

JLA PROJECT NUMBER: W22-0106



1010 East Washington Avenue,
Suite 202
Madison, WI 53703
608 / 242 1550

www.graef-usa.com

702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

CITY OF MADISON LAND-USE & URBAN DESIGN COMMISSION SUBMITTAL

LEGEND

	- ASPHALT PAVEMENT REMOVAL
	- CONCRETE PAVEMENT REMOVAL
	- GRAVEL PAVEMENT REMOVAL
	- GRASS REMOVAL
	- BUILDING REMOVAL
	- SAWCUT
	- CURB AND GUTTER/WALL REMOVAL
	- TREE AND BOLLARD REMOVAL
	- UTILITY STRUCTURE REMOVAL
	- STONE CONSTRUCTION ENTRANCE
	- EROSION MATTING
	- SILT FENCE
	- RIP-RAP
	- INLET PROTECTION
	- EROSION BALES

GENERAL NOTES

- THE BASE SURVEY WAS PREPARED BY VIERBICHER IN 2019. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.
- REFER TO SHEET C100 FOR BENCHMARKS, DATUM, AND TOPOGRAPHIC ELEMENTS.
- CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

REMOVAL NOTES

- EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AND DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LINES NOTED FOR ABANDONMENT OR REMOVAL. EXISTING UTILITIES THAT ARE TO BE ABANDONED OR REMOVED SHALL BE RESPECTIVELY ABANDONED OR REMOVED TO THE LOCATIONS INDICATED ON THIS PLAN. ALL UTILITY STRUCTURES LOCATED ALONG REMOVED UTILITY LINES SHALL BE REMOVED IN THEIR ENTIRETY.
- ASPHALT PAVEMENT NOTED FOR REMOVAL SHALL BE SAW CUT TO FULL DEPTH PRIOR TO REMOVAL.
- CONCRETE CURB AND GUTTER AND SIDEWALK NOTED FOR REMOVAL SHALL BE REMOVED AT THE NEAREST JOINT.
- ITEMS SCHEDULED FOR REMOVAL AND EXCESS EXCAVATED MATERIALS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ANY APPLICABLE REGULATIONS.
- CONTRACTOR IS RESPONSIBLE FOR SECURING THE JOB SITE TO PROTECT THE PUBLIC.
- CONTRACTOR SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL CODES, RULES AND REGULATIONS APPLICABLE TO DEMOLITION WORK INCLUDING BUT NOT LIMITED TO EROSION CONTROL, AIR POLLUTION, NOISE POLLUTION, AND WASTE DISPOSAL.

- CONTRACTOR SHALL REPLACE PAVEMENT, CURB AND GUTTER, TREES, LAWN AREA, ANY ABOVE GROUND APPURTENANCES, OR ANY OTHER ITEM THAT WAS DAMAGED AS A RESULT OF CONSTRUCTION RELATED ACTIVITIES AS DEEMED BY OWNER'S REPRESENTATIVE THAT WAS NOT CALLED OUT FOR REMOVAL OR REPLACEMENT. CONTRACTOR SHALL REPLACE/REPAIR DAMAGED ITEM TO THE SATISFACTION OF OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
- TREE PROTECTION FENCING LOCATIONS SHOWN ARE APPROXIMATE. ALL EXISTING TREES OUTSIDE OF GRADING LIMITS ARE INTENDED TO REMAIN. FINAL LOCATIONS OF FENCING SHALL BE DETERMINED IN THE FIELD AND AS IDENTIFIED ON CONSTRUCTION DETAILS. ADDITIONAL FENCING MAY BE REQUIRED. COORDINATE WITH OWNER'S REPRESENTATIVE. TREE PROTECTION FENCE SHALL REMAIN IN PLACE THROUGHOUT CONSTRUCTION.

Existing Street/Site Tree Inventory

Tree Location	Approx. Size	Species	Removal (Y/N)
Public Street Tree			
Tree 1	11 inch	Ash Tree	Yes, due to construction processes
Tree 2	6 inch	Maple	Yes, due to construction processes
Tree 3	14 inch	Elm 'hybrid'	Yes, due to construction processes
Tree 4	2.5 inch	Honeylocust	Yes, due to construction processes
Tree 5	8 inch	Linden	Yes, due to construction processes
Tree 6	8 inch	Pear Tree	Yes, due to construction processes
Private Trees			
Tree 7	7 inch	Ironwood (Ornamental)	Yes, due to construction processes
Tree 8	10 inch	Ash Tree	Yes, due to construction processes
Tree 9	4 inch	Crabapple (Ornamental)	Yes, due to construction processes
Tree 10	13 inch	Crabapple (Ornamental)	Yes, due to construction processes

NOTICE:
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
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DATE OF ISSUANCE: NOVEMBER 27, 2023

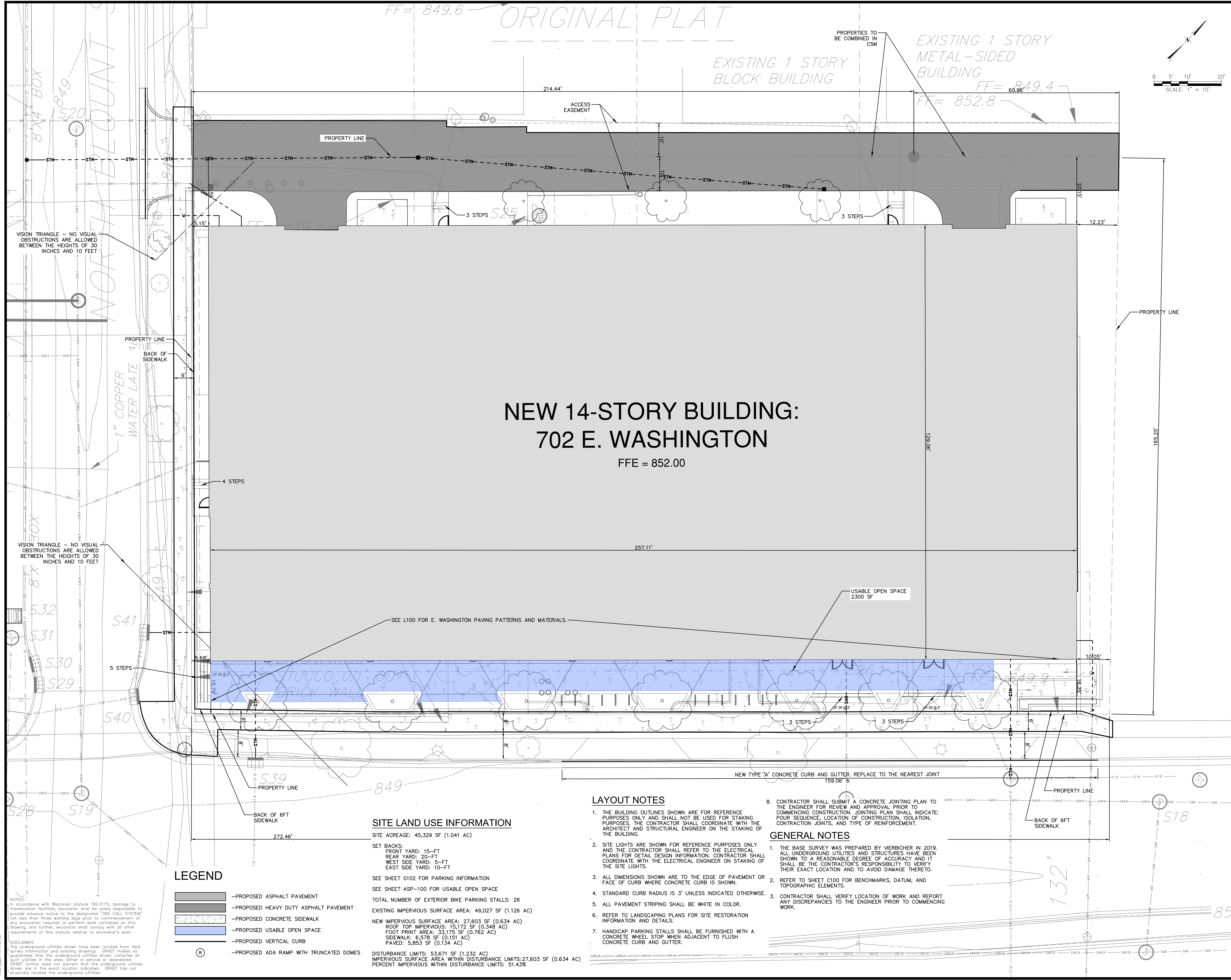
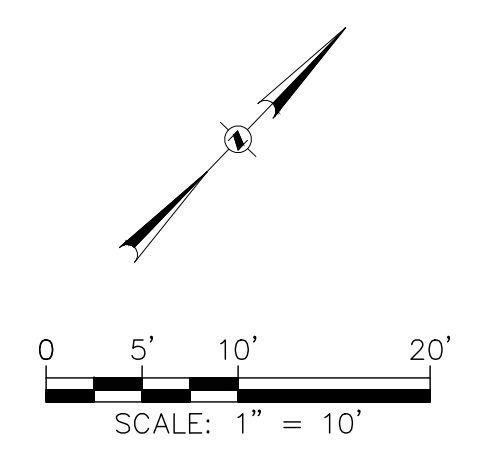
REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE: **DEMOLITION & EROSION CONTROL**

SHEET NUMBER: **C200**

FF= 849.6 ORIGINAL PLAT



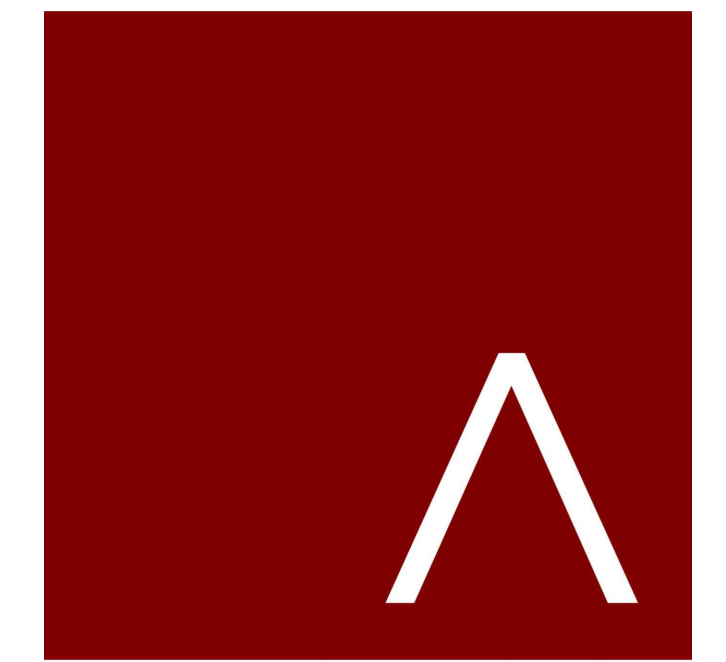
**NEW 14-STORY BUILDING:
702 E. WASHINGTON**
FFE = 852.00

SITE LAND USE INFORMATION
 SITE ACREAGE: 45,329 SF (1.041 AC)
 SET BACKS:
 FRONT YARD: 15-FT
 REAR YARD: 20-FT
 WEST SIDE YARD: 5-FT
 EAST SIDE YARD: 10-FT
 SEE SHEET G102 FOR PARKING INFORMATION
 SEE SHEET ASP-100 FOR USABLE OPEN SPACE
 TOTAL NUMBER OF EXTERIOR BIKE PARKING STALLS: 26
 EXISTING IMPERVIOUS SURFACE AREA: 49,027 SF (1.126 AC)
 NEW IMPERVIOUS SURFACE AREA: 27,603 SF (0.634 AC)
 ROOF TOP IMPERVIOUS: 15,172 SF (0.348 AC)
 FOOT PRINT AREA: 33,175 SF (0.762 AC)
 SIDEWALK: 6,578 SF (0.151 AC)
 PAVED: 5,853 SF (0.134 AC)
 DISTURBANCE LIMITS: 53,671 SF (1.232 AC)
 IMPERVIOUS SURFACE AREA WITHIN DISTURBANCE LIMITS: 27,603 SF (0.634 AC)
 PERCENT IMPERVIOUS WITHIN DISTURBANCE LIMITS: 51.43%

- LEGEND**
- PROPOSED ASPHALT PAVEMENT
 - PROPOSED HEAVY DUTY ASPHALT PAVEMENT
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED USABLE OPEN SPACE
 - PROPOSED VERTICAL CURB
 - PROPOSED ADA RAMP WITH TRUNCATED DOMES

- LAYOUT NOTES**
- THE BUILDING OUTLINES SHOWN ARE FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE USED FOR STAKING PURPOSES. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND STRUCTURAL ENGINEER ON THE STAKING OF THE BUILDING.
 - SITE LIGHTS ARE SHOWN FOR REFERENCE PURPOSES ONLY AND THE CONTRACTOR SHALL REFER TO THE ELECTRICAL PLANS FOR DETAIL DESIGN INFORMATION. CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL ENGINEER ON STAKING OF THE SITE LIGHTS.
 - ALL DIMENSIONS SHOWN ARE TO THE EDGE OF PAVEMENT OR FACE OF CURB WHERE CONCRETE CURB IS SHOWN.
 - STANDARD CURB RADIUS IS 3' UNLESS INDICATED OTHERWISE.
 - ALL PAVEMENT STRIPING SHALL BE WHITE IN COLOR.
 - REFER TO LANDSCAPING PLANS FOR SITE RESTORATION INFORMATION AND DETAILS.
 - HANDICAP PARKING STALLS SHALL BE FURNISHED WITH A CONCRETE WHEEL STOP WHEN ADJACENT TO FLUSH CONCRETE CURB AND GUTTER.

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SHEET TITLE:
SITE LAYOUT PLAN

SHEET NUMBER:
C300

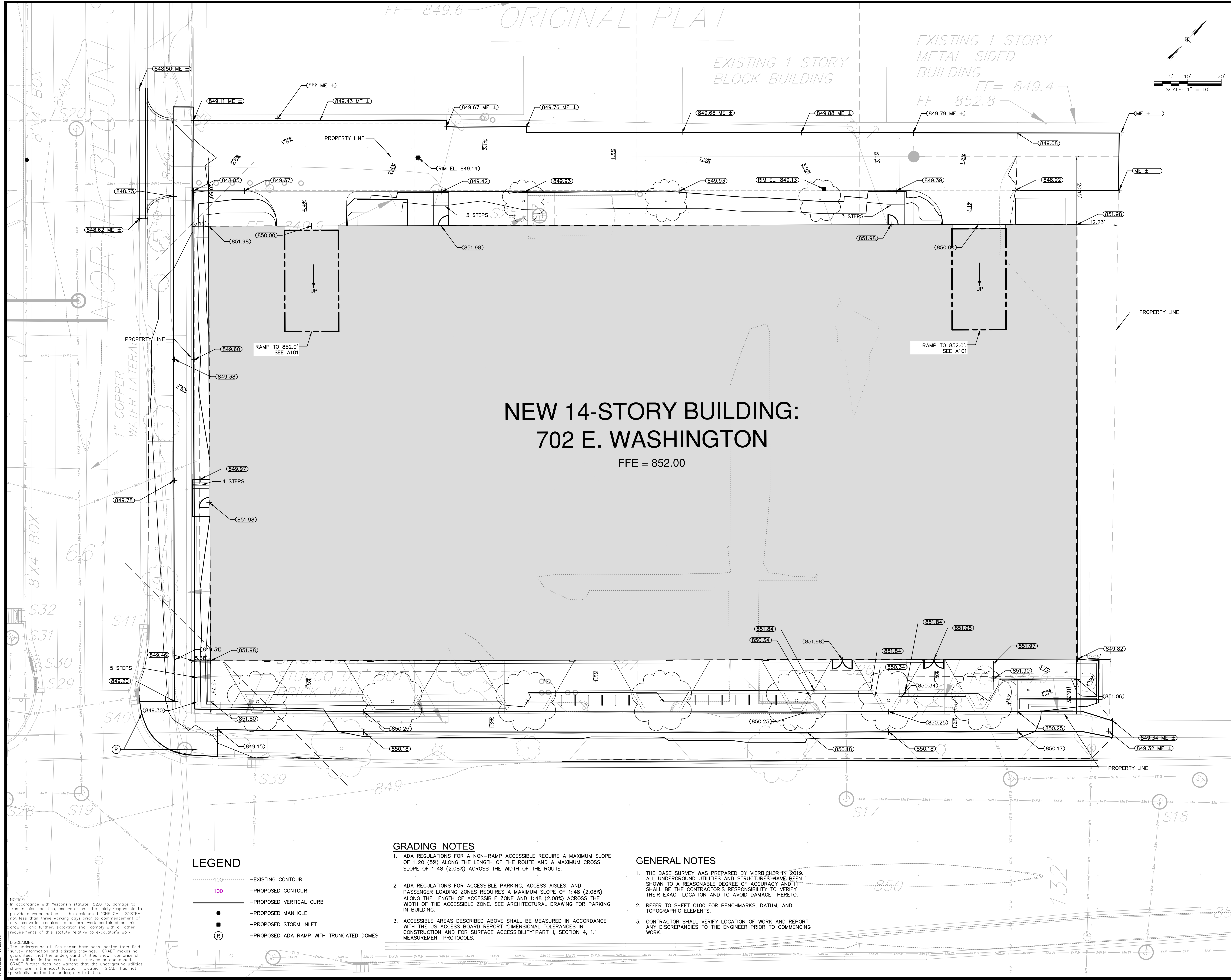
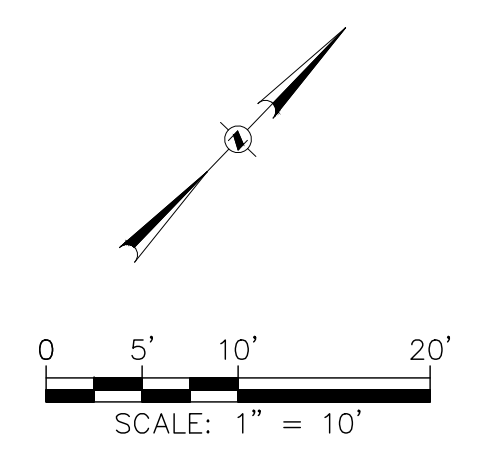
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FF= 849.6 ORIGINAL PLAT

EXISTING 1 STORY BLOCK BUILDING

EXISTING 1 STORY METAL-SIDED BUILDING

FF= 849.4
FF= 852.8



NEW 14-STORY BUILDING: 702 E. WASHINGTON

FFE = 852.00

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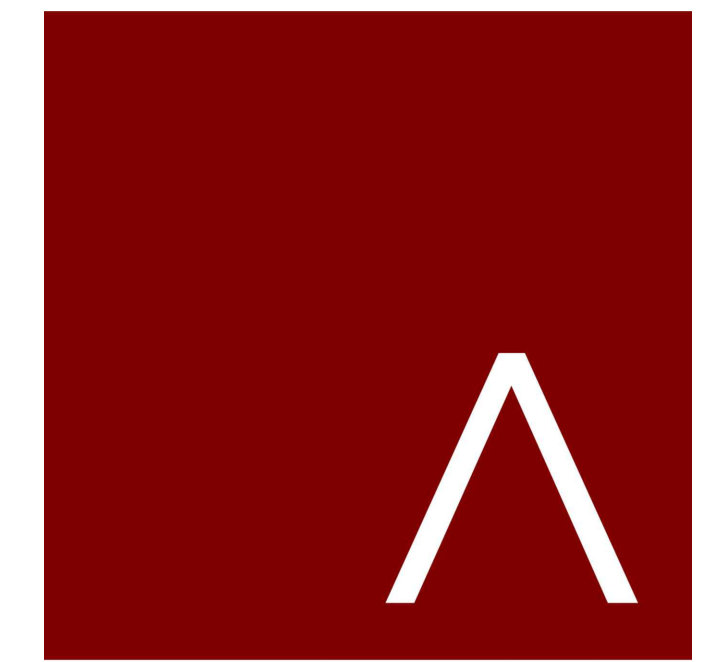
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LEGEND

---100---	EXISTING CONTOUR
-100-	PROPOSED CONTOUR
—	PROPOSED VERTICAL CURB
●	PROPOSED MANHOLE
■	PROPOSED STORM INLET
⊙	PROPOSED ADA RAMP WITH TRUNCATED DOMES

- ### GRADING NOTES
1. ADA REGULATIONS FOR A NON-RAMP ACCESSIBLE REQUIRE A MAXIMUM SLOPE OF 1:20 (5%) ALONG THE LENGTH OF THE ROUTE AND A MAXIMUM CROSS SLOPE OF 1:48 (2.08%) ACROSS THE WIDTH OF THE ROUTE.
 2. ADA REGULATIONS FOR ACCESSIBLE PARKING, ACCESS AISLES, AND PASSENGER LOADING ZONES REQUIRES A MAXIMUM SLOPE OF 1:48 (2.08%) ALONG THE LENGTH OF ACCESSIBLE ZONE AND 1:48 (2.08%) ACROSS THE WIDTH OF THE ACCESSIBLE ZONE. SEE ARCHITECTURAL DRAWING FOR PARKING IN BUILDING.
 3. ACCESSIBLE AREAS DESCRIBED ABOVE SHALL BE MEASURED IN ACCORDANCE WITH THE US ACCESS BOARD REPORT "DIMENSIONAL TOLERANCES IN CONSTRUCTION AND FOR SURFACE ACCESSIBILITY" PART II, SECTION 4, 1.1 MEASUREMENT PROTOCOLS.

