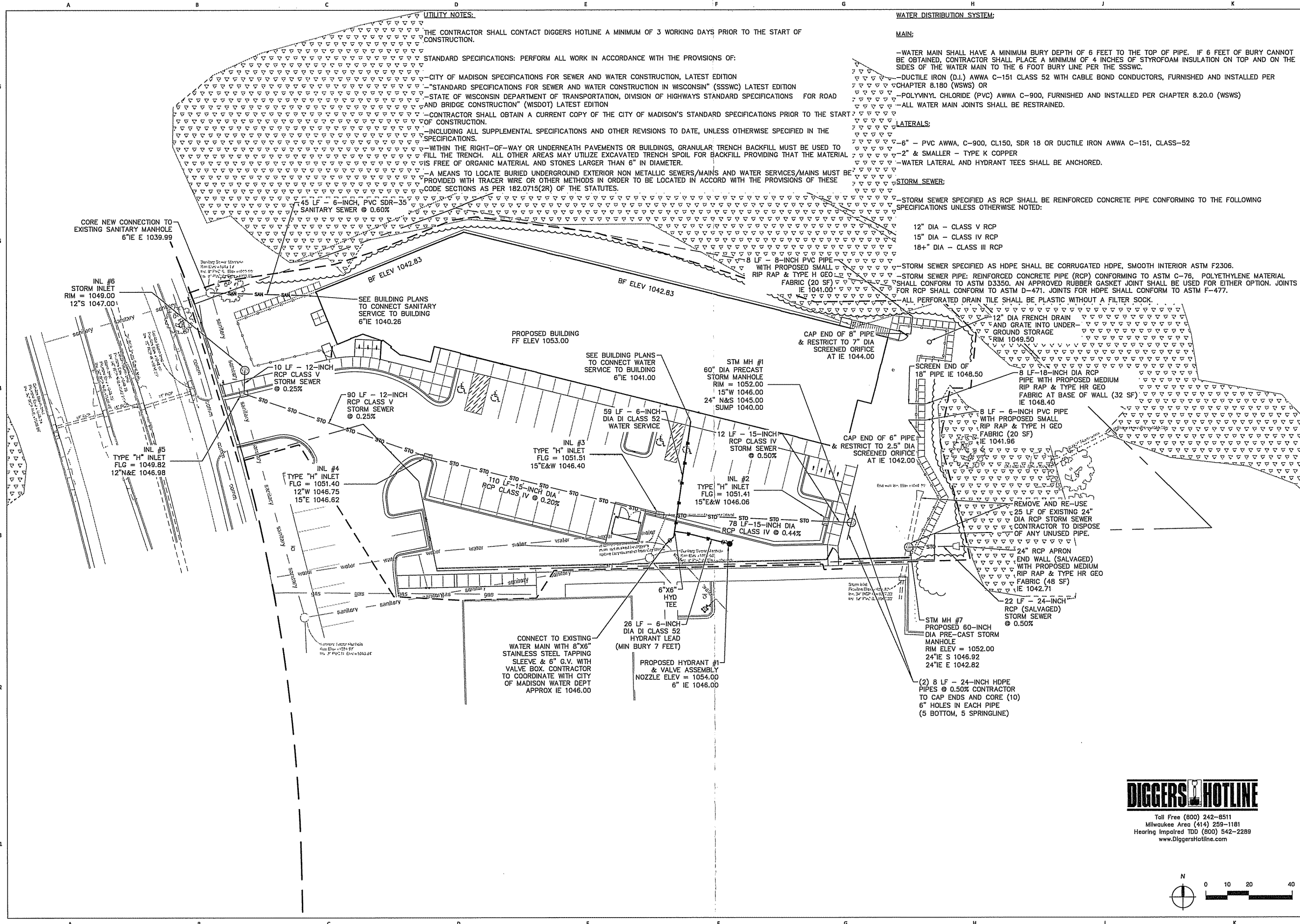
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1	CITY SUBMITTAL	10.07.2015

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SHEET TITLE
Site Grading & Drainage Plan

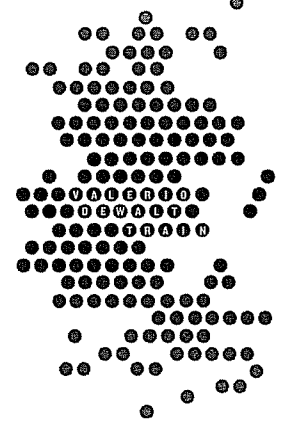


SHEET NUMBER
C-300



PROJECT NAME
HEARTLAND ALLIANCE

PROJECT ADDRESS
MADISON, WI



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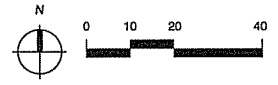
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CONSULTANT PROJECT NUMBER
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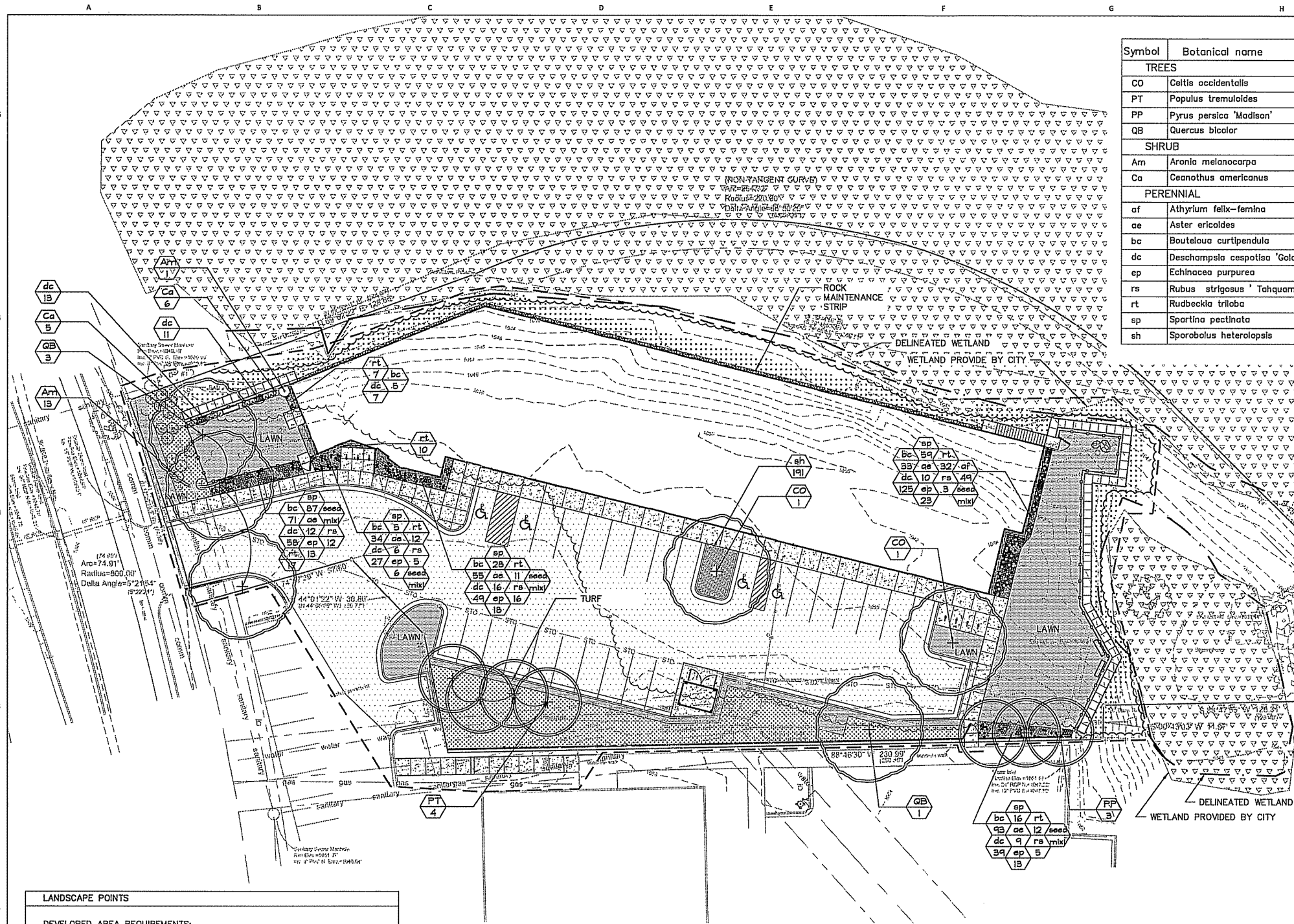
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SHEET TITLE
Site Utility Plan



SHEET NUMBER
C-400



Symbol	Botanical name	Common Name	Size	Root	Quantity	Spacing
TREES						
CO	Celtis occidentalis	Common Hackberry	2-1/2"	B&B	2	na
PT	Populus tremuloides	Quaking Aspen	#10	B&B	3	na
PP	Pyrus persica 'Madison'	Madison Peach	#10	B&B	3	na
QB	Quercus bicolor	Swamp White Oak	2-1/2"	Cont.	4	na
SHRUB						
Am	Aronia melanocarpa	Black Chokeberry	#3	Cont.	14	3'-6"
Ca	Ceanothus americanus	New Jersey Tea	#3	Cont.	11	3'
PERENNIAL						
af	Athyrium filix-femina	Lady Fern	Quart	Cont.	49	12"
ae	Aster ericoides	Heath Aster	2" Plug	Cont.	53	10"
bc	Bouteloua curtipendula	Side Oats Grama	2" Plug	Cont.	291	10"
dc	Deschampsia cespitosa 'Goldtau'	Goldtau Tufted Hairgrass	Quart	Cont.	305	12"
ep	Echinacea purpurea	Purple coneflower	Quart	Cont.	73	10"
rs	Rubus strigosus 'Tahquamenon'	Tahquamenon Red Raspberry	Quart	Cont.	41	10"
rt	Rudbeckia triloba	Brown-eyed Susan	2" Plug	Cont.	101	10"
sp	Spartina pectinata	Prairie Cord Grass	2" Plug	Cont.	195	10"
sh	Sporobolus heterolapsis	Prairie Dropseed	Quart	Cont.	191	12"

SEED MIX			
Botanical Name	Common Name	Pounds /AC	% of Mix
MIX 1			
Monarda fistulosa	Wild Bergamot	0.2	40.0%
Tradescantia ohioensis	Ohio spiderwort	0.3	60.0%

RESTORATION SEEDING MIX			
Botanical Name	Common Name	Pounds /AC	% of Mix
Boltonia asteroides	White Doll's Daisy	6.3	18.0%
Elymus virginicus	Virginia Wild Rye	1.4	4.0%
Labelia cardinalis	Cardinal Flower	0.4	1.0%
Labelia siphilitica	Great Blue Lobelia	0.3	1.0%
Monarda fistulosa	Wild Bergamot	3.5	10.0%
Panicum virgatum	Switch Grass	10.5	30.0%
Pycnanthemum tenuifolium	Slender Mountain Mint	0.3	1.0%
Rudbeckia triloba	Brown-eyed Susan	1.8	5.0%
Schizachyrium scoparium	Little Bluestem	10.5	30.0%

