



City of Madison

Proposed Rezoning

Location
5102 Silvertree Run

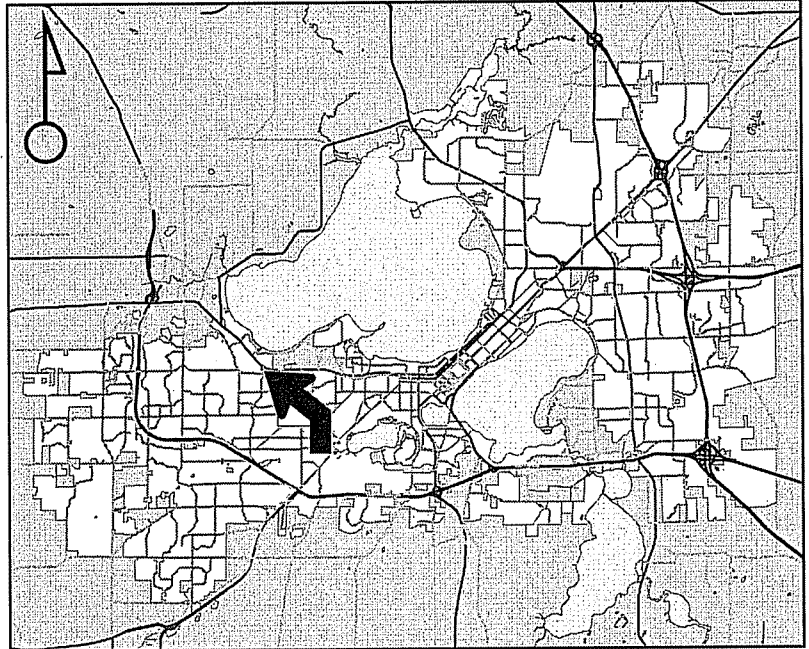
Applicant
Doug Hursh, Potter Lawson

From: PD To: Amended PD(GDP-SIP)

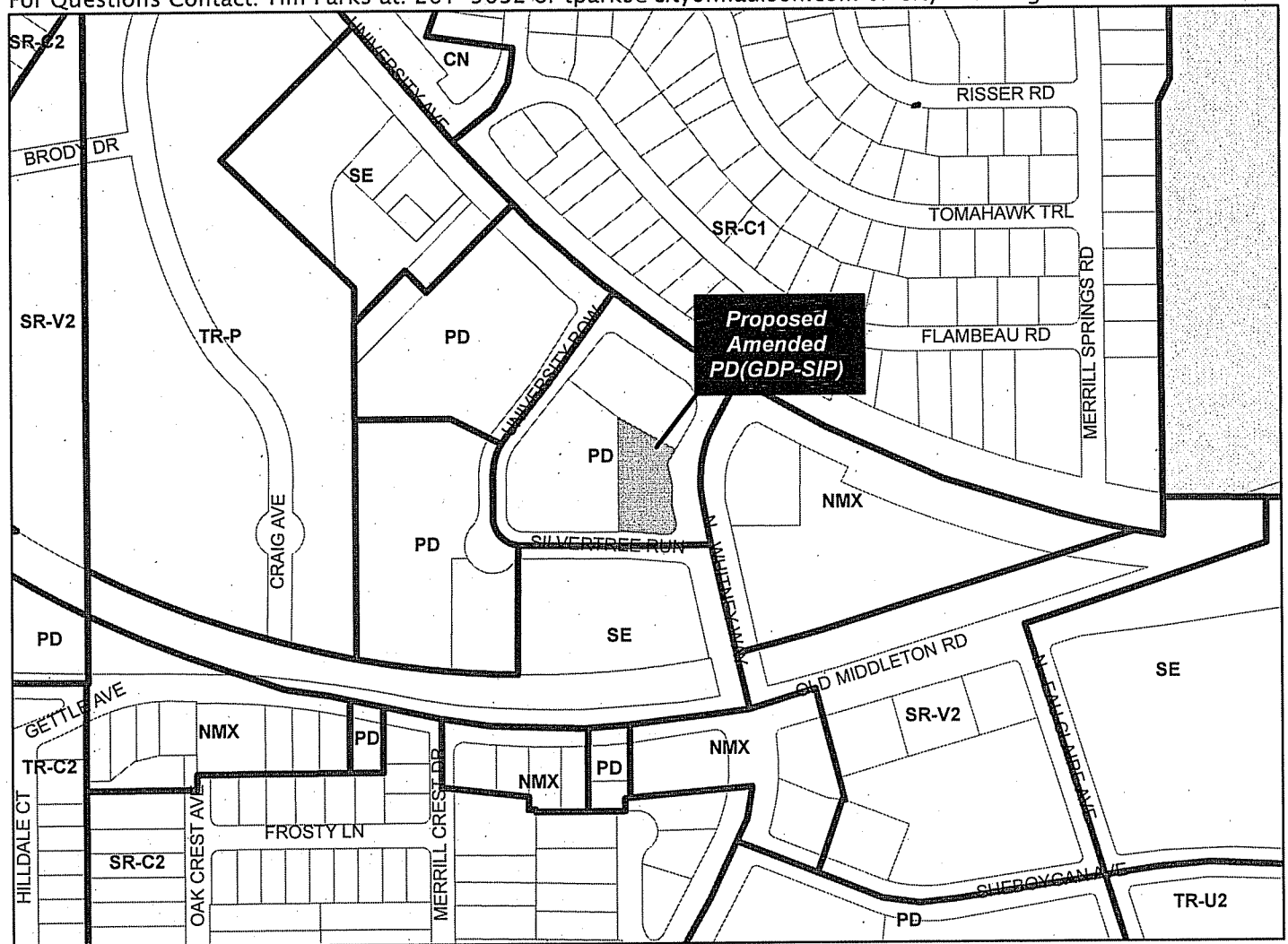
Existing Use
Vacant

Proposed Use
Amend "University Crossing" General Development Plan and approve Specific Implementation Plan to construct a mixed-use building with 10,500 sq. ft. of commercial and 48 apartments

Public Hearing Date
Plan Commission
20 November 2017
Common Council
5 December 2017



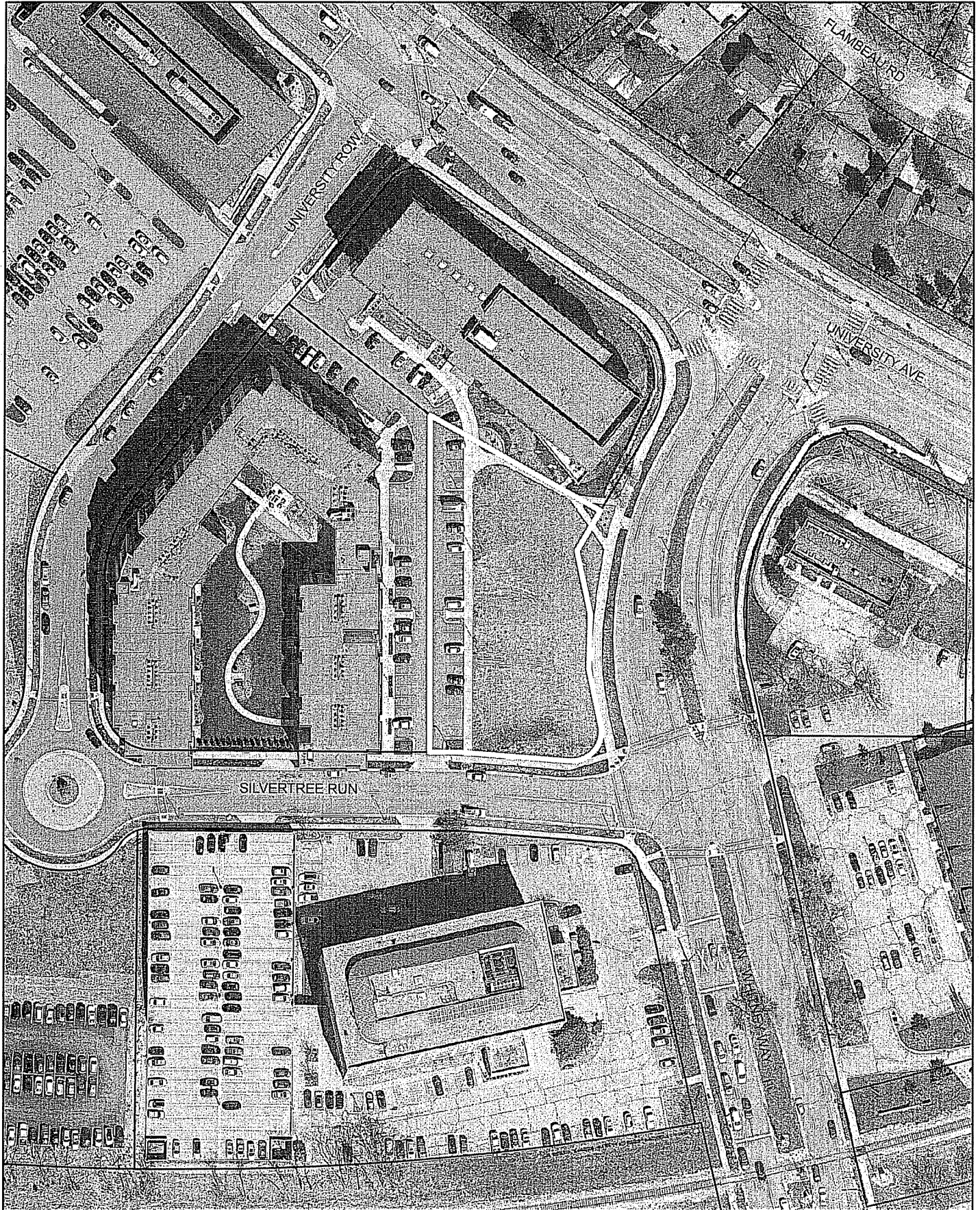
For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : PPE : Date : 13 November 2017

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LAND USE APPLICATION

LND-B

City of Madison
 Planning Division
 126 S. Hamilton St.
 P.O. Box 2985
 Madison, WI 53701-2985
 (608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____
 Date received 9/20/17
 Received by RGJ
 Parcel # 0709-184-1906-5
 Aldermanic district 19-CLEAR
 Zoning district PD
 Special requirements ENG-IMP; WP 14; PD
 Review required by _____
 UDC PC
 Common Council Other _____
 Reviewed By _____

All Land Use Applications must be filed with the Zoning Office at the above address.

This completed form is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application found on the City's web site.