- ### GENERAL NOTES
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SHEET TITLE
GRADING PLAN

SHEET NUMBER
C400

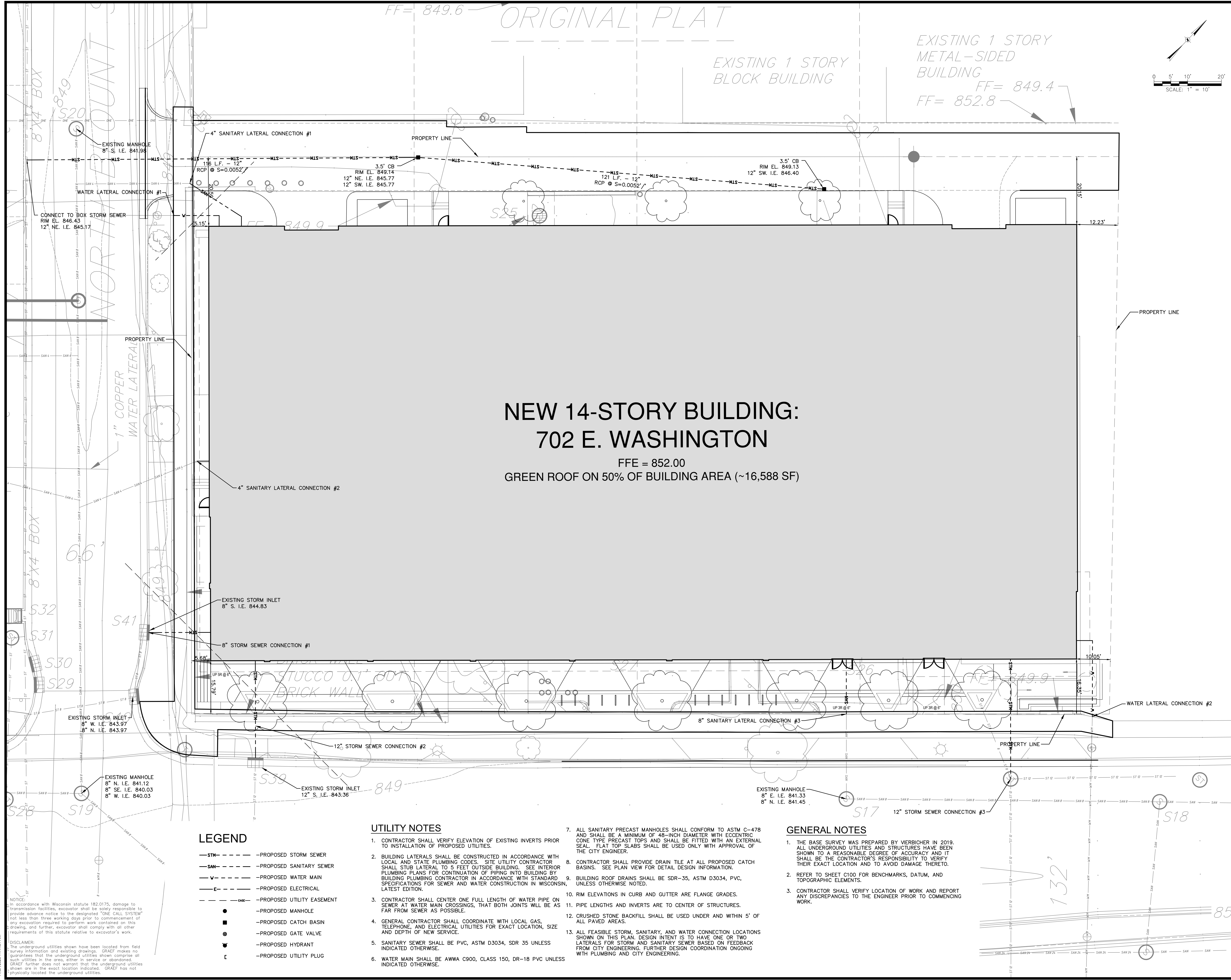
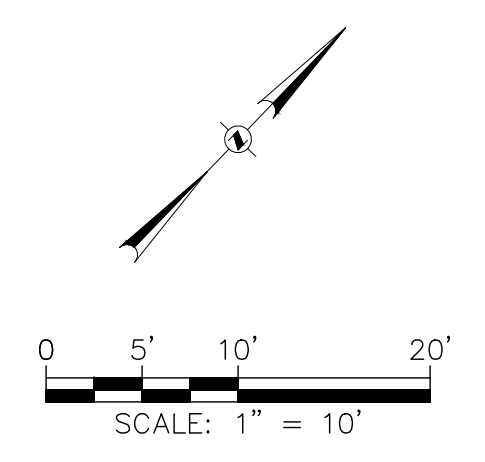
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FF= 849.6 ORIGINAL PLAT

EXISTING 1 STORY BLOCK BUILDING

EXISTING 1 STORY METAL-SIDED BUILDING

FF= 849.4
FF= 852.8



**NEW 14-STORY BUILDING:
702 E. WASHINGTON**
FFE = 852.00
GREEN ROOF ON 50% OF BUILDING AREA (~16,588 SF)

LEGEND

---STM---	---PROPOSED STORM SEWER
---SAN---	---PROPOSED SANITARY SEWER
---W---	---PROPOSED WATER MAIN
---E---	---PROPOSED ELECTRICAL
---	---PROPOSED UTILITY EASEMENT
●	---PROPOSED MANHOLE
■	---PROPOSED CATCH BASIN
○	---PROPOSED GATE VALVE
⊕	---PROPOSED HYDRANT
⊔	---PROPOSED UTILITY PLUG

UTILITY NOTES

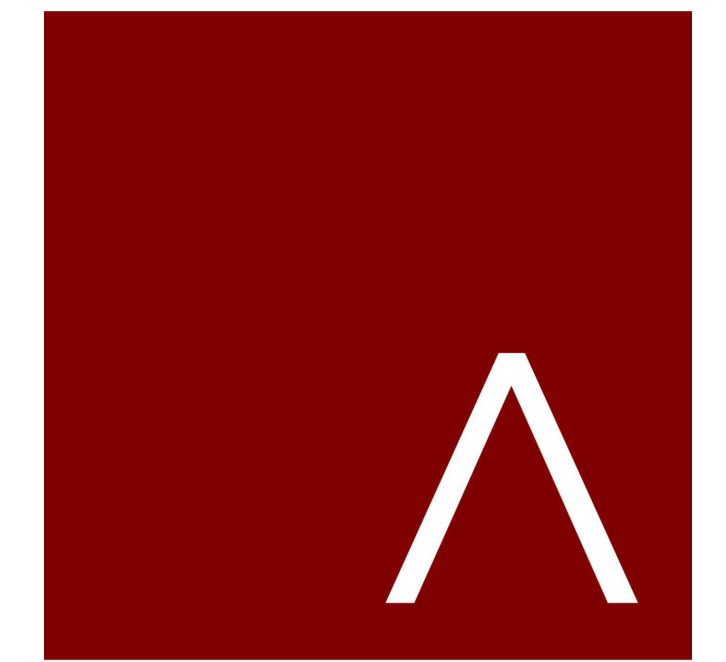
- CONTRACTOR SHALL VERIFY ELEVATION OF EXISTING INVERTS PRIOR TO INSTALLATION OF PROPOSED UTILITIES.
- BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES. SITE UTILITY CONTRACTOR SHALL STUB LATERAL TO 5 FEET OUTSIDE BUILDING. SEE INTERIOR PLUMBING PLANS FOR CONTINUATION OF PIPING INTO BUILDING BY BUILDING PLUMBING CONTRACTOR IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
- CONTRACTOR SHALL CENTER ONE FULL LENGTH OF WATER PIPE ON SEWER AT WATER MAIN CROSSINGS, THAT BOTH JOINTS WILL BE AS FAR FROM SEWER AS POSSIBLE.
- GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS, TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION, SIZE AND DEPTH OF NEW SERVICE.
- SANITARY SEWER SHALL BE PVC, ASTM D3034, SDR 35 UNLESS INDICATED OTHERWISE.
- WATER MAIN SHALL BE AWWA C900, CLASS 150, DR-18 PVC UNLESS INDICATED OTHERWISE.

GENERAL NOTES

- ALL SANITARY PRECAST MANHOLES SHALL CONFORM TO ASTM C-478 AND SHALL BE A MINIMUM OF 48-INCH DIAMETER WITH ECCENTRIC CONE TYPE PRECAST TOPS AND SHALL BE FITTED WITH AN EXTERNAL SEAL. FLAT TOP SLABS SHALL BE USED ONLY WITH APPROVAL OF THE CITY ENGINEER.
- CONTRACTOR SHALL PROVIDE DRAIN TILE AT ALL PROPOSED CATCH BASINS. SEE PLAN VIEW FOR DETAIL DESIGN INFORMATION.
- BUILDING ROOF DRAINS SHALL BE SDR-35, ASTM D3034, PVC, UNLESS OTHERWISE NOTED.
- RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.
- PIPE LENGTHS AND INVERTS ARE TO CENTER OF STRUCTURES.
- CRUSHED STONE BACKFILL SHALL BE USED UNDER AND WITHIN 5' OF ALL PAVED AREAS.
- ALL FEASIBLE STORM, SANITARY, AND WATER CONNECTION LOCATIONS SHOWN ON THIS PLAN. DESIGN INTENT IS TO HAVE ONE OR TWO LATERALS FOR STORM AND SANITARY SEWER BASED ON FEEDBACK FROM CITY ENGINEERING. FURTHER DESIGN COORDINATION ONGOING WITH PLUMBING AND CITY ENGINEERING.

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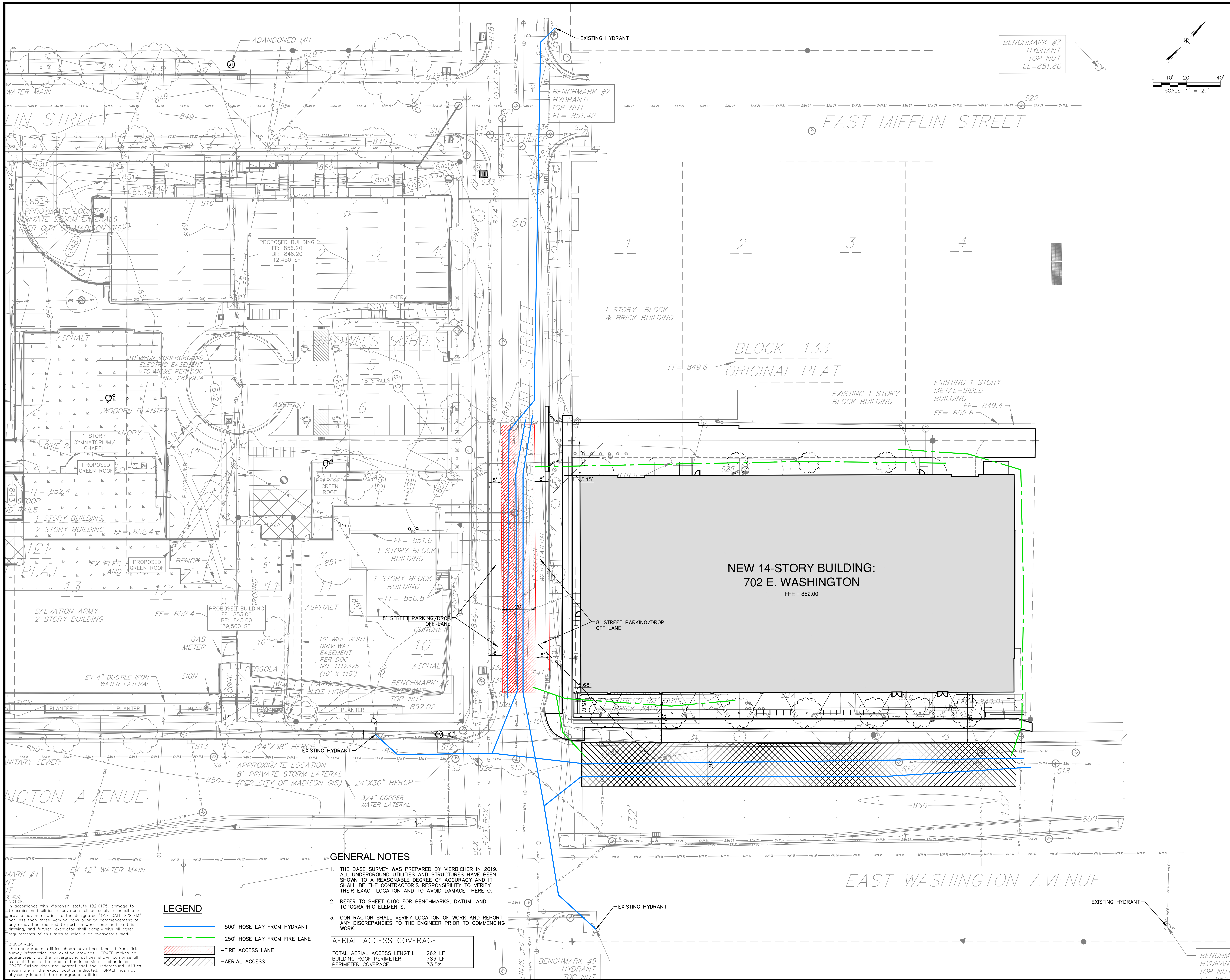
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SHEET TITLE
UTILITY PLAN

SHEET NUMBER
C500

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FIRE ACCESS PLAN

SHEET NUMBER

C600

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AERIAL ACCESS COVERAGE

TOTAL AERIAL ACCESS LENGTH:	262 LF
BUILDING ROOF PERIMETER:	783 LF
PERIMETER COVERAGE:	33.5%

LEGEND

- 500' HOSE LAY FROM HYDRANT
- 250' HOSE LAY FROM FIRE LANE
- FIRE ACCESS LANE
- AERIAL ACCESS

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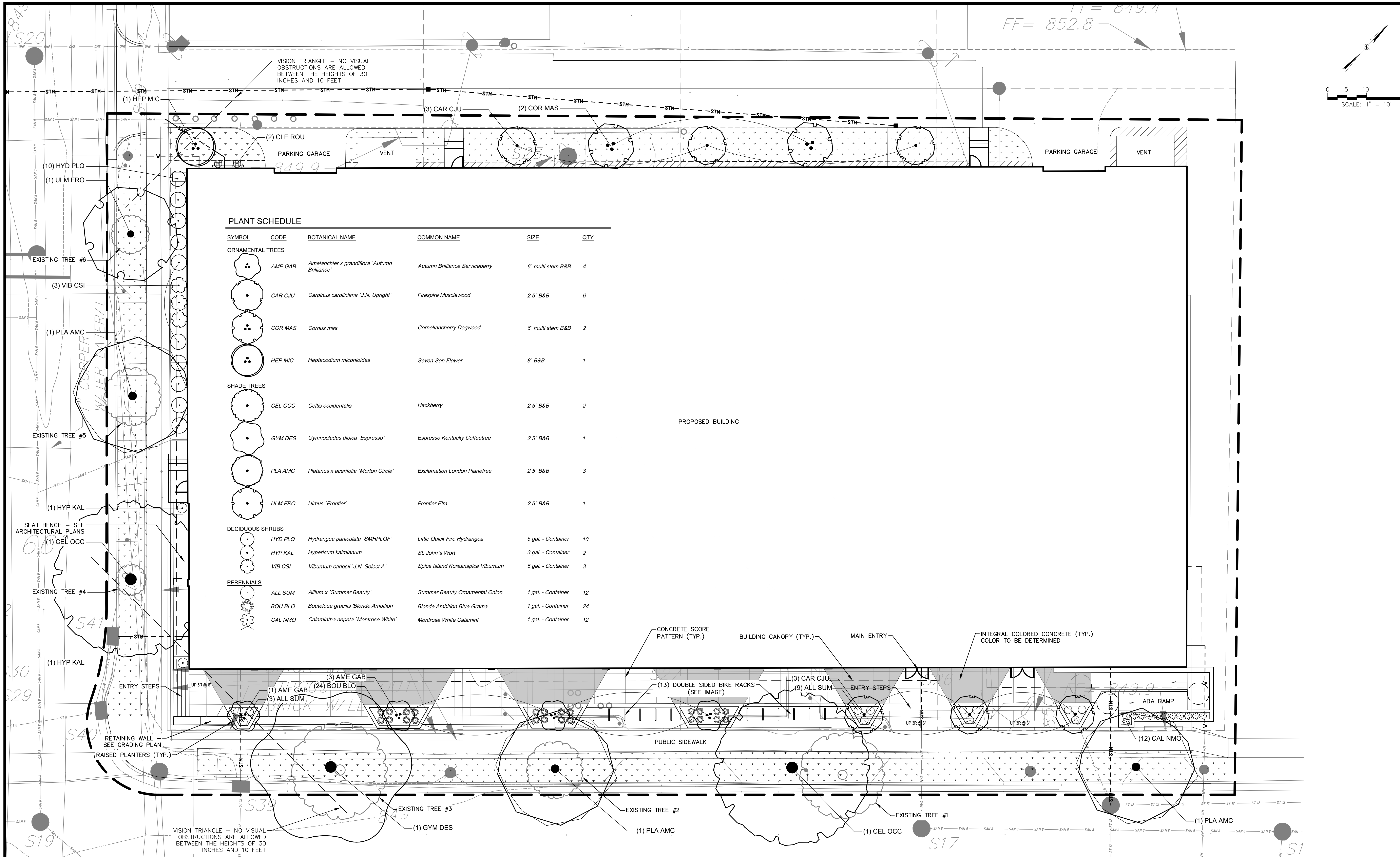
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

L100



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
ORNAMENTAL TREES					
	AME GAB	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6' multi stem B&B	4
	CAR CJU	<i>Carpinus caroliniana</i> 'J.N. Upright'	Firespire Musclewood	2.5" B&B	6
	COR MAS	<i>Cornus mas</i>	Corneliancherry Dogwood	6' multi stem B&B	2
	HEP MIC	<i>Heptacodium miconioides</i>	Seven-San Flower	8' B&B	1
SHADE TREES					
	CEL OCC	<i>Celtis occidentalis</i>	Hackberry	2.5" B&B	2
	GYM DES	<i>Gymnocladus dioica</i> 'Espresso'	Espresso Kentucky Coffeetree	2.5" B&B	1
	PLA AMC	<i>Platanus x acerifolia</i> 'Morton Circle'	Exclamation London Planetree	2.5" B&B	3
	ULM FRO	<i>Ulmus</i> 'Frontier'	Frontier Elm	2.5" B&B	1
DECIDUOUS SHRUBS					
	HYD PLQ	<i>Hydrangea paniculata</i> 'SMHPLQF'	Little Quick Fire Hydrangea	5 gal. - Container	10
	HYP KAL	<i>Hypericum kalmianum</i>	St. John's Wort	3 gal. - Container	2
	VIB CSI	<i>Viburnum carlesii</i> 'J.N. Select A'	Spice Island Koreanspice Viburnum	5 gal. - Container	3
PERENNIALS					
	ALL SUM	<i>Allium</i> x 'Summer Beauty'	Summer Beauty Ornamental Onion	1 gal. - Container	12
	BOU BLO	<i>Bouteloua gracilis</i> 'Blonde Ambition'	Blonde Ambition Blue Grama	1 gal. - Container	24
	CAL NMO	<i>Calamintha nepeta</i> 'Montrose White'	Montrose White Calamint	1 gal. - Container	12

LANDSCAPE LEGEND

- LIMIT OF LANDSCAPE CONSTRUCTION
- ALUMINUM EDGER - COLOR BLACK
- MANICURED TURF SOD - SEE SPECIFICATIONS
- STONE MAINTENANCE STRIP - SEE LANDSCAPE NOTES

Existing Street/Site Tree Inventory

Tree Location	Approx. Size	Species	Removal (Y/N)
Public Street Tree			
Tree 1	11 inch	Ash Tree	Yes, due to construction processes
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Tree 4	2.5 inch	Honeylocust	Yes, due to construction processes
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Tree 6	8 inch	Pear Tree	Yes, due to construction processes
Private Trees			
Tree 7	7 inch	Ironwood (Ornamental)	Yes, due to construction processes, see sheet C200
Tree 8	10 inch	Ash Tree	Yes, due to construction processes, see sheet C200
Tree 9	4 inch	Crabapple (Ornamental)	Yes, due to construction processes, see sheet C200
Tree 10	13 inch	Crabapple (Ornamental)	Yes, due to construction processes, see sheet C200

*Note: See C200 for locations of street trees to be removed. The Landscape Plan (L100) proposes 6 total replacement street trees, three along E. Washington and three along N. Blount St.

For all lots UNDER 5 acres and NOT zoned LC or IC, the [5] landscape points shall be provided for each three hundred (300) square feet of developed area.
Total square footage of developed area: 11,893 square feet
Total landscape points required: 200 points

Tabulation of Points and Credits

Plant Type/Element	Minimum Size at Installation	Points	Credits/Existing Landscape		New/Proposed Landscape	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2" caliper measured at breast height	35			0	0
Tall evergreen tree	5-6 feet tall	35			0	0
Ornamental tree	1 1/2 inch caliper	15			12	180
Upright evergreen shrub	3-4 feet tall	10			0	0
Shrub, deciduous	#3 gallon container size, Min. 12-24"	3			18	54
Shrub, evergreen	#3 gallon container size, Min. 12-24"	4			0	0
Ornamental grasses/perennials	#1 gallon container size, Min. 8-18"	2			47	96
Ornamental/Decorative fencing or wall	N/A	4 per 10 linear ft.			0	0
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper *Trees must be within developed area and cannot comprise more than 30% of total points	14 per caliper inch, Max 200 points per tree			0	0
Landscape furniture for public seating	*Furniture must be within developed area, publicly accessible, and cannot comprise more than 1% of total required points	5 points per "seat"			0	0
Sub Totals					0	328
			Total Number of Points Provided:		328	

Landscape Points Distribution

Landscape shall be distributed throughout the property along street frontages, within parking lot interior, as foundation plantings, or as general site landscaping. The total number of landscape points provided shall be distributed as follows:

Total Developed Area Required landscape area shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveway and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same parcel lot.

Development Frontage Landscape Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant materials.

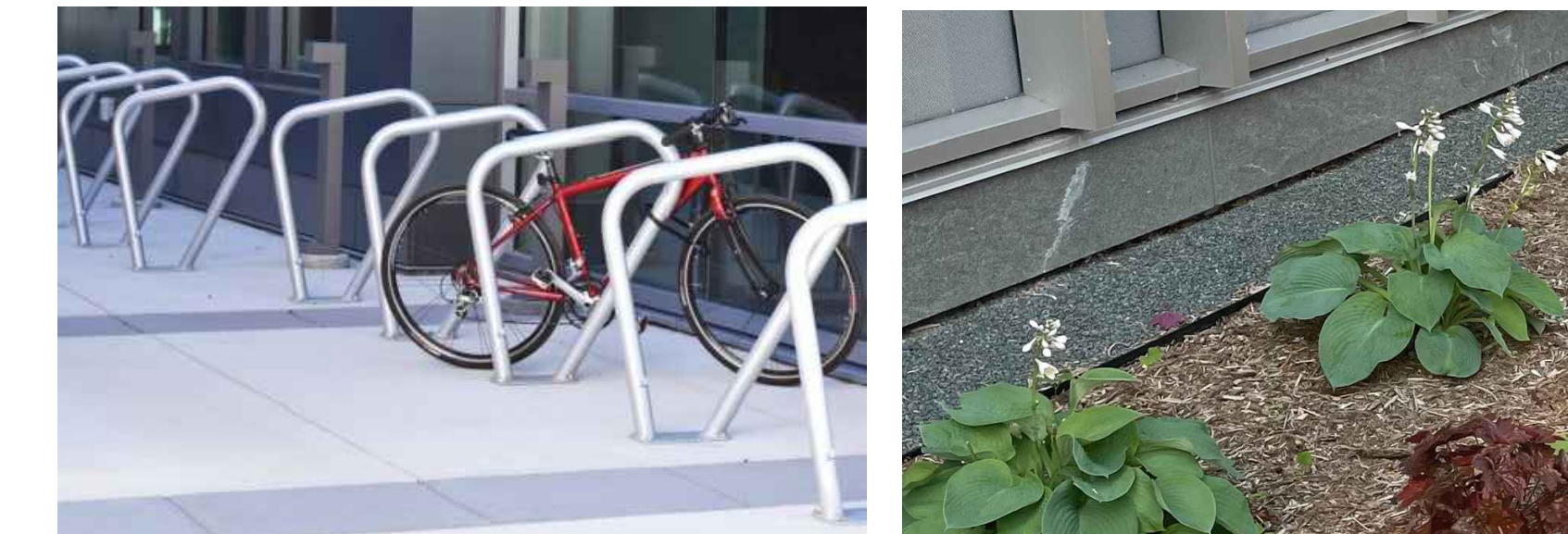
Interior Parking Lot Landscaping The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. All parking lots with twenty (20) or more parking spaces shall be landscaped in accordance with the interior parking lot standards.

Foundation Plantings Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses.

Screening Along District Boundaries Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts.

Screening of Other Site Elements The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site: refuse disposal areas, outdoor storage areas, loading areas, and mechanical equipment.

