

# PELTON PLACE RESIDENCES

## PELTON RESIDENCES, LLC

1010 PARK STREET  
MADISON, WI



**Angus Young** Architecture | Engineering  
Interiors | Landscape

Balance in Creativity

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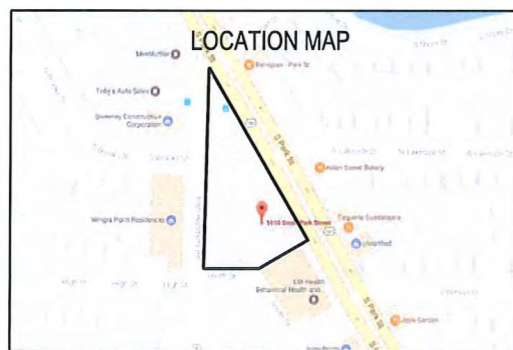


REGULATORY DATA
PROJECT ADDRESS
BUILDING CODES
USE AND OCCUPANCY CLASSIFICATION

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<b>GENERAL</b>
G001 COVER SHEET
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C-3.0 GRADING PLAN
C-4.0 UTILITY PLAN
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<b>ELECTRICAL</b>
E5108 SITE AND BUILDING LIGHTING PHOTOMETRICS

PROJECT TEAM
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ARCHITECT & STRUCTURAL ENGINEER
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FIRE PROTECTION, HVAC, ELECTRICAL, PLUMBING
UNDER DESIGN/BUILD CONTRACT

PELTON PLACE RESIDENCES	
PELTON RESIDENCES, LLC	
PROJECT NUMBER 59630	REVIEWED BY AYA
APPROVED BY AYA	DRAWN BY AYA
ISSUANCES	REVISIONS
LAND USE APPLICATION - 6/10/2017	
UDC INITIAL FINAL - 6/10/2017	
5/10/2017	8:24:17 AM
<b>G001</b>	
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PURPOSES					TITLE BLOCK
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24	19	14	09	04	
23	18	13	08	03	
22	17	12	07	02	
21	16	11	06	01	

THIS SET ARE PLACED IN THIS ORDER WITH RESPECT TO THE GRID ABOVE. CONSEQUENTLY, DETAILS ON A GIVEN SHEET MAY OR MAY NOT BE NUMBERED CONSECUTIVELY.

REGISTRATION STAMP AND SIGNATURE

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DATE: 5/10/2017  
DRAWN BY: JACER

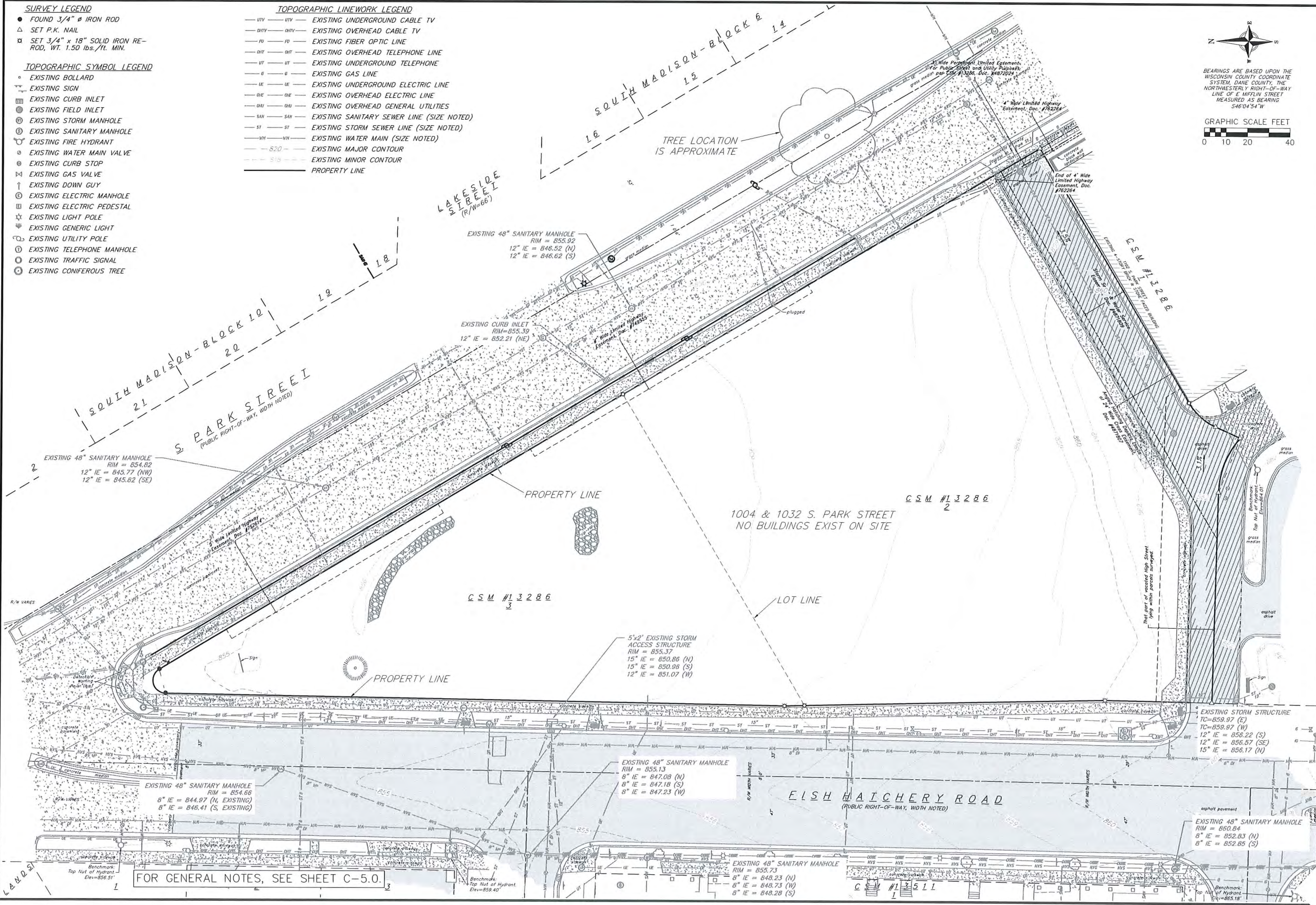


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05 May 2017 - 1:05p M:\T Wall Enterprises LLC\140245-Wingra Point Phase 2\CADD\140245\_base\_eng.dwg by: jpm

- SURVEY LEGEND**
- FOUND 3/4" Ø IRON ROD
  - △ SET P.K. NAIL
  - SET 3/4" x 18" SOLID IRON RE-ROD, WT. 1.50 lbs./ft. MIN.
- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING BOLLARD
  - EXISTING SIGN
  - ▣ EXISTING CURB INLET
  - EXISTING FIELD INLET
  - ⊙ EXISTING STORM MANHOLE
  - ⊙ EXISTING SANITARY MANHOLE
  - ⊙ EXISTING FIRE HYDRANT
  - ⊙ EXISTING WATER MAIN VALVE
  - ⊙ EXISTING CURB STOP
  - ⊙ EXISTING GAS VALVE
  - ↑ EXISTING DOWN GUY
  - ⊙ EXISTING ELECTRIC MANHOLE
  - ⊙ EXISTING ELECTRIC PEDESTAL
  - ☆ EXISTING LIGHT POLE
  - ⊙ EXISTING GENERIC LIGHT
  - ⊙ EXISTING UTILITY POLE
  - ⊙ EXISTING TELEPHONE MANHOLE
  - ⊙ EXISTING TRAFFIC SIGNAL
  - ⊙ EXISTING CONIFEROUS TREE

- TOPOGRAPHIC LINEWORK LEGEND**
- UTY — EXISTING UNDERGROUND CABLE TV
  - OHTV — EXISTING OVERHEAD CABLE TV
  - FO — EXISTING FIBER OPTIC LINE
  - OHT — EXISTING OVERHEAD TELEPHONE LINE
  - UT — EXISTING UNDERGROUND TELEPHONE
  - G — EXISTING GAS LINE
  - UE — EXISTING UNDERGROUND ELECTRIC LINE
  - OUE — EXISTING OVERHEAD ELECTRIC LINE
  - OU — EXISTING OVERHEAD GENERAL UTILITIES
  - SAN — EXISTING SANITARY LINE (SIZE NOTED)
  - ST — EXISTING STORM SEWER LINE (SIZE NOTED)
  - WM — EXISTING WATER MAIN (SIZE NOTED)
  - 520 — EXISTING MAJOR CONTOUR
  - 515 — EXISTING MINOR CONTOUR
  - — — — — PROPERTY LINE



FOR GENERAL NOTES, SEE SHEET C-5.0.

**Existing Conditions Plan**

Peloton Residences  
City of Madison  
Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

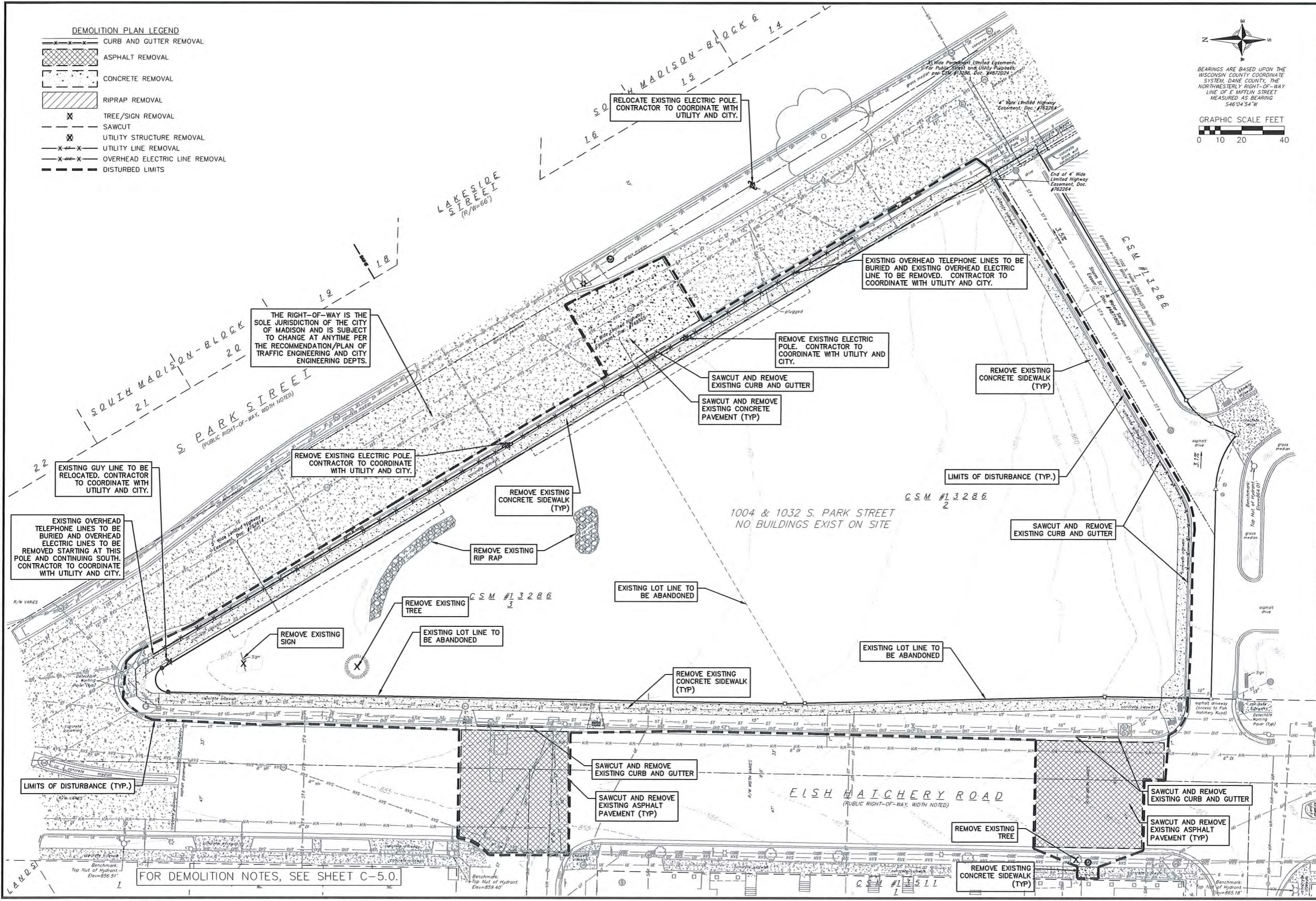
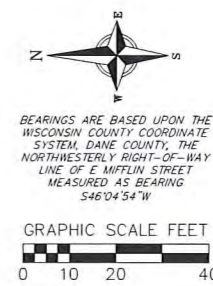
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DATE	05/09/2017
DRAFTER	CGUY
CHECKED	JFEL
PROJECT NO.	140245
SHEET	