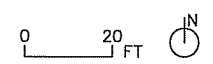
MEADOW MIX			
Botanical Name	Common Name	Pounds /AC	% of Mix
Andropogon gerardii	Big Bluestem	5.8	16.5%
Boltonia asteroides	White Doll's Daisy	2.8	8.0%
Bouteloua curtipendula	Sideoats Gramma	1.3	3.7%
Carex bebbii	Bebb's Sedge	1.3	3.7%
Carex bicknellii	Bicknell's Sedge	0.3	1.0%
Koeleria cristata	June Grass	5.0	14.3%
Monarda fistulosa	Wild Bergamot	0.3	1.0%
Pycnanthemum virginianum	American Mountain Mint	0.7	2.0%
Rudbeckia laciniata	Cut-leaf Coneflower	0.2	0.5%
Rudbeckia triloba	Brown-eyed Susan	1.0	3.0%
Schizachyrium scoparium	Little Bluestem	5.0	14.3%
Sorghastrum nutans	Indian Grass	10.0	28.5%
Symphitrichum novae-angliae	New England Aster	0.7	2.0%
Symphitrichum ericoides	Heath Aster	0.4	1.0%
Tradescantia ohioensis	Ohio Spiderwort	0.2	0.5%

TURF MIX: WI DOT MIX 40			
Botanical Name	Common Name	Pounds /AC	% of Mix
Festuca spp	Fine perennial ryegrass	4.18	25.0%
Festuca ovina	Hard fescue	3.35	20.0%
Festuca rubra	Red fescue	3.35	20.0%
Poa pratensis	Kentucky bluegrass	5.86	35.0%

LANDSCAPE POINTS	
DEVELOPED AREA REQUIREMENTS:	
DEVELOPED AREA (EXCLUDING BUILDING FOOTPRINT)	15,346 SF
DEVELOPED AREA POINTS REQUIRED (15,346/300)x5	256 POINTS
LANDSCAPE POINTS PROVIDED	540 POINTS
DEVELOPMENT FRONTAGE LANDSCAPING:	
PROPOSED FRONTAGE	75 LF
REQUIRED LANDSCAPING	3 CANOPY TREES, 13 SHRUBS
PROPOSED LANDSCAPING	3 PROPOSED CANOPY TREES, 13 PROPOSED SHRUBS
INTERIOR PARKING LOT LANDSCAPING:	
PROPOSED PARKING	12,094 SF
REQUIRED LANDSCAPING	968 SF OF INTERNAL ISLANDS
PROPOSED LANDSCAPING	6 CANOPY TREES
PROPOSED LANDSCAPING	2,789 SF
PROPOSED LANDSCAPING	4 CANOPY TREES, 4 ORNAMENTAL TREES
FOUNDATION PLANTING LANDSCAPING:	
REQUIRED LANDSCAPING	PLANTINGS INSTALLED ALONG BUILDING FACADES
PROPOSED LANDSCAPING	5 ORNAMENTAL TREES, 659 PERENNIALS
SCREENING:	
NONE REQUIRED.	

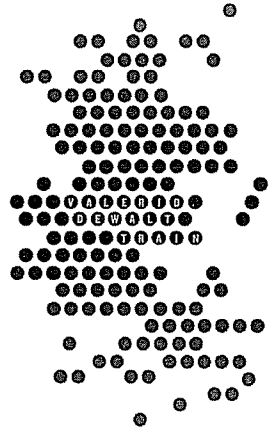
LEGEND	
	RESTORATION SEEDING
	ORNAMENTAL NATIVE SEED MIX
	TURF GRASS
	STONE EDGE
	MULCH
	ANNUAL GARDEN BED (BY OTHERS)
	CONCRETE
	ASPHALT
	CANOPY TREE
	ORNAMENTAL FRUIT TREE
	EXISTING TREE TO REMAIN
	EXISTING TREE >8" DBH TO REMOVE

- NOTES:**
- ALL LANDSCAPE PLANTING BEDS SHALL RECEIVE 3" OF NATURAL COLORED LEAF MULCH.
 - ALL LANDSCAPE PLANTING BEDS SHALL RECEIVE 18" OF PLANTING SOIL.
 - ALL LANDSCAPE PLANTING BEDS SHALL HAVE SHOVEL CUT EDGES, UNLESS OTHERWISE NOTED.
 - ALL STONE MAINTENANCE STRIP AREAS SHALL BE EDGED WITH A METAL EDGING.
 - WHERE SEED MIX 1 IS LABELED SEED AT RATES SPECIFIED IN THE TABLE ABOVE.
 - RESTORE ALL EXISTING TURF ON ADJACENT PROPERTIES DAMAGED DURING CONSTRUCTION.
 - CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION -[HTTP://WWW.CITYOFMADISON.COM/BUSINESS/PW/DOCUMENTS/STDSPCS/2013/PART1.PDF](http://www.cityofmadison.com/business/pw/documents/stdspecs/2013/PART1.PDF)
 - CONTRACTOR SHALL CONTACT CITY FORESTRY AT LEAST ONE WEEK PRIOR TO PLANTING TO SCHEDULE MARKING THE PLANTING SITES, INSPECTING THE NURSERY STOCK, AND REVIEWING PLANTING SPECIFICATIONS WITH THE LANDSCAPER.



PROJECT NAME
HEARTLAND ALLIANCE

PROJECT ADDRESS
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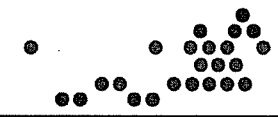
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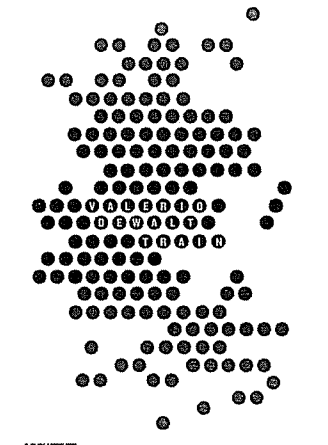
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 SHEET TITLE

Landscape Plan



SHEET NUMBER
C-500



ARCHITECT
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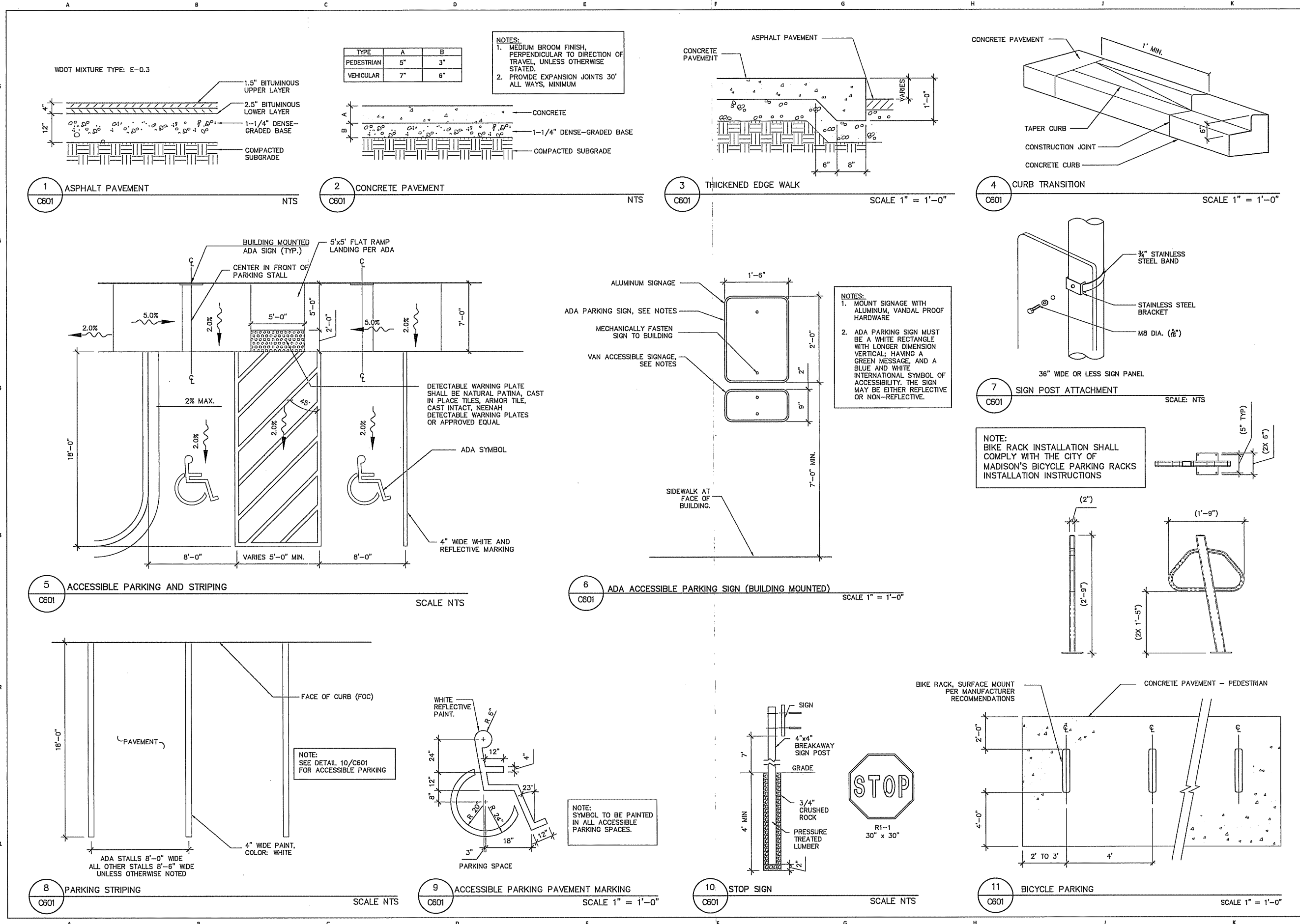
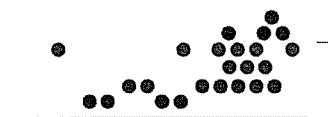
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 CONSULTANT PROJECT NUMBER
 27-1019

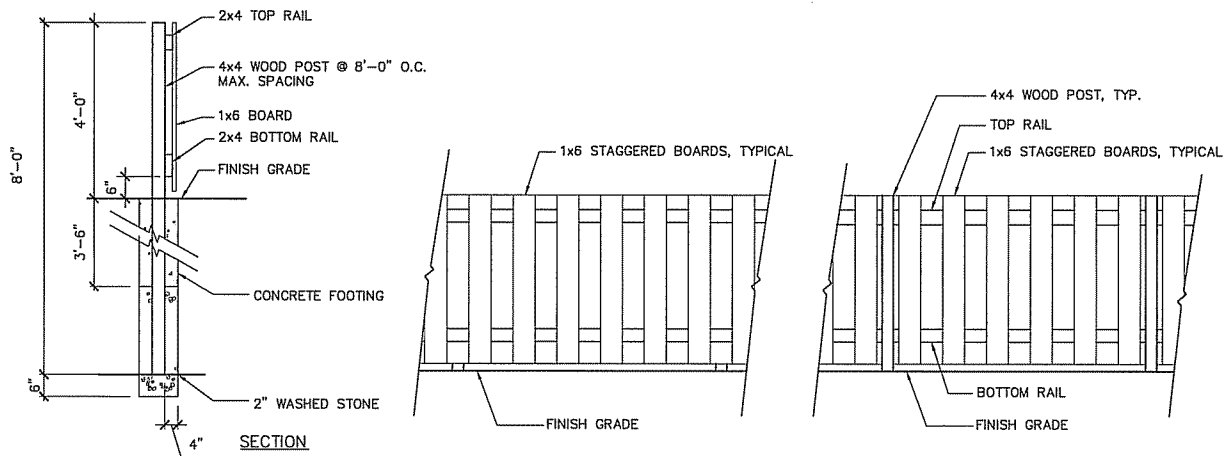
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NO.	REVISION DESCRIPTION	DATE
1	CITY SUBMITTAL	10.07.2015