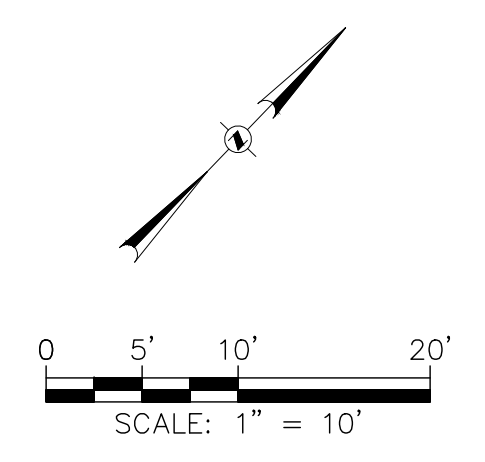
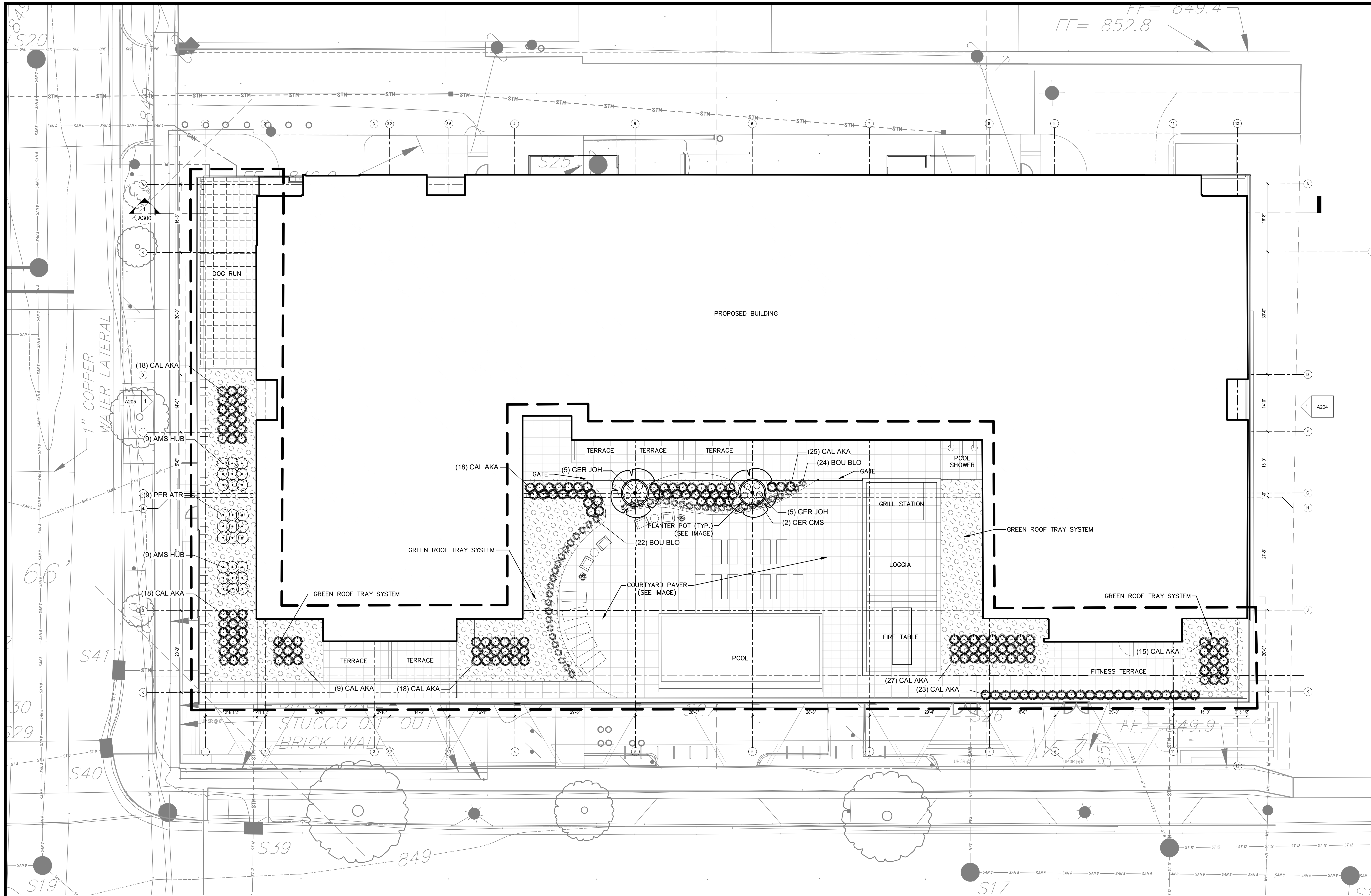
For a more comprehensive look into the City of Madison Landscape Requirements, see Section 28.142 Madison General Ordinance



BIKE RACKS: LOFTY BIKE RACK BY MADRAX, SURFACE MOUNTED
STONE MAINTENANCE STRIP: BLACK RAVEN STONE BY HALOQUIST STONE

NOTICE: In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER: The underground utilities shown have been located from field survey information and existing drawings. GRAEF makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. GRAEF further does not warrant that the underground utilities shown are in the exact location indicated. GRAEF has not physically located the underground utilities.



JLA PROJECT NUMBER: W22-0106

GRÄEF

1010 East Washington Avenue,
Suite 202
Madison, WI 53703
608 / 242 1550

www.graef-usa.com

702 EAST WASHINGTON AVENUE
MIXED-USE
DEVELOPMENT

CITY OF MADISON LAND-USE &
URBAN DESIGN COMMISSION
SUBMITTAL



COURTYARD PAVER: 2'X2' CONCRETE PAVER ON PEDESTAL SUPPORT SYSTEM, COLOR TO BE DETERMINED



EXECUTIVE PLANTER
Product Number: EXP12342

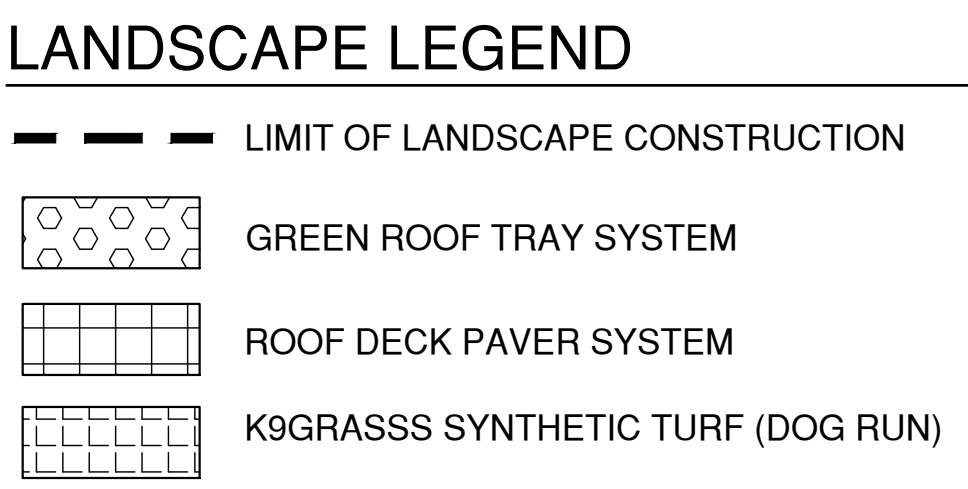
Color: [Swatches]

Dimensions:
Diameter: 32"
Height: 42"
Base: 12"

Plant Pot: 6' DIAMETER PLANTER POT BY YARDART, COLOR TO BE DETERMINED.



DOG RUN: K9GRASS TURF BY FOREVER LAWN



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
ORNAMENTAL TREES					
	CER CMS	<i>Cercis canadensis 'Minnesota Strain'</i>	Minnesota Strain Eastern Redbud	6' multi stem B&B	2
ORNAMENTAL GRASSES & SEDGES					
	CAL AKA	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Karl Foerster Feather Reed Grass	1 gal. - Container	171
PERENNIALS					
	AMS HUB	<i>Amsonia hubrichtii</i>	Arkansas Bluestar	1 gal. - Container	18
	BOU BLO	<i>Bouteloua gracilis 'Blonde Ambition'</i>	Blonde Ambition Blue Grama	1 gal. - Container	46
	GER JOH	<i>Geranium x 'Johnson's Blue'</i>	Johnson's Blue Geranium	1 gal. - Container	10
	PER ATR	<i>Perovskia atriplicifolia</i>	Russian Sage	1 gal. - Container	9

DATE OF ISSUANCE: NOVEMBER 27, 2023

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE: **COURTYARD PLAN**

SHEET NUMBER: **L101**

11/27/2023 11:42:55 AM

702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

MADISON, WISCONSIN

CITY OF MADISON LAND-USE & URBAN DESIGN COMMISSION SUBMITTAL

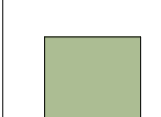
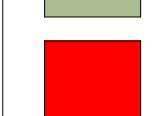

NOVEMBER 27, 2023



JLA
ARCHITECTS

JLA PROJECT NUMBER: W22-0106

USABLE OPEN AREA CHART

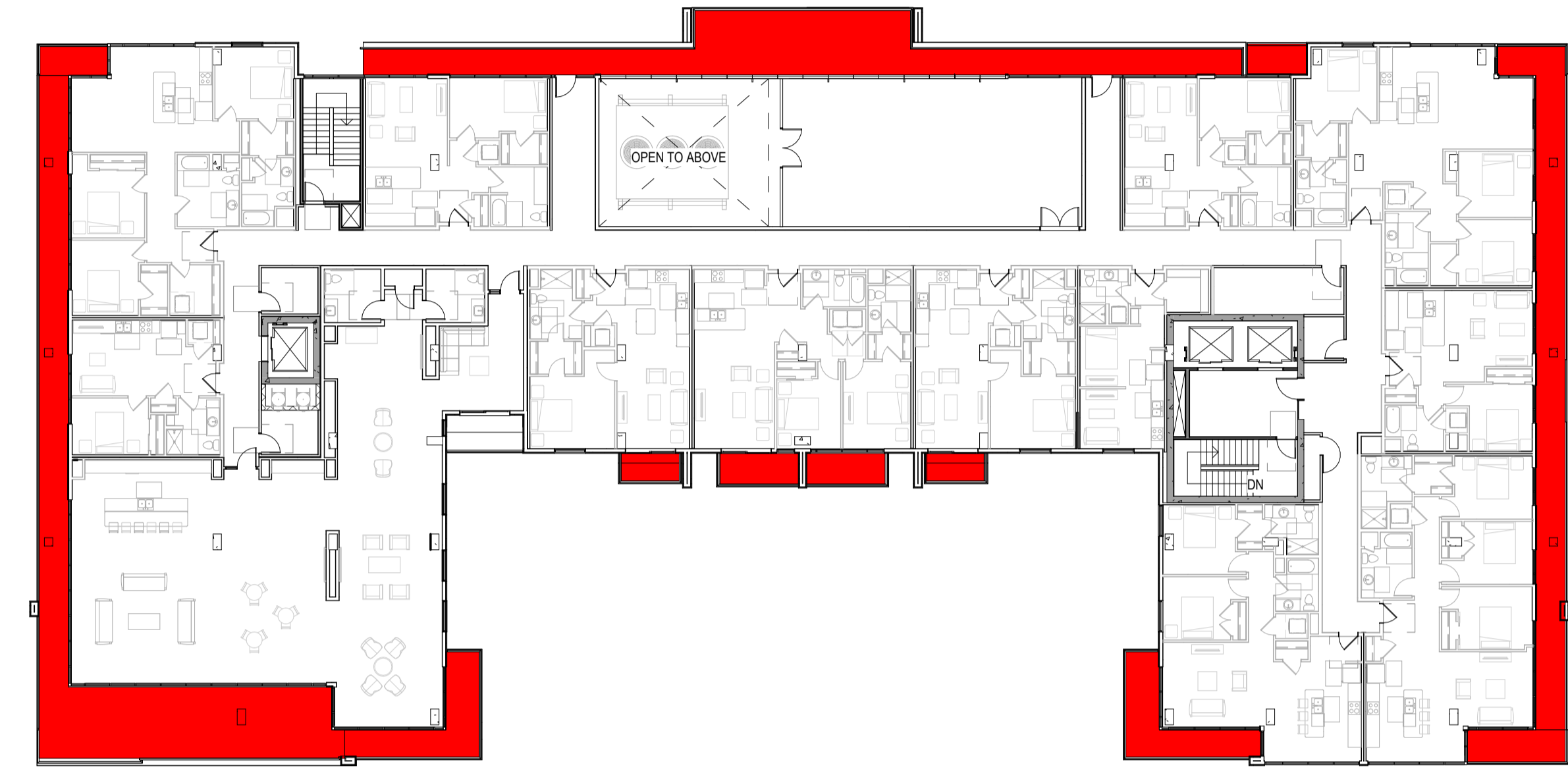
	DENOTES USABLE OPEN AREA ON PLAN = 6,314 S.F.
	DENOTES USABLE OPEN AREA PRIVATE BALCONIES = 15,889 S.F.
	DENOTES USABLE OPEN AREA ROOF DECKS = 10,423 S.F.
REQUIRED USABLE OPEN AREA = (40 S.F. 244 DWELLING UNITS) = 9,760 S.F.	
TOTAL USABLE OPEN AREA = 32,626 S.F.	



JLA PROJECT NUMBER: W22-0106

702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

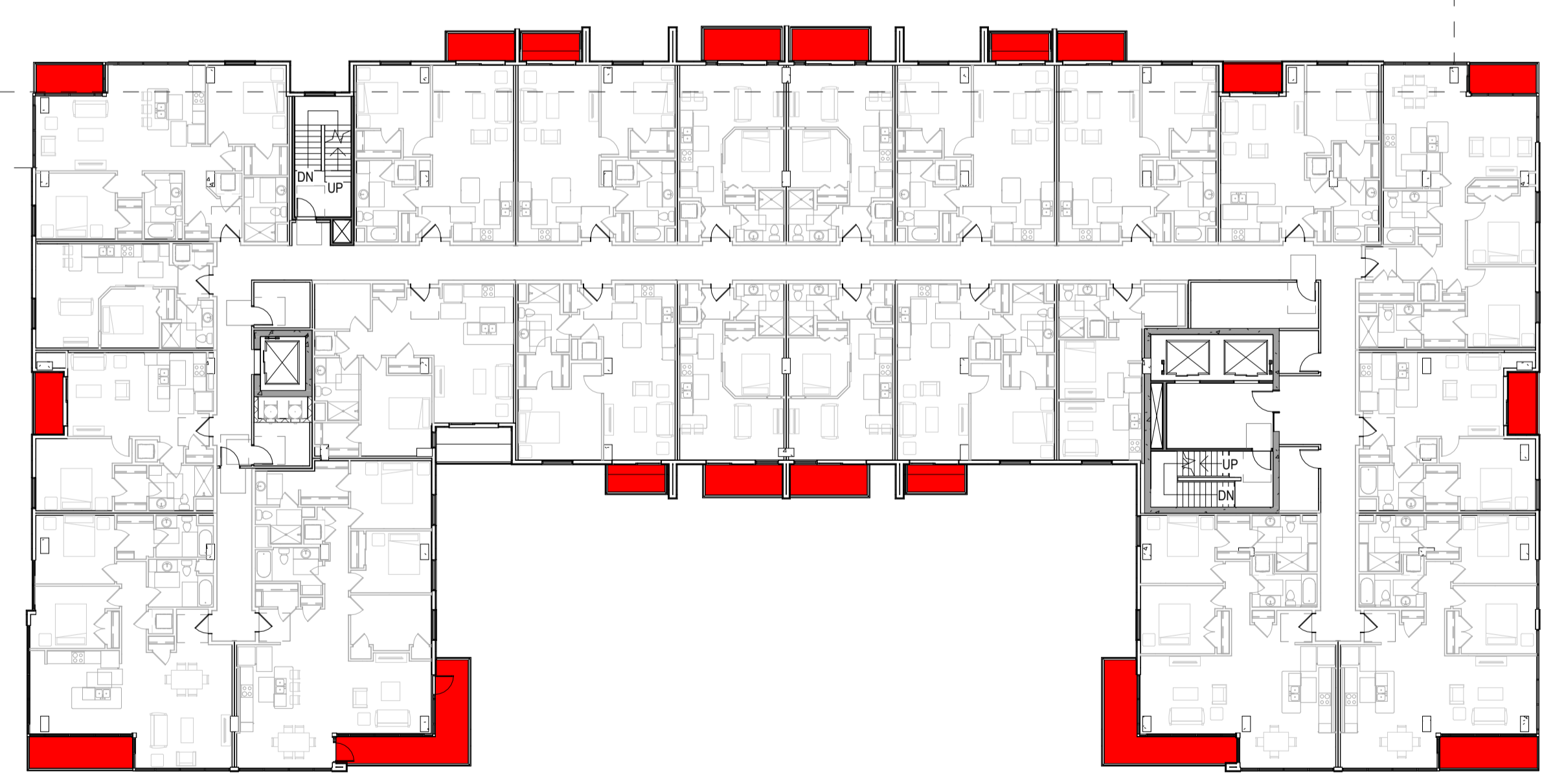
CITY OF MADISON LAND-USE & URBAN DESIGN COMMISSION SUBMITTAL



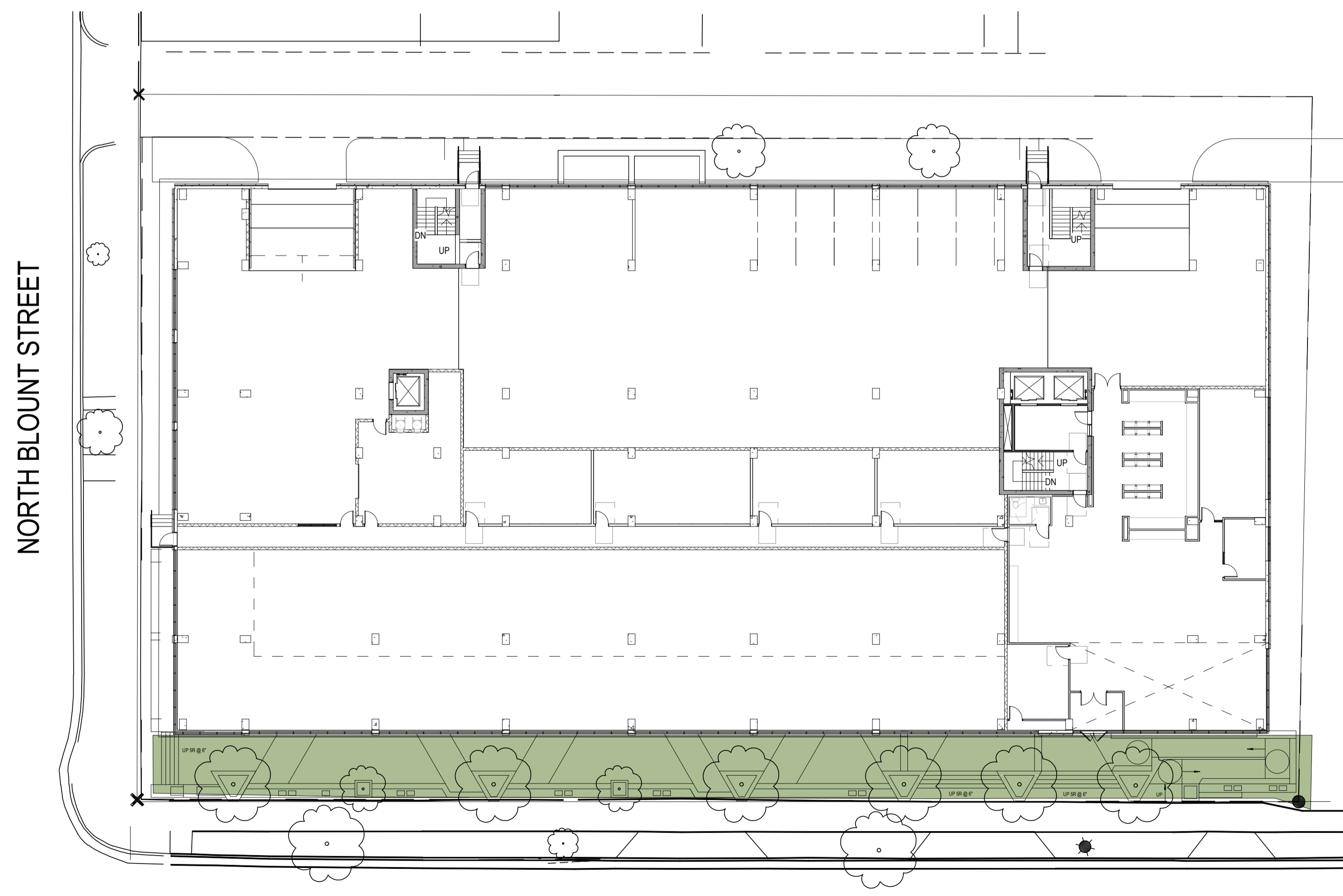
④ FOURTEENTH FLOOR - USABLE SPACE
1" = 20'-0"



② THIRD FLOOR - USABLE SPACE
1" = 20'-0"



③ TYPICAL FLOOR PLAN (4-13)
1" = 20'-0"



① FIRST FLOOR - USABLE SPACE PLAN
1" = 20'-0"

DATE OF ISSUANCE: NOVEMBER 27, 2023

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
ARCHITECTURAL SITE PLAN

SHEET NUMBER
ASP-100

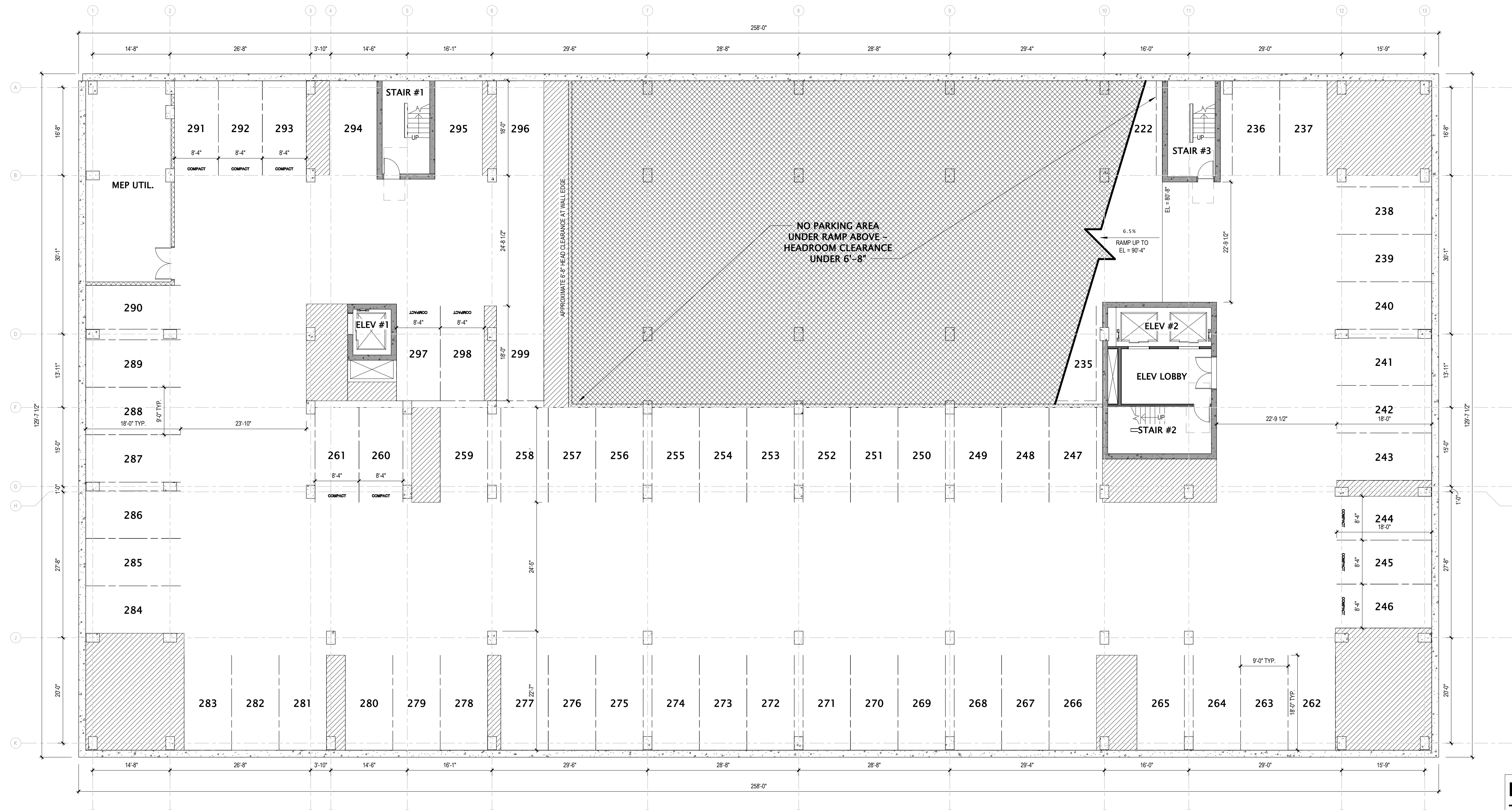
GENERAL NOTES - PARKING LEVEL FLOOR PLAN	
1. EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.	9. DESIGN-BUILD MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS SHALL MAINTAIN A CLEAR HEIGHT OF 7'-0" MINIMUM IN VEHICLE AND PEDESTRIAN TRAFFIC AREAS PER 2015 IBC ARE.
2. INTERIOR DIMENSIONS ARE TO FACE OF STUD OR CONCRETE MASONRY UNIT WALLS UNLESS OTHERWISE NOTED.	10. VERIFY QUANTITY AND LOCATION OF INTERIOR AND EXTERIOR HOSE BIBBS WITH OWNER.
3. EXTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO ROUGH OPENING ENDS OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.	11. VERIFY QUANTITY, LOCATION, AND TYPE OF ELECTRICAL OUTLETS IN PARKING AREA WITH OWNER.
4. ALL CONCRETE MASONRY UNIT (CMU) WALLS SHALL BE TYPE M8.2X UNLESS NOTED OTHERWISE.	12. PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR TO VERIFY REQUIREMENTS OF ALL TRADES INCLUDING: PRECAST, PLUMBING, SPRINKLERS, HVAC, ELEVATOR & ELECTRICAL.
5. ALL METAL STUD WALLS SHALL BE AS TAGGED AND/OR INDICATED ON THE INTERIOR WALL ASSEMBLIES SHEET, UNLESS NOTED OTHERWISE.	13. GENERAL CONTRACTOR DOOR COORDINATE ALL PENETRATION AND OPENINGS THROUGH PRECAST PLANK WITH PRECAST PLANK PROVIDER, MEP CONTRACTORS, AND ARCHITECT.
6. VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.	14. COORDINATE LOCATION OF PRECAST PLANK DEPTHS W/ PRECAST SHOP DRAWINGS PRIOR TO POURING WALLS.
7. ANY EXPOSED STEEL THAT SUPPORTS LOAD-BEARING WALLS OR FLOORS SHALL BE PROTECTED BY MEANS OF SPRAY-FIREPROOFING. GENERAL CONTRACTOR TO COORDINATE WITH FINAL DESIGN AND INSTALLATION OF PRECAST CONCRETE STRUCTURAL MEMBERS.	15. CONTRACTOR TO VERIFY LOCATIONS OF GAS METER, ELECTRICAL METERS, AND THEIR SPACE REQUIREMENTS PRIOR TO CONSTRUCTION.
8. ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED.	