**DEMOLITION PLAN LEGEND**

- CURB AND GUTTER REMOVAL
- ASPHALT REMOVAL
- CONCRETE REMOVAL
- RIPRAP REMOVAL
- TREE/SIGN REMOVAL
- SAWCUT
- UTILITY STRUCTURE REMOVAL
- UTILITY LINE REMOVAL
- OVERHEAD ELECTRIC LINE REMOVAL
- DISTURBED LIMITS



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planners

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**Demolition Plan**  
Pelaton Residences  
City of Madison  
Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

SCALE AS SHOWN

DATE 05/09/2017

DRAFTER CGUY

CHECKED JFEL

PROJECT NO. 140245

SHEET 2 OF 6

DWG. NO. C-2.0



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09 May 2017 - 4:17p N:\T Wall Enterprises LLC\140245\_Wingra Point Phase 2\CADD\140245\_base\_eng.dwg by: jarn

**EROSION CONTROL AND GRADING LEGEND**

- 8.20 --- EXISTING MAJOR CONTOURS
- 8.18 --- EXISTING MINOR CONTOURS
- SILT FENCE
- DISTURBED LIMITS
- ADA ROUTE
- ⇒ DRAINAGE DIRECTION
- ⊕ 1048.61 EXISTING SPOT ELEVATIONS
- ⊕ 1048.61 PROPOSED SPOT ELEVATIONS
- ⊙ INLET PROTECTION
- TRACKING PAD

**SITE PLAN LEGEND**

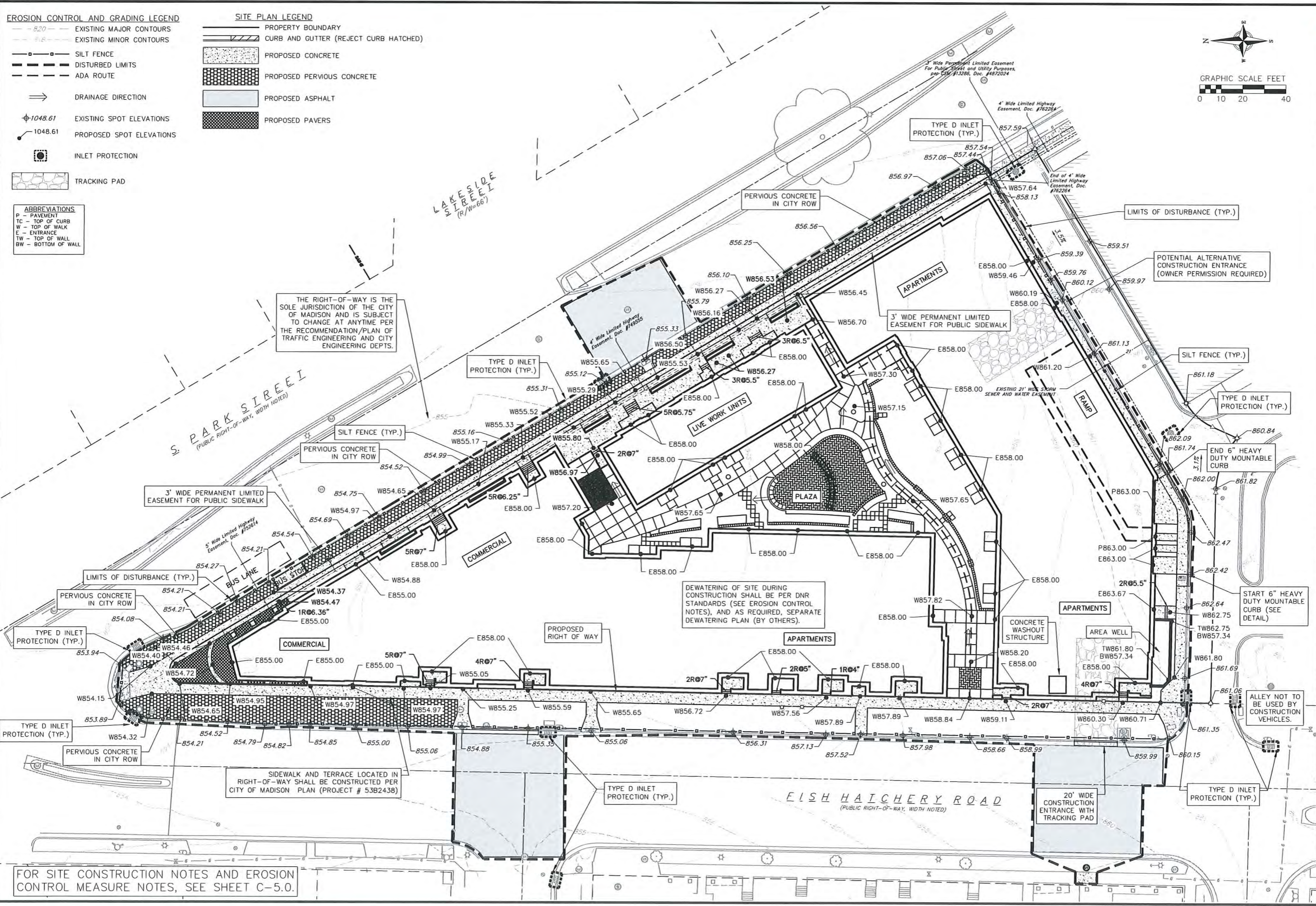
- PROPERTY BOUNDARY
- CURB AND GUTTER (REJECT CURB HATCHED)
- PROPOSED CONCRETE
- PROPOSED PERVIOUS CONCRETE
- PROPOSED ASPHALT
- PROPOSED PAVERS

**ABBREVIATIONS**

- P - PAVEMENT
- TC - TOP OF CURB
- W - TOP OF WALK
- E - ENTRANCE
- TW - TOP OF WALL
- BW - BOTTOM OF WALL

GRAPHIC SCALE FEET  
0 10 20 40

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THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

DEWATERING OF SITE DURING CONSTRUCTION SHALL BE PER DNR STANDARDS (SEE EROSION CONTROL NOTES), AND AS REQUIRED, SEPARATE DEWATERING PLAN (BY OTHERS).

SIDEWALK AND TERRACE LOCATED IN RIGHT-OF-WAY SHALL BE CONSTRUCTED PER CITY OF MADISON PLAN (PROJECT # 53B2438)

FOR SITE CONSTRUCTION NOTES AND EROSION CONTROL MEASURE NOTES, SEE SHEET C-5.0.

**Grading Plan**  
Pelaton Residences  
City of Madison  
Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN  
DATE 05/09/2017  
DRAFTER CGUY  
CHECKED JFEL  
PROJECT NO. 140245  
SHEET 3 OF 6  
DWG. NO. C-3.0

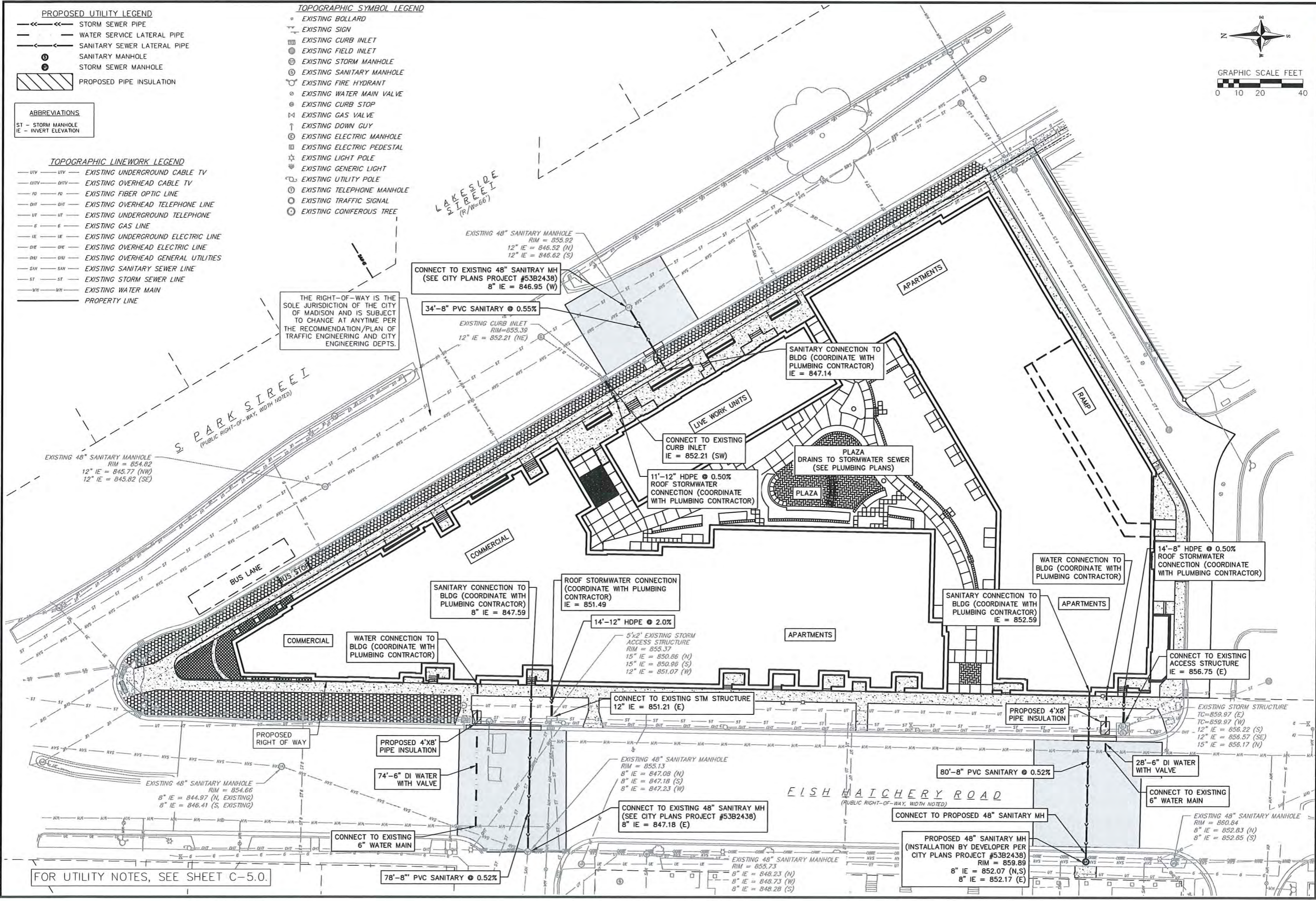
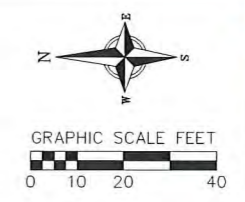


- PROPOSED UTILITY LEGEND**
- > STORM SEWER PIPE
  - > WATER SERVICE LATERAL PIPE
  - > SANITARY SEWER LATERAL PIPE
  - SANITARY MANHOLE
  - STORM SEWER MANHOLE
  - ▨ PROPOSED PIPE INSULATION

- ABBREVIATIONS**
- ST - STORM MANHOLE
  - IE - INVERT ELEVATION

- TOPOGRAPHIC LINEWORK LEGEND**
- UTV --- EXISTING UNDERGROUND CABLE TV
  - OHTV --- EXISTING OVERHEAD CABLE TV
  - FO --- EXISTING FIBER OPTIC LINE
  - OHT --- EXISTING OVERHEAD TELEPHONE LINE
  - UT --- EXISTING UNDERGROUND TELEPHONE
  - G --- EXISTING GAS LINE
  - IE --- EXISTING UNDERGROUND ELECTRIC LINE
  - OIE --- EXISTING OVERHEAD ELECTRIC LINE
  - OGU --- EXISTING OVERHEAD GENERAL UTILITIES
  - SAN --- EXISTING SANITARY SEWER LINE
  - ST --- EXISTING STORM SEWER LINE
  - WM --- EXISTING WATER MAIN
  - --- PROPERTY LINE

- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING BOLLARD
  - EXISTING SIGN
  - EXISTING CURB INLET
  - EXISTING FIELD INLET
  - EXISTING STORM MANHOLE
  - EXISTING SANITARY MANHOLE
  - EXISTING FIRE HYDRANT
  - EXISTING WATER MAIN VALVE
  - EXISTING CURB STOP
  - EXISTING GAS VALVE
  - EXISTING DOWN GUY
  - EXISTING ELECTRIC MANHOLE
  - EXISTING ELECTRIC PEDESTAL
  - EXISTING LIGHT POLE
  - EXISTING GENERIC LIGHT
  - EXISTING UTILITY POLE
  - EXISTING TELEPHONE MANHOLE
  - EXISTING TRAFFIC SIGNAL
  - EXISTING CONIFEROUS TREE



THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

CONNECT TO EXISTING 48" SANITARY MH (SEE CITY PLANS PROJECT #53B243B) 8" IE = 846.95 (W)

34'-8" PVC SANITARY @ 0.55%

EXISTING CURB INLET RIM=855.39 12" IE = 852.21 (NE)