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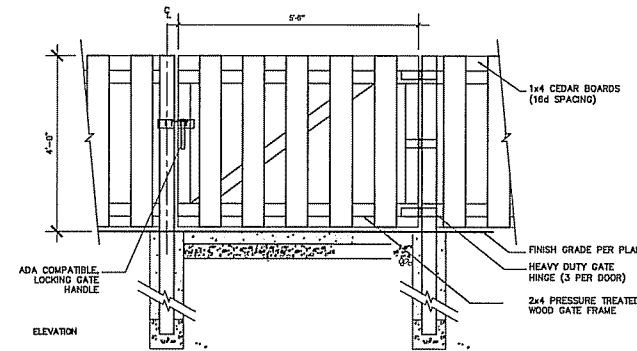
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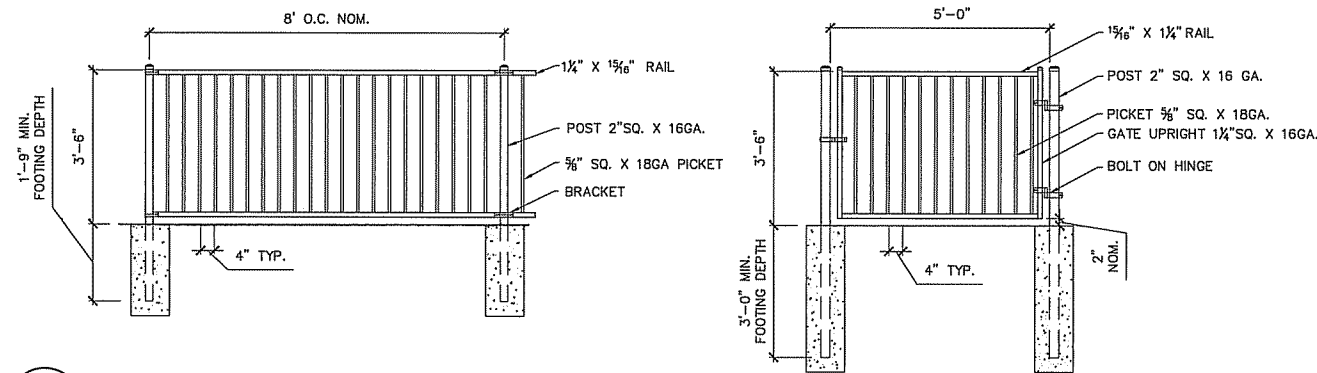
- NOTES:
 1. ALL WOOD TO BE STAINED
 2. ALL FASTENERS TO BE NON-CORROSIVE, CONCEALED AND SHALL BE INCLUDED WITH FENCE
 3. STEP FENCE TO FOLLOW GRADE



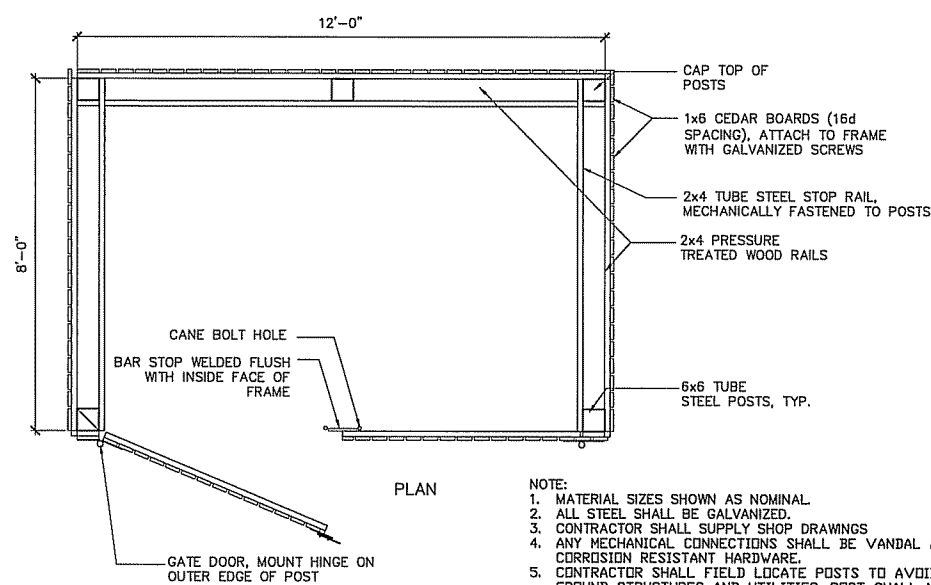
1 4' PRIVACY FENCE
 C602 SCALE 1/2"=1'-0"



2 4' PRIVACY FENCE GATE
 C602 SCALE 1/2"=1'-0"

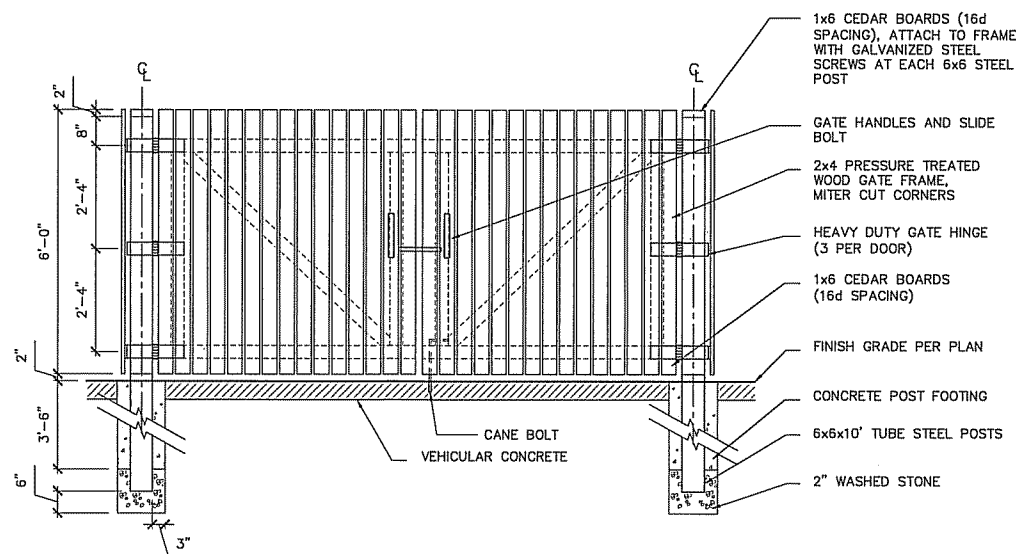


3 42" DECORATIVE FENCE AND GATE
 C602 SCALE 1/2"=1'-0"

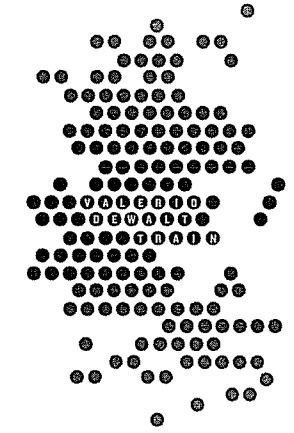


- NOTE:
 1. MATERIAL SIZES SHOWN AS NOMINAL
 2. ALL STEEL SHALL BE GALVANIZED.
 3. CONTRACTOR SHALL SUPPLY SHOP DRAWINGS
 4. ANY MECHANICAL CONNECTIONS SHALL BE VANDAL AND CORROSION RESISTANT HARDWARE.
 5. CONTRACTOR SHALL FIELD LOCATE POSTS TO AVOID BELOW GROUND STRUCTURES AND UTILITIES. POST SHALL NOT BE SPACED GREATER THAN THE MAXIMUM DISTANCE DEFINED IN THE DETAIL OR LESS THAN 3' O.C.

4 DUMPSTER SCREEN FENCE
 C602 SCALE: 1/2" = 1'-0"



PROJECT NAME
HEARTLAND ALLIANCE
 PROJECT ADDRESS
MADISON, WI

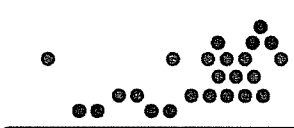


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 CONSULTANT PROJECT NUMBER
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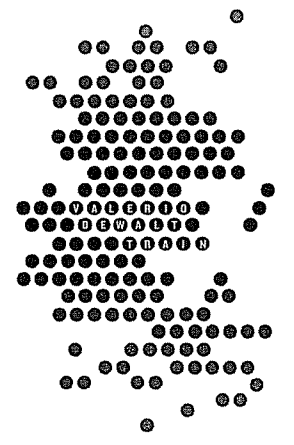
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C-602