JLA PROJECT NUMBER: W22-0106

702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

CITY OF MADISON LAND-USE & URBAN DESIGN COMMISSION SUBMITTAL



LOWER LEVEL 2 NOTE:
 THIS "LOWER LEVEL 2" SHALL BE AN OPTIONAL LEVEL. THE DESIRE/ NEED FOR THIS LEVEL SHALL BE DETERMINED AS THE DESIGN OF THE PROJECT IS DEVELOPED, AND DOCUMENTED IN THE FINAL PLAN REVIEW/ CONSTRUCTION DOCUMENTS.

1 LOWER LEVEL 2
 3/32" = 1'-0"

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
 OPTIONAL LOWER LEVEL 2 PLAN

SHEET NUMBER
 A090

GENERAL NOTES - PARKING LEVEL FLOOR PLAN			
1.	EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.	9.	DESIGN-BUILD MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS SHALL MAINTAIN A CLEAR HEIGHT OF 7'-0" MINIMUM IN VEHICLE AND PEDESTRIAN TRAFFIC AREAS PER 2015 IBC ARE.
2.	INTERIOR DIMENSIONS ARE TO FACE OF STUD OR CONCRETE MASONRY UNIT WALLS UNLESS OTHERWISE NOTED.	10.	VERIFY QUANTITY AND LOCATION OF INTERIOR AND EXTERIOR HOSE BIBBS WITH OWNER.
3.	EXTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO ROUGH OPENING ENDS OF WINDOW/S OR UNLESS OTHERWISE NOTED, CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.	11.	VERIFY QUANTITY, LOCATION, AND TYPE OF ELECTRICAL OUTLETS IN PARKING AREA WITH OWNER.
4.	ALL CONCRETE MASONRY UNIT (CMU) WALLS SHALL BE TYPE M8.2X UNLESS NOTED OTHERWISE.	12.	PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR TO VERIFY REQUIREMENTS OF ALL TRADES INCLUDING: PRECAST, PLUMBING, SPRINKLERS, HVAC, ELEVATOR & ELECTRICAL.
5.	ALL METAL STUD WALLS SHALL BE AS TAGGED AND/OR INDICATED ON THE INTERIOR WALL ASSEMBLIES SHEET, UNLESS NOTED OTHERWISE.	13.	GENERAL CONTRACTOR DOOR COORDINATE ALL PENETRATION AND OPENINGS THROUGH PRECAST PLANK WITH PRECAST PLANK PROVIDER, MEP CONTRACTORS, AND ARCHITECT.
6.	VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.	14.	COORDINATE LOCATION OF PRECAST PLANK DEPTHS W/ PRECAST SHOP DRAWINGS PRIOR TO POURING WALLS.
7.	ANY EXPOSED STEEL THAT SUPPORTS LOAD-BEARING WALLS OR FLOORS SHALL BE PROTECTED BY MEANS OF SPRAY-FIREPROOFING. GENERAL CONTRACTOR TO COORDINATE WITH FINAL DESIGN AND INSTALLATION OF PRECAST CONCRETE STRUCTURAL MEMBERS.	15.	CONTRACTOR TO VERIFY LOCATIONS OF GAS METER, ELECTRICAL METERS, AND THEIR SPACE REQUIREMENTS PRIOR TO CONSTRUCTION.
8.	ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED.		

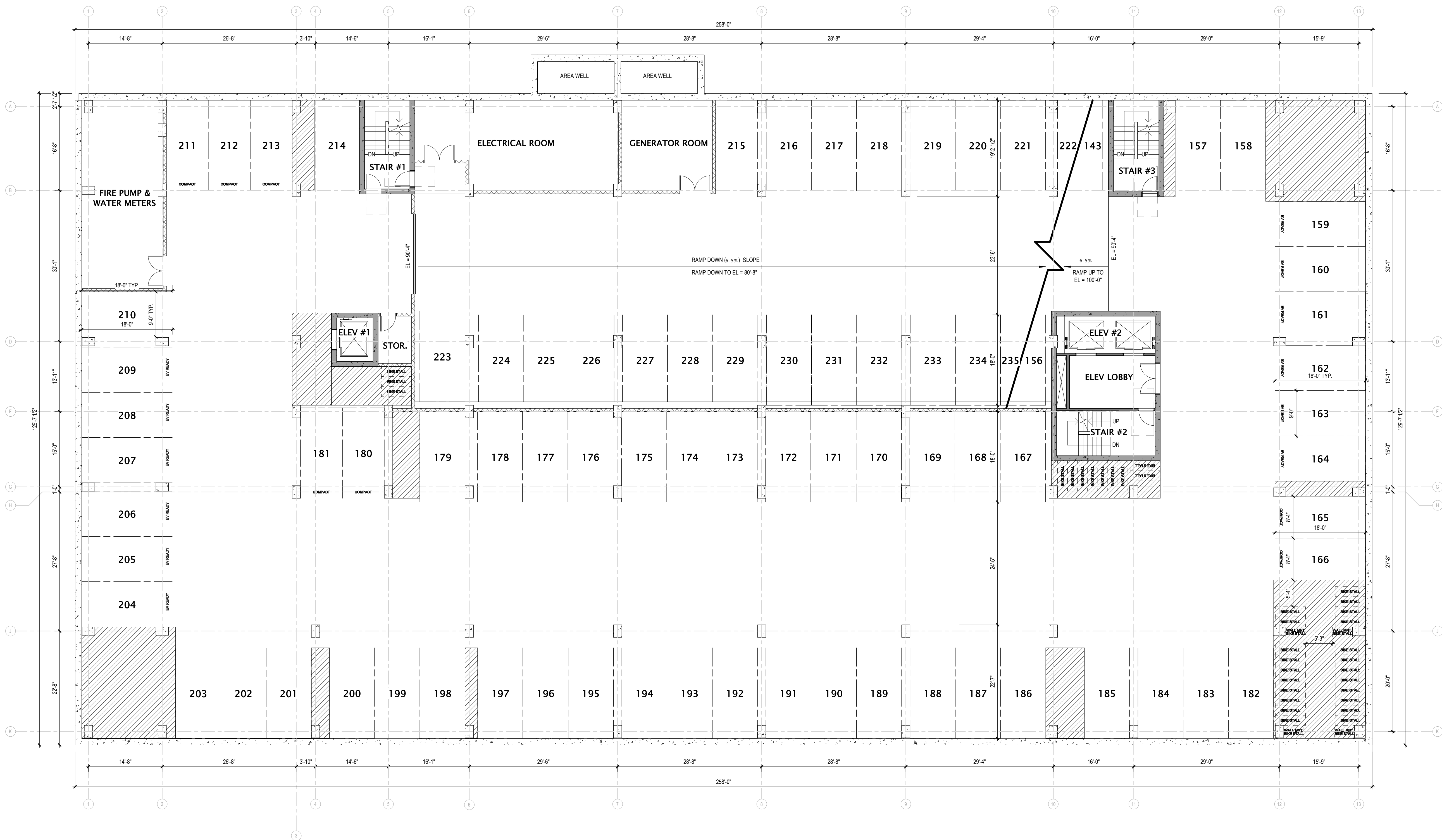


JLA
ARCHITECTS
MADISON | MILWAUKEE | DENVER
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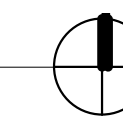
JLA PROJECT NUMBER: W22-0106

702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

CITY OF MADISON LAND-USE & URBAN DESIGN COMMISSION SUBMITTAL



16 LOWER LEVEL PLAN
3/32" = 1'-0"



DATE OF ISSUANCE NOVEMBER 27, 2023

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

LOWER LEVEL 1 PLAN

SHEET NUMBER

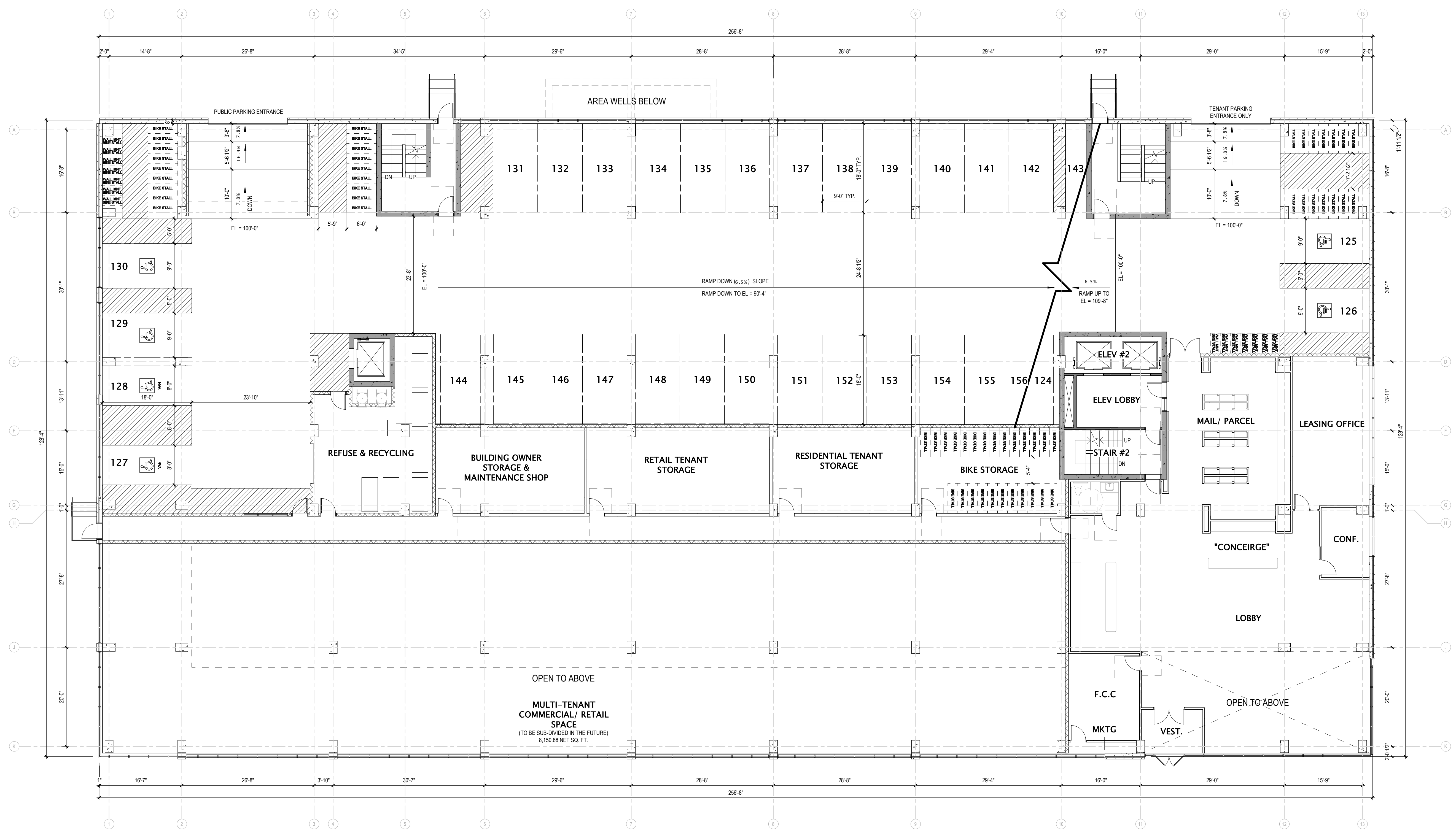
A100

- GENERAL PLAN NOTES**
- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
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 - ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
 - VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
 - PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS/ CLOSETS, MECHANICAL ROOMS/ CLOSETS, AND OTHER PLUMBING WALLS.
 - PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
 - PROVIDE FIREBLOCKING PER 2015 IBC 718.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
 - FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.
 - CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPASHES & SIDESPASHES.
 - INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
 - ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.



JLA PROJECT NUMBER: W22-0106

702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT
CITY OF MADISON LAND-USE & URBAN DESIGN COMMISSION SUBMITTAL



16 FIRST FLOOR PLAN
3/32" = 1'-0"

DATE OF ISSUANCE: NOVEMBER 27, 2023

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
FIRST FLOOR PLAN

SHEET NUMBER
A101

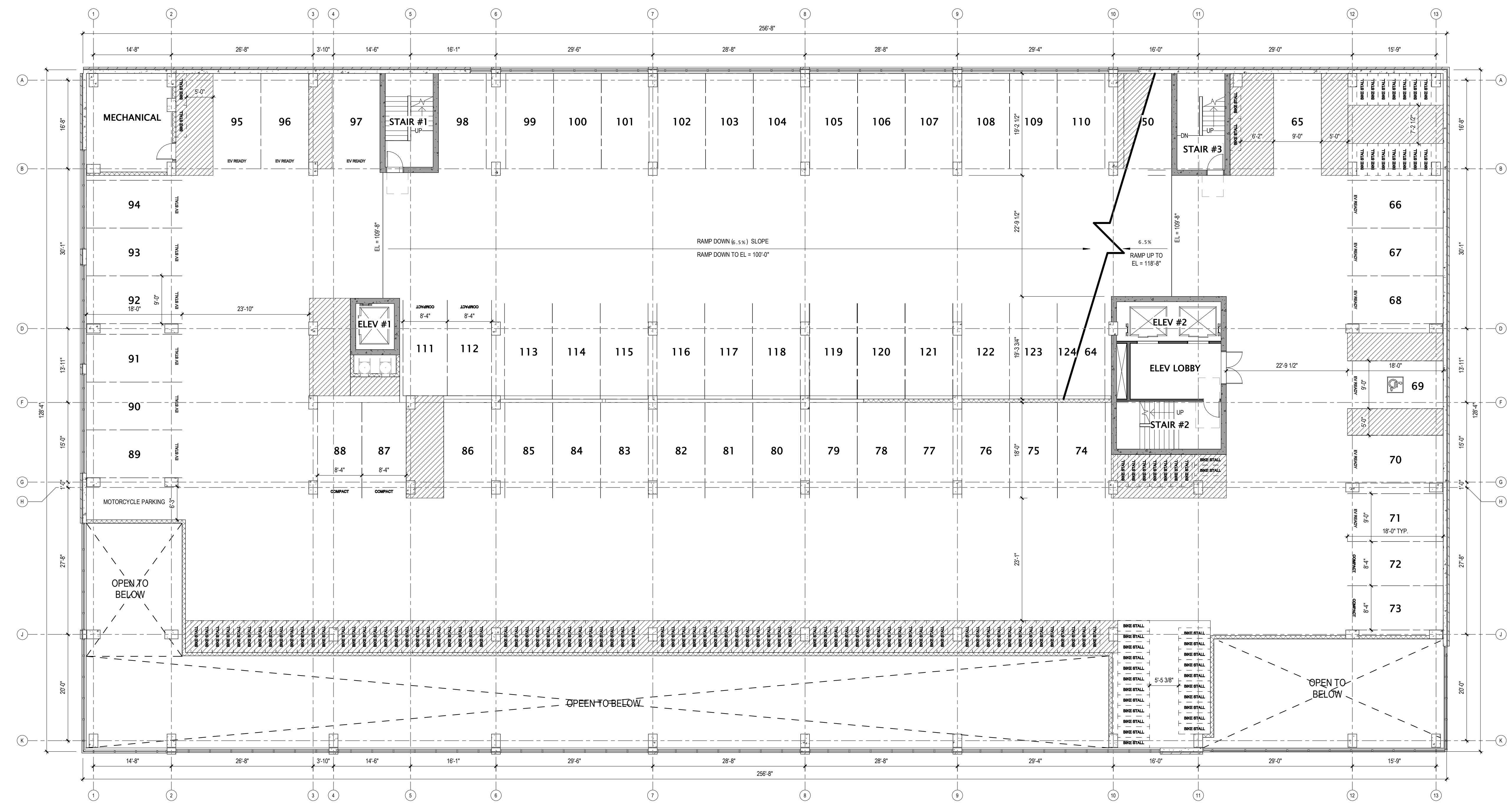
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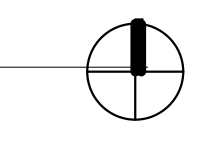
JLA PROJECT NUMBER: W22-0106

702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

CITY OF MADISON LAND-USE & URBAN DESIGN COMMISSION SUBMITTAL



1 PARKING 1.5
3/32" = 1'-0"



DATE OF ISSUANCE: NOVEMBER 27, 2023

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

PARKING 1.5

SHEET NUMBER

A101.5

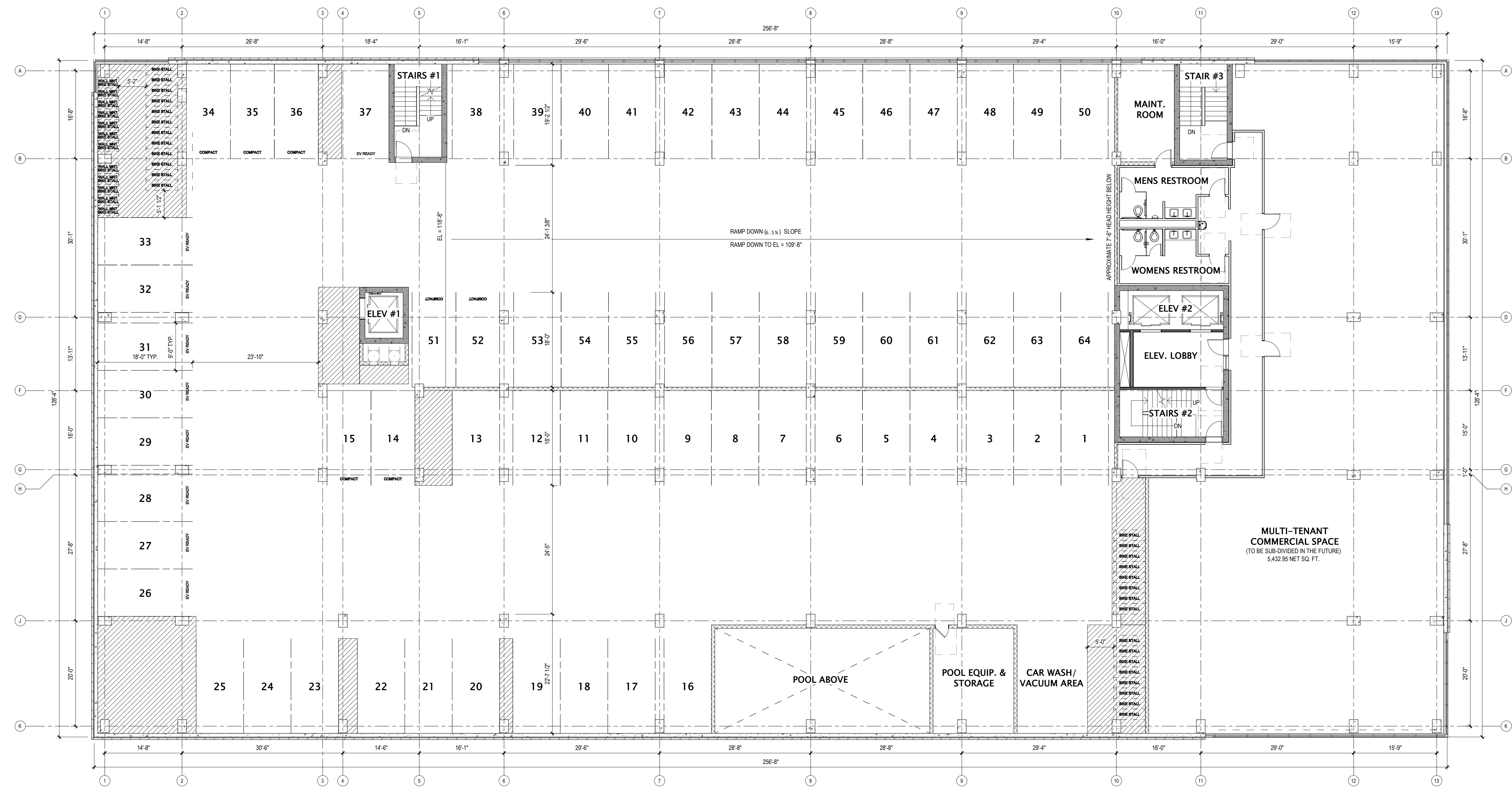
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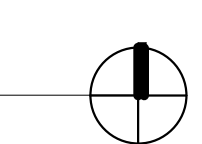
JLA PROJECT NUMBER: W22-0106

702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

CITY OF MADISON LAND-USE & URBAN DESIGN COMMISSION SUBMITTAL



16 SECOND FLOOR PLAN
3/32" = 1'-0"



DATE OF ISSUANCE: NOVEMBER 27, 2023

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
SECOND FLOOR PLAN

SHEET NUMBER
A102

GENERAL PLAN NOTES

- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
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VEGETATIVE ROOF LEGEND

REQUIREMENT: 50% OF TOTAL ROOF AREA TO BE A VEGETATIVE ROOF.