1. Project Information

Address: 5102 Silver Tree Run
 Title: University Crossing Mixed Use Building

2. This is an application for (check all that apply)

- Zoning Map Amendment (rezoning) from GDP to SIP
- Major Amendment to an Approved Planned Development-General Development Plan (PD-GDP) Zoning
- Major Amendment to an Approved Planned Development-Specific Implementation Plan (PD-SIP)
- Review of Alteration to Planned Development (PD) (by Plan Commission)
- Conditional Use or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other requests

3. Applicant, Agent and Property Owner Information

Applicant name Paul Lenhart and Joe Krupp **Company** University Crossing Investors II, LLC
Street address 749 University Row Suite 101 **City/State/Zip** Madison, WI 53705
Telephone 608.249.2020 **Email** plenhart@kruppconstruction.com

Project contact person Doug Hursh **Company** Petter Lawson
Street address 749 University Row Suite 300 **City/State/Zip** Madison, WI 53705
Telephone 608.274.2741 **Email** dough@potterlawson.com

Property owner (if not applicant)
Street address 749 University Row **City/State/Zip** Madison, WI 53705
Telephone 608 266 4635 **Email** plenhart@kruppconstruction.com

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4. Project Description

Provide a brief description of the project and all proposed uses of the site:

5102 Silver tree Run will be the fourth building in the University Crossing development.

The building will be a mixed used building with Office and Residential use.

Scheduled start date March 15, 2018 Planned completion date March 15, 2019

5. Required Submittal Materials

Refer to the Land Use Application Checklist for detailed submittal requirements.

- Checklist items: Filing fee, Land Use Application, Letter of intent, Legal description, Pre-application notification, Vicinity map, Survey or existing conditions site plan, Development plans, Land Use Application Checklist (LND-C), Supplemental Requirements, Electronic Submittal*

*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to pcapplications@cityofmadison.com.

For concurrent UDC applications a separate pre-application meeting with the UDC Secretary is required prior to submittal. Following the pre-application meeting, a complete UDC Application form and all other submittal requirements must be submitted to the UDC Secretary.

6. Applicant Declarations

- Pre-application meeting with staff. Prior to preparation of this application, the applicant is strongly encouraged to discuss the proposed development and review process with Zoning and Planning Division staff. Note staff persons and date.

Planning staff Chris Wells (DAT meeting) Date August 24, 2017

Zoning staff Jenny Kirchgatter (DAT meeting) Date August 24, 2017

- Demolition Listserv
Public subsidy is being requested (indicate in letter of intent)
Pre-application notification: The zoning code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request.

List the alderperson, neighborhood association(s), business association(s), AND the dates you sent the notices:
Spring Harbor Neighborhood Board Meeting June 13 and open neighborhood meeting June 22 at Potterlawson Office. Alder Mark Clear email notification August 21.

The alderperson and the Director of Planning & Community & Economic Development may reduce the 30-day requirement or waive the pre-application notification requirement altogether. Evidence of the pre-application notification is required as part of the application materials.

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of applicant Doug Hursh Relationship to property Architect
Authorizing signature of property owner Date 9/20/17

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Success by **Design**

September 20, 2017

Via email and hand delivery

Plan Commission, Urban Design Commission, City Planning & Zoning Departments
City of Madison
126 S. Hamilton St.
Madison, WI 53701

Re: **Letter of Intent for Proposed Development
University Crossing Mixed Use Building
5102 Silver Tree Run**

Dear Commission Members:

We are pleased to present the enclosed documents as part of a Land Use Submittal to the Plan Commission for a new mixed use office and residential building within the University Crossing Development. This building is the fourth building within the development masterplan and completes the outer edges of the development located along Whitney Way near the University Avenue Intersection.

Project Description:

This building will consist of one level of office space on the first floor along with 3 levels of apartments above and one level of underground parking below. The first floor will have a community room that will be available for all occupants in the building. No new surface parking is being proposed for this building, the parking structure within the University Row Apartments at 725 University Row along with the surface stalls between the two buildings and the additional underground parking stalls will provide adequate parking for the new building.

Zoning:

We are requesting a zoning change to the previously approved Planned Development/GDP that allowed either a 6 story hotel or a 4 story office building. The proposed mixed of uses and number of floors is compatible with the existing uses of the adjacent buildings in the development which include a multi-tenant office building (building 4) and an apartment building (building 6). The proposed four story height is similar to the adjacent 4 story apartment building on the site but still much lower than the 6 story PSC building located to the south of the site. The building design and use fits within the current zoning text for the GDP. The project is within Urban Design District 6 and within Well Head Protection Zone, WP-14.

Comprehensive Plan:

The city of Madison Comprehensive Plan designates this site for Community Mixed Use (CMU) and Employment (E). The southeast corner of the site is also designated as a Transit Oriented Design (TOD) overlay located at the intersection of Whitney Way and Od Middleton Road.

Land Use note 34 : This site is designated Community Mixed Use to encourage future redevelopment of lands on both sides of Whitney Way as relatively high density Transit-Oriented Development employment district which may include limited retail and residential uses to support the primary recommended employment use.

Staff and Neighborhood Input:

An open neighborhood meeting was held on June 22nd with Alder Mark Clear in attendance. The project was presented to the Spring Harbor Neighborhood board on June 13th. The team presented the project to the Development Assistance Team on August 24th and the project was presented to the Urban Design Commission on September 6th.

Project Data:

Location: 5102 Silver Tree Run
 Schedule: Construction Start in March 2018, Complete by April 2019
 Zoning: PD, Well Head Protection Zone, WP-14, Urban Design District 6
 Aldermanic District: District 19, Mark Clear
 Building Area: Office: 15,329 SF
 Apartments: 35,637 SF
 Parking: 16,542 SF
 Total above grade: 50,966 SF
 Number of Apartment Units: 48 Units
 Number of Bedrooms: 57 Bedrooms
 Hours of Operation: Typical Office hours are assumed to be 7:00 am – 6:00 pm, with 24 hour residential occupancy
 Number of Employees: 35 to 45
 Lot Coverage:
 Usable Open Space:

Parking:

33 stalls are provided in the lower level, as well as, 65 shared surface of 337 shared structured stalls.

Parking and Area Summary

Building Name	Address	Use	Units	Office Area
Existing Building 6	725 University Row	Residential	115 Units	--
Existing Building 4	749 University Row	Office	--	65,000 GSF
Proposed Building 5	5102 Silver Tree Run	Office Residential	-- 48 Units	10,500 SF --
TOTALS			163 Units	75,500 SF Office

Parking Summary	Parking Stalls
Surface Parking Available	65 Stalls
Structured Parking	337 stalls (building 6) + 35 stalls (building 4) + 29 stalls (building 5) = 401 stalls
TOTAL	466 stalls

Assume 60% of 466 stalls are available during office hours - 279 stalls = 3.7 stalls per 1,000 SF for Office Space
 Assume 80% stalls available for residents for evenings and weekends = 372 stalls for 163 units = 2.2 per unit

Legal Description:

Lot 2, Certified Survey Map No. 13322, recorded in Volume 86 of Certified Survey Maps on pages 113-118 as Document Number 4892119, City of Madison, Dane County, Wisconsin.

Public Subsidies:

No subsidies are requested

Project Team:

Owner/Developer: University Crossing Mixed Use, LLC
749 University Row, Suite 101
Madison, WI 53705
Joe Krupp and Paul Lenhart

Architect: Potter Lawson, Inc.
749 University Row, Suite 300
Madison, WI 53705
Doug Hursh

Contractor: Krupp General Contractors, LLC
749 University Row, Suite 101
Madison, WI 53705
Aaron Gundlach

Civil Engineer: D'Onofrio Kottke & Associates
7530 Westward Way
Madison, WI 53717
Dan Day

Landscape Architect: Olson Toon Landscaping, Inc.
3570 Pioneer Road
Verona, WI 53593
Rich Carlson

Urban Design District Six - Summary of Standards & Requirements:

1. **Public Rights-of-Way**
The current landscaping quality within the development will be continued for the right of way of this site.
2. **Off-Street Parking and Loading Areas**
No new surface parking is proposed. Parking and loading is located on the internal drive, below the building and within the building at 725 University Row.
3. **Signs**
Signage locations have not been determined. Once office tenants are determined then a signage package will be submitted for approvals. The developer intends to comply with Madison Sign Ordinances.
4. **Building Design**
The building design follows the high quality of the current buildings in the development. Exterior materials are low maintenance and harmonious with the adjacent buildings. Brick, metal panels and cement board siding are proposed.

5. **Lighting**

The existing internal roadway will be lighted to city standards. A few of the existing pole lights will be removed and supplemented with pedestrian bollards.

6. **Landscaping**

Landscaping will be similar to the existing sites within the development. The developer takes great pride and care in designing the landscaping and maintaining the grounds.

We are excited to present the design for this new mixed use building and look forward to our discussions later this fall. Thank you and please contact me if you have any questions regarding this submittal.

Sincerely,

A handwritten signature in black ink, reading "Douglas R. Hursh", followed by a long horizontal flourish line.

Douglas R. Hursh, AIA, LEED AP
Director of Design

Zoning Text SIP

University Crossing Mixed Use Office and Apartment Building
5102 Silver Tree Run
Madison WI 53705
September 20, 2017

Legal Description

Lot 2, Certified Survey Map No. 13322, recorded in Volume 86 of Certified Survey Maps on pages 113-118 as Document Number 4892119, City of Madison, Dane County, Wisconsin.

Statement of Purpose

This SIP zoning district is established to allow for the construction of a four story mixed use office and residential building.

Permitted Uses

Uses as permitted on Exhibit A, attached hereto. Uses currently existing on property are also permitted.

Lot Area, Floor Area Ratio and Building Heights

Lot Area, Building Heights and Floor Area Ratio shall be as shown on approved specific implementation plans.

Yard Requirements

Yard Areas and Usable Open Space for any residential units shall be provided as shown on approved specific implementation plans. Also see Section 4.1, Lot & Yard Diagram.

Landscaping

Site Landscaping shall be provided as shown on the approved specific implementation plans.

Accessory Off-Street Parking & Loading

Accessory Off-Street Parking & Loading shall be provided as shown on the approved specific implementation plans.

Lighting

Site Lighting shall be provided as shown on the approved specific implementation plans.

Signage

Signage will be provided per Chapter 31 of Madison General Ordinances (MGO), as compared to the C2 district, and as approved by the Urban Design Commission or its secretary and by the Zoning Administrator.

Family Definition

The Family Definition for any future multi-family dwelling units (including apartments, townhouses, etc.) shall coincide with the definition given in MGO Sec. 28.03, for the R4 or SR-V1 zoning districts.

Alterations and Revisions

No alteration or revision of this planned unit development shall be permitted unless approved by the City Plan Commission, however, the zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Community & Economic Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.

Outdoor Eating Areas

Outdoor Eating Areas for restaurants shown on approved specific implementation plans approved by the Plan Commission, or as minor alterations to approved and recorded specific implementation plans for existing restaurants when approved by the District Alderperson and Planning Division Director, with the following conditions or as otherwise provided for through the alteration process:

Hours of Operation: Sunday-Thursday – 7:00 am to 10:00 pm; Friday-Saturday – 7:00 am to 11:00 pm

Music: No outdoor amplification of sound is permitted

Outdoor Eating Areas: Shall be subject to the Plan Commission's continuing jurisdiction, as provided for in Section 28.12(11)h.4.