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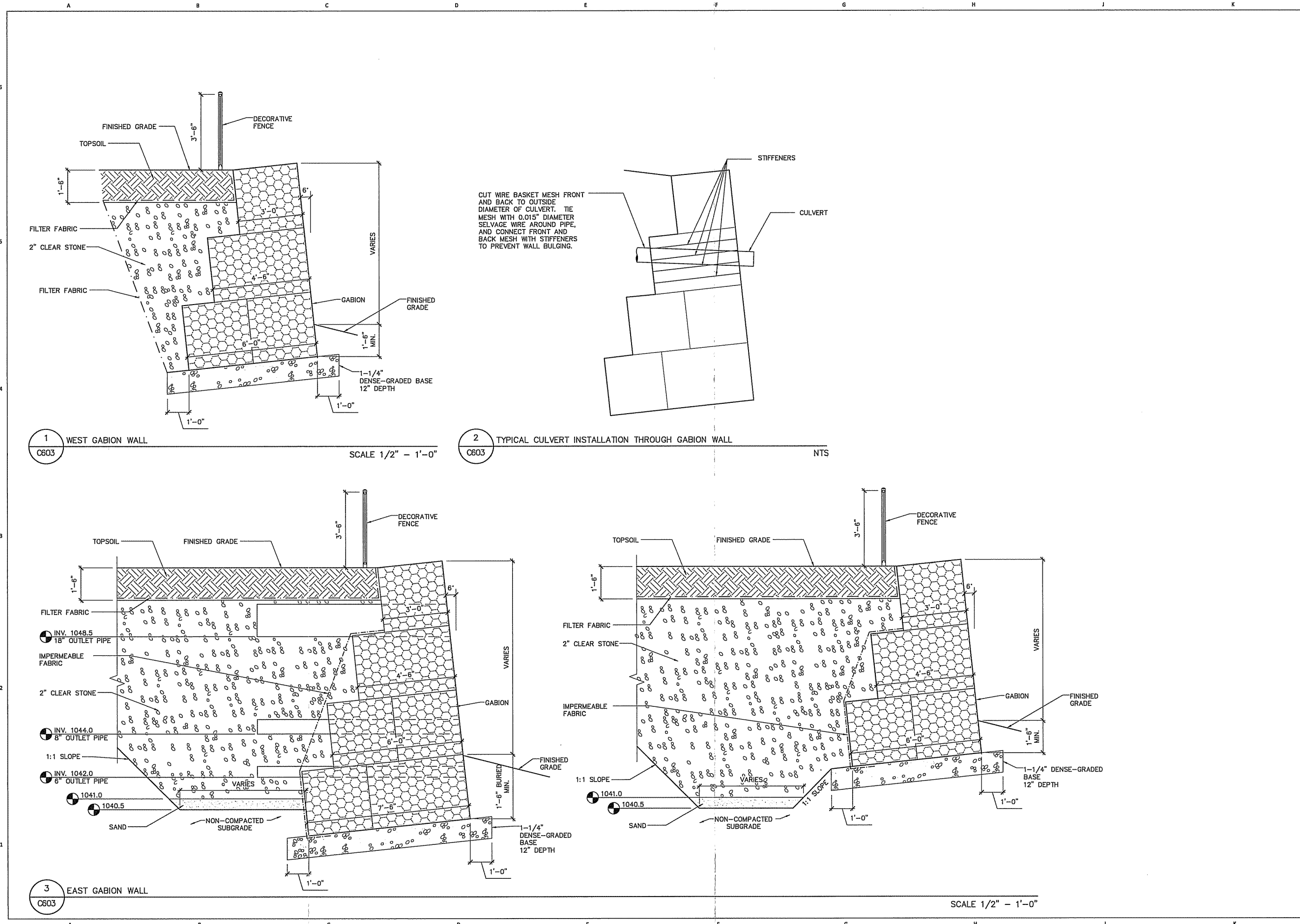
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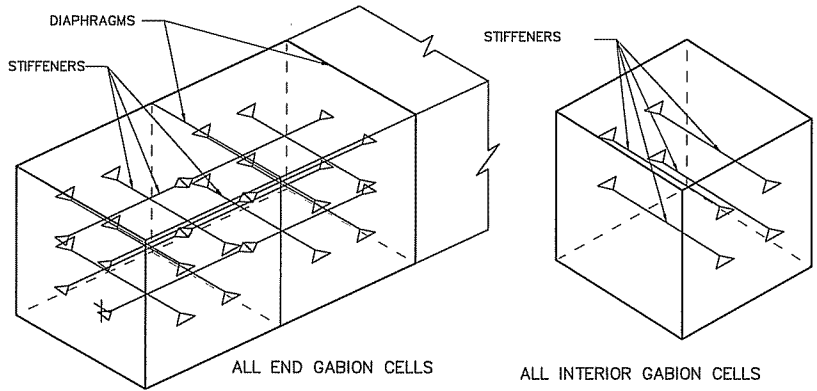
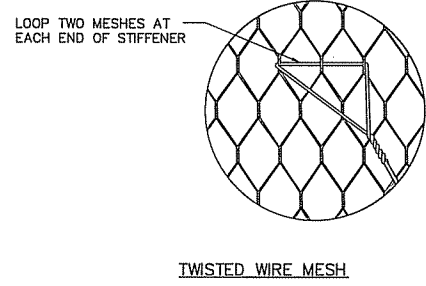
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 SHEET TITLE

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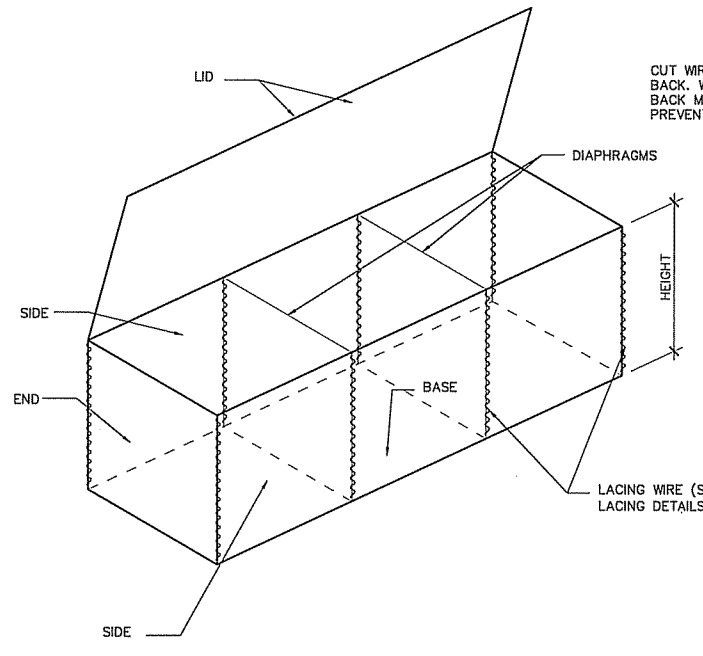
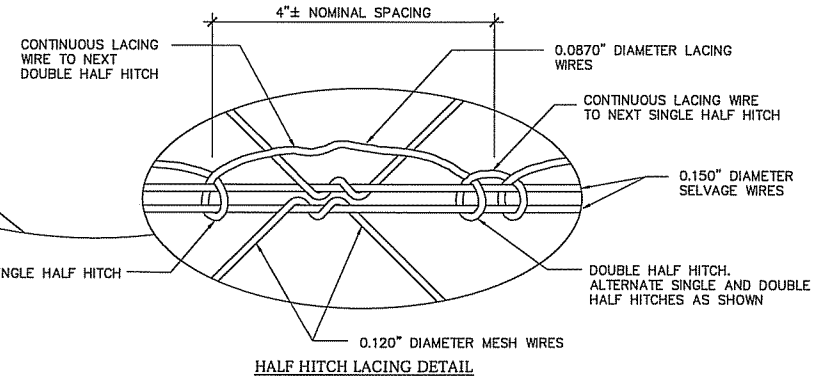
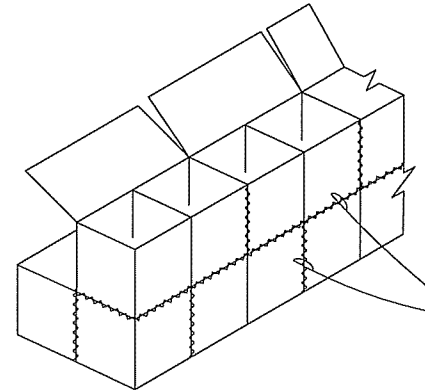
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C-603



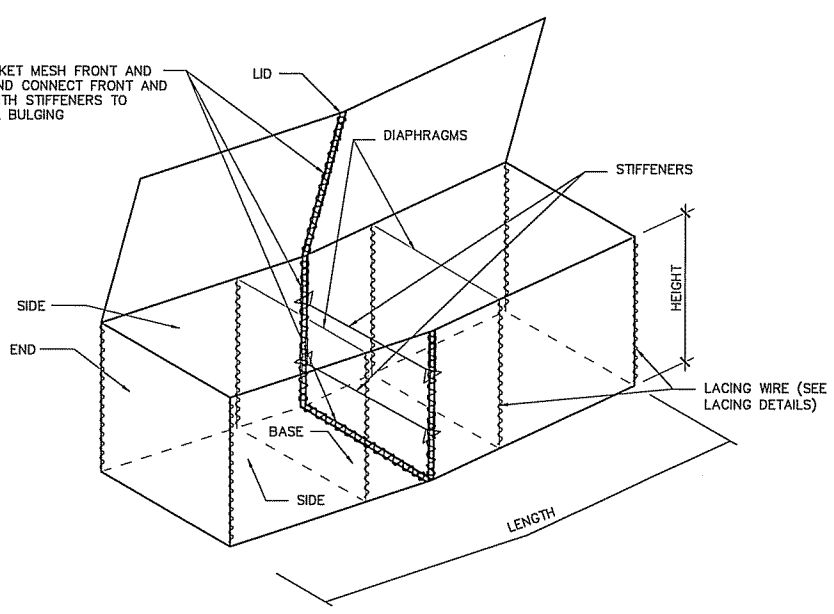
A B C D E F G H J K



TYPICAL STIFFENERS



TYPICAL ASSEMBLED GABION BASKET



ASSEMBLED GABION BASKET IN WALL GRADE TRANSITION

1 GABION BASKET - INSTALLATION
C604

SCALE NTS

2 WALL MOUNTED LIGHT
C604

SCALE NTS

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP68 rated.

SPECIFICATION FEATURES

Construction
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP68 rated.

Optics
Choice of 10 patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 6000K CCT and 3000K CCT. For the ultimate level of spill light control, an optional house side shield accessory can be field or factory installed. The house side shield is designed to seamlessly integrate with the SL2, SL3, SL4 or AFL optics.

Electrical
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP68 rated. Greater than 95% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 530mA and 700mA drive currents.

Mounting
Extruded aluminum arm includes internal ball guides allowing for easy positioning of fixture during assembly. Designed for pole or wall mounting. When mounting two or more luminaires at 90° or 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table on page 3. Round pole top adapter included. For wall mounting, specify wall mount bracket option. 3G vibration rated.

Finish
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

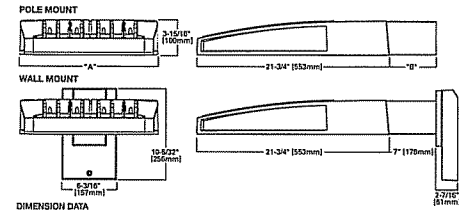
Warranty
Five-year warranty.

McGraw-Edison

Catalog #	Type
Project	Date
Comments	
Prepared by	



DIMENSIONS



DIMENSION DATA

Number of Light Squares	*A* Width	*B* Standard Arm Length	*C* Optional Arm Length	Weight with Arm (lbs.)	EPA with Arm ¹ (Sq. Ft.)
1-4	10-1/2" (267mm)	7" (178mm)	10" (254mm)	33 (15.0kg)	0.06
4-8	21-5/8" (550mm)	7" (178mm)	10" (254mm)	44 (20.0kg)	1.00
7-10	21-5/8" (550mm)	7" (178mm)	12" (305mm)	54 (24.5kg)	1.07
9-10	22-3/4" (579mm)	7" (178mm)	10" (254mm)	63 (28.6kg)	1.12

NOTES: 1 Extended arm option may be required when mounting two or more luminaires per pole at 90° or 120°. Refer to arm mounting requirement table 2. EPA calculated with standard arm length.