3RD LEVEL ROOF/TERRACE AREA	=	11,632 SF
14TH LEVEL ROOF/TERRACE AREA	=	2,008 SF
15TH LEVEL ROOF/TERRACE AREA	=	22,366 SF
TOTAL COMBINED ROOF AREA	=	36,006 SF
3RD LEVEL VEGETATIVE ROOF/TERRACE	=	3,364
15TH LEVEL VEGETATIVE ROOF	=	14,776 SF
PERCENTAGE OF TOTAL VEGETATIVE ROOF	=	50.38% TOTAL



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JLA PROJECT NUMBER: W22-0106

702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

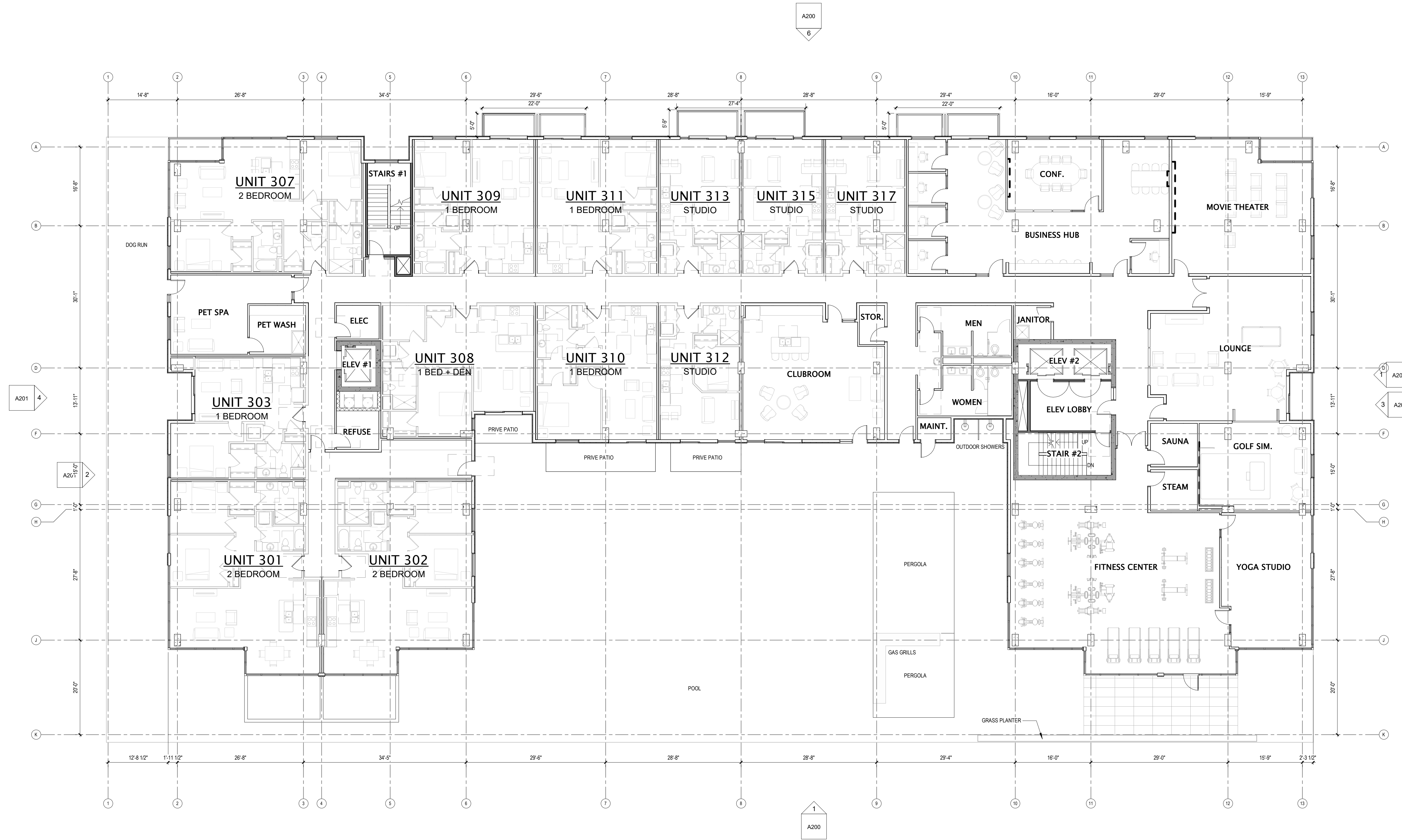
CITY OF MADISON LAND-USE & URBAN DESIGN COMMISSION SUBMITTAL

DATE OF ISSUANCE: NOVEMBER 27, 2023

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
THIRD FLOOR PLAN

SHEET NUMBER
A103



1 THIRD FLOOR PLAN
3/32" = 1'-0"

11/07/2023 10:24:00 AM

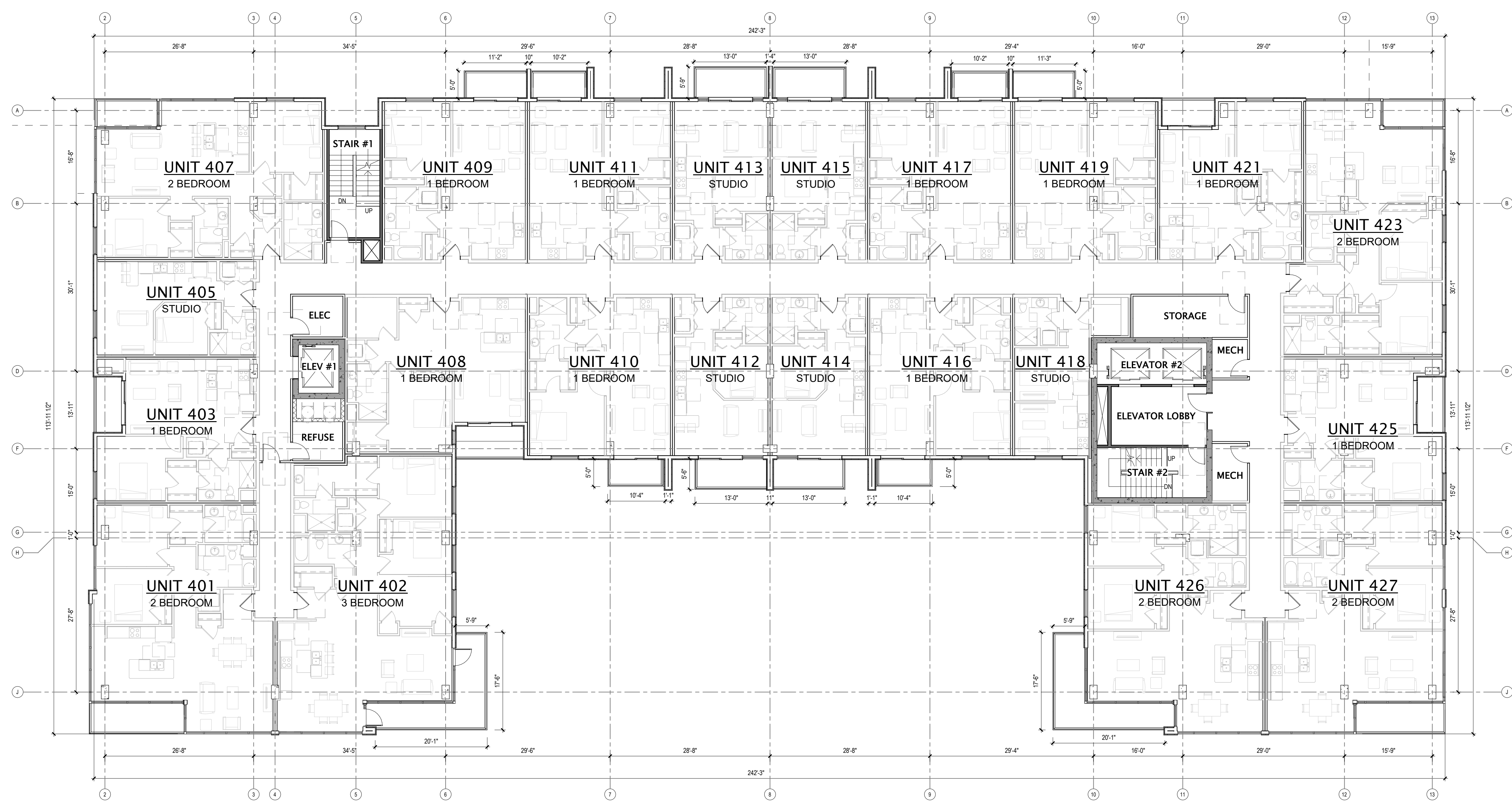
- GENERAL PLAN NOTES**
- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
 - WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
 - VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
 - ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
 - VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
 - PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS/ CLOSETS, MECHANICAL ROOMS/ CLOSETS, AND OTHER PLUMBING WALLS.
 - PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
 - PROVIDE FIREBLOCKING PER 2015 IBC 716.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
 - FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.
 - CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPASHES & SIDESPLASHES.
 - INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
 - ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.



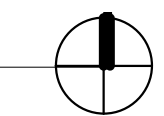
JLA PROJECT NUMBER: W22-0106

702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

CITY OF MADISON LAND-USE & URBAN DESIGN COMMISSION SUBMITTAL



1 TYPICAL FLOOR PLAN (4-13)
3/32" = 1'-0"



DATE OF ISSUANCE: NOVEMBER 27, 2023

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
TYPICAL FLOOR PLAN

SHEET NUMBER
A104

GENERAL PLAN NOTES

- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
- WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
- VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
- ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
- PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS/ CLOSETS, MECHANICAL ROOMS/ CLOSETS, AND OTHER PLUMBING WALLS.
- PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
- PROVIDE FIREBLOCKING PER 2015 IBC 718.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
- FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.
- CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPLASHES & SIDESPLASHES.
- INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
- ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.

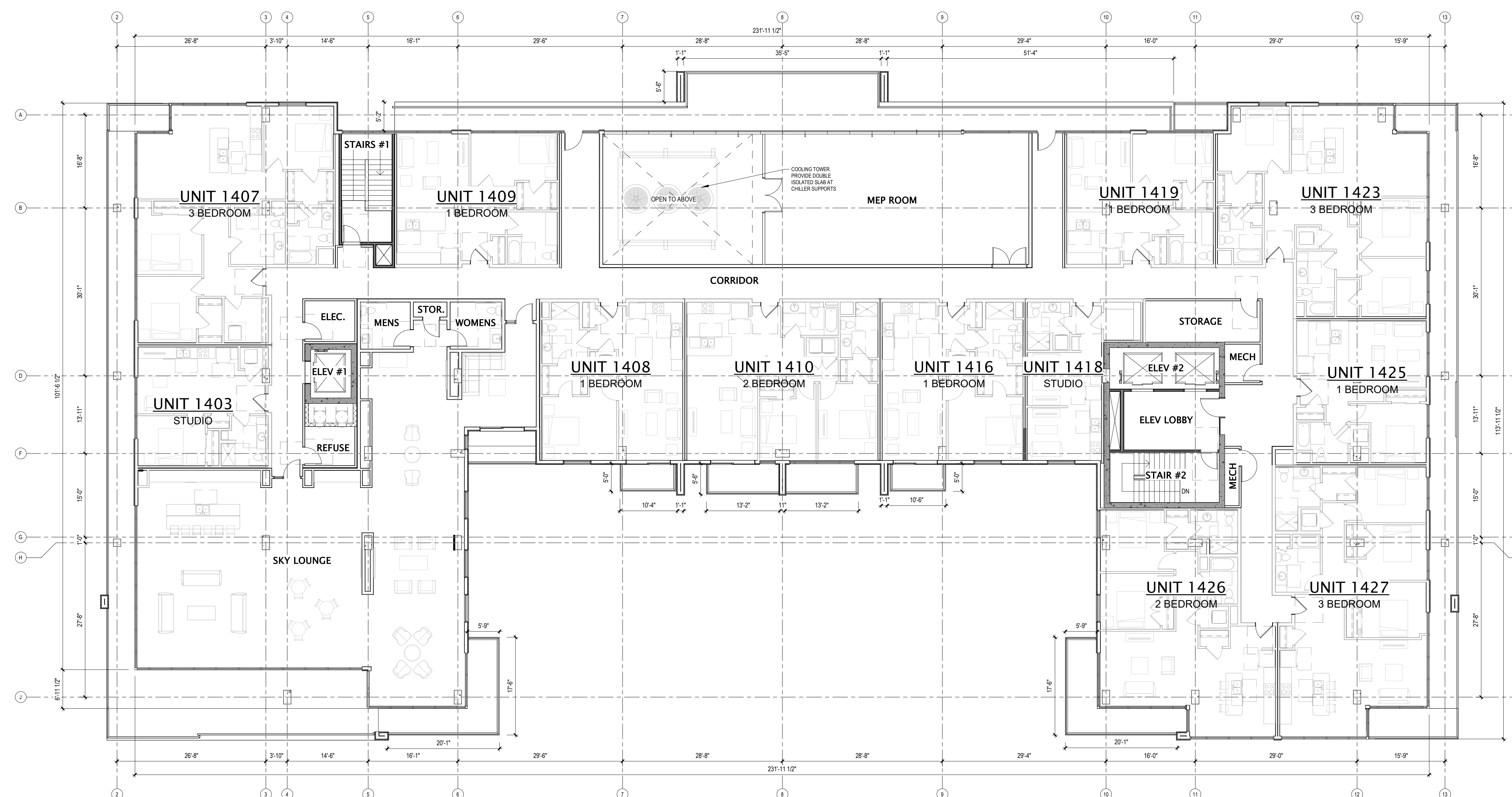


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1 FOURTEENTH FLOOR PLAN
3/32" = 1'-0"



DATE OF ISSUANCE NOVEMBER 27, 2023

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
FOURTEENTH FLOOR PLAN

SHEET NUMBER
A114

ROOF NOTES

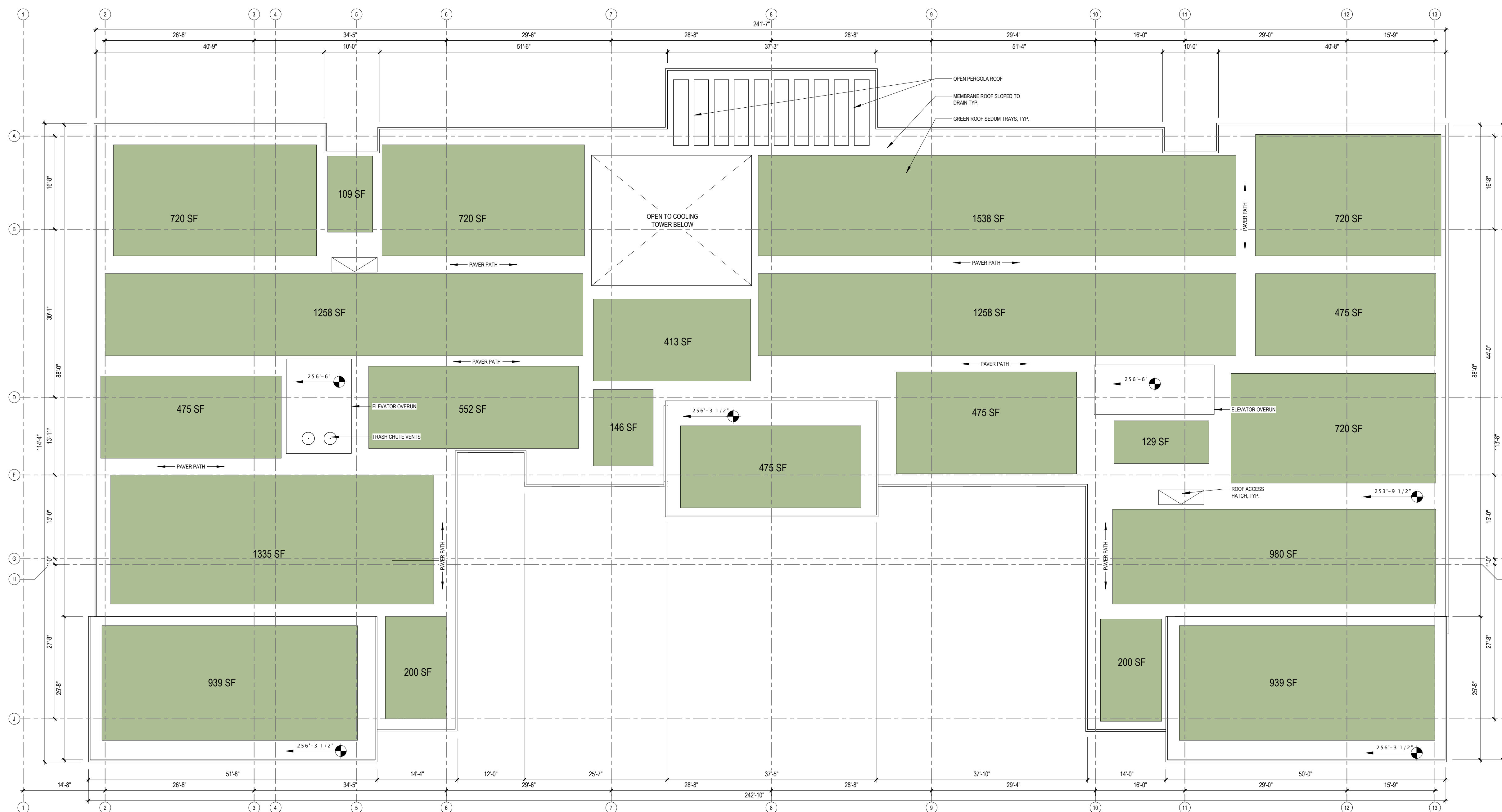
- ROOF SHALL BE ROOF ASSEMBLY - WR1-X, UNLESS NOTED OTHERWISE. TOP CHORDS OF TRUSSES SHALL BE PITCHED AT 1/4" PER FOOT (MINIMUM) TO PROVIDE ROOF DRAINAGE. SEE A501 FOR ROOF ASSEMBLY DESCRIPTIONS.
- PROVIDE TAPERED INSULATION BOARD WHERE NECESSARY OVER ROOF ASSEMBLY TO MAINTAIN A 1/4" PER FOOT MINIMUM PITCH TO ROOF DRAINS. PROVIDE A 3/16" PER FOOT MINIMUM PITCH FOR TAPERED INSULATION SADDLES AND/OR CRICKETS WHERE NECESSARY.
- ROOF DRAINS ARE SHOWN FOR INTENT ONLY. DESIGN/BUILD PLUMBING CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS TO DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF ROOF DRAINS AND OVERFLOW DRAINS. COORDINATE ALL ROOF DRAINS WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
- AT ALL FIRE WALLS, PROVIDE NON-COMBUSTIBLE ROOF SHEATHING EXTENDING TO A DISTANCE OF 48" (MINIMUM) FROM BOTH SIDES OF FIRE WALL.
- PROVIDE WATERTIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURER'S STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT NRCA STANDARDS.
- VERIFY ANY ROOFTOP EQUIPMENT AND PENETRATIONS WITH OWNERS DESIGN / BUILD MECHANICAL, ELECTRICAL, AND PLUMBING PLANS.
- DESIGN / BUILD CONTRACTORS PROVIDING ROOF PENETRATIONS MUST PROVIDE TEMPORARY WEATHERTIGHT COVERS FOR OPENING UNTIL PLACEMENT OF FINISHED WORK OR COVERING.
- OVERHANGS (IF ANY) SHALL BE AS SHOWN ON ROOF PLAN.
- PROVIDE CONTINUOUS ATTIC DRAFTSTOPPING AT LOCATIONS INDICATED ON ROOF PLAN. EXTEND DRAFTSTOPPING FULLY INTO SOFFITS AND PENETRATIONS. SEAL ALL JOINTS WITH CAULK AND/OR TAPE AS NEEDED TO PROVIDE SMOKE/TIGHT SEAL.
- ALL DRYERS SHALL BE VENTED WITH U.L. CLASSIFIED DRYER BOX & VENT. PROVIDE POWER BOOSTER FAN VENT IF VENT RUN EXCEEDS 25'-0".
- PLUMBING DESIGN-BUILD CONTRACTOR TO COORDINATE THE LOCATION OF ROOF FROST PROOF HOSE BIB WITH OWNER. COORDINATE LOCATION WITH TRUSS LAYOUT AND UNIT LAYOUT BELOW.
- PROVIDE PREFINISHED SHEET METAL COPINGS AND/OR GRAVEL STOPS PER PLANS. REFER TO EXTERIOR ELEVATIONS MATERIAL SCHEDULE FOR SPECIFIED METAL COLORS.
- PROVIDE PREFINISHED SHEET METAL DOWNSPOUTS WHERE INDICATED. REFER TO EXTERIOR ELEVATIONS MATERIAL SCHEDULE FOR SPECIFIED METAL COLORS. DESIGN/BUILD PLUMBING CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF DOWNSPOUTS AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
- ROOF DRAINS AND/OR DOWNSPOUTS SHOWN FOR INTENT ONLY. ROOFING AND PLUMBING CONTRACTORS SHALL DETERMINE AND COORDINATE FINAL ROOF DRAIN DOWNSPOUT SIZES AND LOCATIONS BASED ON DRAINAGE CALCULATIONS PROVIDED BY PLUMBING SUB-CONTRACTOR.

VEGETATIVE ROOF LEGEND

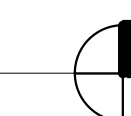
REQUIREMENT: 50% OF TOTAL ROOF AREA TO BE A VEGETATIVE ROOF.

3RD LEVEL ROOF/TERRACE AREA	=	11,632 SF
14TH LEVEL ROOF/TERRACE AREA	=	2,008 SF
15TH LEVEL ROOF/TERRACE AREA	=	22,366 SF
TOTAL COMBINED ROOF AREA	=	36,006 SF

3RD LEVEL VEGETATIVE ROOF/TERRACE	=	3,384
15TH LEVEL VEGETATIVE ROOF	=	14,776 SF
PERCENTAGE OF TOTAL VEGETATIVE ROOF	=	50.38% TOTAL



1 ROOF PLAN
3/32" = 1'-0"



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CITY OF MADISON LAND-USE & URBAN DESIGN COMMISSION SUBMITTAL

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REVISION SCHEDULE		
Mark	Description	Date

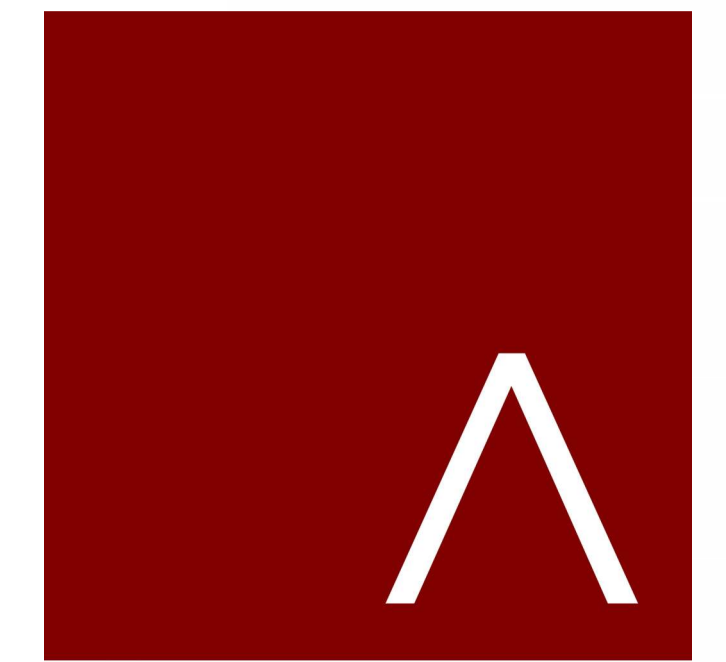
SHEET TITLE

ROOF PLAN

SHEET NUMBER

A120

EXTERIOR MATERIALS SCHEDULE	
MARK	DESCRIPTION
1	METAL PANEL 1
2	METAL PANEL 2
3	METAL PANEL 3
4	METAL PANEL 4
5	BRICK 1
6	STONE 1
7	ALUMINUM PATIO DOOR
8	ALUMINUM WINDOW FRAMING SYSTEM
9	ALUMINUM WINDOW WALL
11	GREEN SPACE WALL SYSTEM
12	GUARD RAIL ASSEMBLY
13	GLASS RAIL ASSEMBLY
14	PERGOLA



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Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A200