EXHIBIT A – PERMITTED USES

The following uses shall be permitted in this Planned Unit Development:

- Amusement arcades
- Appliance stores
- Art and school supply stores
- Art galleries, antique shops and museums
- Automobile accessory stores
- Banks and financial institutions, including drive-up service windows for same when shown on an approved specific implementation plan
- Barbershops and beauty parlors
- Bedding sales
- Beauty supply stores
- Bicycle sales, rental and repair establishments
- Book, magazine and stationery stores, excluding adult bookstores
- Building supply stores
- Camera and photographic supply stores
- Candy, ice cream stores, and other food establishments
- Card and gift shops
- Carpet and Floor covering stores
- China and glassware stores
- Clothing and costume rental stores
- Coffee shops
- Coin and stamp shops
- Dance studios
- Day care centers for children and adults
- Department stores
- Drugstores and pharmacies including drive-up service windows for same when shown on an approved specific implementation plan
- Dry cleaning and laundry establishments provided that no cleaning or laundering occur on premises
- Dry goods stores
- Electronic stores, including the sale and service of computer, audio, radio, telecommunications and television – video equipment and accessories
- Entertainment Uses, including Theater Uses
- Engraving businesses
- Express and parcel delivery establishments
- Financial institutions, including automated teller machines, banks, savings banks and credit unions, insurance agencies and securities dealers
- Florist shops and nurseries
- Food stores – grocery stores, meat stores, fish markets, bakeries, delicatessens, and catering establishments
- Furniture stores
- General Merchandise Retail Stores
- Gift shops
- Hardware stores
- Hobby shops
- Home Furnishings stores
- Hotels and hospitality uses as shown on approved specific implementation plans
- Household appliance stores, including radio and television sales and service
- Jewelry and watch stores, including repair
- Leather goods and luggage stores
- Libraries
- Liquor stores (packaged goods only)
- Locksmith shops
- Luggage and travel stores
- Massage therapy
- Hospital, medical, dental, hearing, optical and allied medical clinics and offices and research laboratories, including accessory laboratories
- Musical instrument lessons, sales and repair

- Multi-family and senior residences as shown on the approved specific implementation plans, including home occupations as defined in MGO Sec 2804(26)
- Nail salons
- Office supply and stationery stores
- Offices, business, government and professional
- Optical sales
- Orthopedic and medical appliance and supply stores
- Outdoor seating and recreation areas
- Parking lots, garages and structures
- Personal computers and home electronics, sales and service
- Pet stores and pet kennels, provided however there shall be no outdoor pet runs
- Phonograph, record and sheet music stores
- Physical culture, health services, reducing salons and health clubs/ gyms
- Physical therapy and therapeutic massage services
- Picture framing
- Post offices, including private parcel business
- Record, compact disc and cassette stores
- Restaurants, including brewpubs and restaurant-taverns and excluding adult entertainment taverns
- Outdoor eating areas associated with the approved uses
- Sewing machine sales and service, household appliances only
- Shoe and hat repair stores
- Sporting goods stores
- Tailor shops
- Tobacco shops
- Toy shops
- Travel bureau and transportation ticket offices
- Upholstery and interior decorating shops
- Variety stores
- Veterinary clinics (outside kennels prohibited)
- Video and video game rental and sale establishments, excluding adult video stores
- Wearing apparel and shoe shops
- Farmers markets for the sale of personally prepared food and handcrafted goods
- Secondhand and rummage shops
- Outdoor charging stations for electric and alternative vehicles
- Shared bicycle stations
- Accessory uses directly associated with the permitted uses listed herein

Doug Hursh

From: Doug Hursh
Sent: Monday, August 21, 2017 3:49 PM
To: 'aaron.crandall@yahoo.com'; Alder Mark Clear
Cc: 'Matt Tucker (mtucker@cityofmadison.com)'; 'Tim Parks (tparks@cityofmadison.com)'; Paul Lenhart (plenhart@kruppconstruction.com); 'Dan Day'; 'Ron Locast (ronl@potterlawson.com)'
Subject: University Crossing - Mixed Use BUilding (Bldg # 5) - 5102 Silver Tree Run
Attachments: 5102 Silver Tree Run - UDC Information Presentation - 8-16-17.pdf

Hello Mark and Aaron,

This email is to inform you of our intent to submit the University Crossing building # 5 Land Use submittal for Plan Commission approval on September 20th. The schedule for city approval includes a UDC meeting on November 8th, and Plan Commission meeting on November 20th, and a Common Council meeting on December 5th. Construction is not scheduled to start until March of 2018, and completion of construction is scheduled for Spring/Summer of 2019.

The project is an SIP submittal and a change in the General Development Plan to allow for the housing portion of the project. Since this is considered a rezoning, we plan to go to Urban Design with a concept plan for the building, next week on September 6th.

As you already know, we have presented and discussed the project at the Spring Harbor Neighborhood Board meeting on June 13 and at a neighborhood open meeting on June 22 at Potter Lawson's office.

Let us know if you have any questions.

Thank you

Doug Hursh, AIA, LEED AP

Potter Lawson, Inc.
749 University Row, Suite 300 | Madison WI, 53705
T 608.274.2741
www.potterlawson.com

Celebrating Over 100 Years of Success by Design



September 19, 2017

City of Madison
Planning Division
126 S. Hamilton Street
Madison, WI 53703

RE: University Crossing

To whom it may concern:

This letter is written in support of Paul Lenhart, University Crossing, LLC and related parties as part of their request to develop a mixed-use building at University Crossing. We have worked with Mr. Lenhart and Krupp General Contractors on numerous projects in the City of Madison similar to the subject request. All projects have been completed in a workmanlike manner and all financial obligations have been met as agreed.

Mr. Lenhart is a highly valued client of First Business Bank and we would welcome the opportunity to continue serving his financing needs in relation to this project.

If I can be of further assistance to you, please call me at (608) 232-5914.

Sincerely,

A handwritten signature in blue ink, appearing to read 'B. E. Hagen'.

Brian E. Hagen
Senior Vice President &
Director of Commercial Real Estate
First Business Bank



City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506
 Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 5102 SILVER TREE RUN
Contact Name & Phone #: GRANT FOLDS 608-833-7530

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8°? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.503 and IFC 2015 Edition Chapter 5 and Appendix D; please see the codes for further information.

5102 Silver Tree Run

University Crossing - Building 5
Madison, Wisconsin

2011.06.05

October 16, 2017 UDC Application

Drawing Index

C = Issued for Construction
B = Issued for Bidding
R = Issued for Reference Only

DWG #	Drawing Title	09/20/17
General		
CD 01	COVER DRAWING	R
G001	SITE LOCATOR	R
G002	SITE CONTEXT IMAGES	R
G003	CONCEPT MASTER PLAN	R
Civil		
C100	EXISTING CONDITIONS	R
C101	OVERALL SITE LAYOUT	R
C102	SITE PLAN	R
C103	GRADING, UTILITY AND EROSION CONTROL PLAN	R
C104	FIRE PLAN	R
C105	SITE LIGHTING CALCS	R
Landscape		
L100	LANDSCAPING PLAN	R
Architectural		
A100	PARKING FLOOR PLAN	R
A101	FIRST FLOOR PLAN	R
A102	SECOND THRU FOURTH FLOOR PLAN	R
A105	ROOF PLAN	R
A200	BUILDING ELEVATIONS	R
A210	BUILDING PERSPECTIVES	R



Architect:
749 University Row Suite 300
Madison, WI 53705
608-274-2741

5102 Silver Tree Run
University Crossing - Building 5
Madison, Wisconsin

2011.06.05

Date	Revisions	Symbol
2017.09.26	Land Use Application	

COVER DRAWING

CD 01



Building 5 Site
5102 Silver Tree Run

PRELIMINARY
NOT FOR CONSTRUCTION

5102 Silver Tree Run
University Crossing - Building 5
Madison, Wisconsin

2011.06.05

Date	Issuance/Revisions	Symbol
2011.09.20	Land Use Application	

SITE LOCATOR

G001



View from Whitney Way



View from University Row



View from Silver Tree Run



PRELIMINARY
NOT FOR CONSTRUCTION

5102 Silver Tree Run
University Crossing - Building 5
Madison, Wisconsin

2011.06.05

Date	Issuance/Revisions	Symbol
2017 09 20	Land Use Application	

**SITE CONTEXT
IMAGES**

Previously Approved Building Data and Utilization Chart (2012) - Ammended 9/2017

Lot #	Potential Land Use	Net Lot Area (sf)	Proposed Footprint Area (sf)	Proposed Height (stories)	Proposed Building Area (sf)	F.A.R.	Proposed Parking Stalls
1	Clinic	186,000	Bldg 1: 20,000 Bldg 1A: 17,500	3 4	Bldg 1: 67,420 Bldg 1A: 70,000	0.74	Surface: 47 Structure A: 456 Below Bldg: 28
2	Clinic	144,184	Bldg 2: 26,700	3	Bldg 2: 80,000	0.55	Surface: 19 Structure B: 342 Below Bldg: 50
3	Non-profit hospitality	43,560	Bldg 3: 13,400	3	Bldg 3: 40,000	0.92	Surface: 42
4	Office/Retail	54,014	Bldg 4: 22,000	0	Bldg 4: 64,940	1.20	Surface: 29 Below Bldg: 35
5	Hotel, Office, Multi-family	40,075	Bldg 5: 15,500	4	Bldg 5: 76,500	1.90	Surface: 34 Below Bldg: 33
6	Residential + Parking C	68,000	Residential 24,234 Parking 32,315	4	Residential 131,810 Parking 139,690	1.94	342

Total Building Area: 530,670 Total Parking Stalls 1,457
2.74 stalls/ 1,000 sf

*Parking Structure C for Buildings 4, 5, & 6

Parking

Parking Structure A: 3 Levels - approximately 456 stalls
 Parking Structure B: 3 Levels - approximately 342 stalls
 Parking Structure C: 3 Levels - 342 stalls
 (Parking Structures to be 10-11 feet floor to floor)



**This is a Concept Masterplan. Final building footprint uses and sizes will be determined during the SIP submittals.

Notes:

5102 Silver Tree Run
 University Crossing - Building 5
 Madison, Wisconsin

2011.06.05

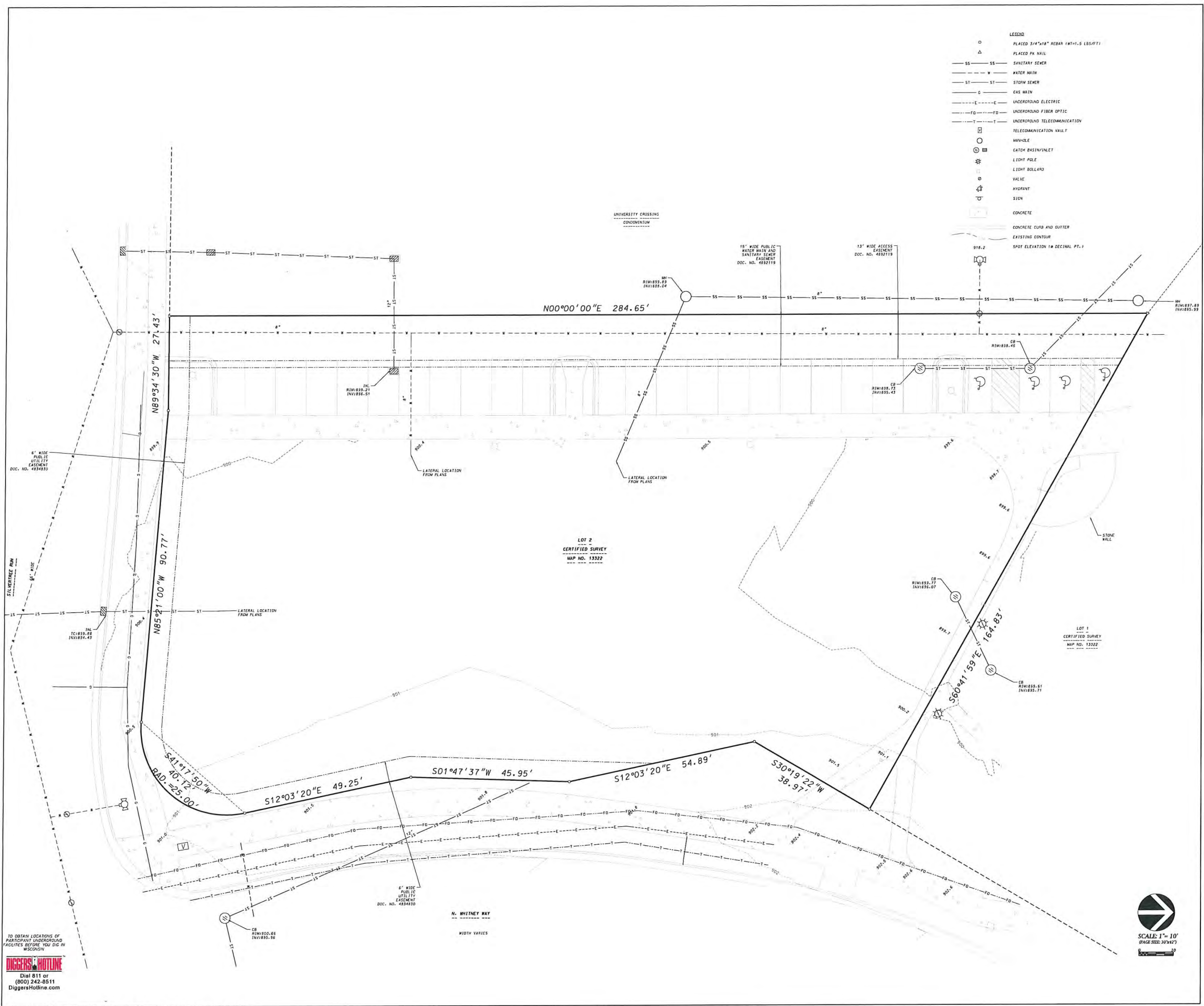
Date	Issuance/Revisions	Symbol

**CONCEPT MASTER
 PLAN**

G003

- LEGEND**
- PLACED FN NAIL
 - SS SS SANITARY SEWER
 - W W WATER MAIN
 - ST ST STORM SEWER
 - G G GAS MAIN
 - U-E U-E UNDERGROUND ELECTRIC
 - U-FD U-FD UNDERGROUND FIBER OPTIC
 - U-T U-T UNDERGROUND TELECOMMUNICATION
 - TELECOMMUNICATION VAULT
 - MANHOLE
 - CATCH BASIN/INLET
 - LIGHT POLE
 - LIGHT BOLLARD
 - VALVE
 - HYDRANT
 - SIGN
 - CONCRETE
 - CONCRETE CURB AND CUTTER
 - EXISTING CONTOUR
 - SPOT ELEVATION (w/ DECIMAL PT.)

Notes:



**5102 Silver Tree Run
 University Crossing - Building 5
 Madison, Wisconsin**

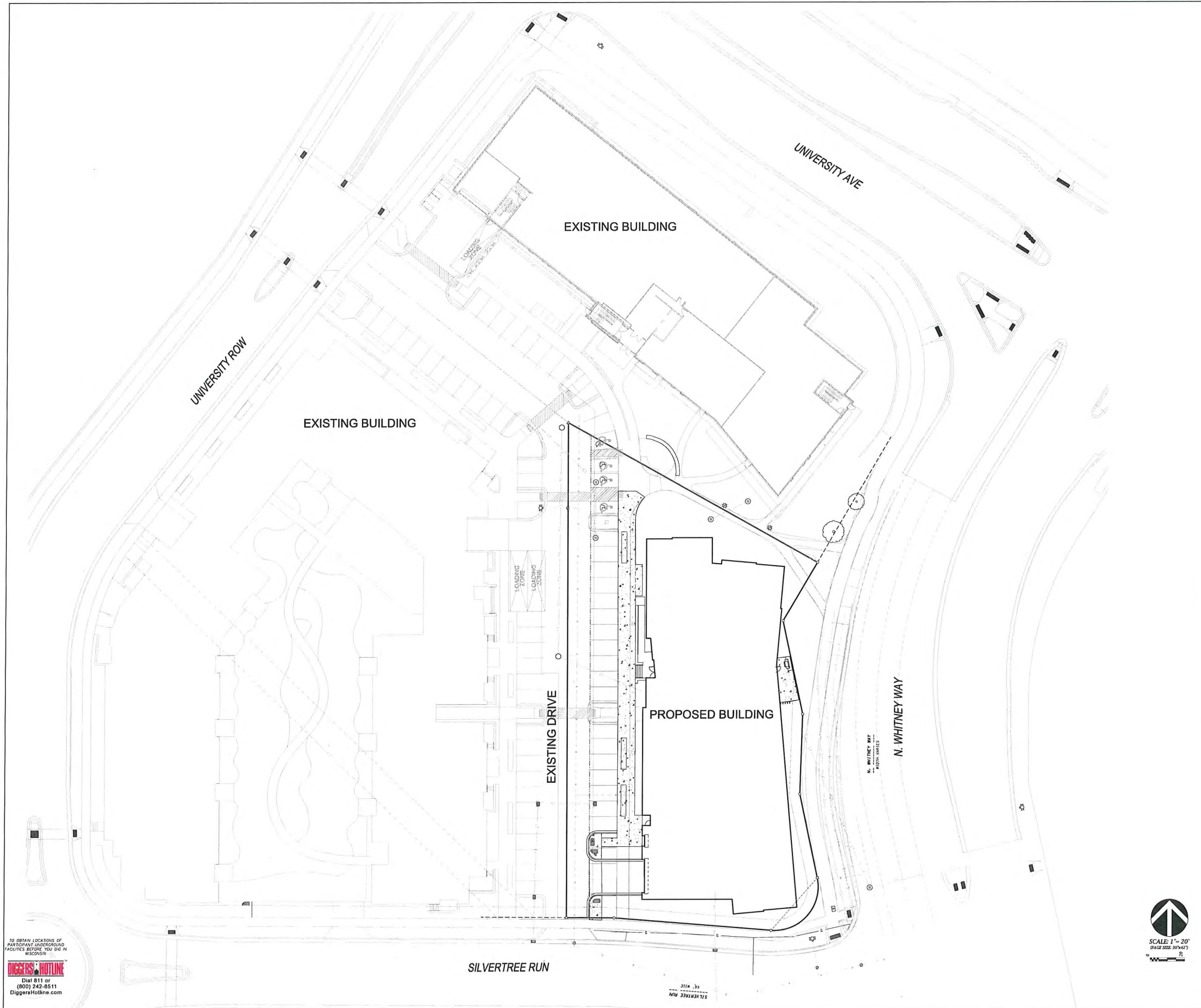
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**EXISTING
 CONDITIONS**



C100



Notes:

5102 Silver Tree Run
 University Crossing - Building 5
 Madison, Wisconsin

2017.09.20

Date	Revisions	Symbol

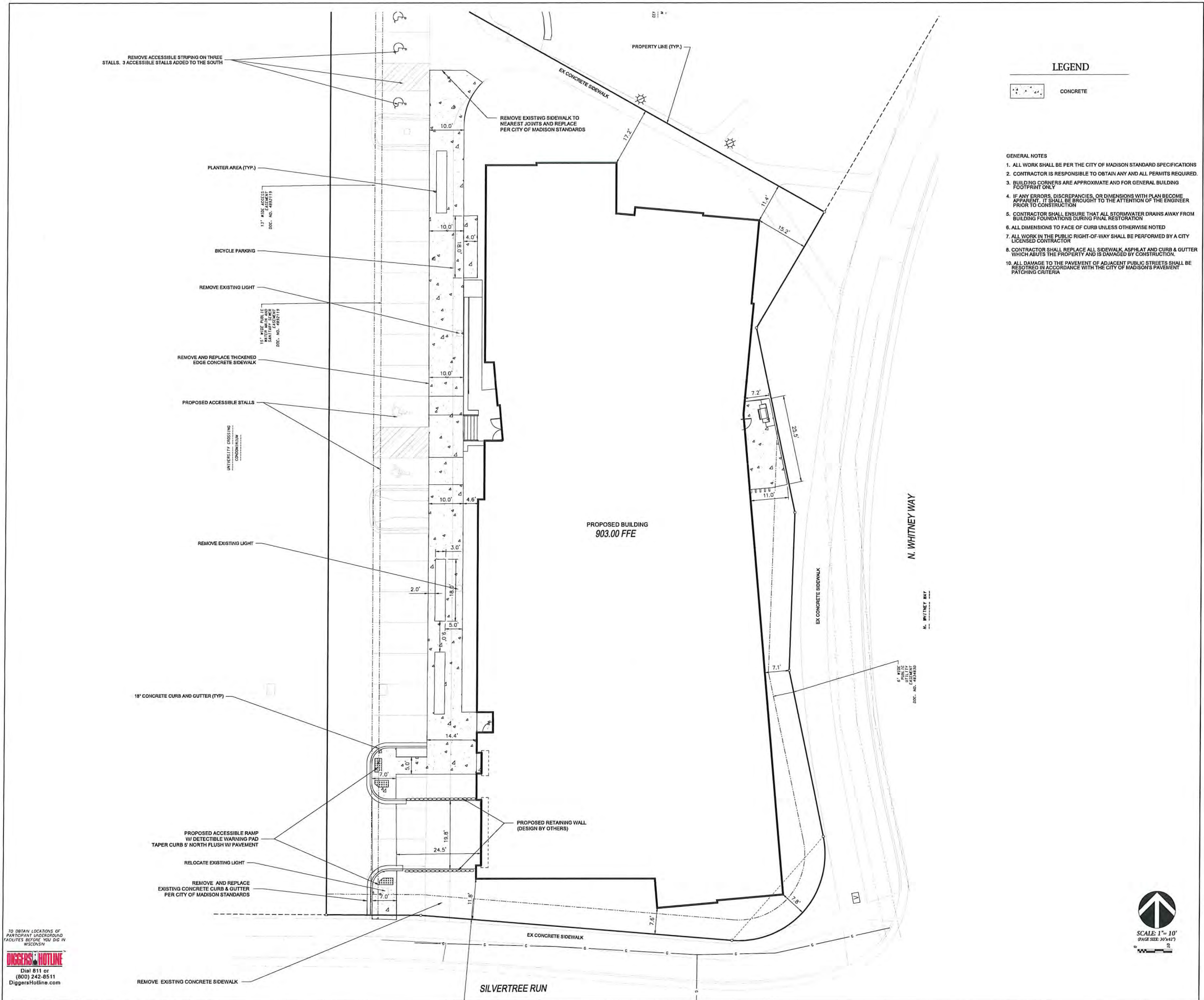
OVERALL SITE LAYOUT



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 PARTICIPANT UNDERGROUND
 FACILITIES BEFORE YOU DIG IN
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 DiggersHotline.com