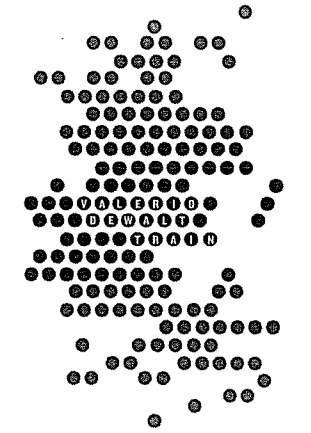
CERTIFICATION DATA
UL/cUL Wet Location Listed
500,000
UL94 V-0 Compliant
3G Vibration Rated
IP68 Rated
DesignLights Consortium™ Qualified

ENERGY DATA
Electronic LED Driver
+0.9 Power Factor
+0.9% Total Harmonic Distortion
120V-277V 60/50Hz
347V & 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)

TDS000205H
2015-10-02 11:48:13

PROJECT NAME
HEARTLAND ALLIANCE

PROJECT ADDRESS
MADISON, WI



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PROJECT TEAM ARCHITECT STAMP

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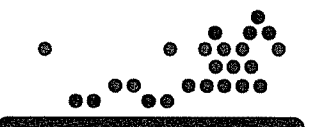
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101 E. BADGER ROAD
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608.255.0800
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CONSULTANT PROJECT NUMBER
27-1019

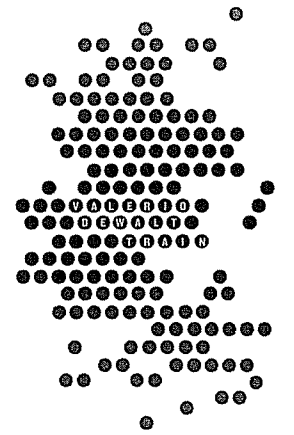
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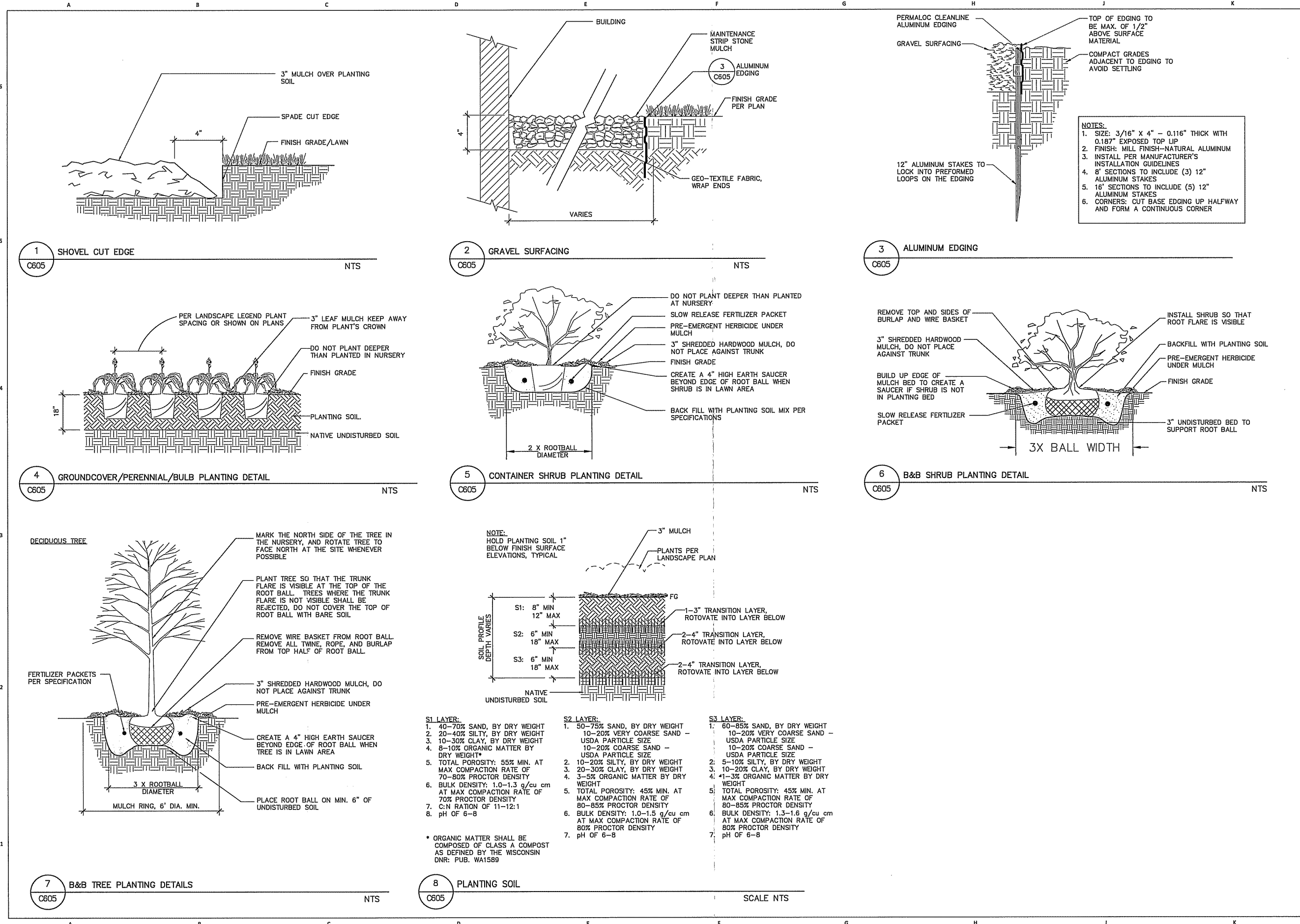
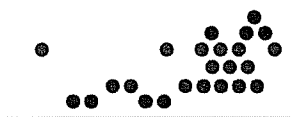
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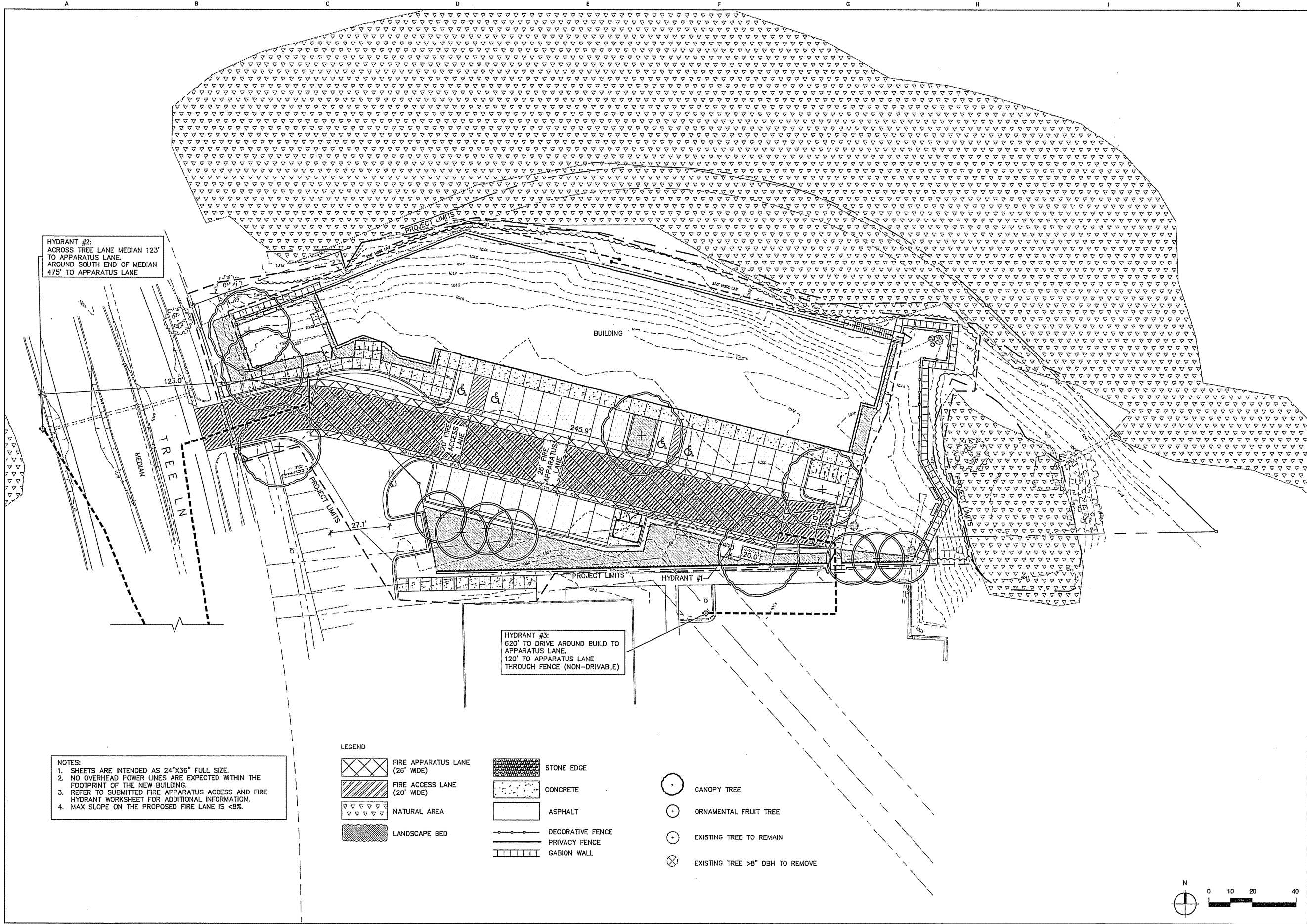
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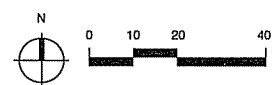


HYDRANT #2:
ACROSS TREE LANE MEDIAN 123'
TO APPARATUS LANE.
AROUND SOUTH END OF MEDIAN
475' TO APPARATUS LANE

HYDRANT #3:
620' TO DRIVE AROUND BUILD TO
APPARATUS LANE.
120' TO APPARATUS LANE
THROUGH FENCE (NON-DRIVABLE)

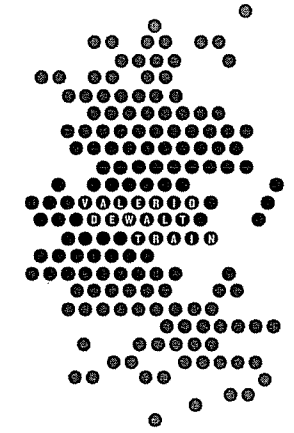
NOTES:
1. SHEETS ARE INTENDED AS 24"X36" FULL SIZE.
2. NO OVERHEAD POWER LINES ARE EXPECTED WITHIN THE FOOTPRINT OF THE NEW BUILDING.
3. REFER TO SUBMITTED FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET FOR ADDITIONAL INFORMATION.
4. MAX SLOPE ON THE PROPOSED FIRE LANE IS <8%.