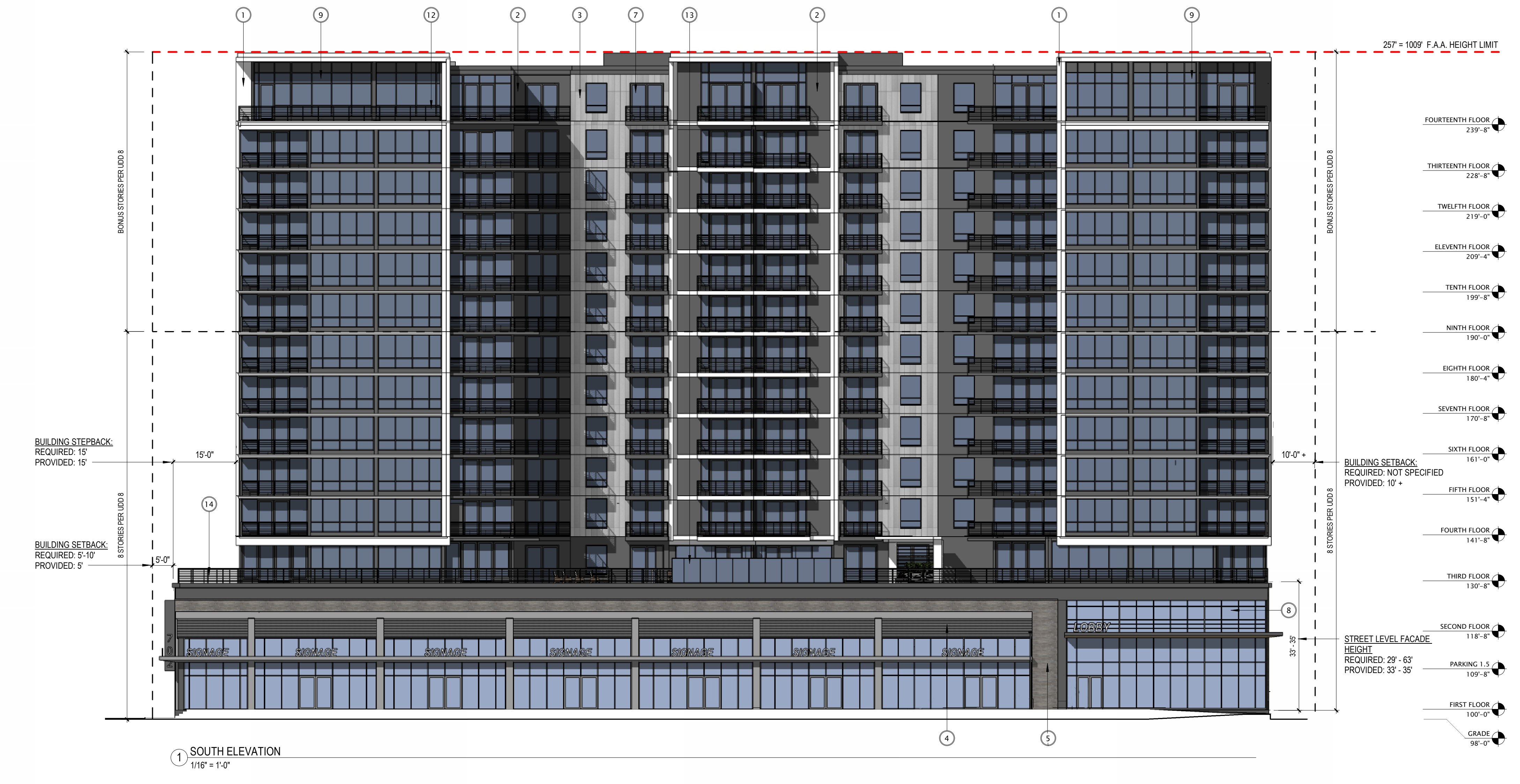
282' = 1032' CAPITOL VIEW LIMIT

257' = 1009' F.A.A. HEIGHT LIMIT

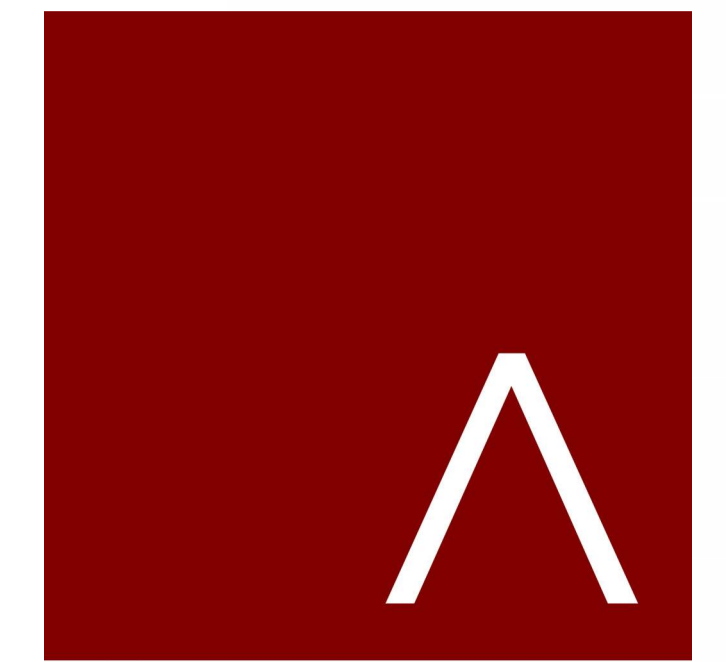


282' = 1032' CAPITOL VIEW LIMIT

257' = 1009' F.A.A. HEIGHT LIMIT



EXTERIOR MATERIALS SCHEDULE	
MARK	DESCRIPTION
1	METAL PANEL 1
2	METAL PANEL 2
3	METAL PANEL 3
4	METAL PANEL 4
5	BRICK 1
6	STONE 1
7	ALUMINUM PATIO DOOR
8	ALUMINUM WINDOW FRAMING SYSTEM
9	ALUMINUM WINDOW WALL
11	GREEN SPACE WALL SYSTEM
12	GUARD RAIL ASSEMBLY
13	GLASS RAIL ASSEMBLY
14	PERGOLA



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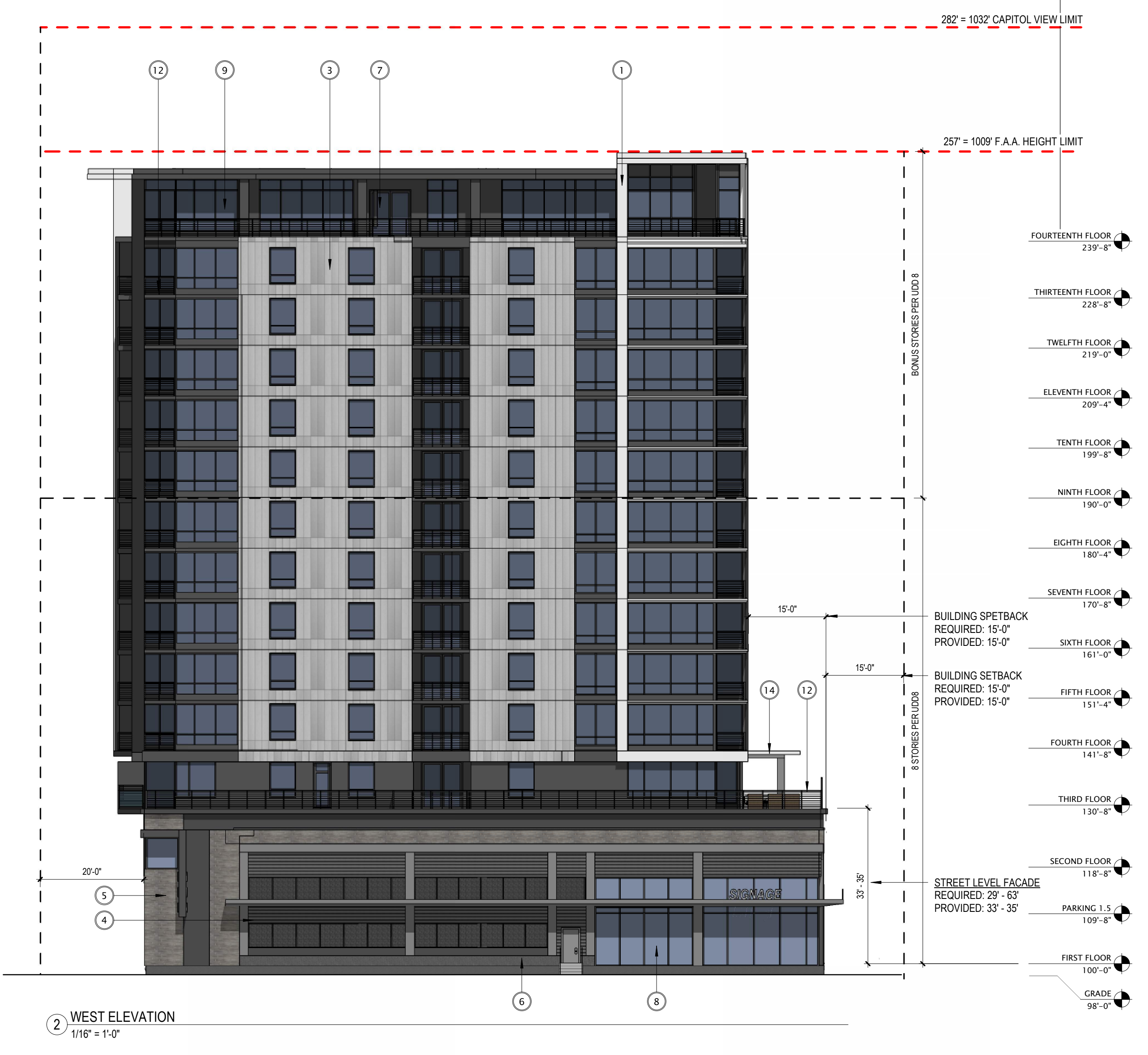
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A201





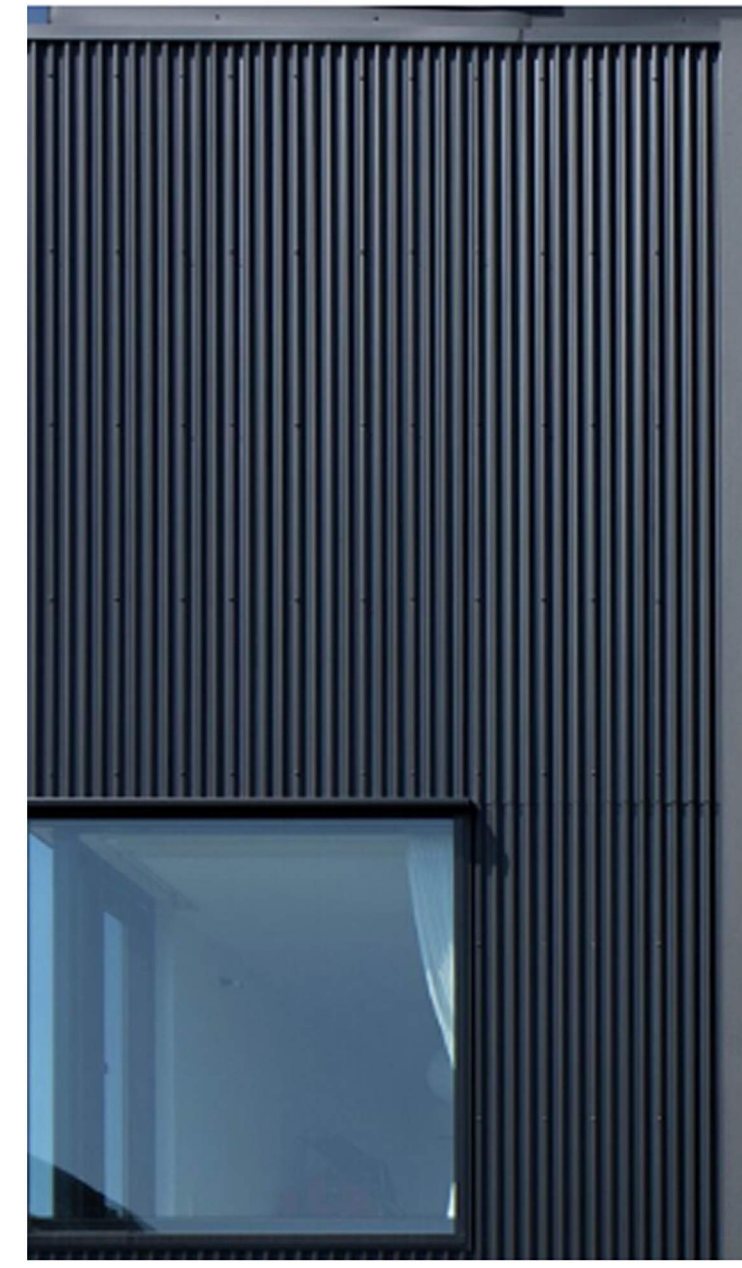
METAL PANEL 1



METAL PANEL 2



METAL PANEL 3



METAL PANEL 4



ALUM FRAMING SYSTEM



ALUM WINDOW WALL



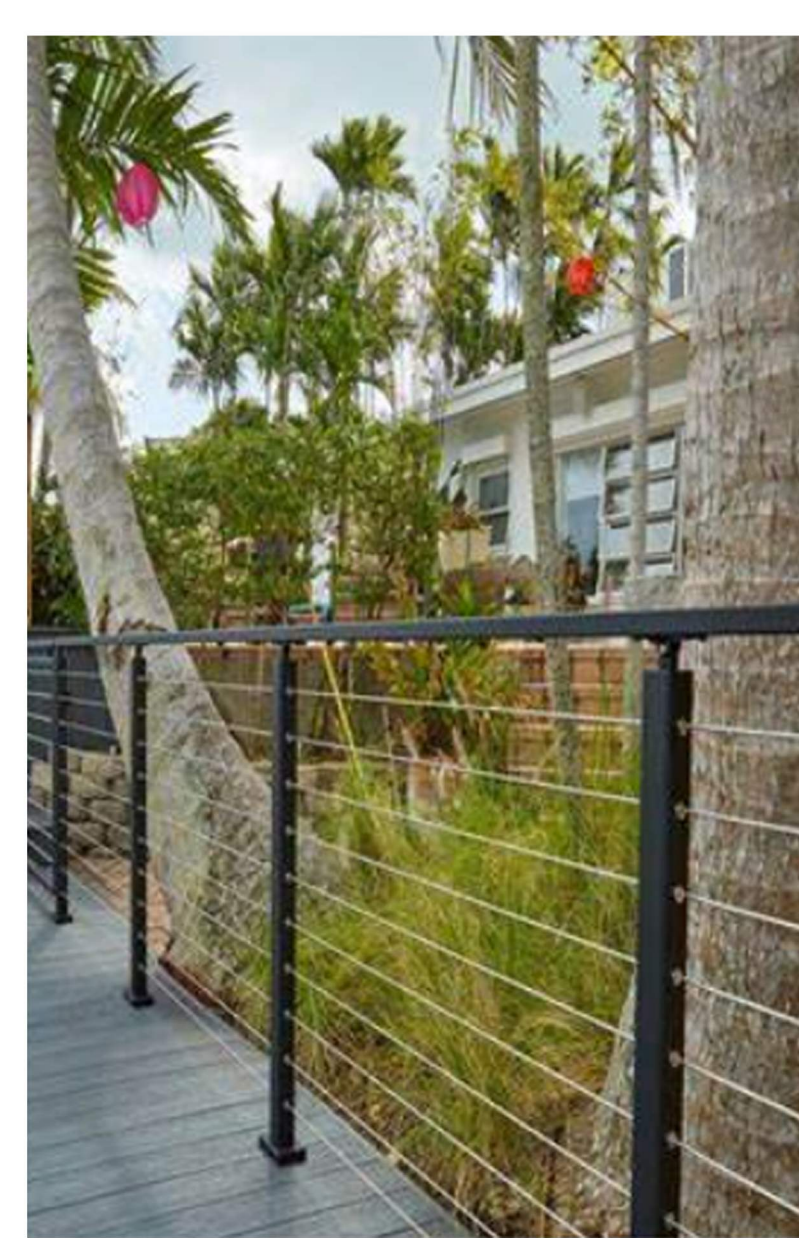
ALUM PATIO DOOR



ARCHITECTURAL LOUVER



GLASS GUARDRAIL ASSEMBLY



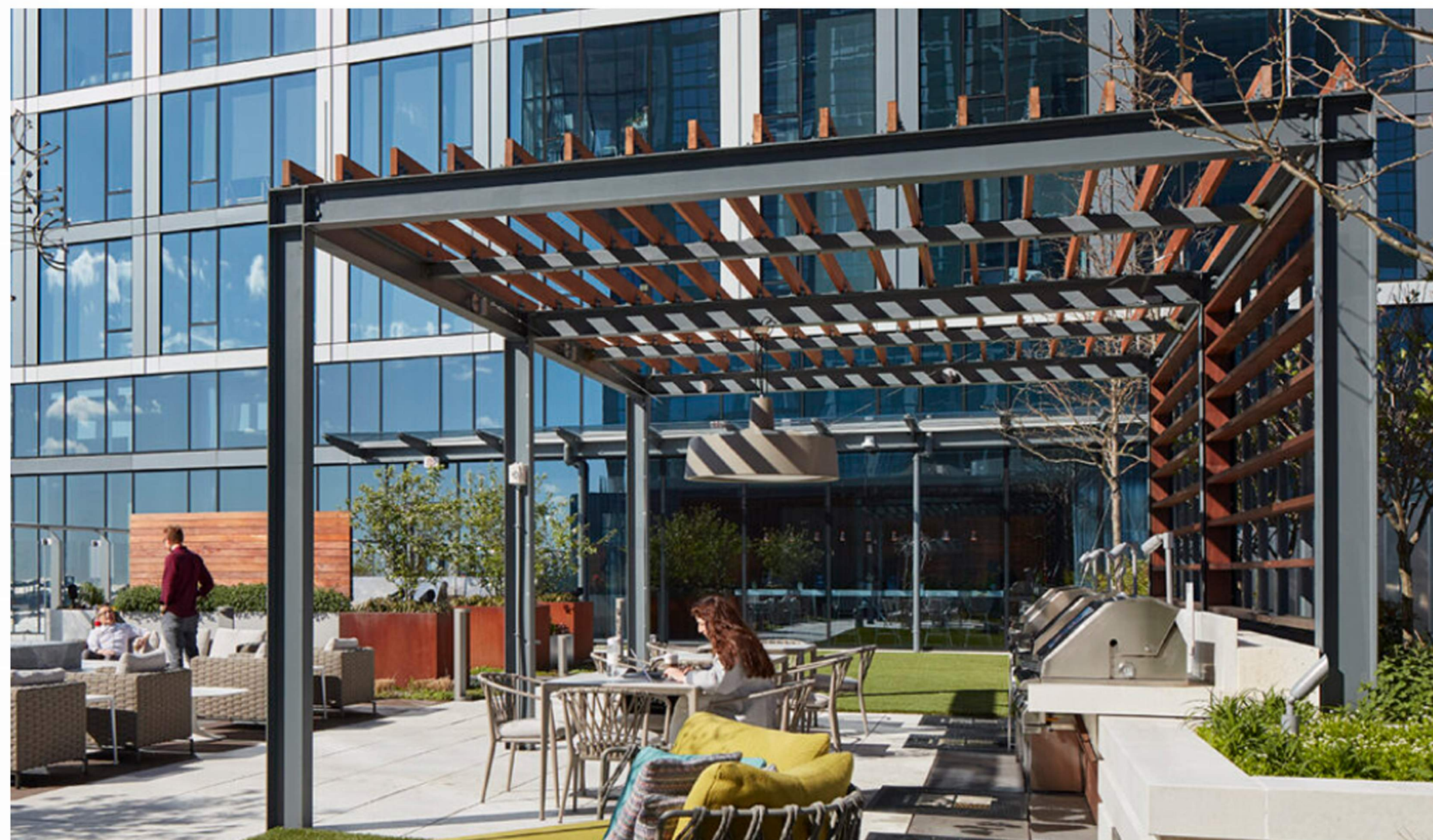
GUARDRAIL ASSEMBLY



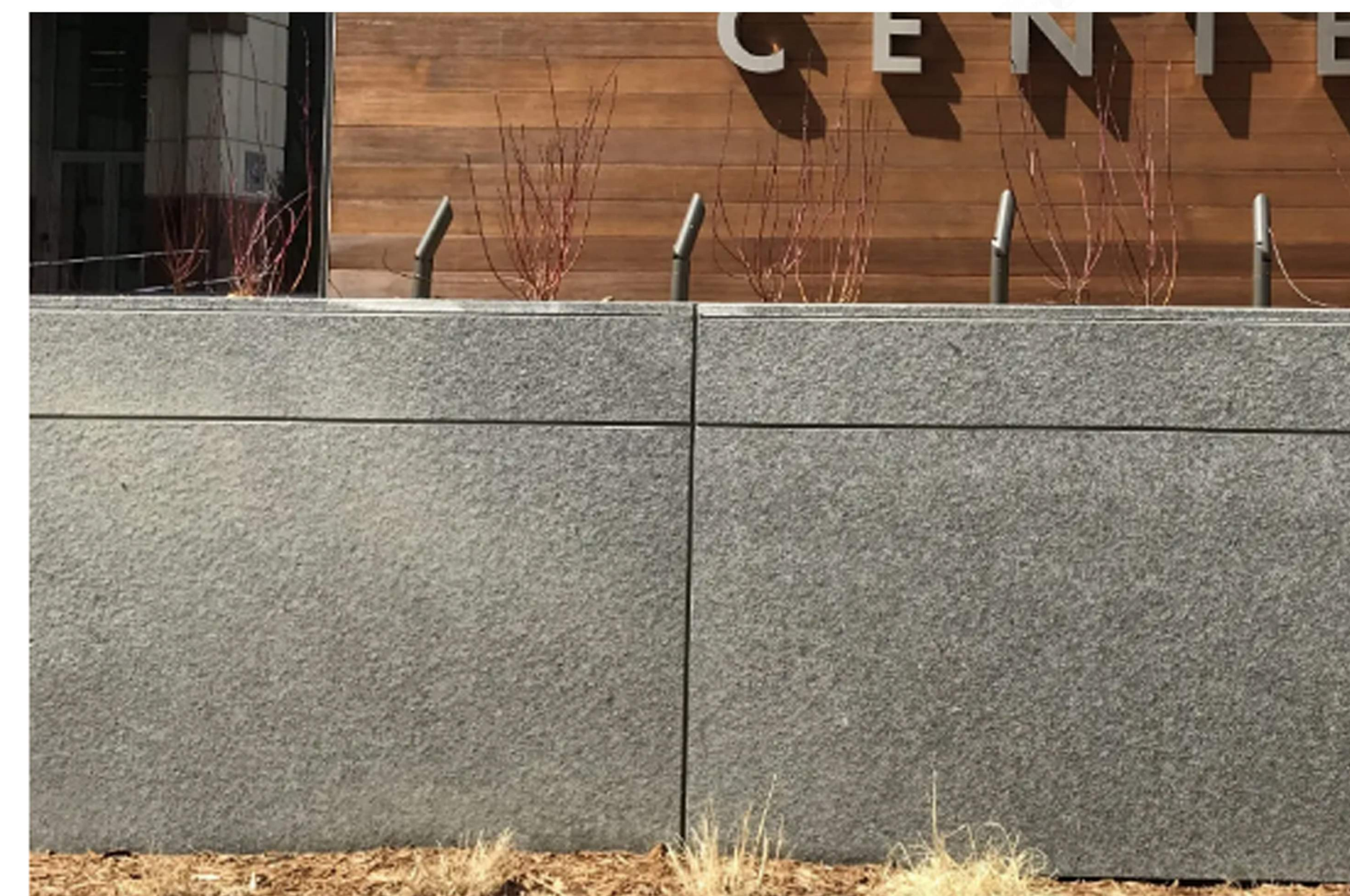
GREEN SCREEN



BRICK 1



PERGOLA



STONE 1



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REVISION SCHEDULE

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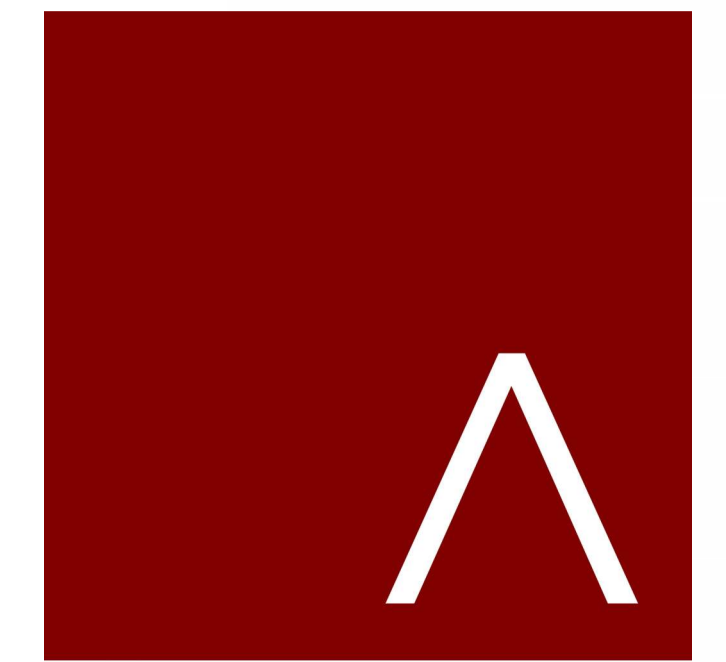
SHEET TITLE

DIGITAL MATERIAL
BOARD

SHEET NUMBER

A203

EXTERIOR MATERIALS SCHEDULE	
MARK	DESCRIPTION
1	METAL PANEL 1
2	METAL PANEL 2
3	METAL PANEL 3
4	METAL PANEL 4
5	BRICK 1
6	STONE 1
7	ALUMINUM PATIO DOOR
8	ALUMINUM WINDOW FRAMING SYSTEM
9	ALUMINUM WINDOW WALL
11	GREEN SPACE WALL SYSTEM
12	GUARD RAIL ASSEMBLY
13	GLASS RAIL ASSEMBLY
14	PERGOLA



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702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