LEGEND



CONCRETE

GENERAL NOTES

- 1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
- 2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
- 3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
- 4. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
- 5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION
- 6. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED
- 7. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR
- 8. CONTRACTOR SHALL REPLACE ALL SIDEWALK, ASPHALT AND CURB & GUTTER WHICH ABUTS THE PROPERTY AND IS DAMAGED BY CONSTRUCTION.
- 10. ALL DAMAGE TO THE PAVEMENT OF ADJACENT PUBLIC STREETS SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA

Notes:

5102 Silver Tree Run
University Crossing - Building 5
Madison, Wisconsin

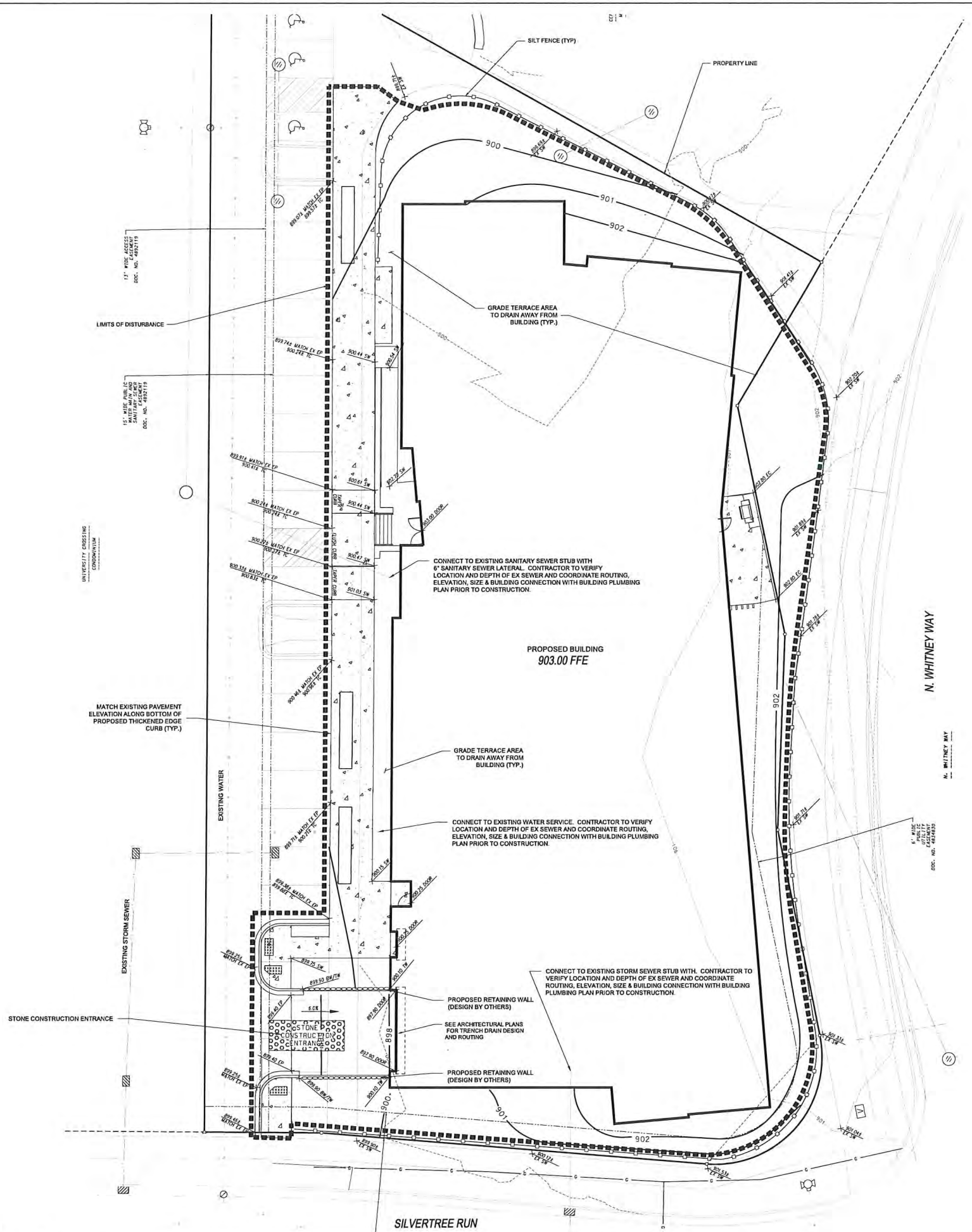
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SITE PLAN



SCALE: 1" = 10'
(PAPER SIZE: 30" x 42")



LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- SPOT ELEVATION
- EP - EDGE OF PAVEMENT
- FFE - FIRST FLOOR ELEVATION
- TC - TOP OF CURB
- LIMITS OF DISTURBANCE
- SILT FENCE/SILT SOCK
- FLOW ARROW

- GENERAL NOTES**
1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
 2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
 3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
 4. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
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 10. ALL DAMAGE TO THE PAVEMENT OF ADJACENT PUBLIC STREETS SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
- GRADING AND EROSION CONTROL NOTES:**
1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DIVISION OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
 2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNIFORMS ORDER #1 CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
 3. EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
 4. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
 5. INSPECT EROSION CONTROL MEASURES AFTER EACH 12" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
 6. NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
 7. EROSION CONTROL MEASURES SHALL BE REMOVED ON-Y AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER
 8. INSTALL TYPE D INLET PROTECTION IN ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS
 9. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 2:1
 10. SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
 11. ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
 12. ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION METHODS SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH DETAILS.
 13. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
 14. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
 15. AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 8 POUNDS PER 1000 SQFT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 7.5 POUNDS PER 1000 SQFT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST. SEE LANDSCAPE PLAN, IF AVAILABLE, FOR A MORE DETAILED PLANTING PLAN AND LANDSCAPE DETAILS.
 16. DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1001.

- SEQUENCE/ANTICIPATED TIME SCHEDULE**
1. INSTALL EROSION CONTROL
 2. ROUGH SITE GRADING, BEGIN BUILDING CONSTRUCTION
 3. FINE GRADING, CONCRETE CURB AND GUTTER, ASPHALT, CONCRETE, UTILITIES, AND BUILDING CONSTRUCTION.
 4. RESPREAD TOPSOIL AND FINAL RESTORATION
 5. REMOVE EROSION CONTROL WHEN SITE HAS BECOME STABILIZED.
- LIMITS OF DISTURBANCE = 26,450 SQFT



Notes:

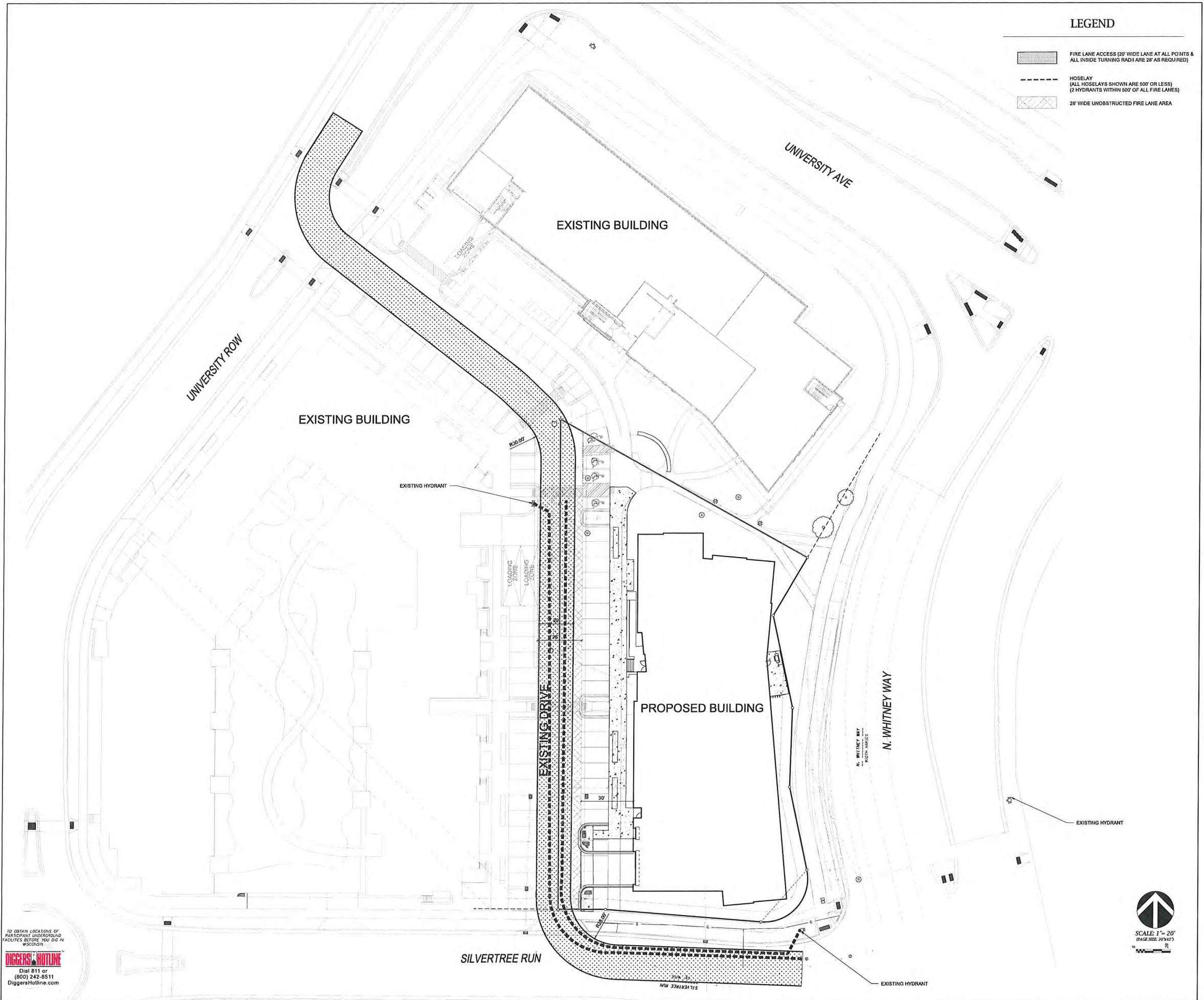
5102 Silver Tree Run
 University Crossing - Building 5
 Madison, Wisconsin