- LEGEND
- FIRE APPARATUS LANE (26' WIDE)
 - FIRE ACCESS LANE (20' WIDE)
 - NATURAL AREA
 - LANDSCAPE BED
 - STONE EDGE
 - CONCRETE
 - ASPHALT
 - DECORATIVE FENCE
 - PRIVACY FENCE
 - GABION WALL
 - CANOPY TREE
 - ORNAMENTAL FRUIT TREE
 - EXISTING TREE TO REMAIN
 - EXISTING TREE >8" DBH TO REMOVE



PROJECT NAME
HEARTLAND ALLIANCE

PROJECT ADDRESS
MADISON, WI



ARCHITECT
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PROJECT TEAM ARCHITECT STAMP

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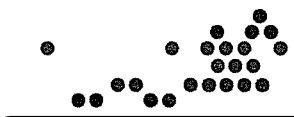
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27-1019

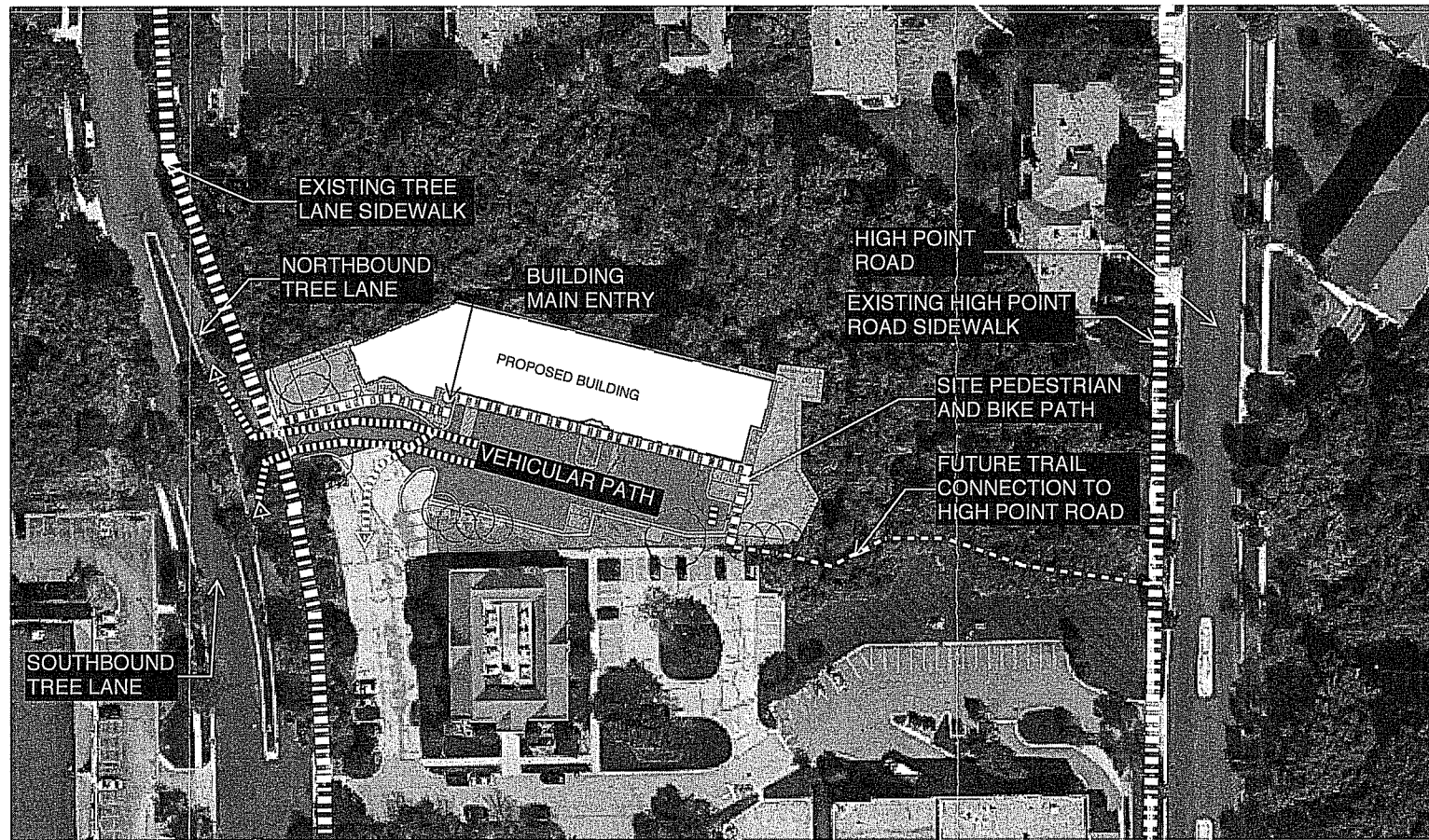
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SHEET TITLE
FIRE ACCESS PLAN



SHEET NUMBER
C-700



SITE CIRCULATION DIAGRAM



**CITY OF MADISON
LANDSCAPE WORKSHEET**
Section 28.142 Madison General Ordinance

Project Location / Address: 7933 Tree Lane
 Name of Project: Madison Supportive Housing
 Owner: Jacob Blue, PLA, Ayres Associates Inc.
 Contact Phone: 608-441-3564 Contact Email: Bluej@AyresAssociates.com

** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. **

Accessibility

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area: 15,346 sf
 Total landscape points required: 256

- (b) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area: _____
 Five (5) acres = 217,800 square feet
 First five (5) developed acres = 3,630 points
 Remainder of developed area: _____
 Total landscape points required: _____

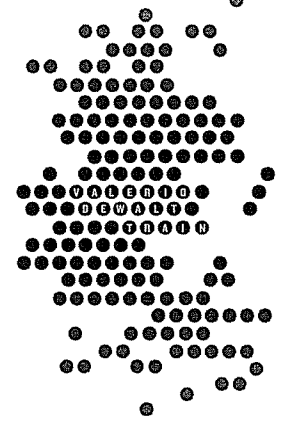
- (c) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area: _____
 Total landscape points required: _____

10/2013

PROJECT NAME
HEARTLAND ALLIANCE

PROJECT ADDRESS
MADISON, WI



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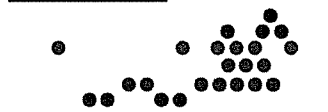
PROJECT TEAM ARCHITECT STAMP

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 SHEET TITLE



SHEET NUMBER

CITY OF MADISON FIRE DEPARTMENT
 Fire Prevention Division, 325 W. Johnson St., Madison, WI 53703 • Phone: 608-266-4184 • FAX: 608-267-1153

Project Address: 7933 Tree Lane, Madison, WI 53714
 Contact Name & Phone #: Jacob Blue, PLA Ayres Associates Inc 608-441-3564

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> N/A	<input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13 1/2-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? f) Is a roll-able curb used as part of the fire lane? g) Is a detail of the signage included on the site plan? h) Is a detail of the curb included on the site plan? i) Is part of a sidewalk used as part of the required fire lane? j) Is the sidewalk constructed to withstand 85,000-lbs?	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> N/A	<input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> N/A	<input type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, is the area for turning around fire apparatus provided by: a) A cul-de-sac with a minimum inside diameter of 70-feet? b) A 45-degree vye with a minimum length of 60-feet per side? c) A 90-degree tee with a minimum length of 60-feet per side?	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> N/A	<input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 237? If yes, see IFC 2306.6 for further requirements.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> N/A	<input type="checkbox"/> N/A
6. Is any part of the building greater than 30-feet above the lowest level of fire apparatus access? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> N/A	<input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus. a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3 1/2-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1/2-foot, within 5-feet of a fire hydrant? Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> N/A	<input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.20 and IFC 2006 Edition Chapters 5 and Appendix D; please see the codes for further information.

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

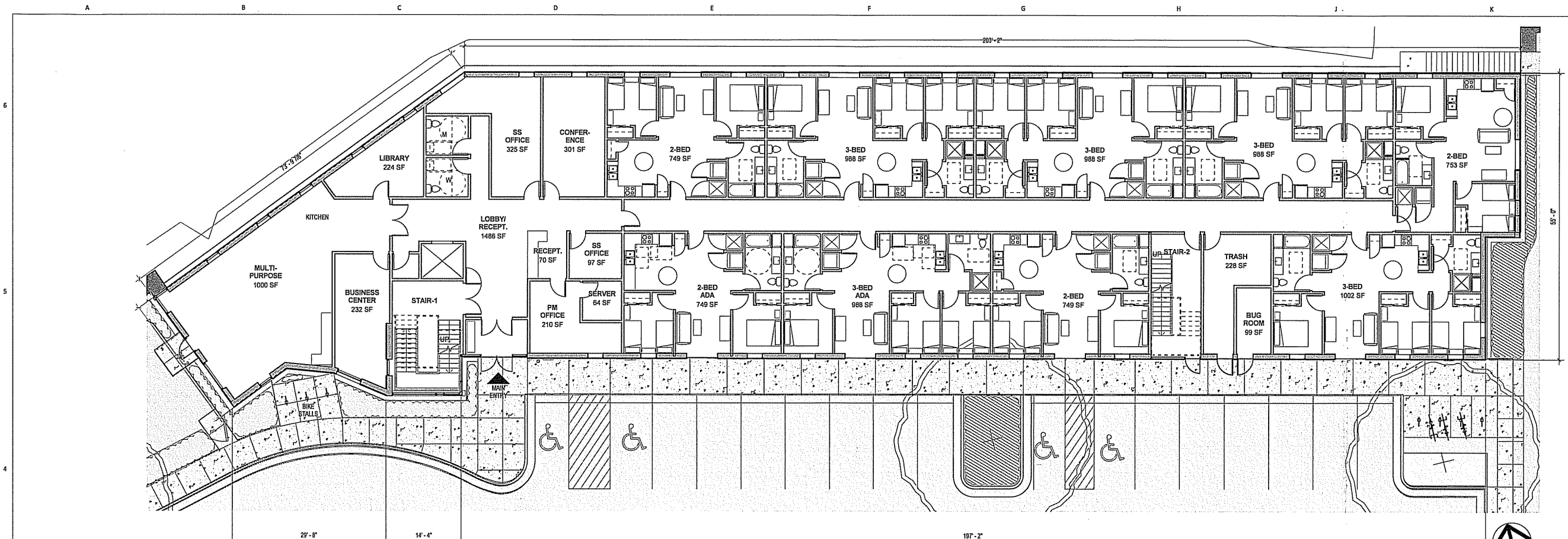
Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35			6	210
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15			7	105
Upright evergreen shrub (i.e. arbutus)	3-4 feet tall	10				
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			14	42
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4				
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2				
Ornamental/ decorative fencing or wall	n/a	4 per 10 linear ft.			458	183
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals						540

Total Number of Points Provided: 540

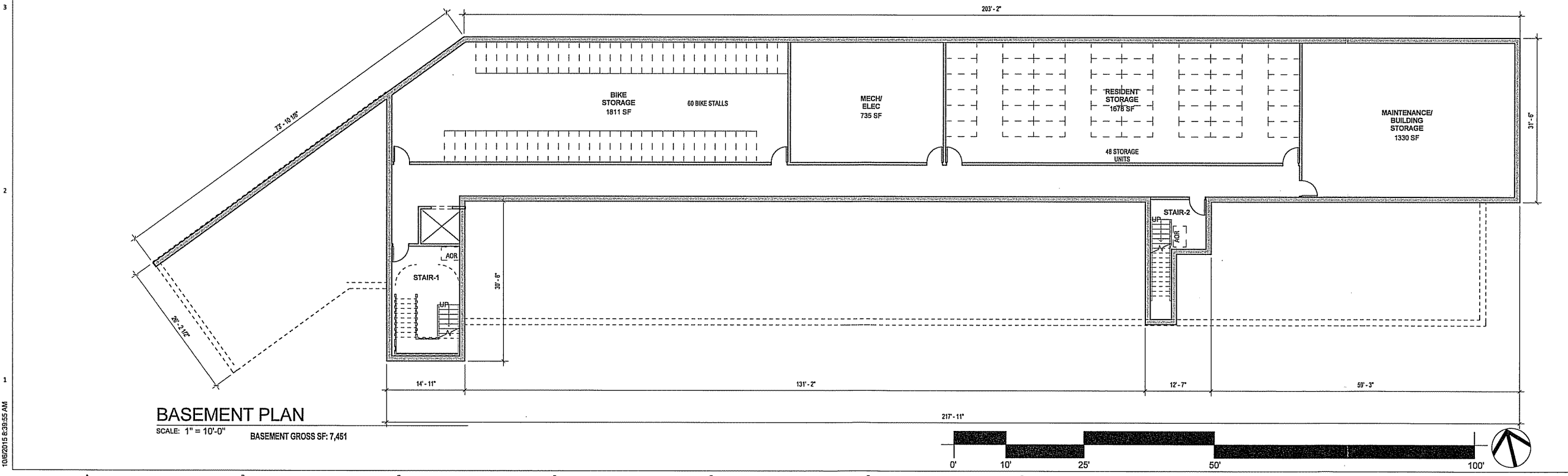
* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as noted in the current American Standard for Nursery Stock.