SANITARY CONNECTION TO BLDG (COORDINATE WITH PLUMBING CONTRACTOR) IE = 847.14

CONNECT TO EXISTING CURB INLET IE = 852.21 (SW)

11'-12" HDPE @ 0.50% ROOF STORMWATER CONNECTION (COORDINATE WITH PLUMBING CONTRACTOR)

PLAZA DRAINS TO STORMWATER SEWER (SEE PLUMBING PLANS)

ROOF STORMWATER CONNECTION (COORDINATE WITH PLUMBING CONTRACTOR) IE = 851.49

14'-12" HDPE @ 2.0%

5'x2' EXISTING STORM ACCESS STRUCTURE RIM = 855.37 15" IE = 850.86 (N) 15" IE = 850.96 (S) 12" IE = 851.07 (W)

SANITARY CONNECTION TO BLDG (COORDINATE WITH PLUMBING CONTRACTOR) 8" IE = 847.59

WATER CONNECTION TO BLDG (COORDINATE WITH PLUMBING CONTRACTOR)

CONNECT TO EXISTING STM STRUCTURE 12" IE = 851.21 (E)

SANITARY CONNECTION TO BLDG (COORDINATE WITH PLUMBING CONTRACTOR) IE = 852.59

WATER CONNECTION TO BLDG (COORDINATE WITH PLUMBING CONTRACTOR)

14'-8" HDPE @ 0.50% ROOF STORMWATER CONNECTION (COORDINATE WITH PLUMBING CONTRACTOR)

CONNECT TO EXISTING ACCESS STRUCTURE IE = 856.75 (E)

EXISTING 48" SANITARY MANHOLE RIM = 854.66 8" IE = 844.97 (N, EXISTING) 8" IE = 846.41 (S, EXISTING)

PROPOSED 4'x8' PIPE INSULATION

74'-6" DI WATER WITH VALVE

EXISTING 48" SANITARY MANHOLE RIM = 855.13 8" IE = 847.08 (N) 8" IE = 847.18 (S) 8" IE = 847.23 (W)

CONNECT TO EXISTING 48" SANITARY MH (SEE CITY PLANS PROJECT #53B243B) 8" IE = 847.18 (E)

80'-8" PVC SANITARY @ 0.52%

28'-6" DI WATER WITH VALVE

CONNECT TO EXISTING 6" WATER MAIN

FOR UTILITY NOTES, SEE SHEET C-5.0.

78'-8" PVC SANITARY @ 0.52%

EXISTING 48" SANITARY MANHOLE RIM = 855.73 8" IE = 848.23 (N) 8" IE = 848.73 (W) 8" IE = 848.28 (S)

PROPOSED 48" SANITARY MH (INSTALLATION BY DEVELOPER PER CITY PLANS PROJECT #53B243B) RIM = 859.89 8" IE = 852.07 (N,S) 8" IE = 852.17 (E)

EXISTING STORM STRUCTURE TC=859.97 (E) TC=859.97 (W) 12" IE = 856.22 (S) 12" IE = 856.57 (SE) 15" IE = 856.17 (N)

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE 05/09/2017

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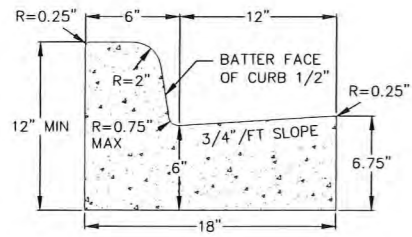
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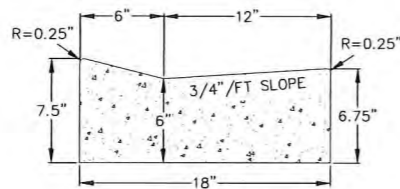
SHEET 4 OF 6

DWG. NO. C-4.0

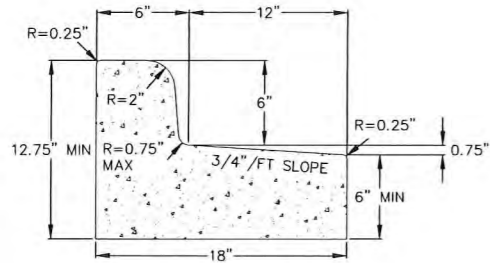




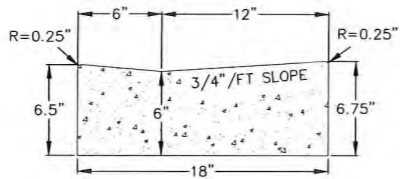
CURB AND GUTTER CROSS SECTION



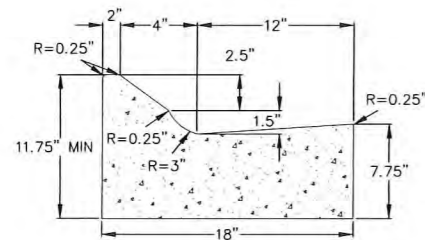
DRIVEWAY GUTTER CROSS SECTION



CURB AND GUTTER REJECT SECTION

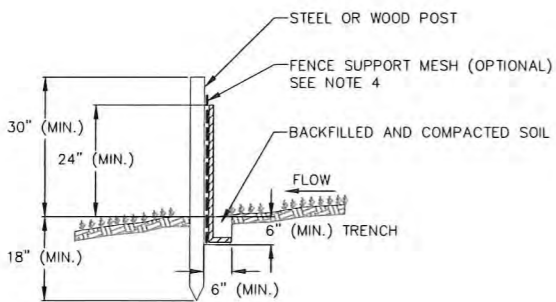


HANDICAP RAMP GUTTER CROSS SECTION



MOUNTABLE CURB AND GUTTER CROSS SECTION

1 18" CONCRETE CURB AND GUTTER  
5 NOT TO SCALE



NOTES:

1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)  
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

2 SILT FENCE  
5 NOT TO SCALE

GENERAL NOTES:

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
2. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
3. THESE DRAWINGS ASSUME THAT THE CONTRACTOR WILL UTILIZE AN ELECTRONIC DRAWING FILE AND STAKE ALL SITE IMPROVEMENTS USING COORDINATES TIED INTO CONTROL POINTS. THE DIMENSIONS INDICATED ON THE DRAWINGS ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY.
4. PRIOR TO THE USE OF THESE DRAWINGS FOR CONSTRUCTION PURPOSES, THE USER SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF BUILDINGS WITH THE FOUNDATION DRAWINGS AND ARCHITECTURAL SITE PLAN. IF CONFLICTS EXIST THE USER OF THESE DRAWINGS SHALL CONTACT THE ENGINEER IMMEDIATELY.
5. CONTRACTOR SHALL NOTIFY THE OWNER, ENGINEER AND THE CITY OF MADISON A MINIMUM OF 48 HOURS IN ADVANCE OF PERFORMING ANY WORK.
6. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
7. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER 53B2438).
8. STORM AND SANITARY LATERAL SIZES/LOCATIONS WERE OBTAINED FROM CITY OF MADISON GIS DATA.

DEMOLITION NOTES:

1. ALL WORK IN THE RIGHT OF WAY SHALL BE PERFORMED PER CITY OF MADISON PLANS (PROJECT NUMBER 53B2438).
2. ALL DAMAGE TO THE PAVEMENT ON S. PARK STREET AND FISH HATCHERY ROAD ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.

SITE CONSTRUCTION NOTES:

1. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, OR RIGHT-OF-WAY PERMITS.
4. CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
5. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
6. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER 53B2438) AND SHALL COMPLY WITH ALL PROVISIONS AS OUTLINED IN THE CITY OF MADISON STANDARDS FOR PUBLIC WORKS CONSTRUCTION.
7. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.

CONSTRUCTION SEQUENCE :

PHASE 1 -

1. INSTALL SILT FENCE AND TRACKING PAD. APRIL 2016
2. INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY. APRIL 2016
3. PERFORM SITE DEMOLITION AND REMOVE PAVEMENT (AS NECESSARY). APRIL 2016
4. STRIP SITE TOPSOIL AND STOCKPILE/REMOVE EXCESS. APRIL 2016
5. ROUGH GRADE FOR BUILDINGS AND WALKS. MAY 2016
6. CONSTRUCT FOUNDATION, BASEMENT AND BUILDING JUNE 2016 - FEB 2017
7. CONSTRUCT UNDERGROUND UTILITIES. JUNE - JULY 2016
8. INSTALL INLET PROTECTION ON NEW INLETS. JUNE - JULY 2016
9. CONSTRUCT WALKS, DRIVE, CURB AND GUTTER AND LOADING AREA. SEPT - OCT 2016
10. FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH. SEPT 2016

PHASE 2 -

1. CONSTRUCT BUILDING APRIL 2017 - NOV 2017
2. FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH. SEPT 2017
3. REMOVE SILT FENCE AFTER DISTURBED AREAS ARE RESTORED. NOV 2017

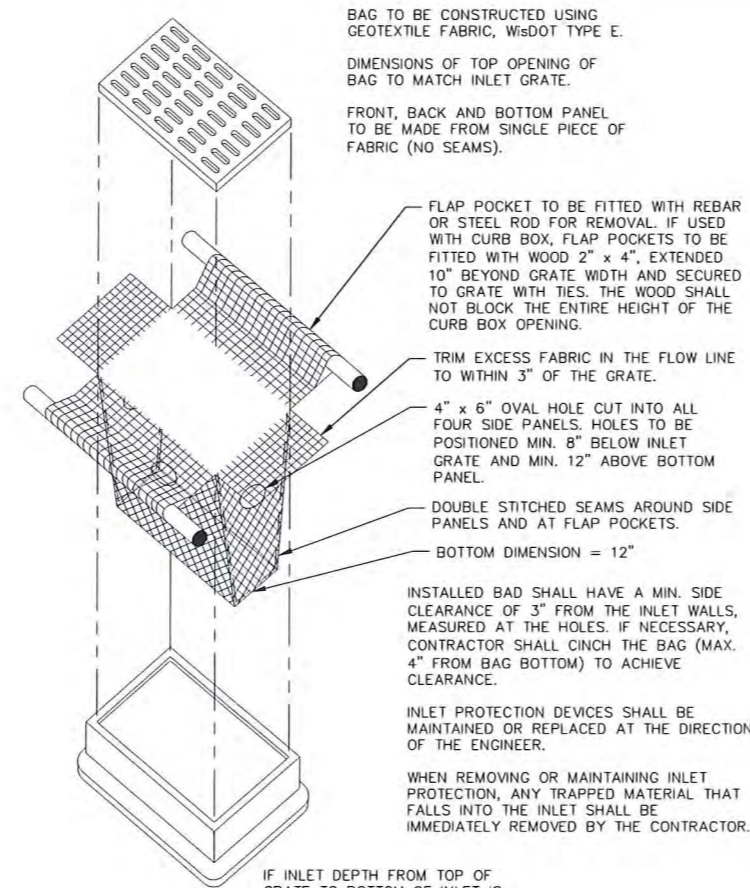
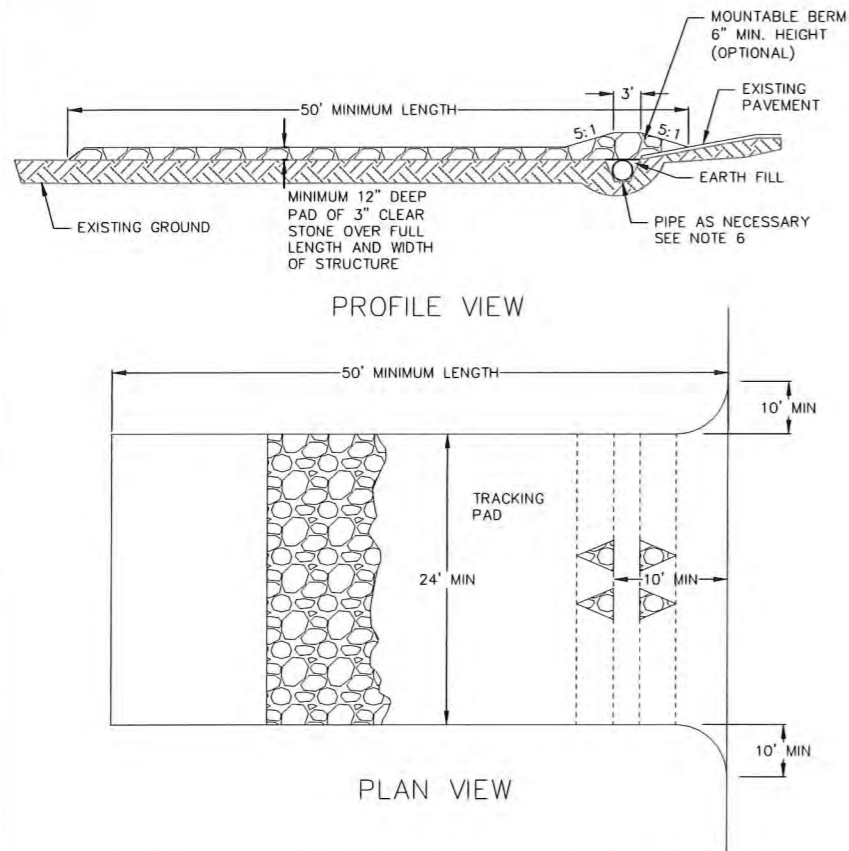
UTILITY NOTES:

1. PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52) OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(4)(d).
2. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(2)(c).
3. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER COMM 82.10(11)(h) AND COMM 82.40(8)(k).
4. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH COMM 82.40(8)(b).
5. NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF COMMERCE PER S.145.06.
6. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
7. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
8. PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
10. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
11. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
12. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
13. THE DEVELOPER SHALL INSTALL THE 3M™ ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5' BALL MARKERS-WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.
14. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
15. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER 53B2438).
16. ALL DAMAGE TO THE PAVEMENT ON SOUTH PARK STREET AND FISH HATCHERY ROAD ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.
17. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTY, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
18. UTILITY CONTRACTOR SHALL OBTAIN A CONNECTION PERMIT AND EXCAVATION PERMIT PRIOR TO COMMENCING STORM SEWER CONSTRUCTION.