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**GRADING,
 UTILITY AND
 EROSION
 CONTROL PLAN**

C103



LEGEND

-  FIRE LANE ACCESS (20' WIDE LANE AT ALL POINTS & ALL INSIDE TURNING RADI ARE 20' AS REQUIRED)
-  HOSE LAY (ALL HOSE LAYS SHOWN ARE 500' OR LESS) (2 HYDRANTS WITHIN 500' OF ALL FIRE LANES)
-  20' WIDE UNOBSTRUCTED FIRE LANE AREA

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 7530 Westward Way, Madison, WI 53717
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2017.09.20

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FIRE PLAN



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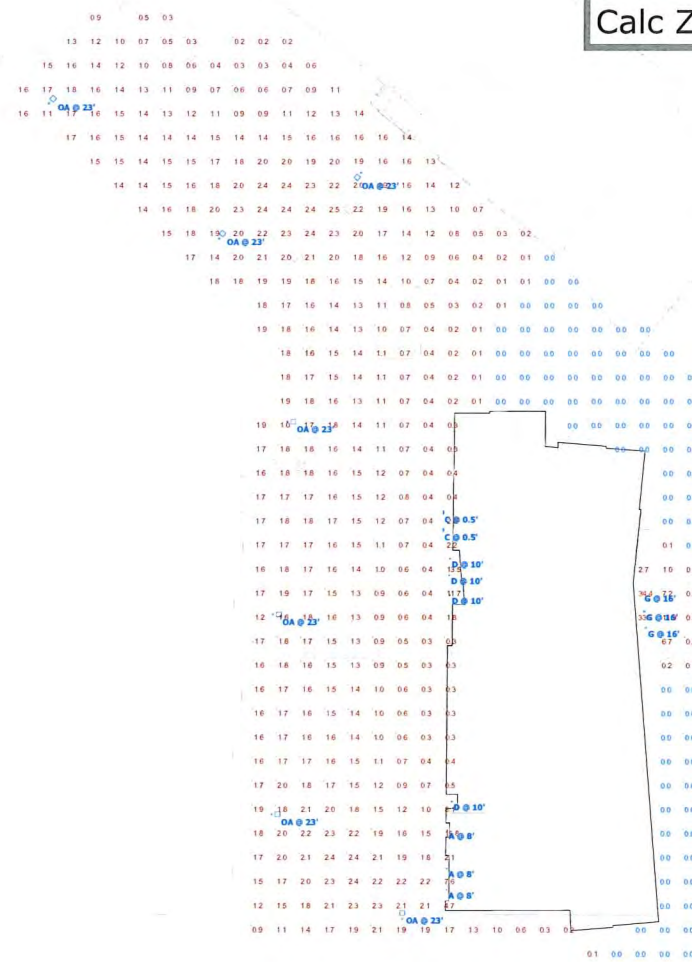


Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	A	0	COOPER LIGHTING - MCGRAW-EDISON	TLM-B06-LED-E1-5MQ	TALON MEDIUM LED SITE LUMINAIRE (6) LIGHTBARS WITH ACCULED OPTICS - TYPE 5 SQUARE MEDIUM ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET		126	104	0.93	146
	OA	7	COOPER LIGHTING - MCGRAW-EDISON	TLM-B06-LED-E1-5MQ	TALON MEDIUM LED SITE LUMINAIRE (6) LIGHTBARS WITH ACCULED OPTICS - TYPE 5 SQUARE MEDIUM ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET		126	104	0.93	146
	BOL	0	BEGA-US	88 476	BOLLARD W/FULLY SHIELDED LIGHT SOURCE	(1) 39W T6 G12 MH	1	3300	0.95	45
	A	3	Glashütte Limburg Converted by LUMCat V 23.08.2016/23.08.2016 / H.R.	LED 7,9W	33581	LED 7,9W	1	743	0.9	10.9
	C	2	BEGA-US	22 040	CAST ALUMINUM HOUSING, FROSTED GLASS ENCLOSURE WITH SLOTTED CAST ALUMINUM FACE PLATE.	15 WHITE LEDS	1	124	0.9	19.2
	D	4	BEGA-US	6650LED	6-5/8"DIA. X 9"H. LED FIXTURE CLEAR LENS		1	1185	0.9	23.51
	G	3	BEGA Converted by LUMCat V 17.06.2014 / H.R.		77 659	LED 48,2W	1	4137	0.9	54

Statistics

Description Symbol Avg Max Min Max/Min Avg/Min

Calc Zone #1	+	1.4 fc	34.4 fc	0.0 fc	N/A	N/A
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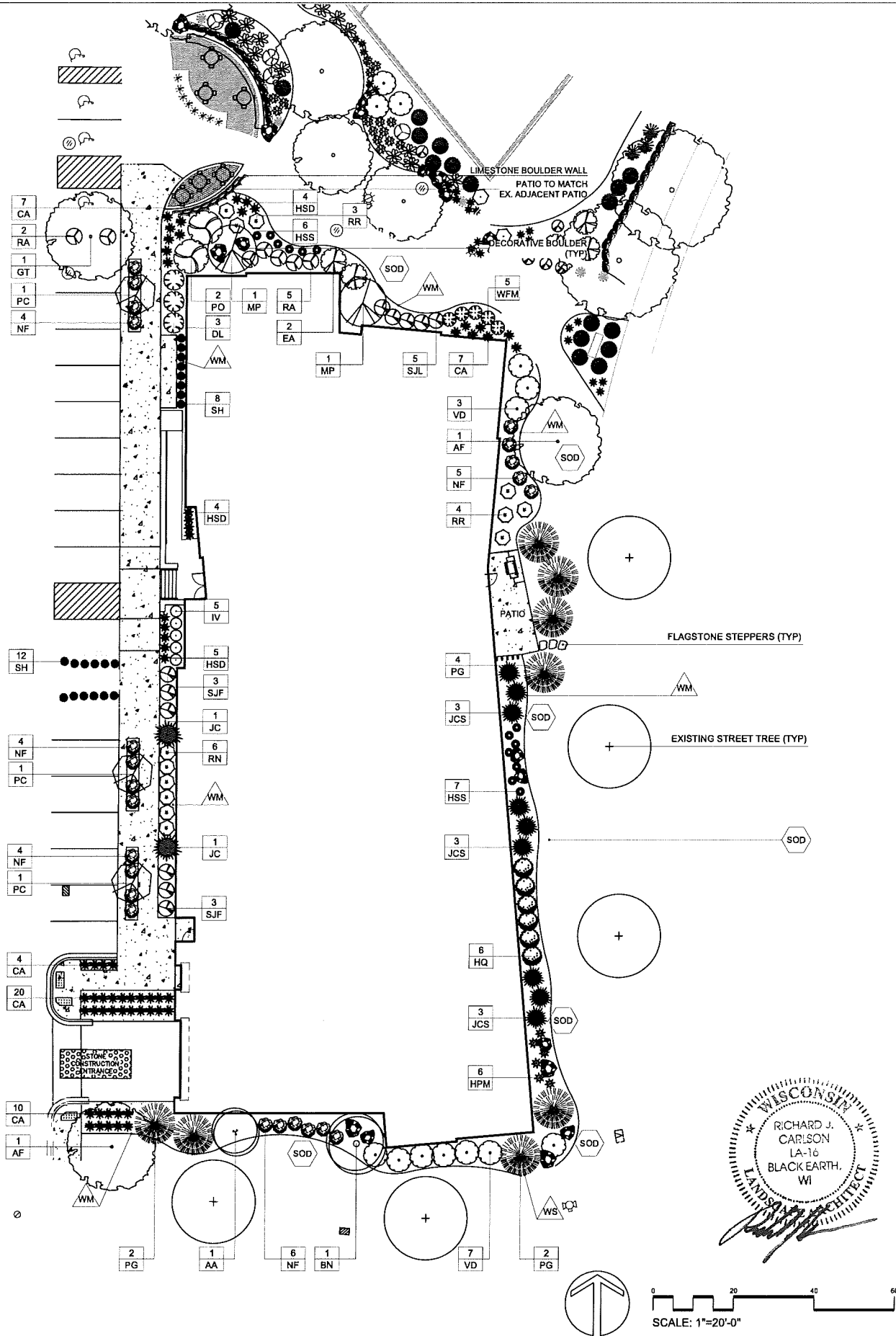
PLANT LIST

KEY	SCIENTIFIC NAME	COMMON NAME	QTY	PLANTING SIZE	ROOT CONDITION	STEM
DECIDUOUS TREES						
AF	<i>Acer x freemanii</i> 'Mamo'	Mamo Maple	2	2 1/2"	B&B	
BN	<i>Betula nigra</i>	River Birch	1	10'	B&B	single
GT	<i>Gleditsia trifacanthos</i> 'Draves'	Street Keeper Honeylocust	1	2 1/2"	B&B	
ORNAMENTAL TREES						
AA	<i>Amelanchier alnifolia</i> 'Regent'	Regent Serviceberry	1	#5	Cont.	
MP	<i>Malus 'Prairifire'</i>	Prairifire Crabapple	2	2"	B&B	
PC	<i>Pyrus calleryana</i> 'Chanticleer'	Chanticleer Callery Pear	3	2"	B&B	
EVERGREEN TREES						
PG	<i>Picea glauca</i> var. <i>densa</i>	Black Hills Spruce	8	6'	B&B	
EVERGREEN SHRUBS						
JC	<i>Juniperus chinensis</i> 'Sargentii'	Sargent Juniper	2	#5	Cont.	
JCS	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	9	#5	Cont.	
DECIDUOUS SHRUBS						
DL	<i>Dierilla lonicera</i>	Dwarf Bush-Honeysuckle	3	#5	Cont.	
EA	<i>Euonymus alatus</i> 'Rudy Haag'	Rudy Haag Winged Euonymus	2	#5	Cont.	
HQ	<i>Hydrangea quercifolia</i> 'Alice'	Oakleaf Hydrangea	6	#5	Cont.	
IV	<i>Itea virginica</i> 'Sprich'	Little Henry Dwarf Sweetshrub	5	#5	Cont.	
PO	<i>Physocarpus opulifolius</i> 'Monio'	Diablo Ninebark	1	#5	Cont.	
RA	<i>Rhus aromatica</i> 'Gro-low'	Gro-low Fragrant Sumac	7	#3	Cont.	
RN	<i>Rosa 'Nearby Wild'</i>	Nearby Wild Rose	8	#2	Cont.	
RR	<i>Rosa 'Radrazz'</i>	Knock Out Rosa	7	#3	Cont.	
SJF	<i>Spiraea japonica</i> 'Froebelii'	Froebel Spirea	6	#3	Cont.	
SJL	<i>Spiraea japonica</i> 'Little Princess'	Little Princess Spirea	5	#2	Cont.	
VD	<i>Viburnum dentatum</i> 'Christom'	Blue Muffin Arrowwood Viburnum	10	#5	Cont.	
WFM	<i>Weigela florida</i> 'Minuet'	Minuet Weigela	5	#2	Cont.	
ORNAMENTAL GRASSES / PERENNIALS						
CA	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	48	#1	Cont.	
HPM	<i>Hemerocallis 'Pardon Me'</i>	Pardon Me Daylily	6	#1	Cont.	
HSD	<i>Hemerocallis 'Stella de Oro'</i>	Stella de Oro Daylily	9	#1	Cont.	
HSS	<i>Helictotrichon sempervirens</i> 'Saphirsprude'	Sapphire Blue Oat Grass	13	#1	Cont.	
NF	<i>Nepeta x faassenii</i> 'Walker's Low'	Walker's Low Catmint	23	#1	Cont.	
SH	<i>Sporobolus heterolopis</i>	Prairie Dropseed	20	#1	Cont.	