10/2013

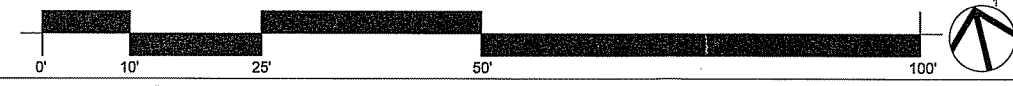
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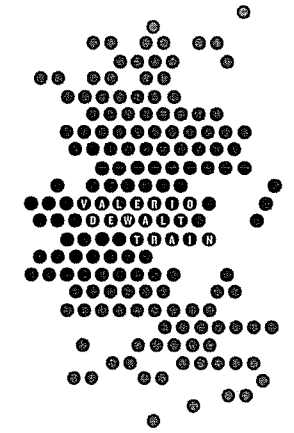
FIRST FLOOR PLAN
 SCALE: 1" = 10'-0"
 FIRST FLOOR GROSS SF: 13,208



BASEMENT PLAN
 SCALE: 1" = 10'-0"
 BASEMENT GROSS SF: 7,451



PROJECT NAME
HEARTLAND ALLIANCE
 PROJECT ADDRESS
MADISON, WI



ARCHITECT
 VALERIO DEWALT TRAIN ASSOCIATES, INC.
 500 N. DEARBORN, 9TH FLOOR
 CHICAGO, ILLINOIS 60654
 312.250.7300
 www.bulldordie.com
 PROJECT TEAM ARCHITECT STAMP

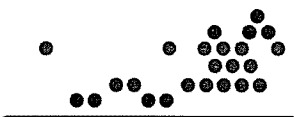
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 15010.00
 CONSULTANT

CONSULTANT PROJECT NUMBER

ISSUE		
NO.	REVISION DESCRIPTION	DATE
1	CITY SUBMITTAL	10.07.2015

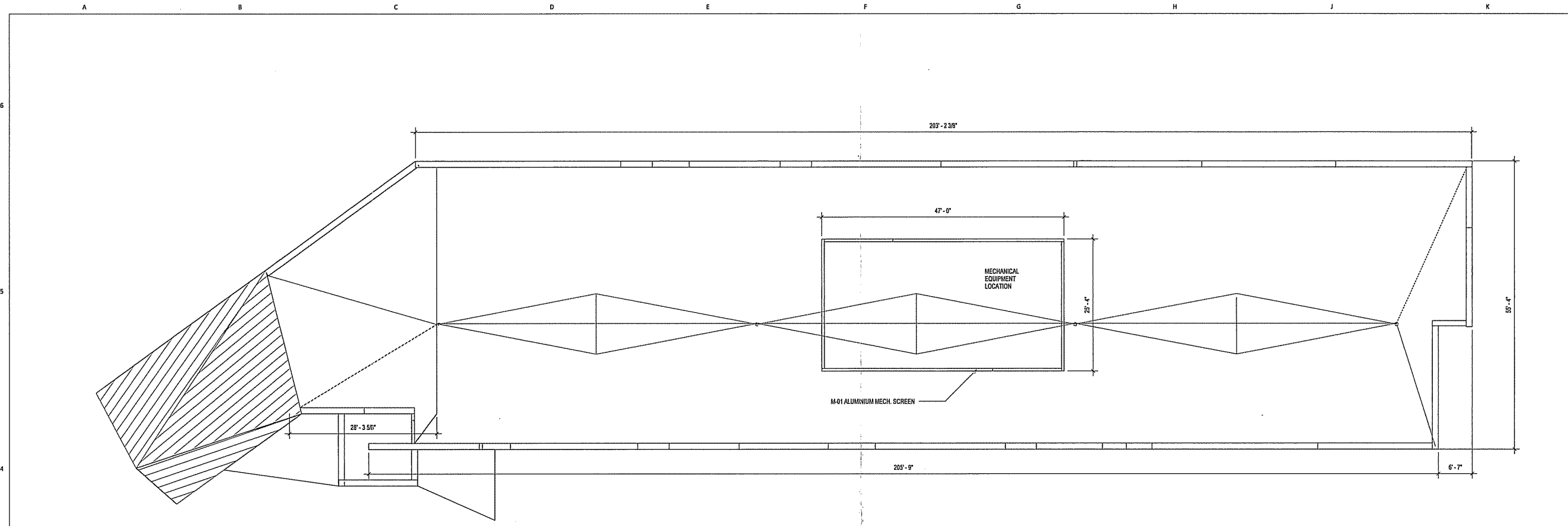
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 SHEET TITLE

FLOOR PLANS

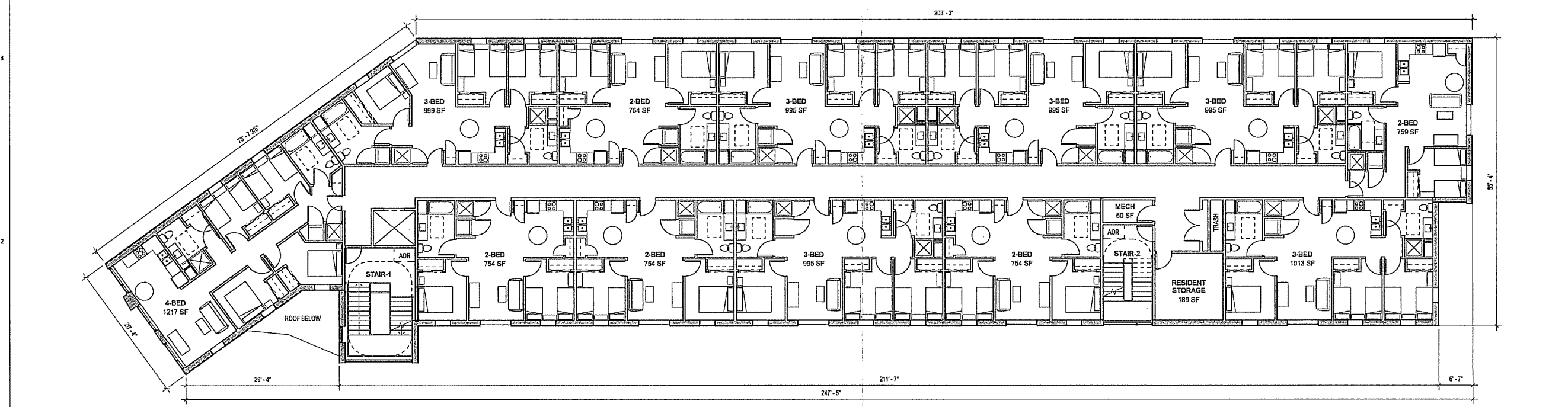


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A-33

10/02/2015 8:39:55 AM



ROOF PLAN
SCALE: 1" = 10'-0"

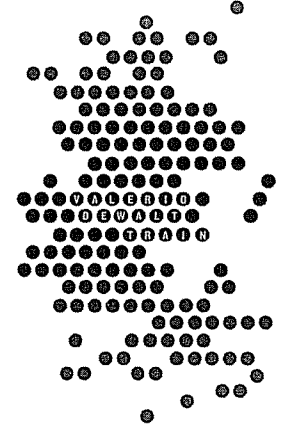


TYPICAL RESIDENTIAL FLOOR PLAN
SCALE: 1" = 10'-0"
2ND, 3RD, 4TH FLOOR GROSS SF: 13,169



PROJECT NAME
HEARTLAND ALLIANCE

PROJECT ADDRESS
MADISON, WI



ARCHITECT
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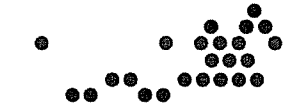
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CONSULTANT

CONSULTANT PROJECT NUMBER

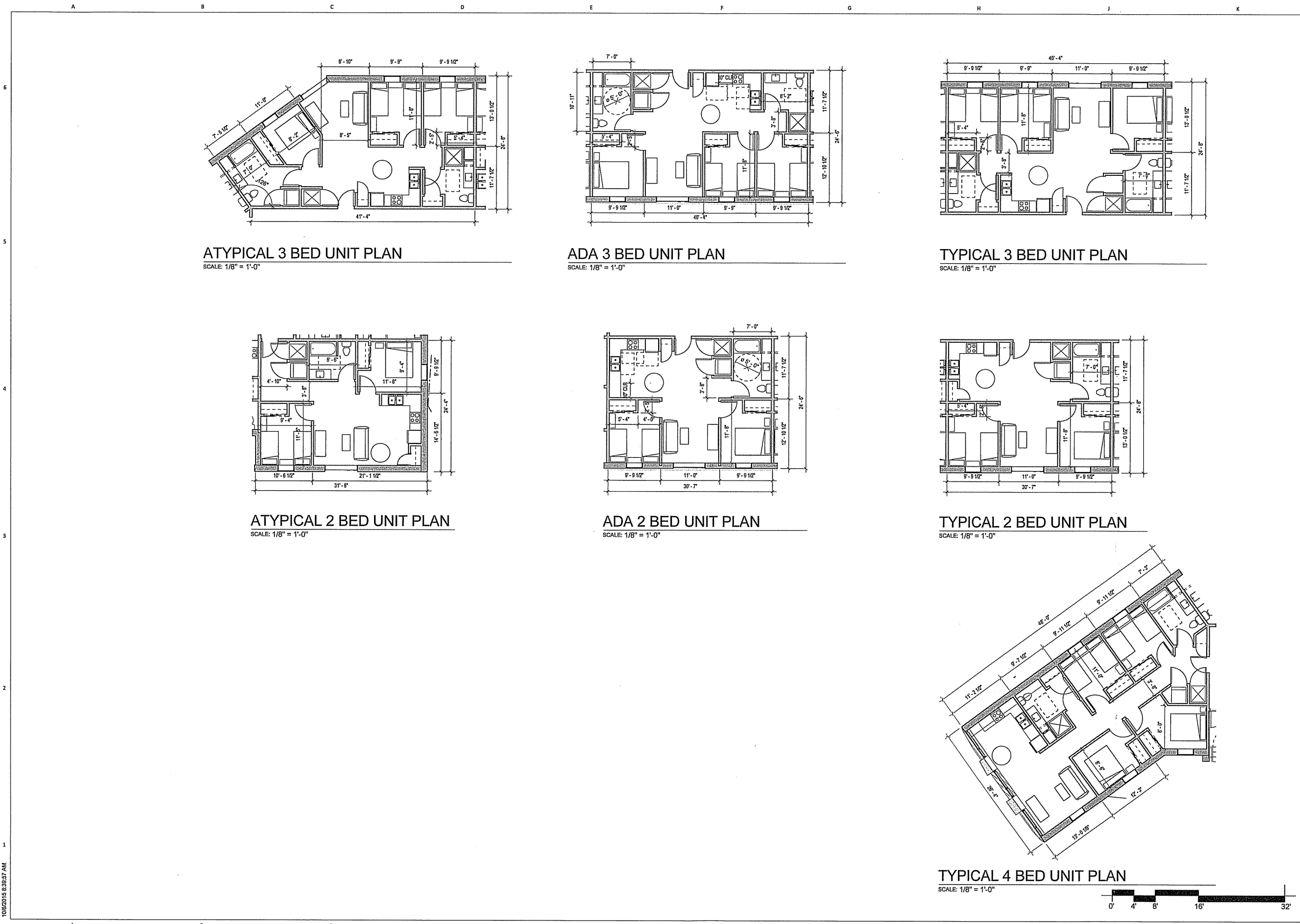
ISSUE		
NO.	REVISION DESCRIPTION	DATE
1	CITY SUBMITTAL	10.07.2015