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

SCALE AS SHOWN
DATE 05/09/2017
DRAFTER CGUY
CHECKED JFEL
PROJECT NO. 140245
SHEET 5 OF 6
DWG. NO. C-5.0





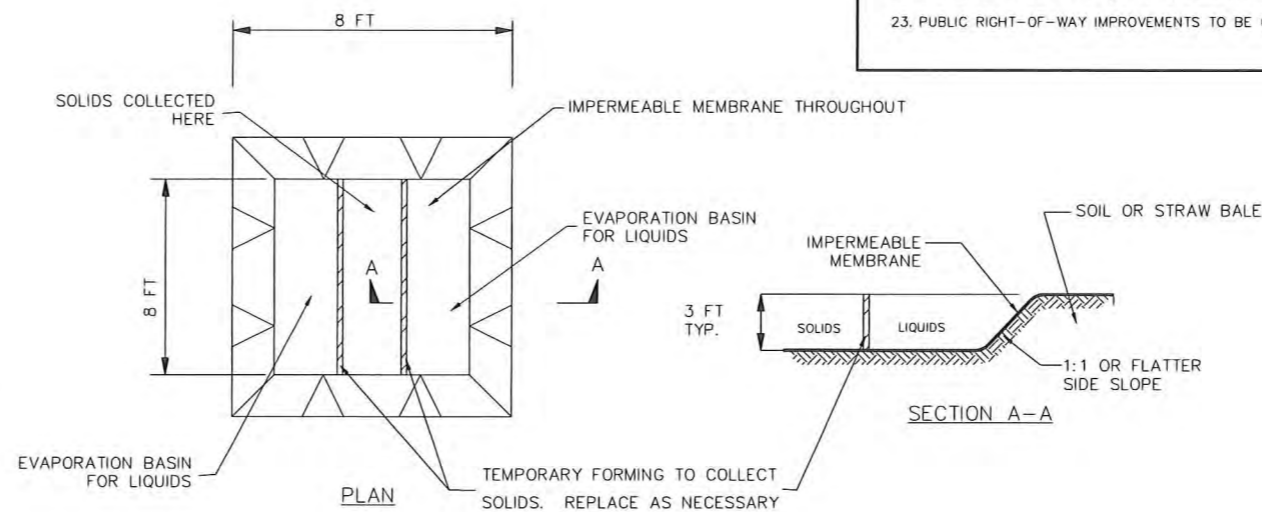
1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH - MINIMUM OF 50'.
3. WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUNDWATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

**1 TRACKING PAD**  
NOT TO SCALE

**CONSTRUCTION SPECIFICATIONS**

1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
2. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
3. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

**2 INLET PROTECTION TYPE D**  
NOT TO SCALE



**3 CONCRETE WASHOUT STRUCTURE**  
NOT TO SCALE

**EROSION CONTROL MEASURE NOTES:**

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. **STABILIZED DISTURBED GROUND:** ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25- FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
8. **SITE DE-WATERING:** WATER PUMPED FROM THE SITE SHALL BE TREATED PER APPLICABLE DNR TECHNICAL STANDARDS, OR OTHER APPROPRIATE CONTROL MEASURES. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DEWATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.
9. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT AS NECESSARY BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
10. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
11. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
12. ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
15. EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
16. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
19. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
20. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
21. THE CITY OF MADISON, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
22. IF THE TERRACE IN THE R/W IS TO BE DISTURBED, CONTRACTOR SHALL CONSIDER PLACING STONE/MULCH TO MINIMIZE RUNOFF.
23. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER 53B243B).

**SEEDING RATES:**

- TEMPORARY:**
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
  2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.
- PERMANENT:**
1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.
- FERTILIZING RATES:**
- TEMPORARY AND PERMANENT:**
- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.
- MULCHING RATES:**
- TEMPORARY AND PERMANENT:**
- USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE 05/09/2017

DRAFTER COUY

CHECKED JFEL

PROJECT NO. 140245

SHEET 6 OF 6

DWG. NO. C-6.0



MADISON LANDSCAPE WORKSHEET

Zoning district is GDP/ISIP  
 Total square footage of developed area ..... 12,500 SF  
 Total square footage of first 5 acres of developed area + 300 square feet = ..... 42 Landscape Units  
 Total square footage of 0 additional acres of developed area = 100 square feet = ..... 0 Landscape Units

NUMBER OF LANDSCAPE POINTS REQUIRED  
 42 Landscape Units x 5 landscape points for first 5 acres ..... 210 points  
 0 Landscape Units x 1 landscape point for additional acres ..... 0 points  
 TOTAL LANDSCAPE POINTS REQUIRED ..... 210 points

PLANT TYPE OR ELEMENT	Point Value	NEW		EXISTING		TOTAL POINTS PROVIDED
		Qty.	Points Achieved	Qty.	Points Achieved	
Overstory Deciduous Tree: 2-1/2" (dbh)	35	3	105			
Tall Evergreen Tree: 5-6 feet tall	35					
Ornamental Tree: 1-1/2" Caliper (dbh)	15	3	45			
Upright Evergreen Shrub: 3-4 feet tall	10	7	70			
Shrub, deciduous: 3 gallon / 12"-24"	3	26	78			
Shrub, evergreen: 3 gallon / 12"-24"	4	13	52			
Ornamental grass/perennial: 1 gallon / 8"-18"	2	327	654			
Ornamental / Decorative fencing or wall	4 per 10 l.f.					
Existing significant specimen tree	14 per Cal. In.					
Landscape furniture for public seating and / or transit connections	5 per 'seat'					
Sub Totals		1004		NA		1004

Street Frontage Landscape Required

Street Frontage = 1,000 LF  
 Canopy Trees Required: 1 per 30 LF Frontage = ..... 33  
 Shrubs Required: 5 per 30 LF Frontage = ..... 165

Street Frontage Landscape Supplied

Proposed Canopy Trees = ..... Due to site constraints we request alternative requirements as shown per plan  
 Proposed Shrubs = ..... Due to site constraints we request alternative requirements as shown per plan

Plant Material List

Quantity	Code Name	Common Name	Scientific Name	Planting Size
<b>Broadleaf Deciduous</b>				
3	ABS	Autumn Brill Serviceberry	Amelanchier X Grand 'autumn Brill'	6' B&B
3	CCP	Chanticleer Callery Pear	Pyrus Calleryana 'chanticleer'	2 1/2" B&B
<b>Conifer Evergreen</b>				
7	MBJ	Mountbatten Juniper	Juniperus Chinen 'mountbatten'	4' B&B
7	MMP	Mops Mugo Pine	Pinus Mugo 'mops'	#3 CONT.
6	WGA	Woodward Globe Arborvitae	Thuja Occidentalis 'woodwardii'	#5 CONT.
<b>Perennial</b>				
43	SBA	Summer Beauty Allium	Allium 'summer Beauty'	#1 CONT.
124	KFG	Karl Foerster's Feather Reed Grass	Calamagrostis Acutiflora 'karl Foerster'	#1 CONT.
40	OBH	Olive Bailey Langdon Hosta	Hosta X 'olive Bailey Langdon'	#1 CONT.
5	PMG	Purple Maiden Grass	Miscanthus Sinensis Var Purpurescens	#1 CONT.
8	LTC	Little Titch Catmint	Nepeta Racemosa 'little Titch'	#1 CONT.
9	MNMS	May Night Sage	Salvia Nemorosa 'mainacht'	#1 CONT.
98	PRD	Prairie Dropseed	Sporobolus Heterolepis	#1 CONT.
<b>Shrub</b>				
19	AH	Annabelle Hydrangea	Hydrangea Arborescens 'annabelle'	#3 CONT.
2	PDH	Pink Diamond Hydrangea	Hydrangea Paniculata 'pink Diamond'	#5 CONT.
3	KV	Koreanspice Viburnum	Viburnum Carlesii	30" B&B
2	LJAV	Little Joe Arwd Viburnum	Viburnum Dentatum 'klmseveniteen'	5 GAL

City Street Trees at Park Street and Fish Hatchery Road -- Plant Material List

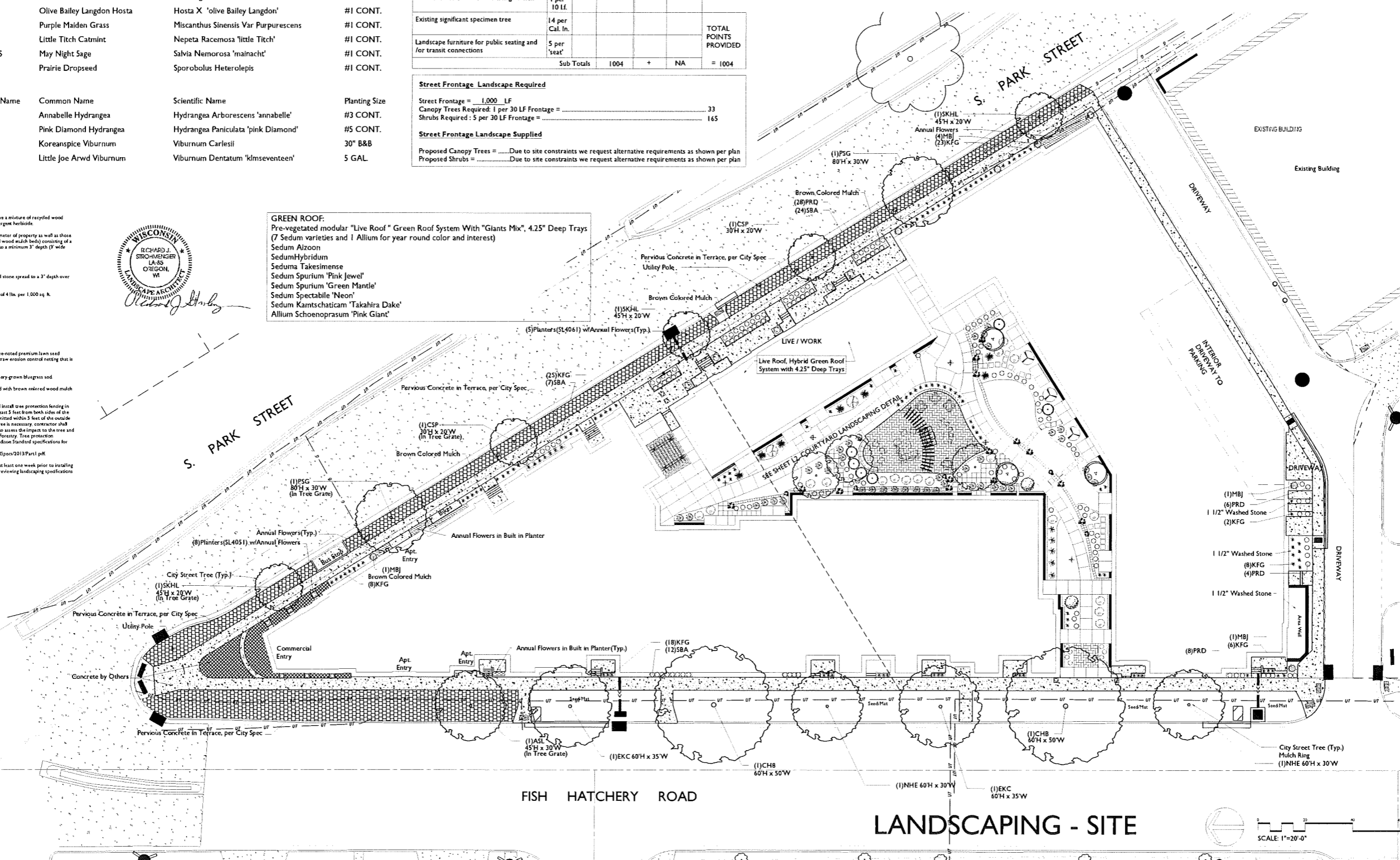
Quantity	Code Name	Common Name	Scientific Name	Planting Size
2	CHB	Common Hackberry	Celtis Occidentalis	2 1/2" B&B
2	PSG	Princeton Sentry Ginkgo	Ginkgo Biloba 'princeton Sentry'	2 1/2" B&B
3	SKH	Street Keeper Honeylocust	Gleditsia Triacan 'draves'	2 1/2" B&B
2	EKC	Espresso Kentucky Coffeetree	Gymnocladus Dioicus 'espresso-Jfs'	2 1/2" B&B
2	CSP	Cleveland Select Pear	Pyrus Calleryana 'Cleveland Select'	2 1/2" B&B
1	ASL	American Sentry Linden	Tilia Americana 'McKsentry'	2 1/2" B&B
2	NHE	New Horizon Elm	Ulmus 'new Horizon'	2 1/2" B&B