NOTES: All beds and island beds not containing bioswales shall be brown dyed recycled wood mulch. If edging is required, edging shall be aluminum edging.

WM brown dyed recycled wood mulch / aluminum edging

SEED Premium Bluegrass seed mix with single net erosion control blanket



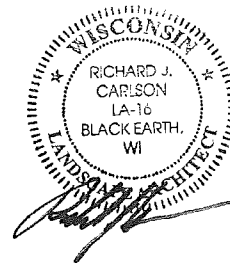
3570 Pioneer Road
Verona, WI 53593
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FAX: (608) 827-9402
WEB: www.olsontoon.com

UNIVERSITY CROSSING - BUILDING 5

5102 Silvertree Run
Madison, Wisconsin

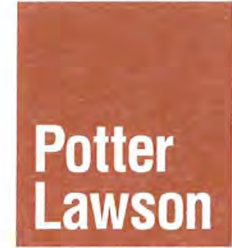
Date: 7/19/17
Scale: 1" = 20'-0"
Designer: rjmm
Job # 7157

Seal:

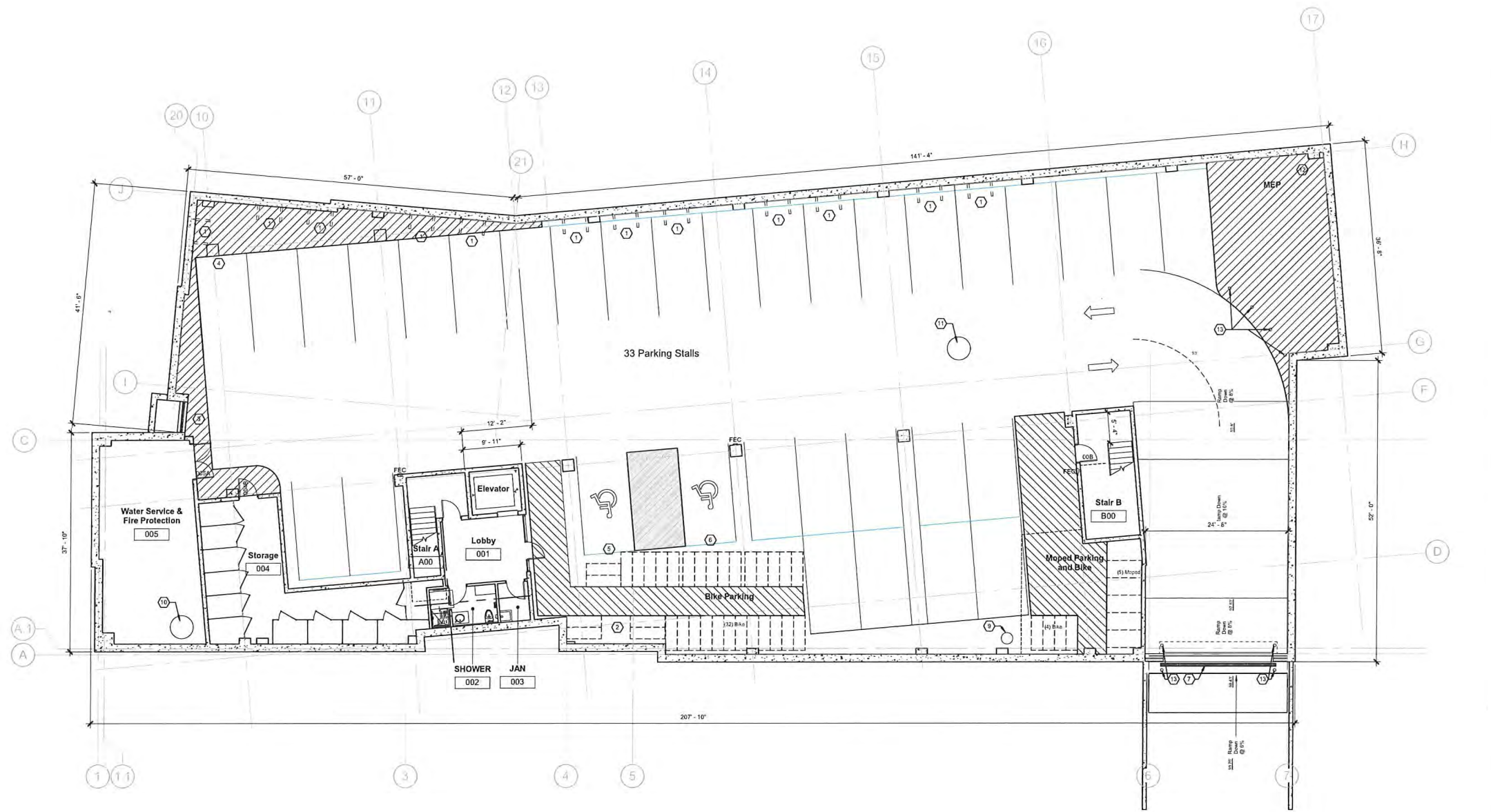


Revisions:
2017.09.07 mm
2017.09.18 mm
2017.09.19 mm
2017.09.29 mm

Reference Name:
Krupp - University Crossing Bldg #5



Success by Design



- Notes:**
- FLOOR PLAN GENERAL NOTES**
- 1. PROVIDE POSITIVE DRAINAGE AT ALL COLUMNS
- KEY NOTES**
- ① HORIZONTAL WALL MOUNTED BIKE STALLS AT THE FRONT OF PARKING STALLS (MOUNT ABOVE FRONT END OF CAR)
 - ② HORIZONTAL FLOOR MOUNTED BIKE STALLS
 - ③ GARAGE EXHAUST FAN
 - ④ SMALL CAR PARKING STALL SIGN
 - ⑤ ACCESSIBLE PARKING STALL SIGN
 - ⑥ VAN ACCESSIBLE PARKING STALL SIGN
 - ⑦ TRENCH DRAIN - SEE PLUMBING DWGS
 - ⑧ HVAC CONDENSING UNIT - SEE MECHANICAL
 - ⑨ DRAIN TILE SUMP BASIN - SEE PLUMBING DWGS
 - ⑩ PUMP BASIN - SEE PLUMBING DWGS
 - ⑪ CATCH BASIN - SEE PLUMBING DWGS
 - ⑫ HVAC GARAGE INTAKE - SEE MECHANICAL
 - ⑬ BOLLARD

Parking Count

Regular	- 31 stalls
Van Accessible	- 1 stall
Accessible	- 1 stall
Total Parking	- 33 Stalls

Bike Stalls

Resident - Parking Level - 36 floor / 12 wall	
Visitor - Exterior	- 5 floor
Total	- 53 Stalls

Required - 1 per unit, 25% wall mountable; Visitors 1 per 10 units

1 PARKING FLOOR PLAN
1/8" = 1'-0"

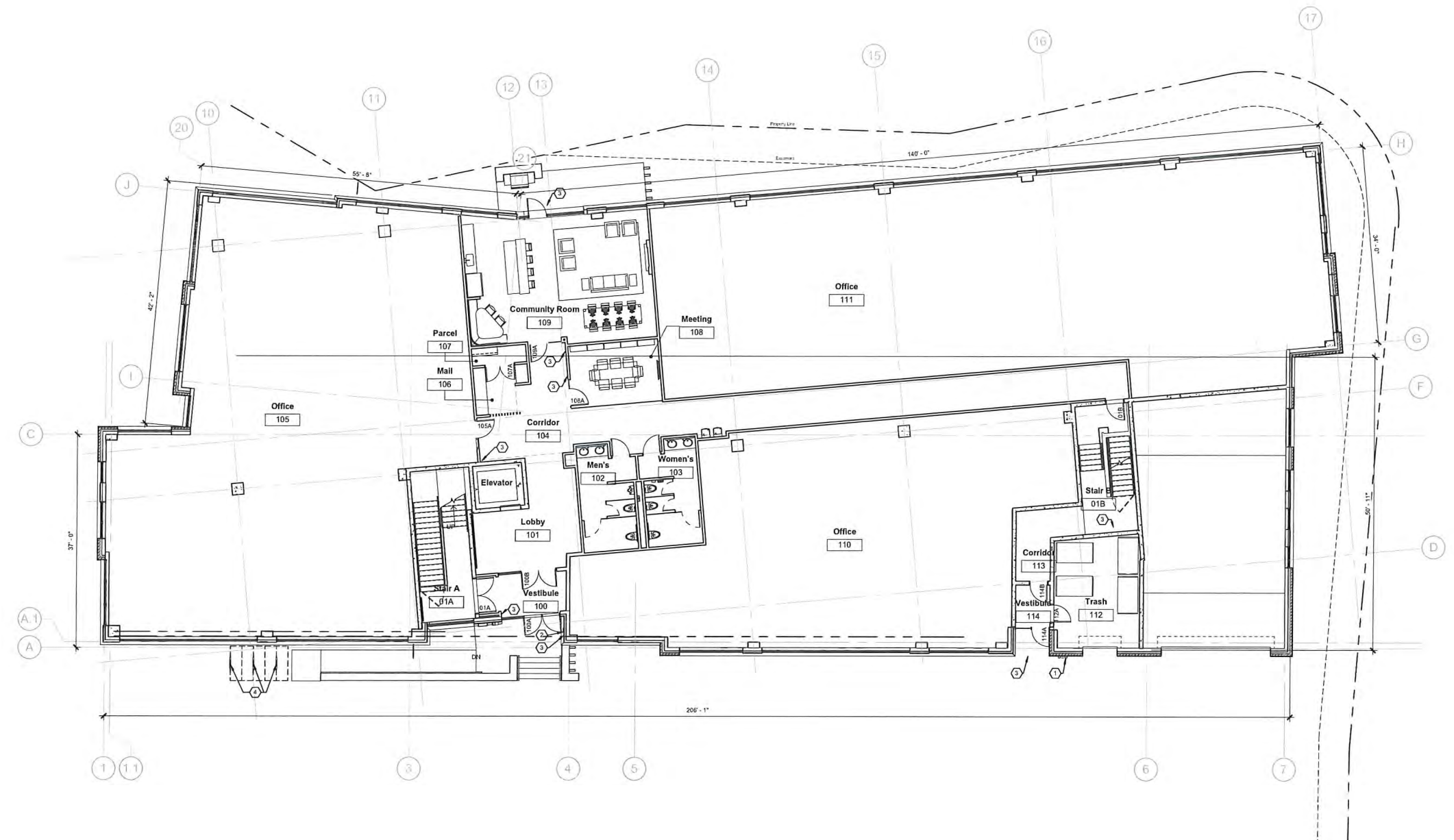
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Madison, Wisconsin