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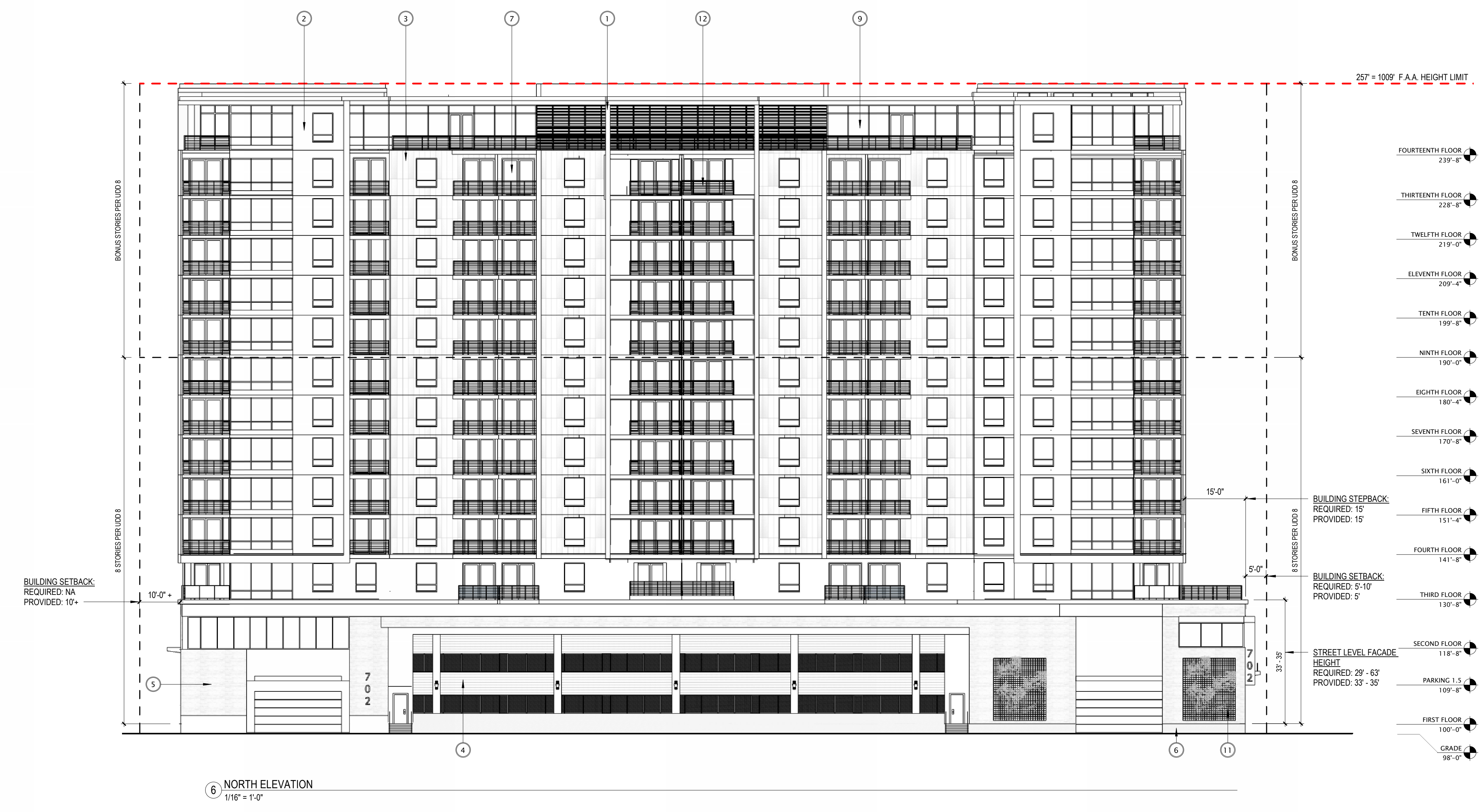
REVISION SCHEDULE		
Mark	Description	Date

EXTERIOR ELEVATIONS

SHEET NUMBER: **A204**

282' = 1032' CAPITOL VIEW LIMIT

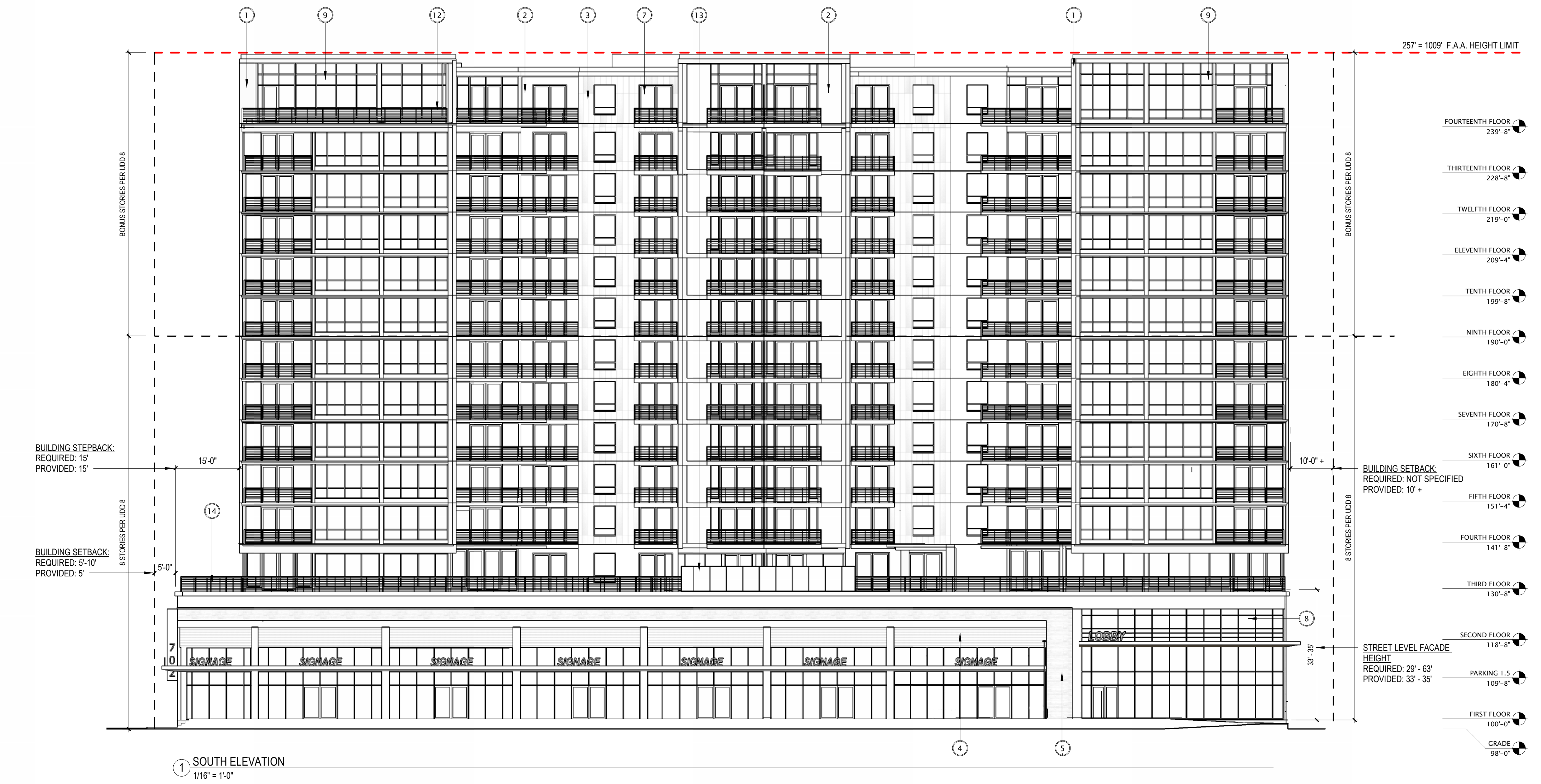
257' = 1009' F.A.A. HEIGHT LIMIT



6 NORTH ELEVATION
1/16" = 1'-0"

282' = 1032' CAPITOL VIEW LIMIT

257' = 1009' F.A.A. HEIGHT LIMIT



1 SOUTH ELEVATION
1/16" = 1'-0"

EXTERIOR MATERIALS SCHEDULE	
MARK	DESCRIPTION
1	METAL PANEL 1
2	METAL PANEL 2
3	METAL PANEL 3
4	METAL PANEL 4
5	BRICK 1
6	STONE 1
7	ALUMINUM PATIO DOOR
8	ALUMINUM WINDOW FRAMING SYSTEM
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14	PERGOLA



JLA PROJECT NUMBER: W22-0106

702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

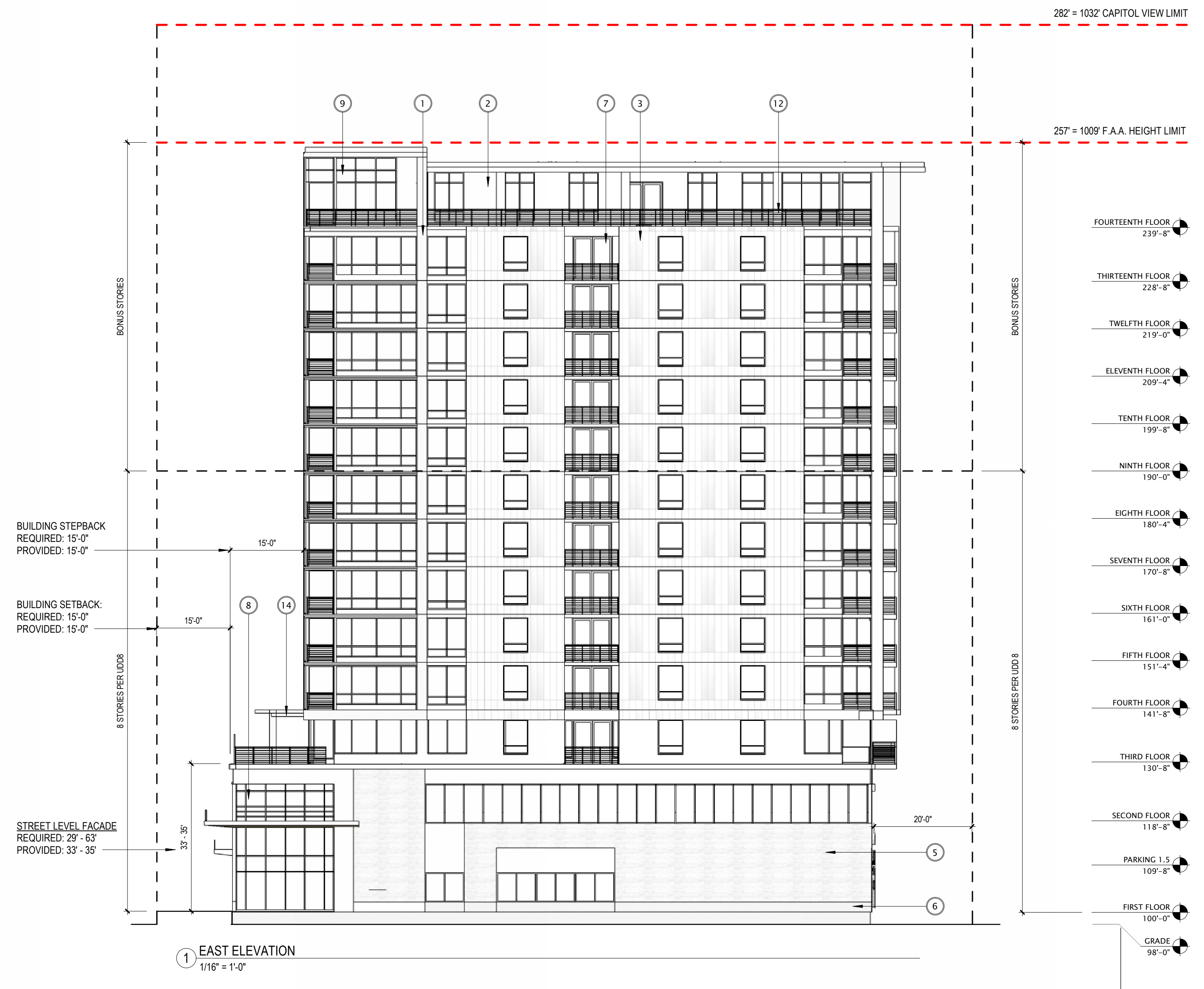
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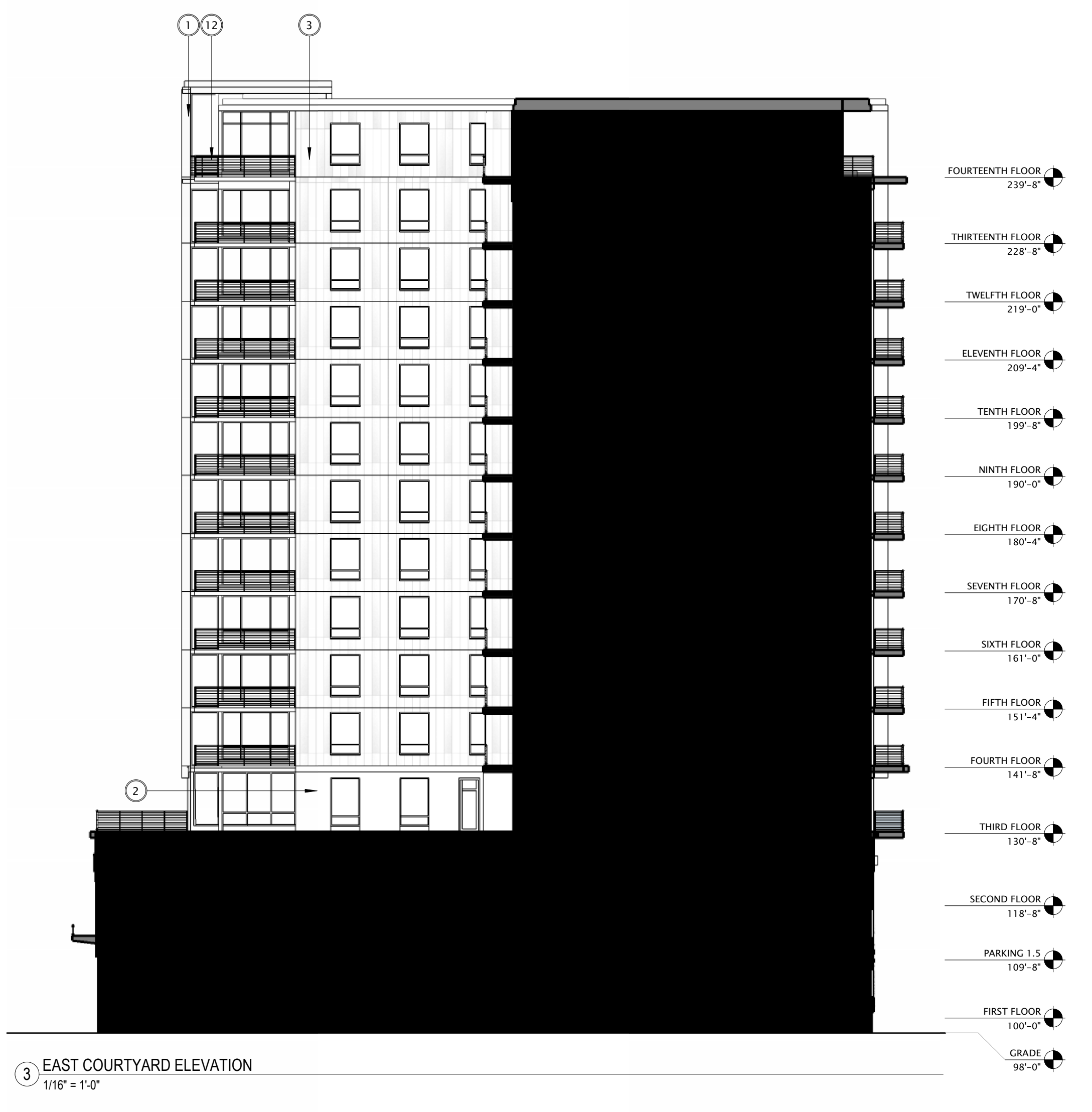
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE: EXTERIOR ELEVATIONS

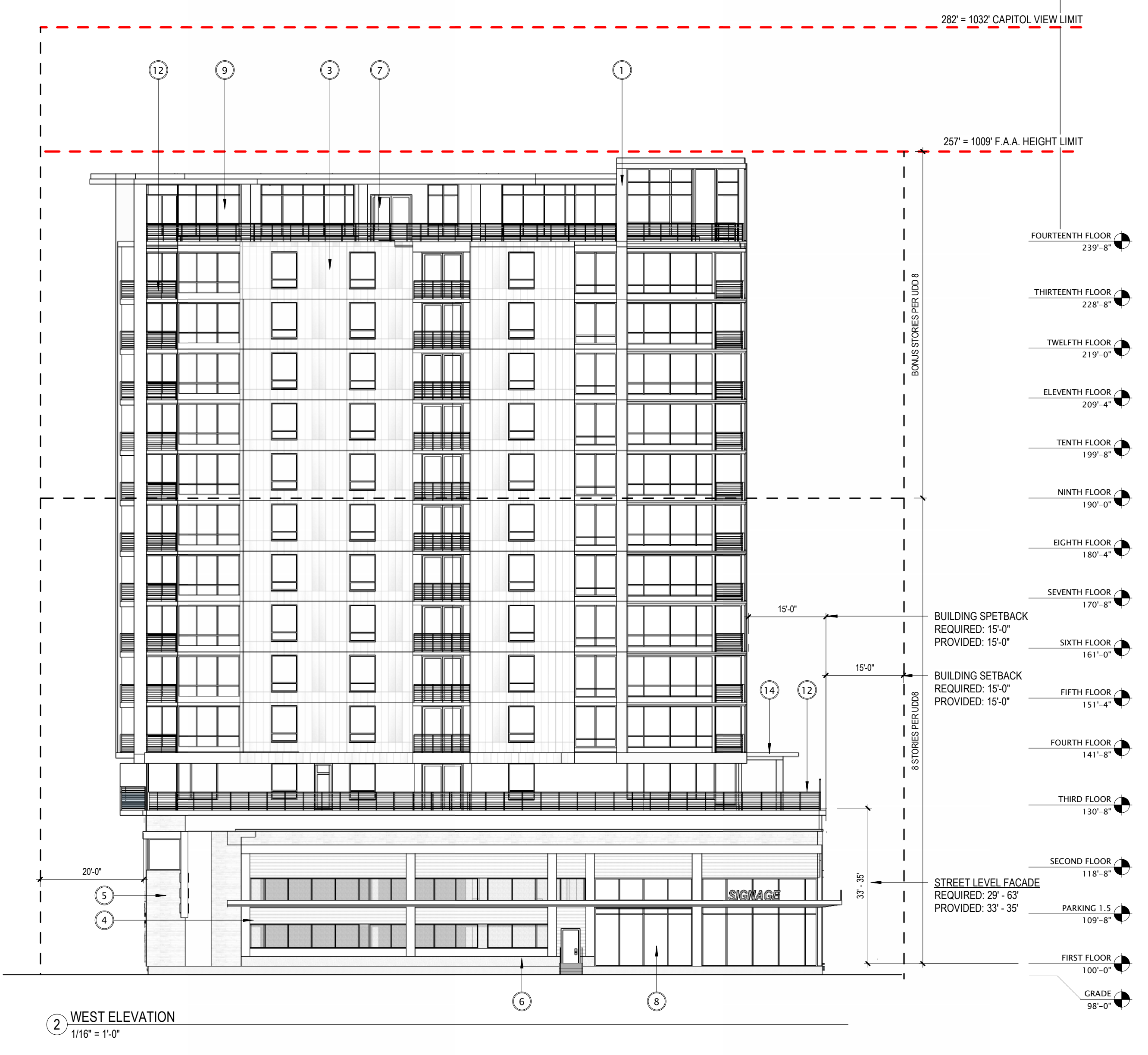
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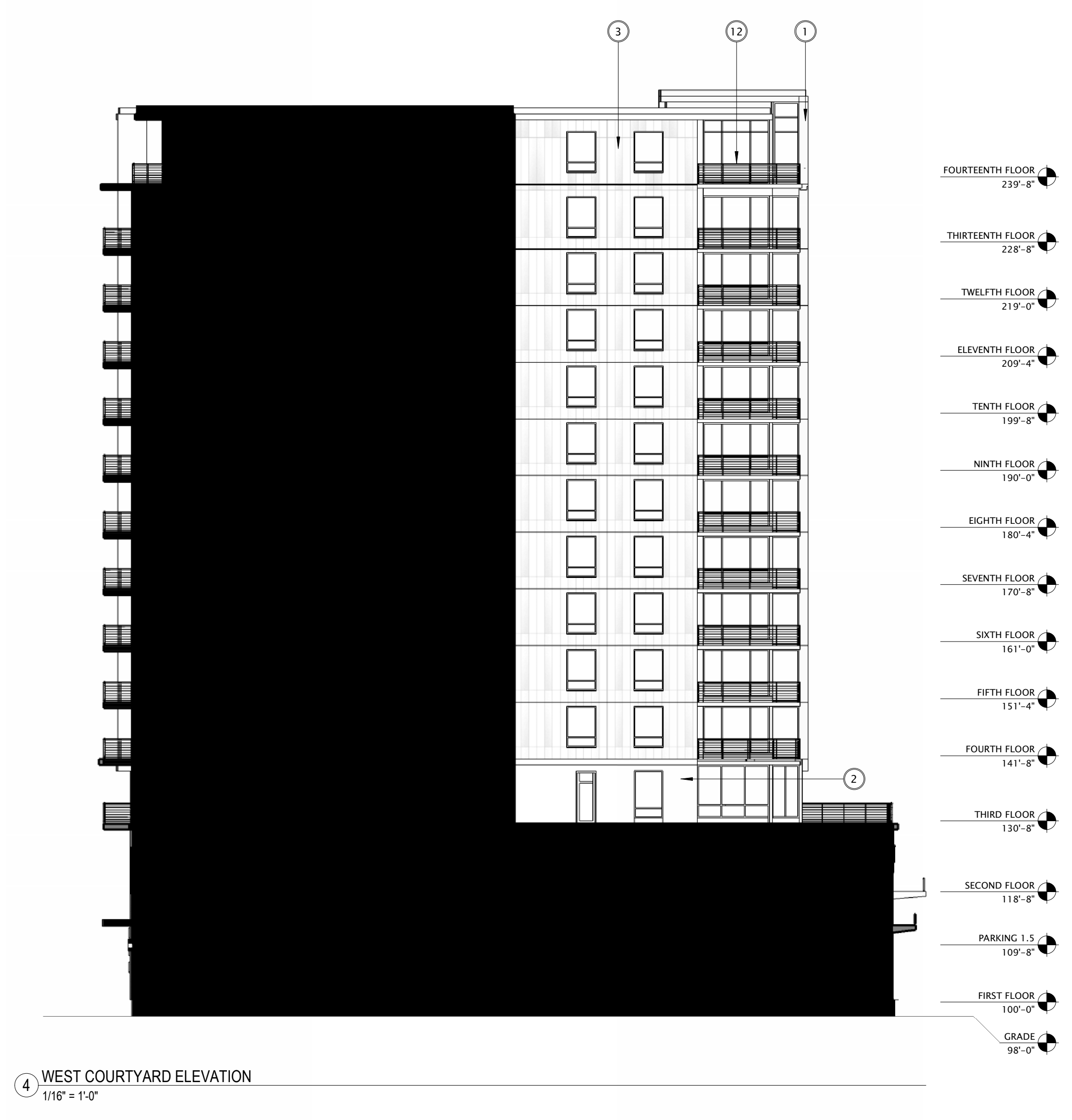
1 EAST ELEVATION
1/16" = 1'-0"



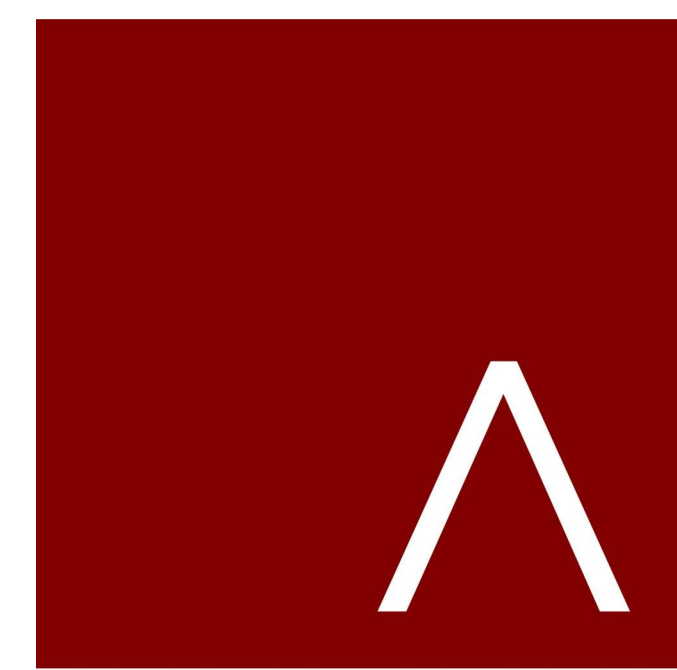
3 EAST COURTYARD ELEVATION
1/16" = 1'-0"