GENERAL NOTES

- A) Areas labeled "Brown Colored Wood Mulch" to receive a mixture of recycled wood mulch, colored brown, spread to a 3" depth over pre-emergent herbicide.
- B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive wood mulch rings (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown, spread to a minimum 3" depth (3" wide beds for shrub groupings).
- C) "Spaded Edge" to be Hand Trenched to depth of 4".
- D) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.
- E) "Seed" areas shall be fresh graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.
- F) Seed shall consist of the following mixture:  
 10% Palmer IV Perennial Ryegrass  
 20% Oregon Kentucky Bluegrass  
 20% Dixie Kentucky Bluegrass  
 20% Fory II Creeping Red Fescue  
 15% Val II Perennial Ryegrass  
 15% Geary Kentucky Bluegrass
- G) Areas labeled "Seed Mix" shall be seeded with the above noted premium lawn seed mixture and overlaid with Class I Urban Type A organic straw erosion control netting that is then pegged into the soil with biodegradable staples.
- H) Areas labeled "Soil" shall receive only No. 1 grade nursery-grown bluegrass seed.
- I) Plant beds adjacent to building foundation to be mulched with brown colored wood mulch spread to a 3" depth with pre-emergent herbicide.
- J) Existing street trees shall be protected. Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace. No excavation is permitted within 5 feet of the outside edge of the tree trunk. If excavation within 5 feet of any tree is necessary, contractor shall contact City Forestry (608)266-4814 prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry. Tree protection specifications can be found in section 107.13 of City of Madison Standard Specifications for Public Works Construction: <http://www.cityofmadison.com/business/pw/documents/545/pw2013Pw1.pdf>
- K) Contractor shall contact City Forestry (608)266-4814 at least one week prior to installing street trees to schedule inspecting the nursery stock and reviewing landscaping specifications with the landscaper.



**GREEN ROOF:**  
 Pre-vegetated modular "Live Roof" Green Roof System With "Giants Mix", 4.25" Deep Trays (7 Sedum varieties and 1 Allium for year round color and interest)  
 Sedum Alzoon  
 Sedum Hybridum  
 Sedum Takesimensense  
 Sedum Spurium 'Pink Jewel'  
 Sedum Spurium 'Green Mantle'  
 Sedum Spectabile 'Neon'  
 Sedum Kamtschaticum 'Takahira Dake'  
 Allium Schoenoprasum 'Pink Giant'



PELTON  
 1004-1032 S. PARK STREET  
 MADISON, WISCONSIN

Checked By: SS  
 Drawn By: 8/17/16 RS  
 Revised: 9/20/16 RS  
 Revised: 4/5/17 RS  
 Revised: 5/10/17 RS  
 Revised: .....  
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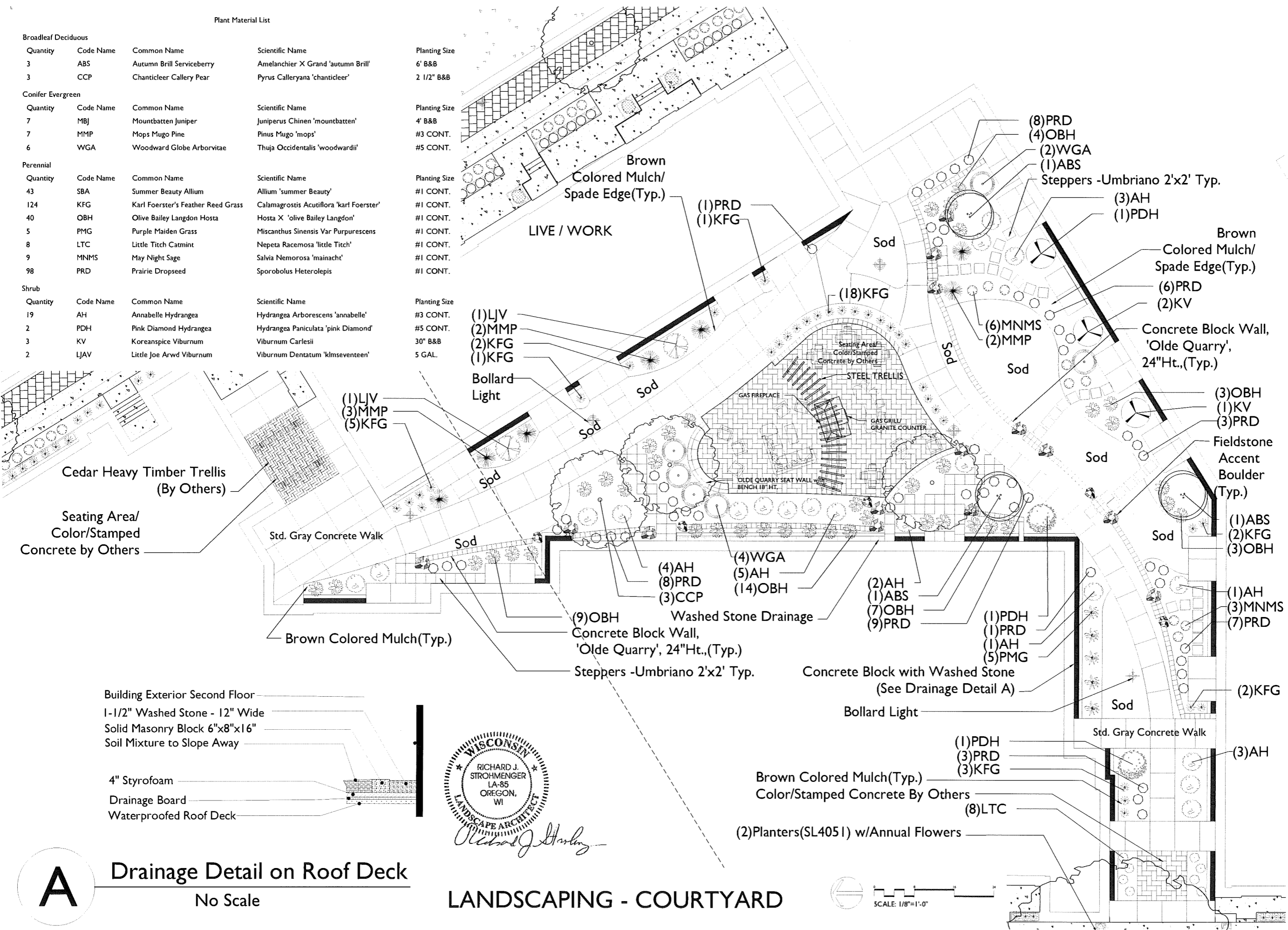
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LANDSCAPING - SITE

SCALE: 1"=20'-0"



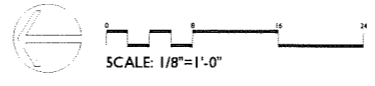
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Quantity	Code Name	Common Name	Scientific Name	Planting Size
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40	OBH	Olive Bailey Langdon Hosta	Hosta X 'olive Bailey Langdon'	#1 CONT.
5	PMG	Purple Maiden Grass	Miscanthus Sinensis Var Purpurescens	#1 CONT.
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3	KV	Koreanspice Viburnum	Viburnum Carlesii	30" B&B
2	LJAV	Little Joe Arwd Viburnum	Viburnum Dentatum 'klmseventeen'	5 GAL.



**A** Drainage Detail on Roof Deck  
 No Scale



**LANDSCAPING - COURTYARD**

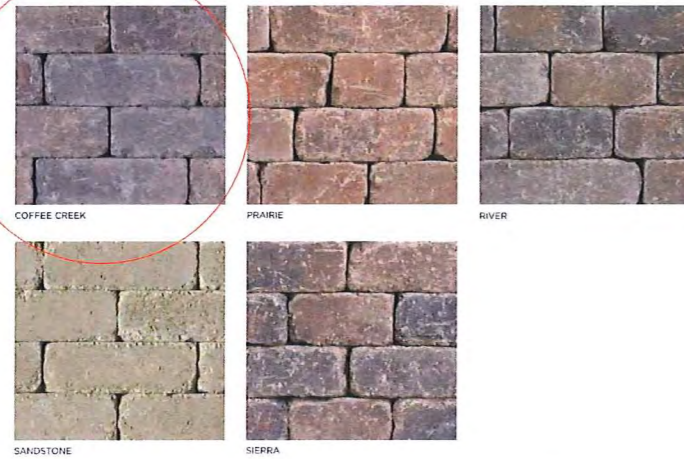




# OLDE QUARRY®

Whether your plans call for constructing a curved wall, seat wall, planters, steps, edging or even an outdoor kitchen, the look will be commanding and impressive with the antiqued finish of Olde Quarry. The flexibility of Olde Quarry makes it one of the most significant landscape design products available today. Available in a variety of colors, it can be matched to almost any paver project.

## COLORS®



We recommend Unilock's LedgeStone™ coping and pillar caps (page 96) to complement this great wall system.

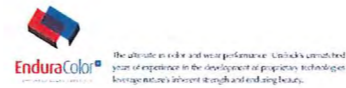
## PRODUCT SPECIFICATIONS



100 Visit [Unilock.com](http://Unilock.com) for more Olde Quarry project ideas and information.

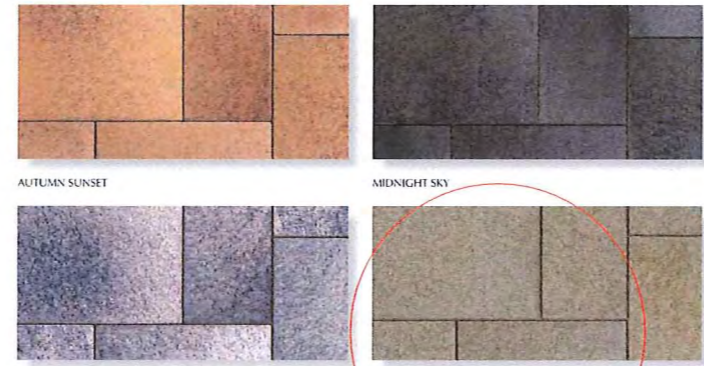
# UMBRIANO®

N Z C UC

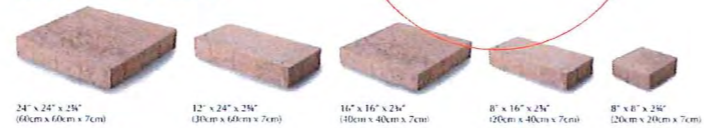


The random dispersing of color and granite particles creates the beauty of Umbriano's® unique mottled surface resembling the appearance of natural granite. Umbriano, with ColorFusion™ and other superior features, make it an ideal selection for driveways, pool decks, patios, commercial plazas and offices.

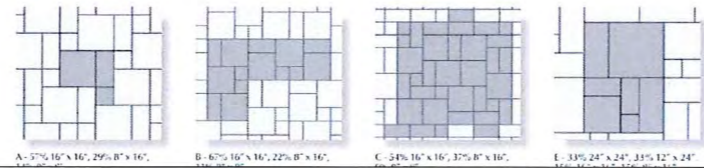
## COLORS®



## PRODUCT SPECIFICATIONS



## LAYING PATTERNS



# RoofTop Proven™ Giants Mix™ Specifications

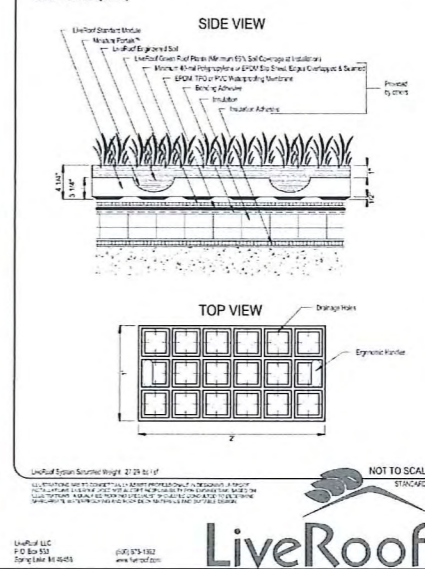
**Design Intent:** Select all the plants for extensive green roofs.