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TYPICAL RESIDENTIAL FLOOR PLAN



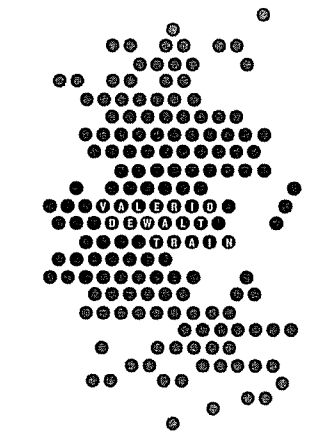
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10/22/2015 8:35:55 AM



PROJECT NAME
HEARTLAND ALLIANCE

PROJECT ADDRESS
MADISON, WI



ARCHITECT
 VALERIO DEWALT TRAIN ASSOCIATES, INC.
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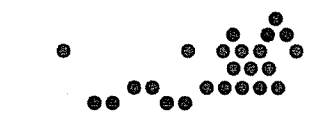
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CONSULTANT

CONSULTANT PROJECT NUMBER

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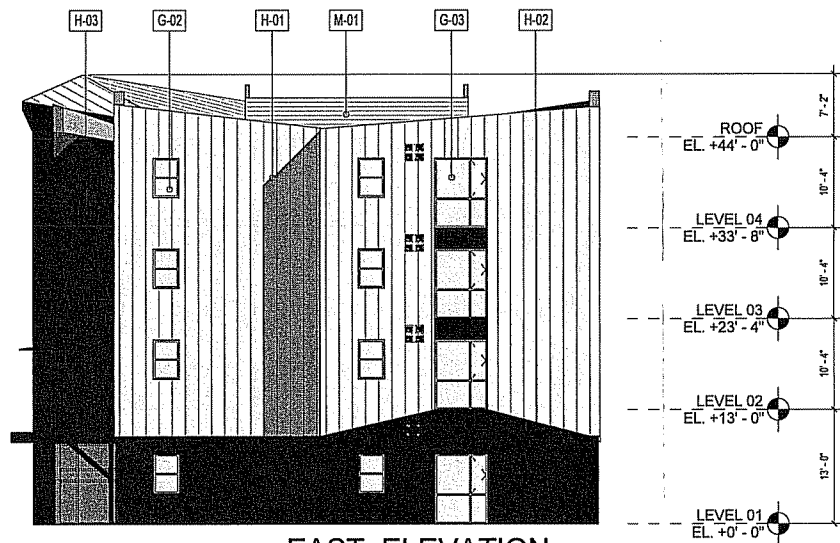
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 SHEET TITLE
ENLARGED UNIT PLANS



SHEET NUMBER
A-35

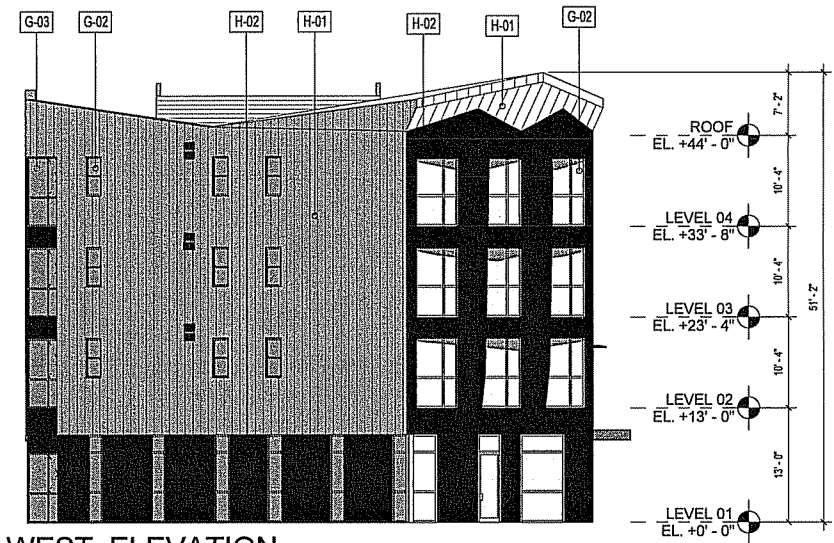
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EXTERIOR FINISH SCHEDULE	
MARK	DESCRIPTION
H-01	HARDIPANEL WITH BATTENS
H-02	HARDPLANK SIDING
H-03	COLOR TRESPA PANEL
G-01	ALUMINUM WINDOW WALL / ALUMINUM STOREFRONT
G-02	OPERABLE VINYL WINDOWS - TRIPLE GLAZED
G-03	OPERABLE WINDOWS - TRIPLE GLAZED
C-01	CONCRETE FOUNDATION WALL
M-01	ALUMINUM MECHANICAL SCREEN



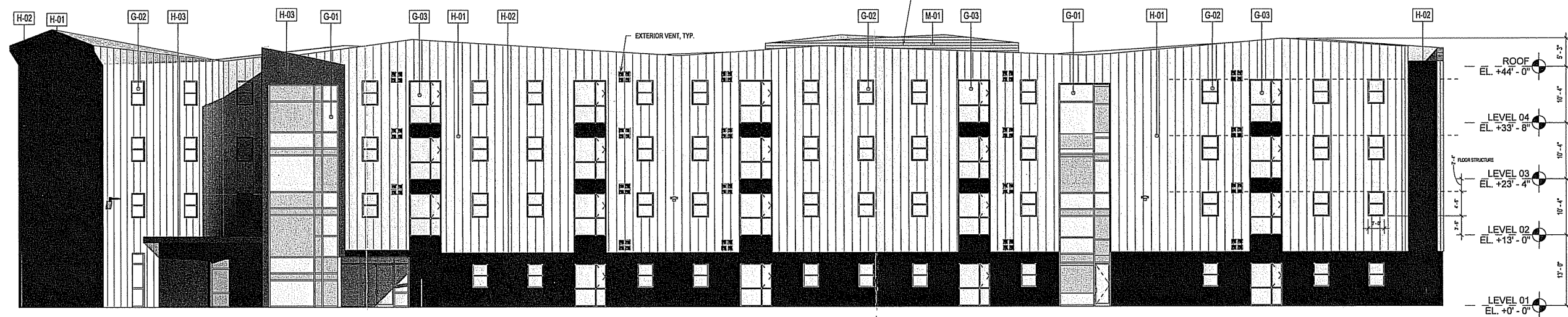
EAST ELEVATION

SCALE: 1" = 10'-0"



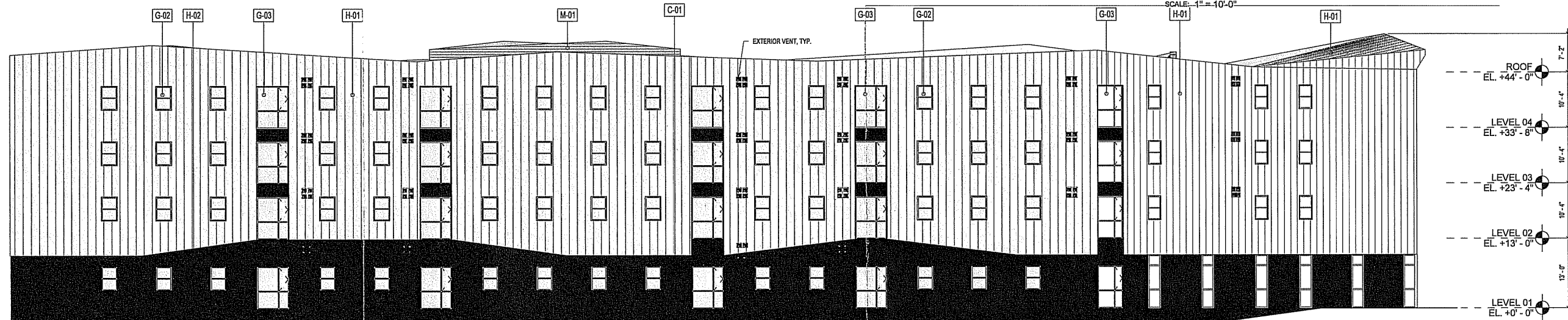
WEST ELEVATION

SCALE: 1" = 10'-0"



SOUTH ELEVATION

SCALE: 1" = 10'-0"



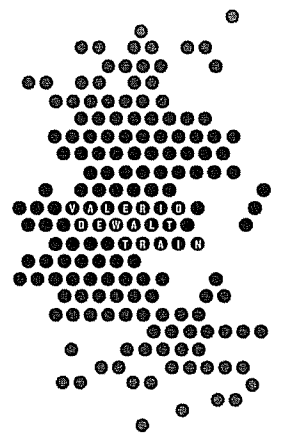
NORTH ELEVATION

SCALE: 1" = 10'-0"



PROJECT NAME
HEARTLAND ALLIANCE

PROJECT ADDRESS
MADISON, WI



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CHICAGO, ILLINOIS 60654
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www.bulldorlie.com

PROJECT TEAM ARCHITECT STAMP

VDTA PROJECT NUMBER
15010.00

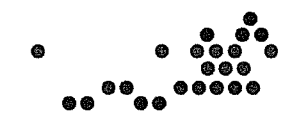
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SHEET TITLE
ELEVATIONS



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A-36

10/6/2015 9:51:28 AM