2 WEST ELEVATION
1/16" = 1'-0"



4 WEST COURTYARD ELEVATION
1/16" = 1'-0"

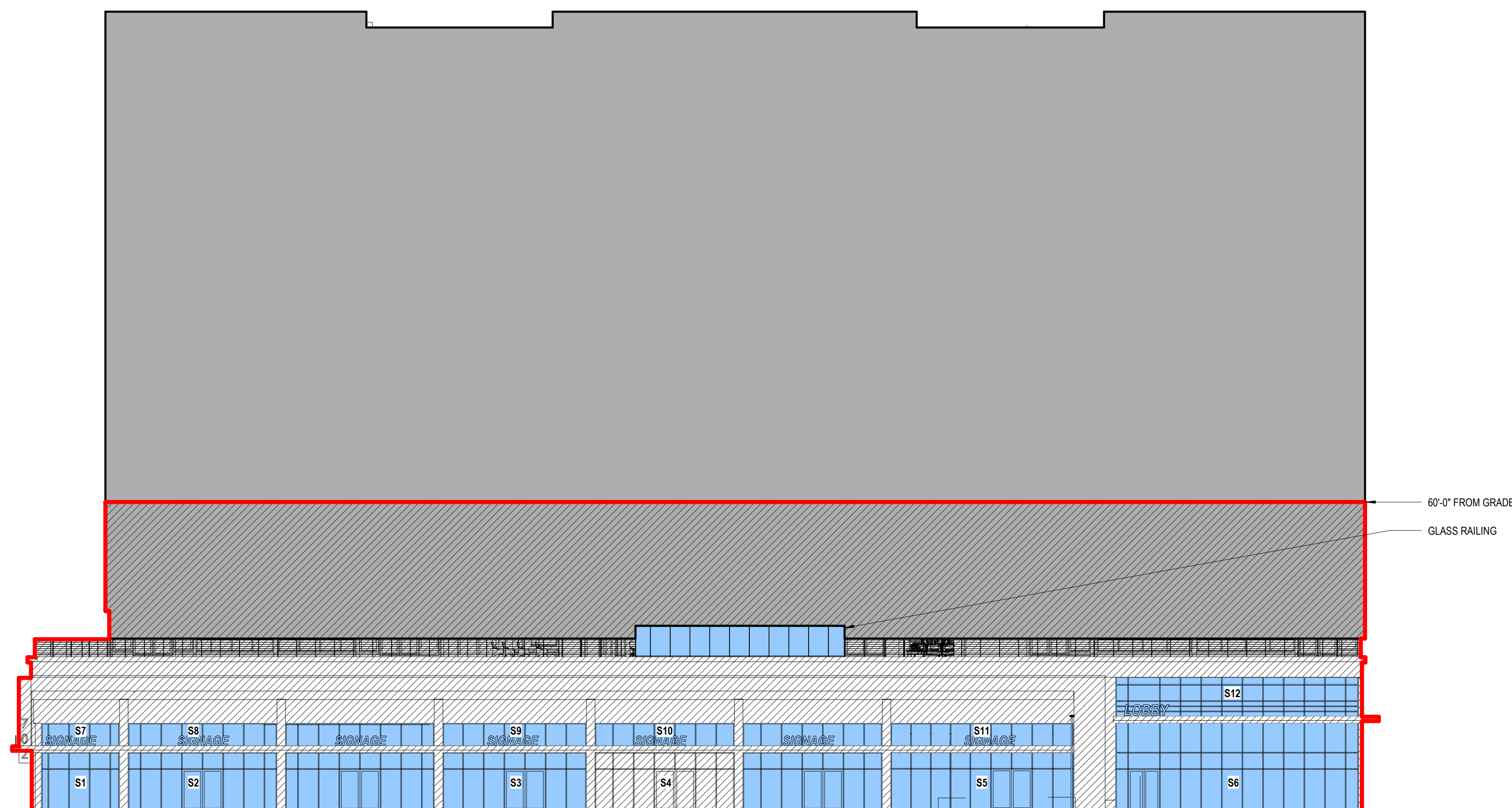


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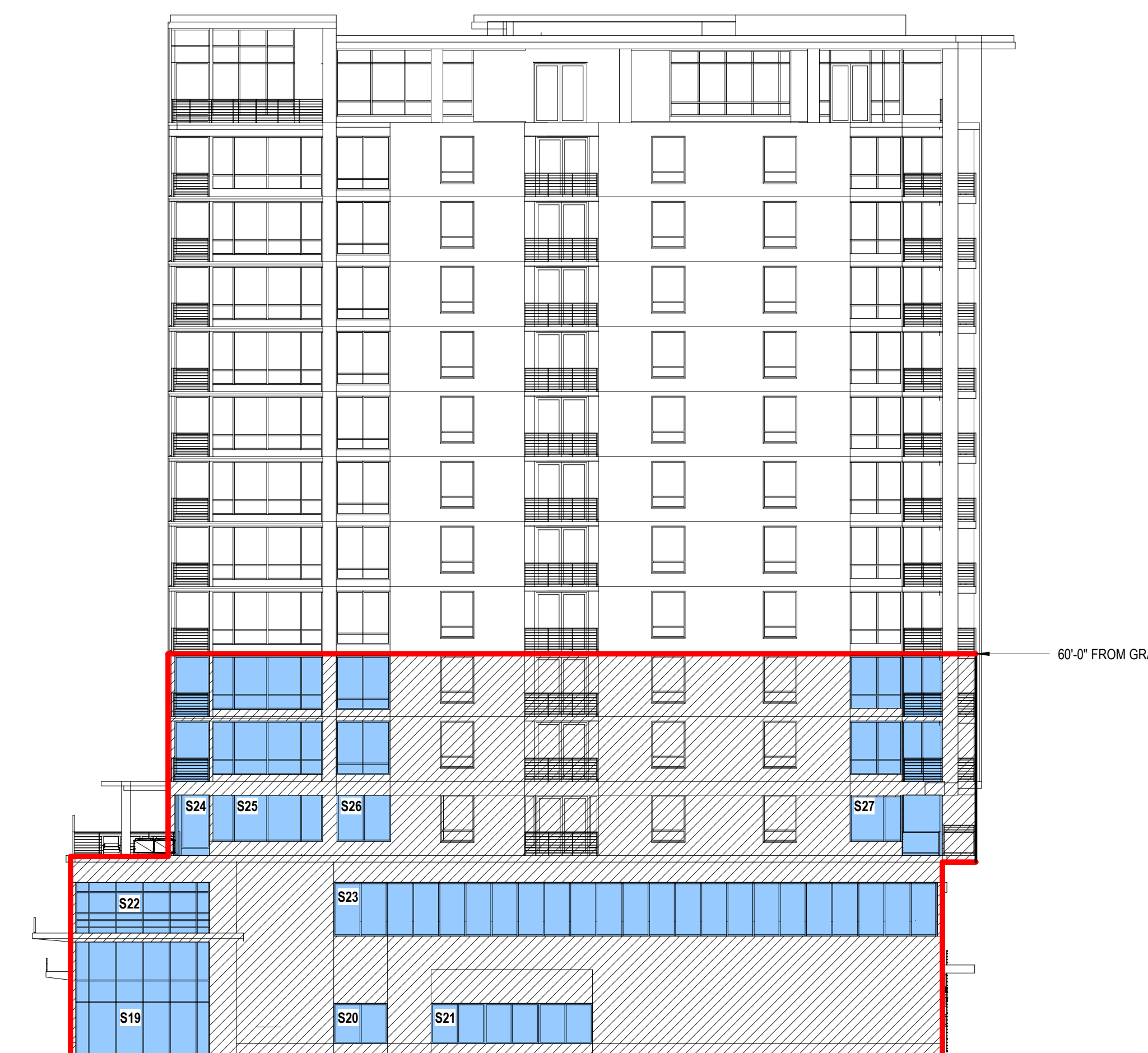
JLA PROJECT NUMBER: W22-0106

702 EAST WASHINGTON AVENUE
MIXED-USE DEVELOPMENT

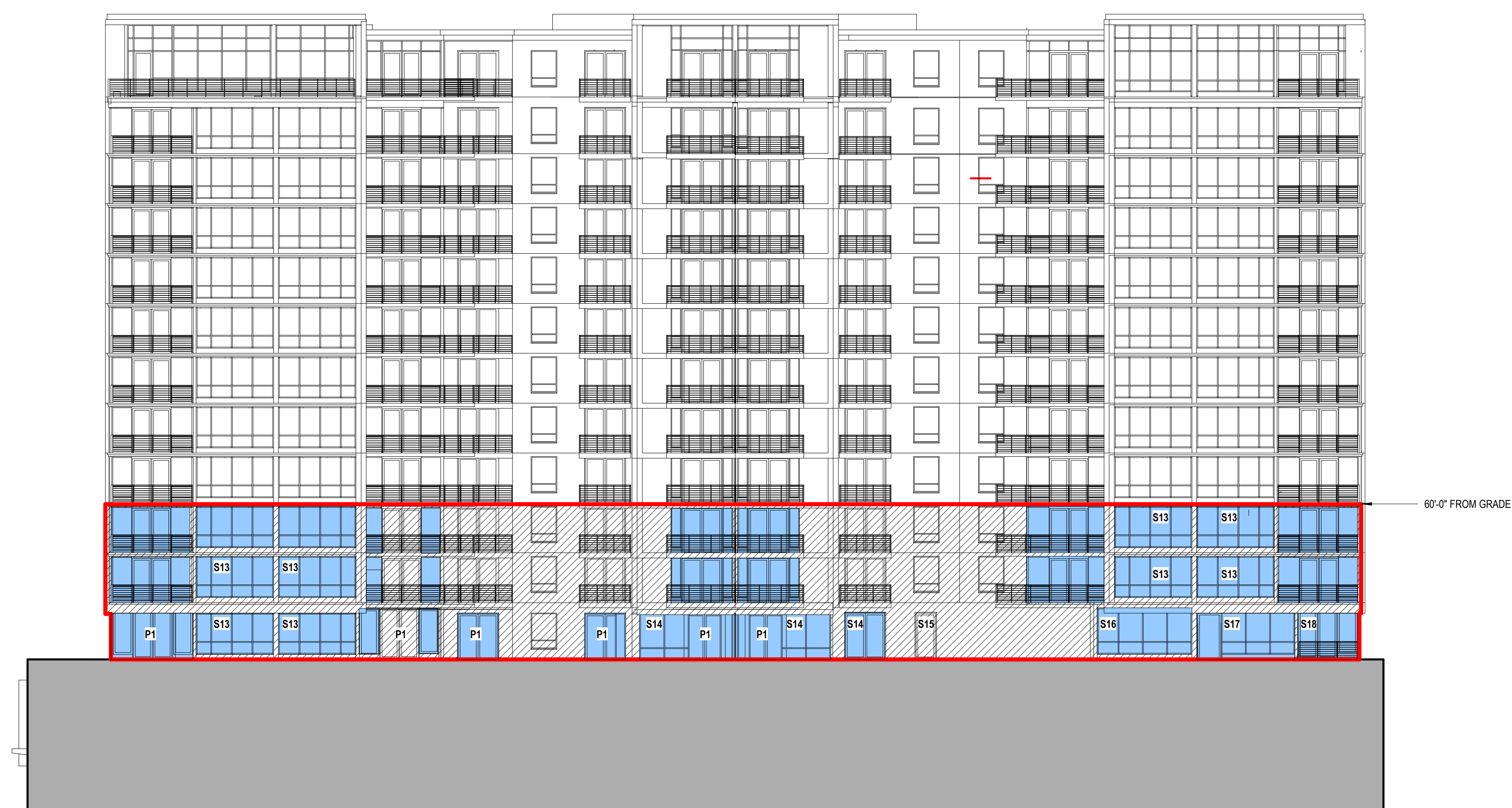
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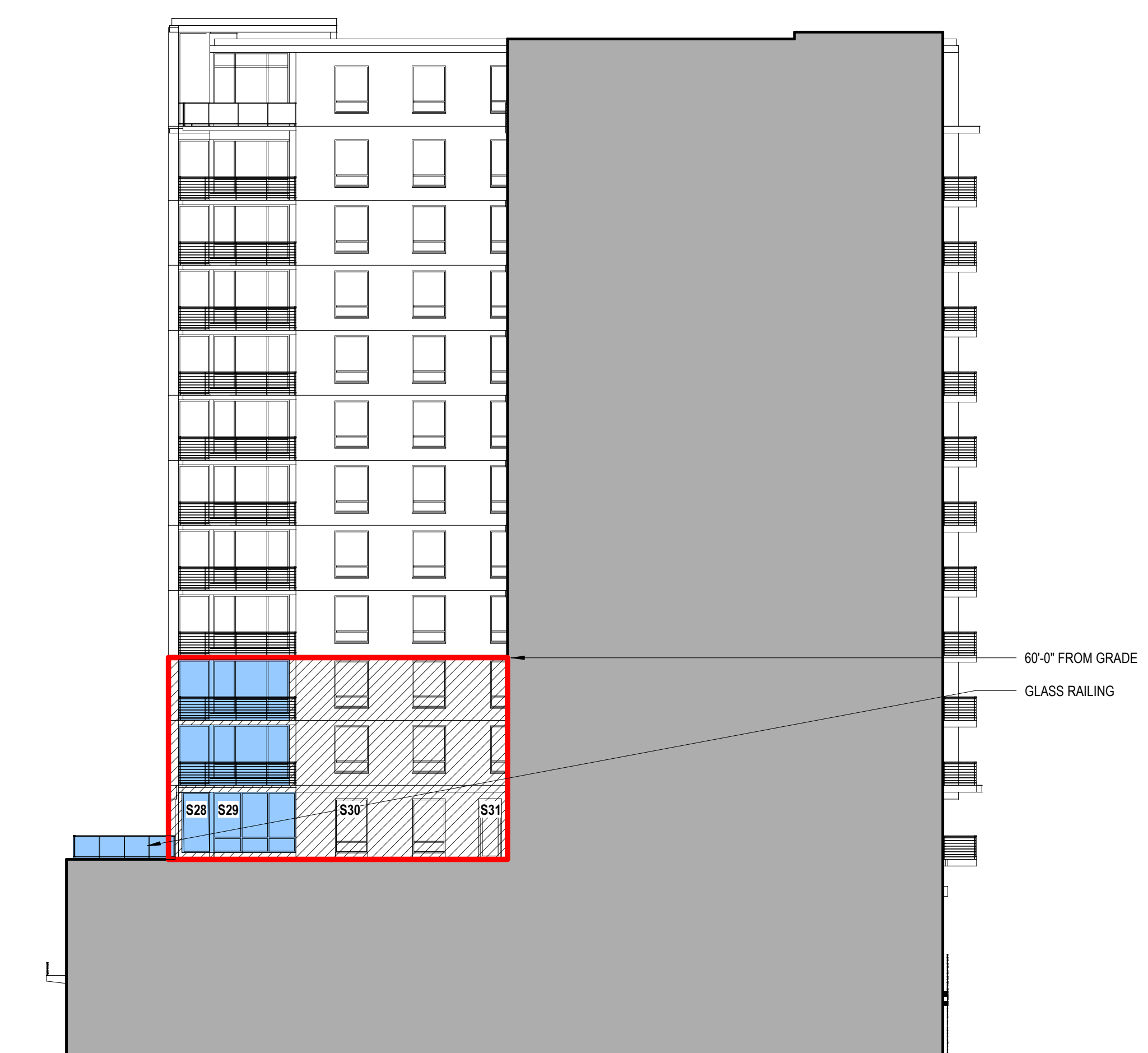
1 SOUTH ELEVATION BIRD-SAFE GLASS AUTOCAD
1/16" = 1'-0"



3 EAST ELEVATION BIRD-SAFE GLASS AUTOCAD
1/16" = 1'-0"



2 SOUTH ELEVATION RECESS BIRD-SAFE GLASS AUTOCAD
1/16" = 1'-0"



4 EAST ELEVATION RECESS BIRD-SAFE GLASS AUTOCAD
1/16" = 1'-0"

DATE OF ISSUANCE NOVEMBER 27, 2023

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

BIRD-SAFE GLASS
EXTERIOR
ELEVATIONS

SHEET NUMBER

A821

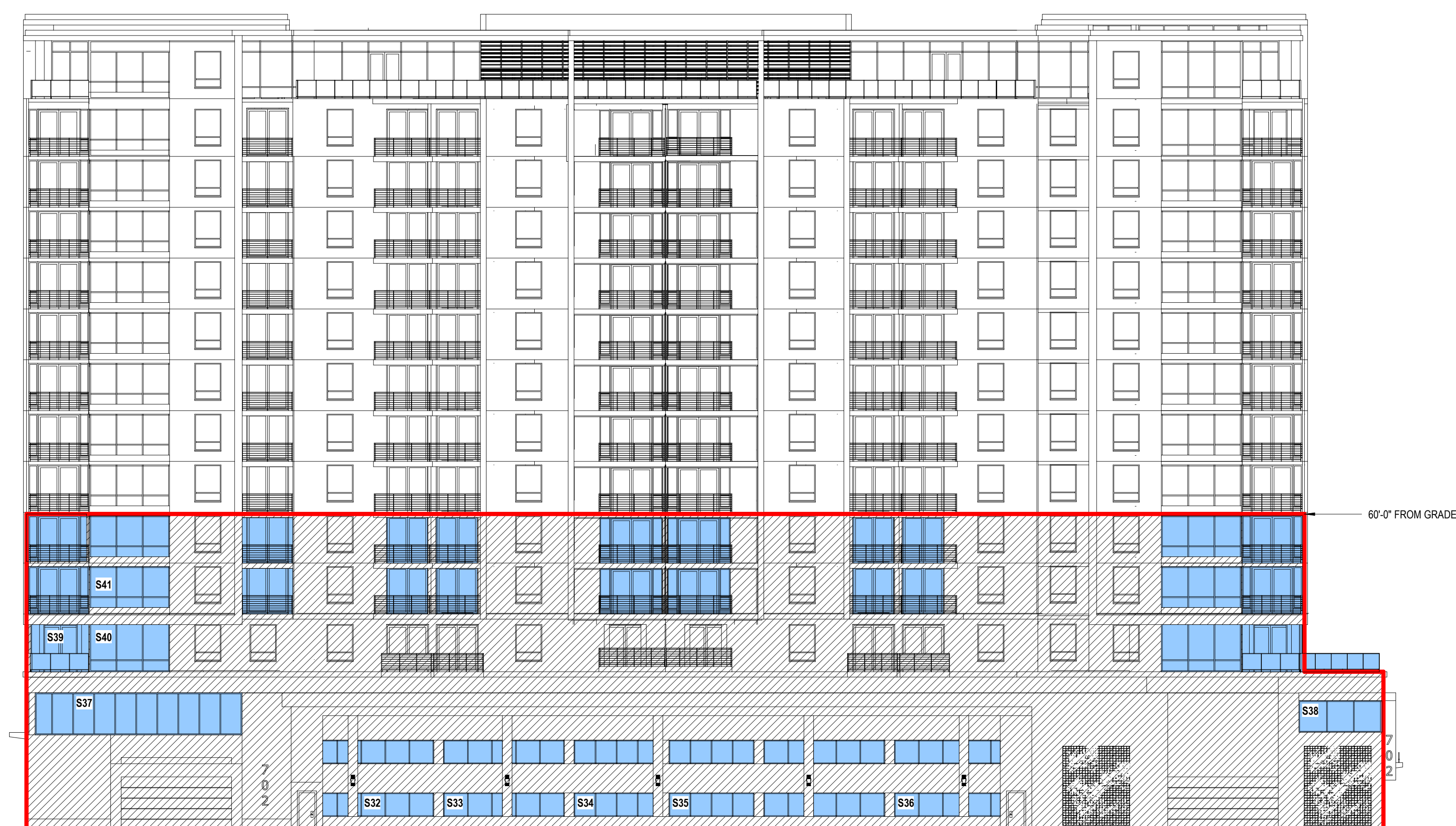


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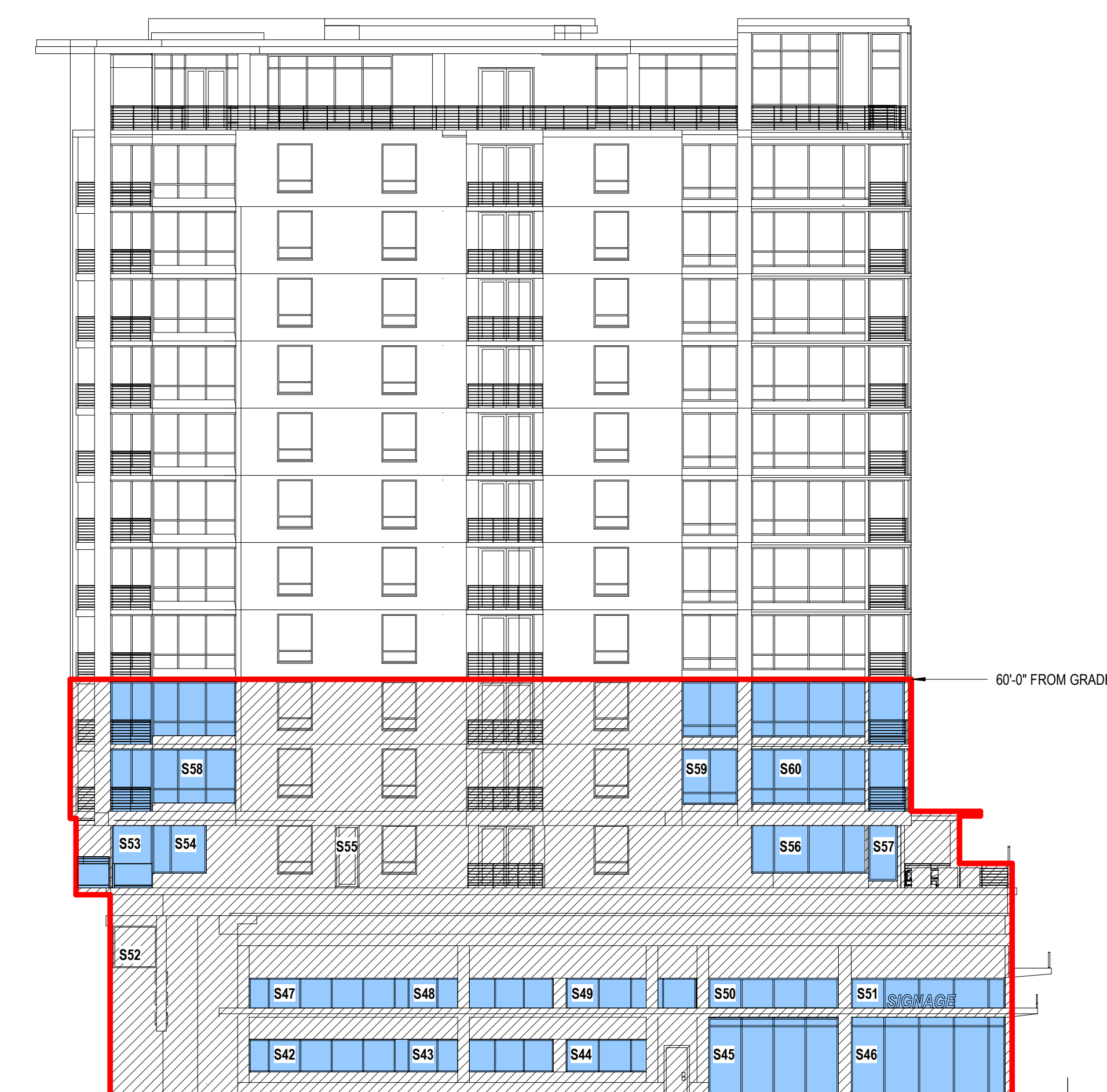
JLA PROJECT NUMBER: W22-0106

702 EAST WASHINGTON AVENUE
MIXED-USE DEVELOPMENT

CITY OF MADISON LAND-USE &
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1 NORTH ELEVATION BIRD-SAFE GLASS AUTOCAD
1/16" = 1'-0"



2 WEST ELEVATION BIRD-SAFE GLASS AUTOCAD
1/16" = 1'-0"



4 WEST ELEVATION RECESS BIRD-SAFE GLASS AUTOCAD
1/16" = 1'-0"

DATE OF ISSUANCE NOVEMBER 27, 2023

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
**BIRD-SAFE GLASS
EXTERIOR
ELEVATIONS**

SHEET NUMBER
A822