- **Foliage:** Tall, Easy and Spacing, drought-tolerant and decomposes in 1-2 weeks.
- **Flowers:** Bright colors, pollinates, and lasts.

**Base Plants:** 1. Sedum spectabile, 2. Sedum album, 3. Sedum album, 4. Sedum album, 5. Sedum album.

**Accent Plants:** 1. Sedum album, 2. Sedum album, 3. Sedum album, 4. Sedum album, 5. Sedum album.

# LiveRoof STANDARD SYSTEM



# Concrete Colors and Finishes



## Product Information SL4061



**Size:** 42" Sq. x 42" H  
**Weight:** 3,200 Lbs.  
**Material:** Reinforced concrete  
**Reinforcing:** 3/8" Dia. steel rebar  
**Logo Options:** Inkjet or Cast  
**Drain Hole:** (1) 2" Dia drain hole  
**Hardware:** (2) 5/8" Dia lifting inserts

**Note:** Lifting inserts are to ONLY be used when planter is EMPTY  
**Accepts Reservoir System**

## Finish Options

- Standard -Weatherstone(B)
- Premium -Weatherstone Glass(C)

Site Furnishing Division PO Box 1520, Wausau, WI 54402-1520 (800) 368-8729  
 Date: 08/11/14

**MADE IN WAUSAU**

## SL4051

A unique design for concrete planters.

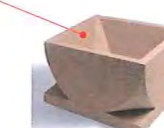
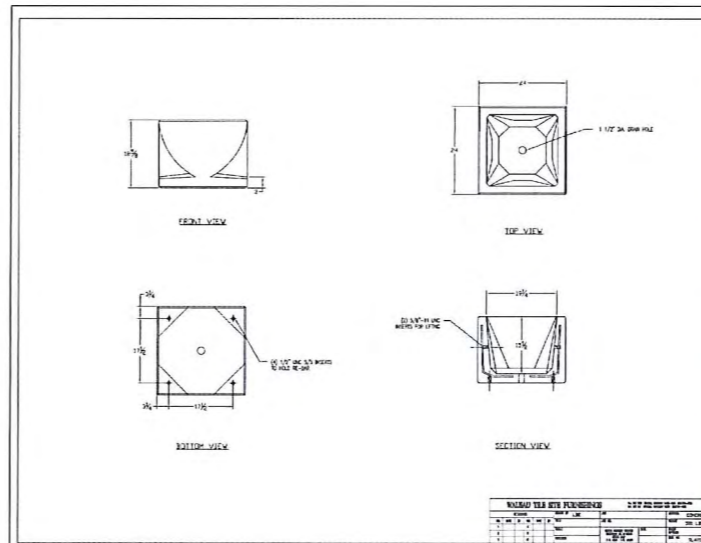
**ITEM NUMBER:** SL4051  
**DIMENSIONS:** 78" x 24" x 24"  
**WEIGHT:** 550 lbs

**ADDITIONAL FEATURES:** 1/2" Dia. Drain Hole, 1/2" Dia. Lifting Inserts, 1/2" Dia. Lifting Inserts to UNL. If you need other details, see SL4051.

**MATERIAL:** Concrete

**SHAPE:** Square

**REINFORCEMENT:** Yes



# Typical Summer Flower Display



POT STYLE SHOWN NOT TYPICAL- SEE SPECS FOR STYLE 4051 & 4061

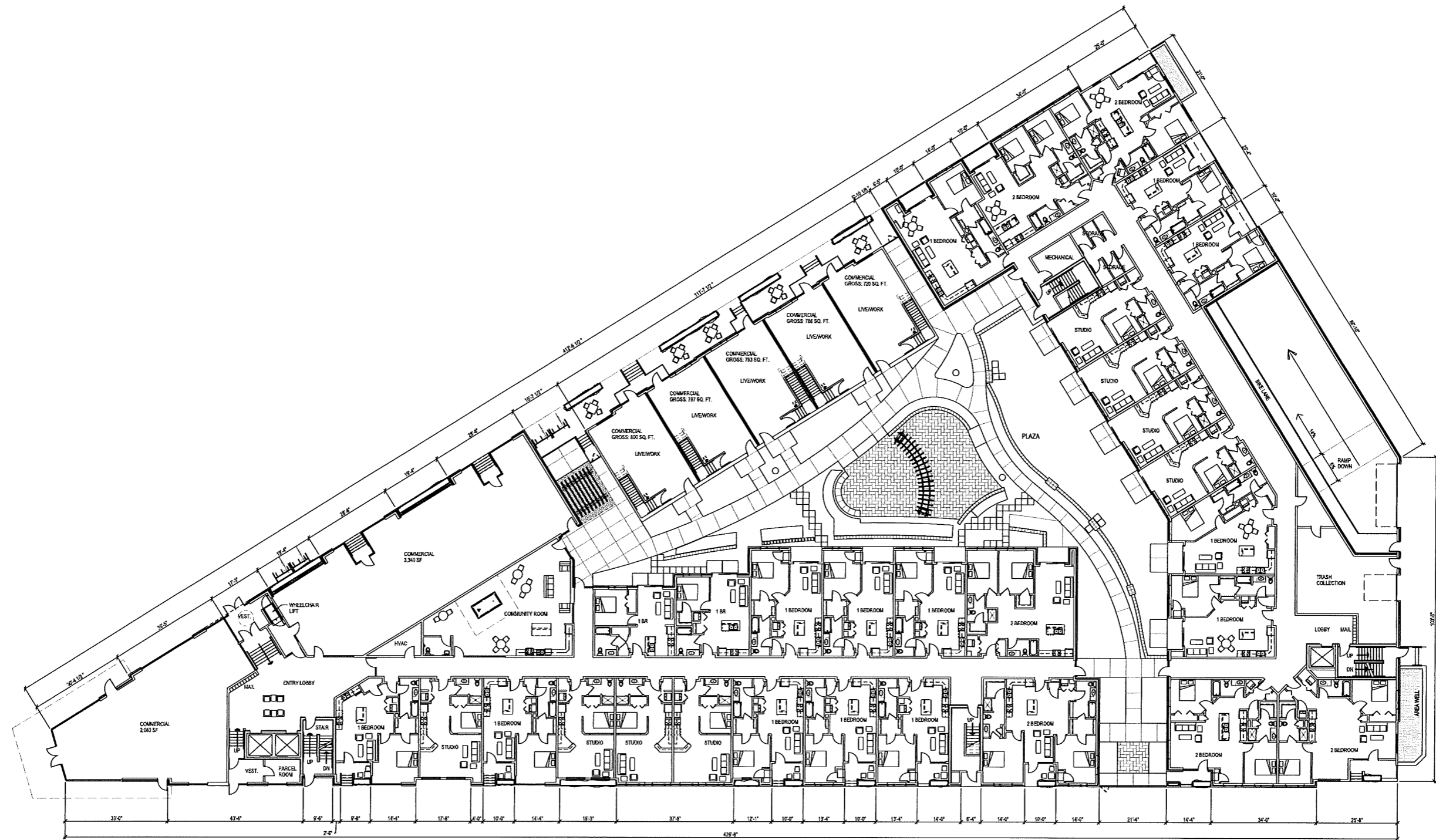
# DETAILS

Checked By: SS  
 Drawn By: 8/17/16 RS  
 Revised: 9/20/16 RS  
 Revised: 4/5/17 RS  
 Revised: 5/10/17 RS  
 Revised: ----  
 Revised: ----  
 Revised: ----  
 Revised: ----  
 Revised: ----  
 Revised: ----









NORTH  
**FIRST FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

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PROJECT NUMBER: 59630  
 APPROVED BY: XXX  
 REVIEWED BY: XXX  
 DRAWN BY: MBH  
 5/10/2017 7:41:37 AM

OVERALL FIRST FLOOR PLAN

**A101**

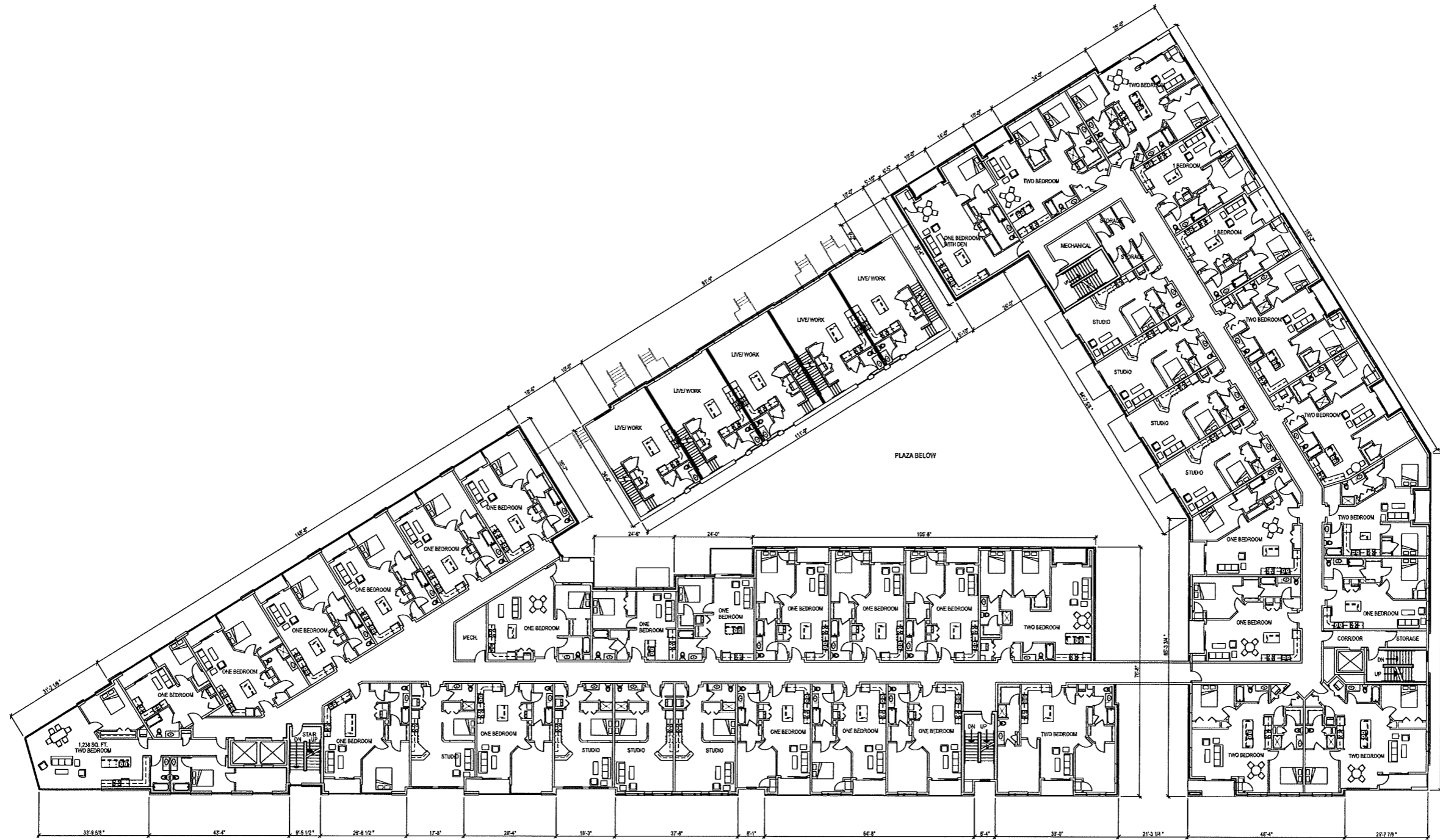
PELTON PLACE RESIDENCES  
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 PELTON RESIDENCES, LLC  
 MADISON, WISCONSIN

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ISSUANCES	REVISIONS
UDD/INITIAL/FINAL APPROVAL/PC - 05/10/2017	

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NORTH  
**SECOND FLOOR PLAN**  
 SCALE: 1/16"=1'-0"

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 REVIEWED BY: XXX  
 DRAWN BY: MBH  
 5/13/2017 7:40:46 AM