2011.06.05

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PARKING FLOOR PLAN

A100



- Notes:
1. SEE A601 FOR PARTITION TYPES
 2. ALL CORRIDOR PARTITIONS ARE TYPE D6/ UNO
 3. ALL UNIT DEMISING WALLS ARE TYPE D7 UNO
 4. SEE ENLARGED PLANS FOR UNIT PARTITION TYPES
 5. DIMENSIONS TAKEN AT EXTERIOR. NON MASONRY VENEER WALLS ARE TAKEN FROM OUTSIDE FACE OF STUD

- KEY NOTES
- 1 FIRE DEPARTMENT CONNECTION
 - 2 FULLY RECESSED KNOX BOX
 - 3 ACCESS CONTROL CARD READER
 - 4 GROUND MOUNTED VISITOR B/KE STALL 2X6'
 - 5 HVAC CONDENSING UNIT - SEE MECHANICAL
 - 6 HVAC GARAGE INTAKE - SEE MECHANICAL
 - 7 4'-0" x 6'-0" LANDING
 - 8 4'-5" x 6'-0" LANDING
 - 9 BOLLARD - SEE 10/S110

1 FIRST FLOOR PLAN
A101 1/8" = 1'-0"

5102 Silver Tree Run
University Crossing - Building 5
Madison, Wisconsin

2011.06.05

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**FIRST FLOOR
PLAN**

A101



1
A102

SECOND THRU FOURTH FLOOR PLAN

1/8" = 1'-0"

Notes:

5102 Silver Tree Run
University Crossing - Building 5
Madison, Wisconsin

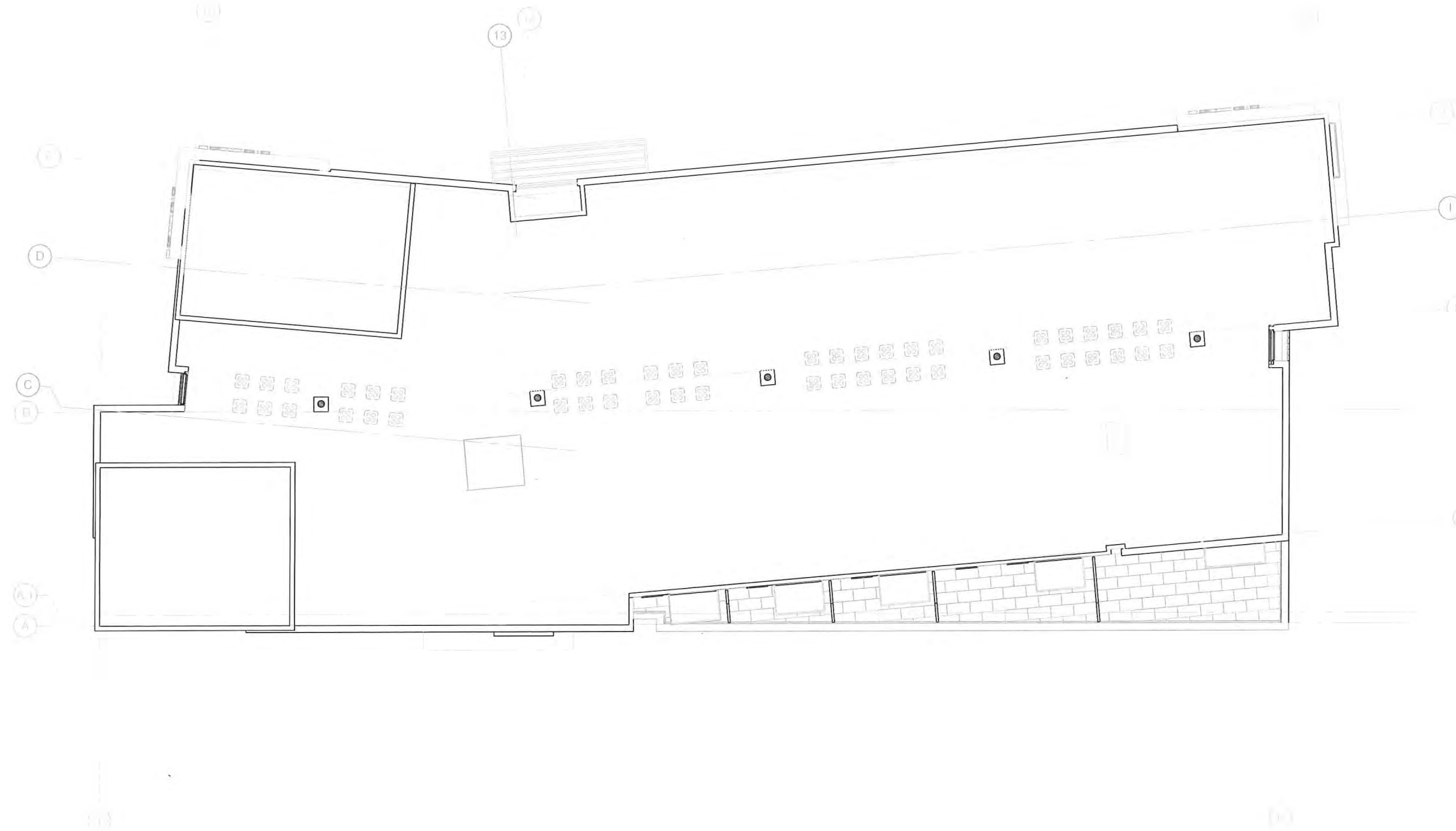
2011.06.05

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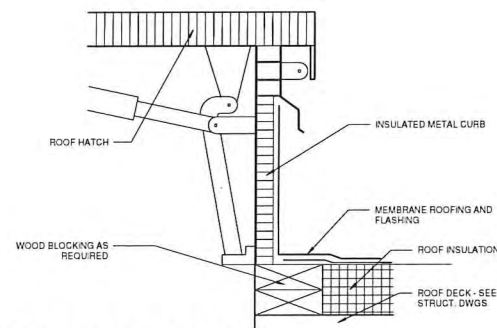
SECOND THRU
FOURTH FLOOR
PLAN

A102

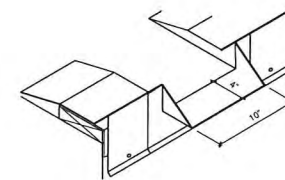
Notes:



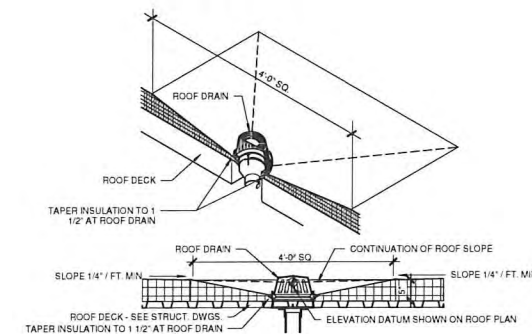
1
A105 **Roof Plan**
1/8" = 1'-0"



4
A105 **ROOF HATCH DETAIL**
3" = 1'-0"



3
A105 **ROOF EDGE SPILL-OUT SCUPPER DETAIL**
1 1/2" = 1'-0"



2
A105 **ROOF DRAIN DETAIL**
3/4" = 1'-0"

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ROOF PLAN
A105



- Notes:
- ELEVATION KEY NOTES**
- 1 FLAT SEAM METAL WALL PANEL - MEDIUM BRONZE ANODIZED
 - 2 BRICK VENEER - YANKEE HILL BRICK - MOJAVE SMOOTH
 - 3 FIBER CEMENT WALL PANEL TYPE 1
 - 4 ALTERNATE - MANTRIX CEMENT BOARD FABRICATORS TYPE: SILBOIT EXTERIOR CLADDING BOARD COLOR: STONE NATURAL
 - 5 ALUMINUM STOREFRONT GLAZING SYSTEM - DARK BRONZE ANODIZED
 - 6 ANDERSEN 100 SERIES WINDOWS - DARK BRONZE
 - 7 CORTEN STEEL
 - 8 METAL LOUVER SYSTEM - DARK BRONZE
 - 9 GALVANIZED STEEL GUARDRAIL / HANDRAIL SYSTEM
 - 10 GALVANIZED STEEL DECK FRAME
 - 11 CANOPY - GALVANIZED STEEL WITH WOOD SOFFIT
 - 12 GALVANIZED AWNING
 - 13 COMPOSITE METAL PANEL
 - 14 PRECAST CONCRETE SILL
 - 15 FIRE DEPARTMENT CONNECTION
 - 16 PROPOSED SIGNAGE LOCATION
 - 17 ALUMINUM FRAMED WINDOW WALL SYSTEM

5102 Silver Tree Run
University Crossing - Building 5
Madison, Wisconsin

2011.06.05

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BUILDING ELEVATIONS

A200

Notes:



2 SW PERSPECTIVE



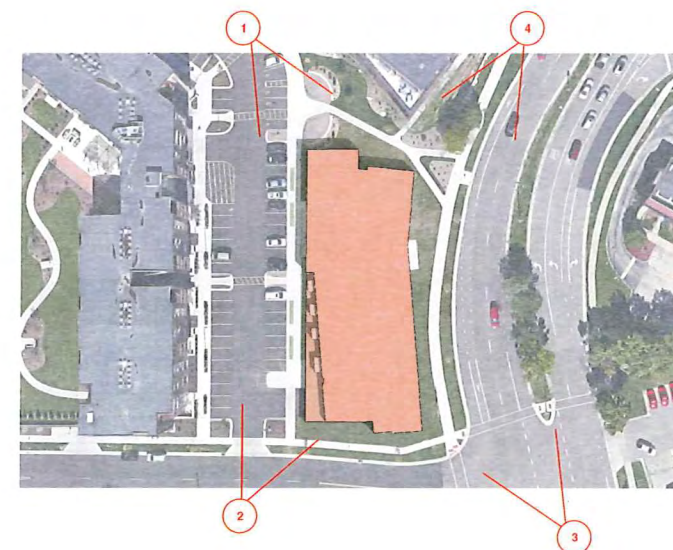
1 NW PERSPECTIVE



3 SE PERSPECTIVE



4 NE PERSPECTIVE



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BUILDING PERSPECTIVES

10/16/2017 8:37:24 AM