OVERALL SECOND FLOOR PLAN

**A102**

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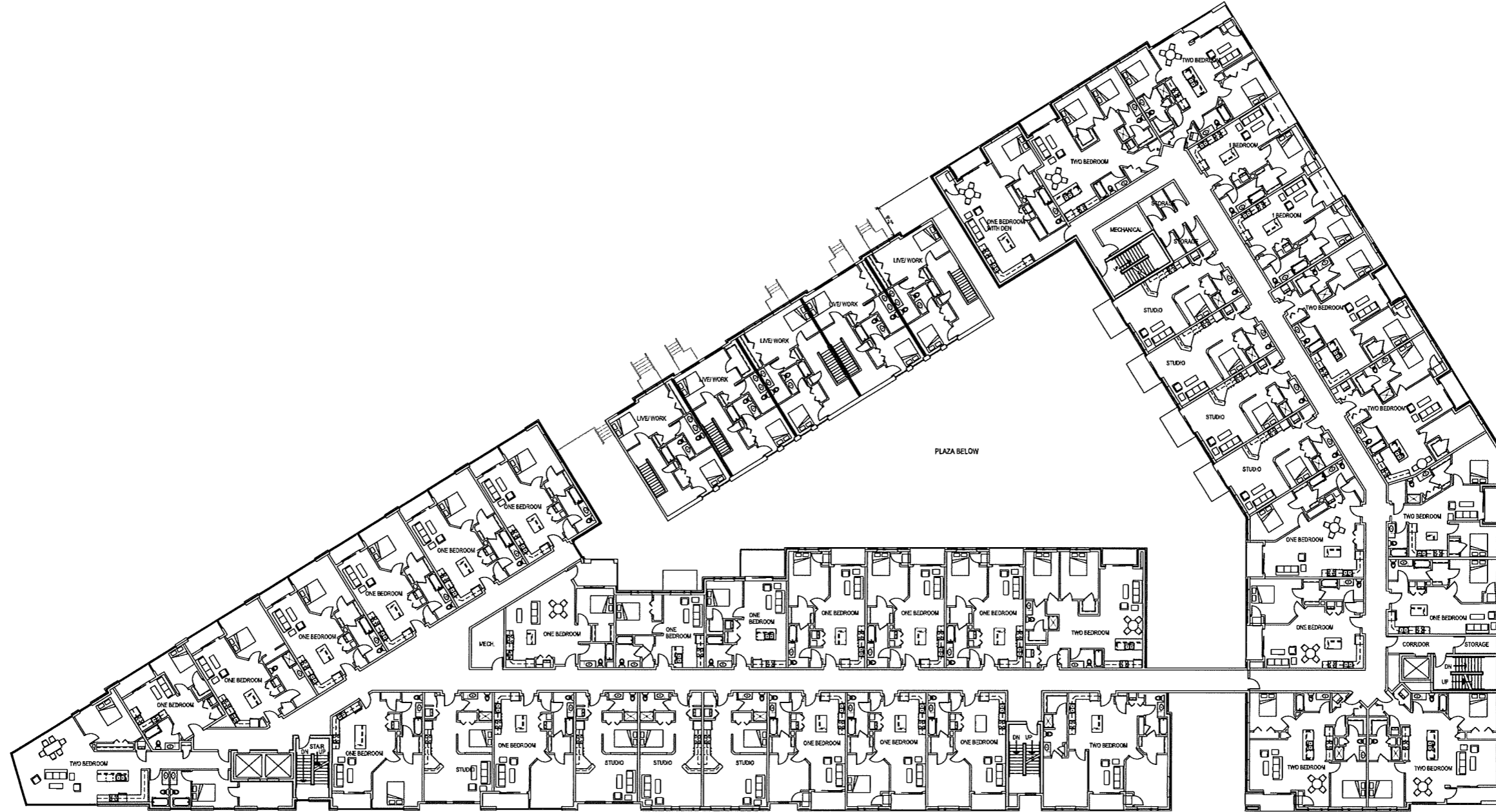
Balance in Creativity  
 1000 E. 5th Street, Madison, WI 53703 | P: 608.762.2335  
 Madison, WI 53703 | F: 608.244.2225  
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ISSUANCES:  
 UDC INITIAL/FINAL APPROVAL PC: 05/10/2017

REVISIONS:

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NORTH  
 THIRD FLOOR PLAN  
 SCALE: 1/11"=1'-0"

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 58830  
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 REVIEWED BY  
 XXX  
 DRAWN BY  
 MBH  
 5/10/2017 7:40:49 AM

OVERALL  
 THIRD FLOOR  
 PLAN  
**A103**

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UDC INITIAL/FINAL APPROVAL/PC - 05/10/2017	

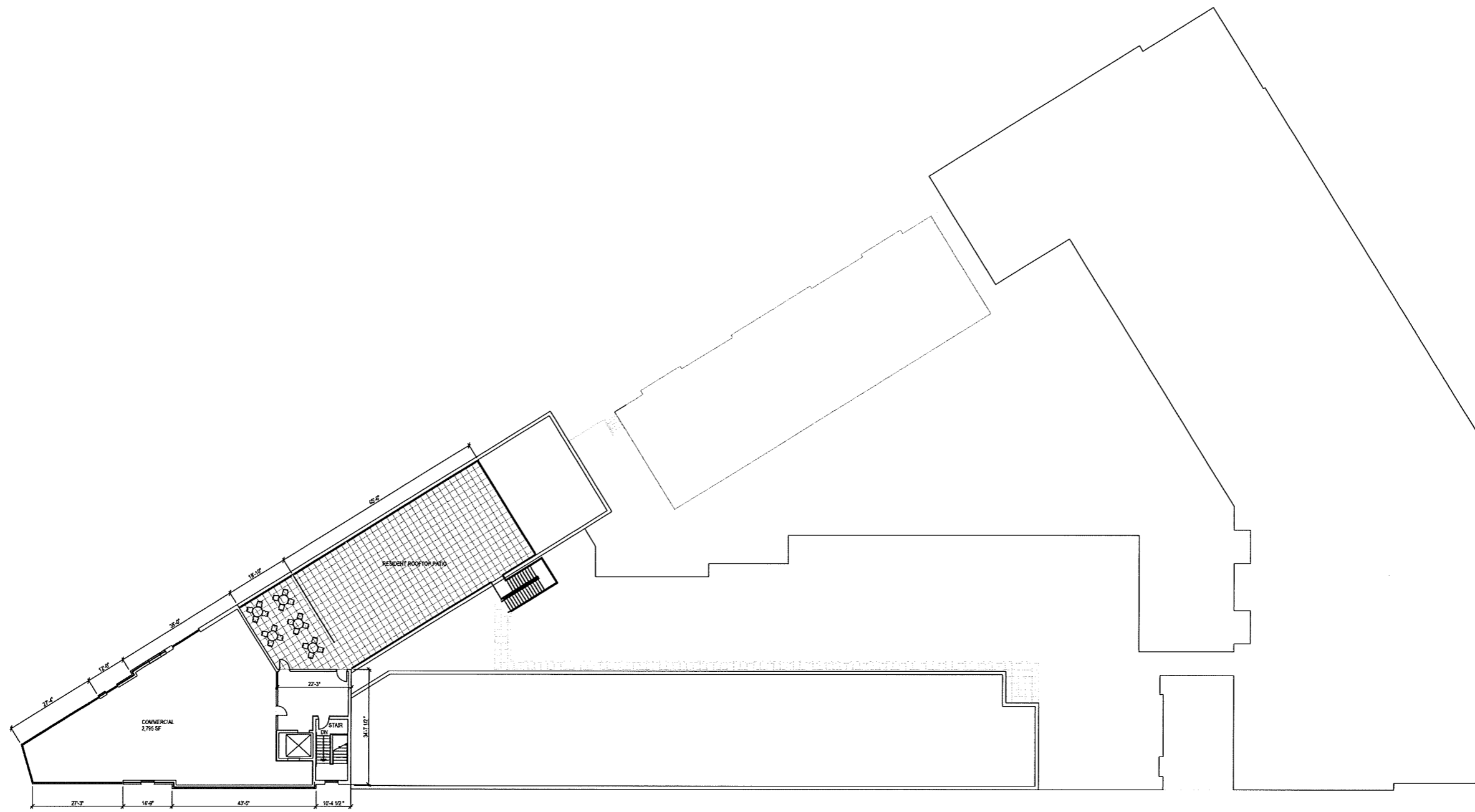













**SIXTH FLOOR PLAN**  
 SCALE: 1/8"=1'-0"

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PROJECT NUMBER: 59830  
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 REVIEWED BY: [Signature]  
 DRAWN BY: JMD  
 DATE: 5/10/2017 7:40:56 AM

OVERALL  
6TH FLOOR PLAN  
PLAN

**A106**

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 PELTON RESIDENCES, LLC  
 MADISON, WISCONSIN**

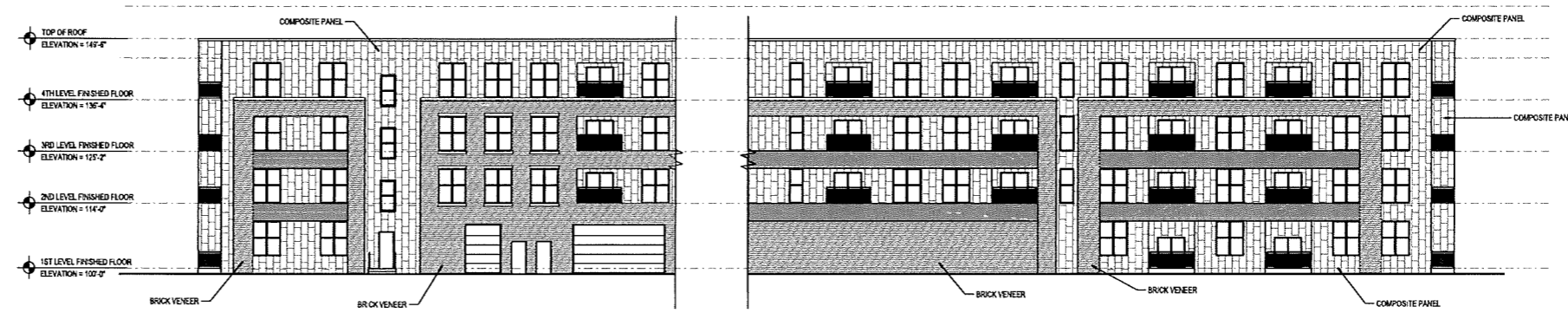
**Angus Young**  
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 Balance in Creativity  
 Location: 655 South Ring Street, Madison, WI 53706 | P: 608.265.9335  
 Madison: 15 North Court Street, Madison, WI 53703 | P: 608.247.6252  
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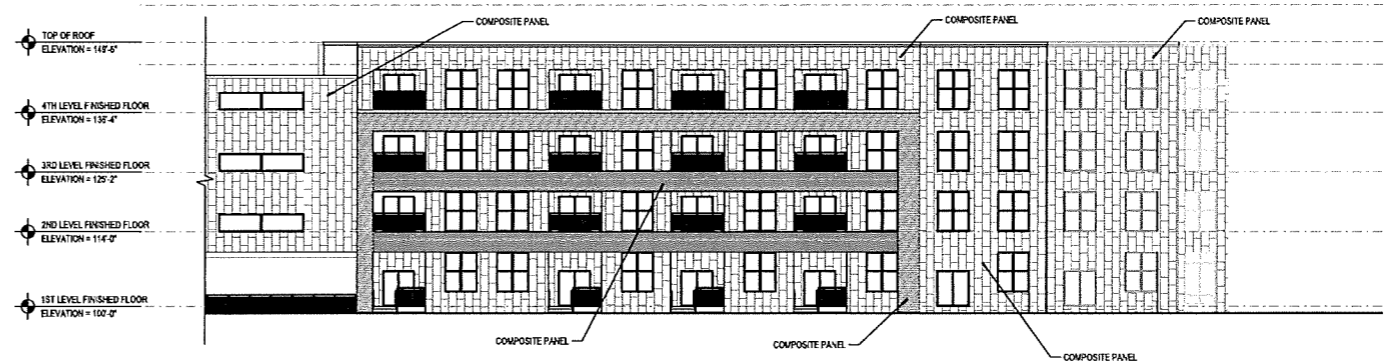




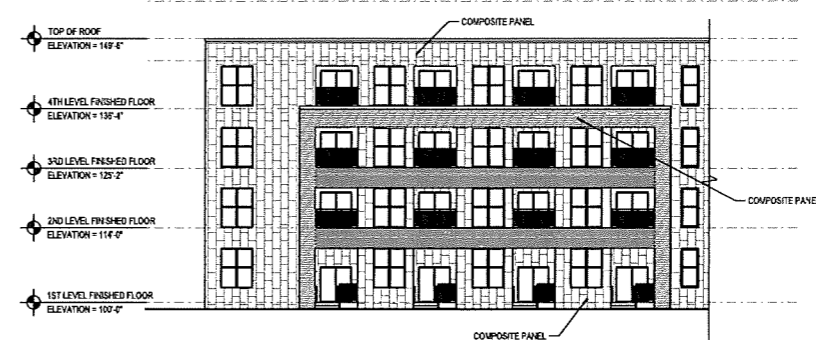




01 SOUTH STREET ELEVATION (SOUTH)  
 A401 SCALE: 1/16" = 1'-0"



02 INTERIOR COURTYARD (WEST)  
 A401 SCALE: 1/16" = 1'-0"



03 INTERIOR COURTYARD (SOUTH)  
 A401 SCALE: 1/16" = 1'-0"

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PROJECT NUMBER: 58630  
 APPROVED BY: ACK  
 REVIEWED BY: XXX  
 DRAWN BY: EMH  
 5/10/2017 7:46:00 AM

ISSUANCES:  
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PROPOSED EXTERIOR ELEVATIONS



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Wattage
[Symbol]	OA1	6	EATON - LUMARK (FORMER COOPER LIGHTING)	XTOR1B-W	CROSSTOUR 12W WALL MOUNT LED	EATON LED 4000K	1	1596	12.2
[Symbol]	OA2	6	COOPER LIGHTING - LUMARK	XTOR2A-N	LUMARK CROSSTOUR LED WALL PACK - 20W - 3500K WITH SPECULAR REFLECTOR, CLEAR LENS AND ALUMINUM HEATSINK		1	947	19.8
[Symbol]	OB	7	LIGMAN	UJE-31771-M-W40	1x1 square wall up-down light 4.02 LED	2x7 LED 4000K	2	660	24.8
[Symbol]	OC	125	EATON - HALO (FORMER COOPER LIGHTING)	ML905540 691WB	HALO 6 INCH ML90 600 SERIES LED DOWNLIGHT WITH WHITE POLYMER BAFFLE REFLECTOR	(1) HIGH LUMEN LED 60CRI / 4000 CCT ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN ISO/OPHOTOMETER WITH TEST DISTANCE OF 24.75 FEET	1	648	9
[Symbol]	OD	16	RAS LIGHTING, INC.	GNLED13YACB/FLOOD REF/FROSTED LENS	CAST FINED METAL HOUSING, ONE CIRCUIT BOARD WITH ONE LED, SPUN SEMI-SPECULAR METAL REFLECTOR, FROSTED FLAT GLASS LENS IN CAST BLACK PAINTED METAL TRIM RING, LENS FROSTED SIDE UP.	ONE WHITE MULTI-CHIP LIGHT EMITTING DIODE (LED) WITH LENS ARRANGED IN AN ARRAY OF THREE LINEAR ROWS, VERTICAL BASE-UP POSITION.	1	343	15.6

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
ALLEYWAY	+	0.4 fc	8.0 fc	0.0 fc	N/A	N/A
EAST CURB	+	0.3 fc	0.7 fc	0.0 fc	N/A	N/A
FISH HATCHERY SIDEWALK PASSED THE PROPERTY LINE	+	0.4 fc	4.1 fc	0.0 fc	N/A	N/A
PARK ST SIDEWALK	+	1.2 fc	26.2 fc	0.0 fc	N/A	N/A
PARK ST SIDEWALK PASSED PROPERTY LINE	+	0.5 fc	2.1 fc	0.0 fc	N/A	N/A
PLAZA AREA	+	1.6 fc	18.7 fc	0.0 fc	N/A	N/A
PROPERTY LINE	+	0.4 fc	3.9 fc	0.0 fc	N/A	N/A

**GENERAL EXTERIOR LIGHTING NOTES**

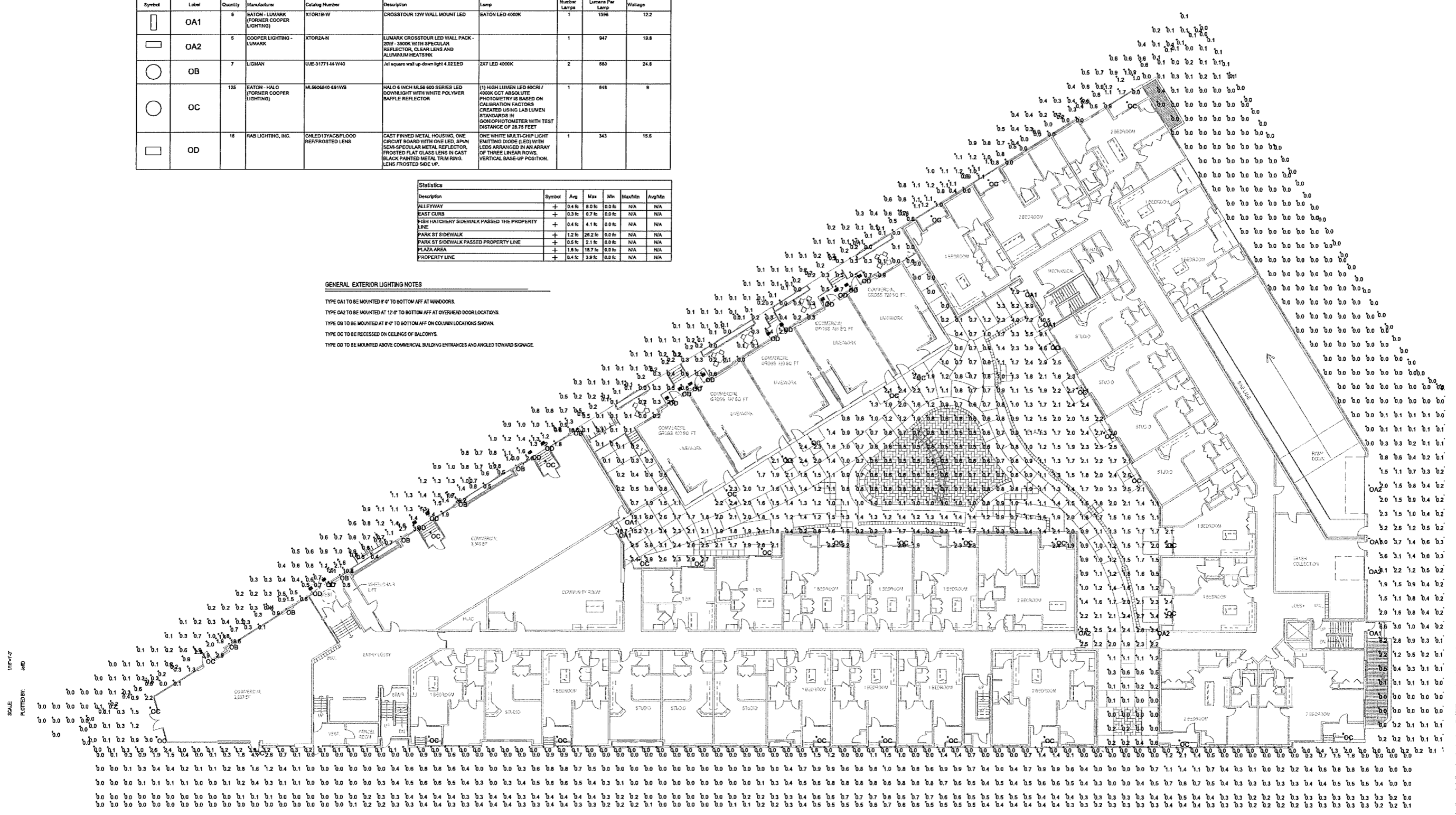
TYPE OA1 TO BE MOUNTED 4" TO BOTTOM AFF AT HANDDOORS.

TYPE OA2 TO BE MOUNTED AT 12" TO BOTTOM AFF AT OVERHEAD DOOR LOCATIONS.

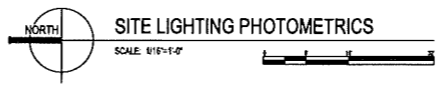
TYPE OB TO BE MOUNTED AT 6" TO BOTTOM AFF ON COLUMN LOCATIONS SHOWN.

TYPE OC TO BE RECESSED ON CEILING OF BALCONIES.

TYPE OD TO BE MOUNTED ABOVE COMMERCIAL BUILDING ENTRANCES AND ANGLED TOWARD STORAGE.



ORIGINAL SIZE 24" X 36"  
X:\architect\2016\160516.dwg



**SITE LIGHTING PHOTOMETRICS**

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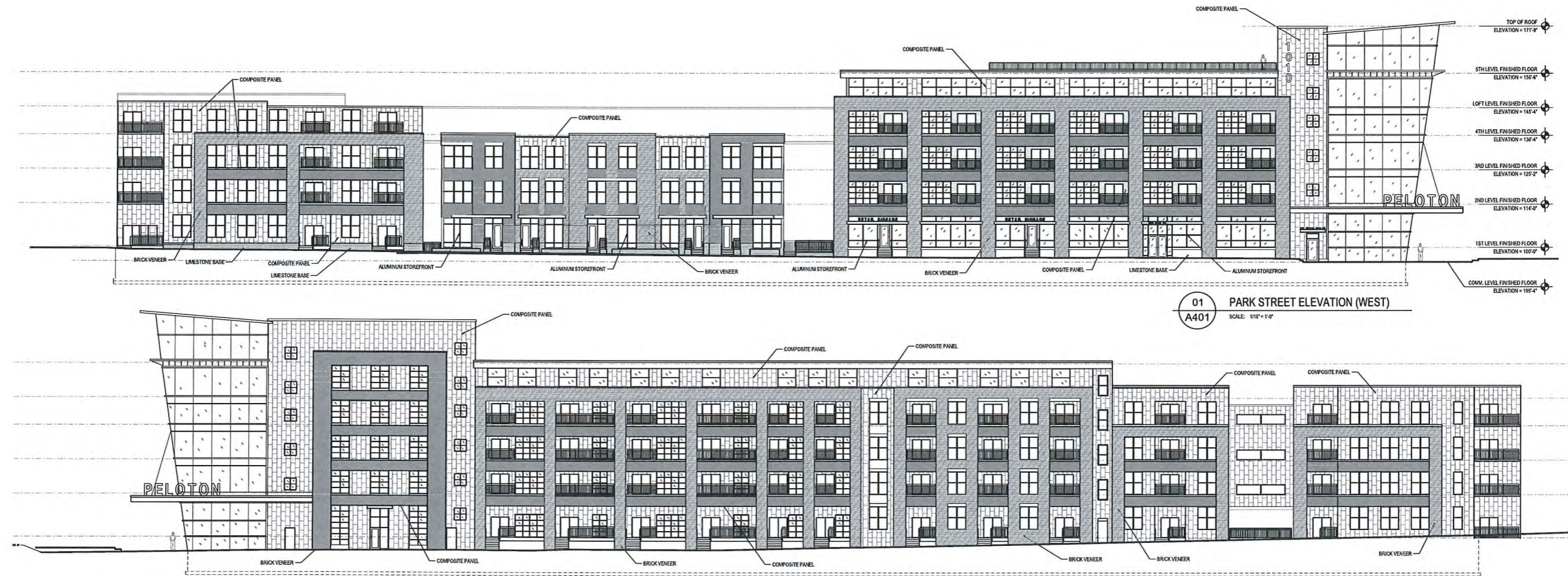
**PELTON PLACE RESIDENCES  
MIXED USE DEVELOPMENT  
PELTON RESIDENCES, LLC  
MADISON, WISCONSIN**

PROJECT NUMBER: 58030  
APPROVED BY: JAX  
REVIEWED BY: JAX  
DRAWN BY: CTK  
5/10/2017 8:17:16 AM

**E510**

**PRELIMINARY - NOT FOR CONSTRUCTION**

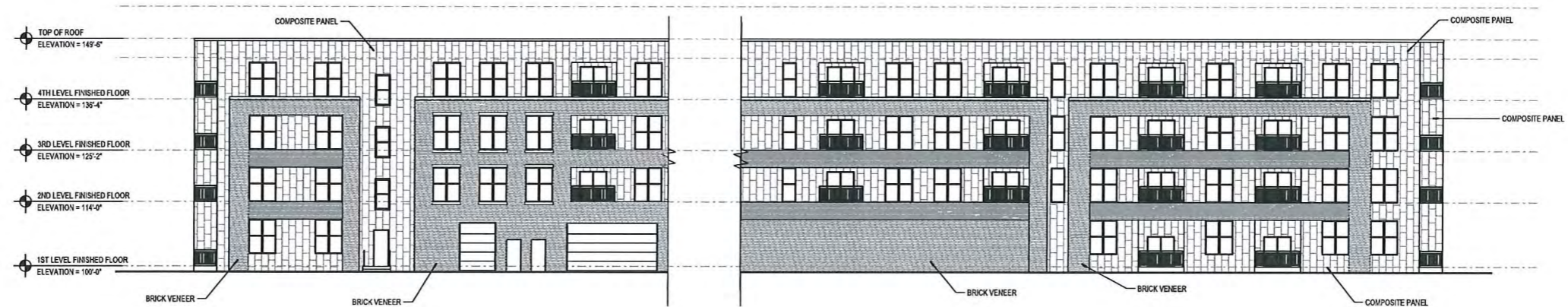




01  
A401  
PARK STREET ELEVATION (WEST)  
SCALE: 1/8"=1'-0"

Exterior Materials:  
 Limestone Base  
 Brick Veneer  
 Composite siding and flat panel  
 Fiberglass and Vinyl Windows for residential  
 Aluminum storefront for commercial  
 Aluminum curtainwall at prow  
 Aluminum trim and fascia



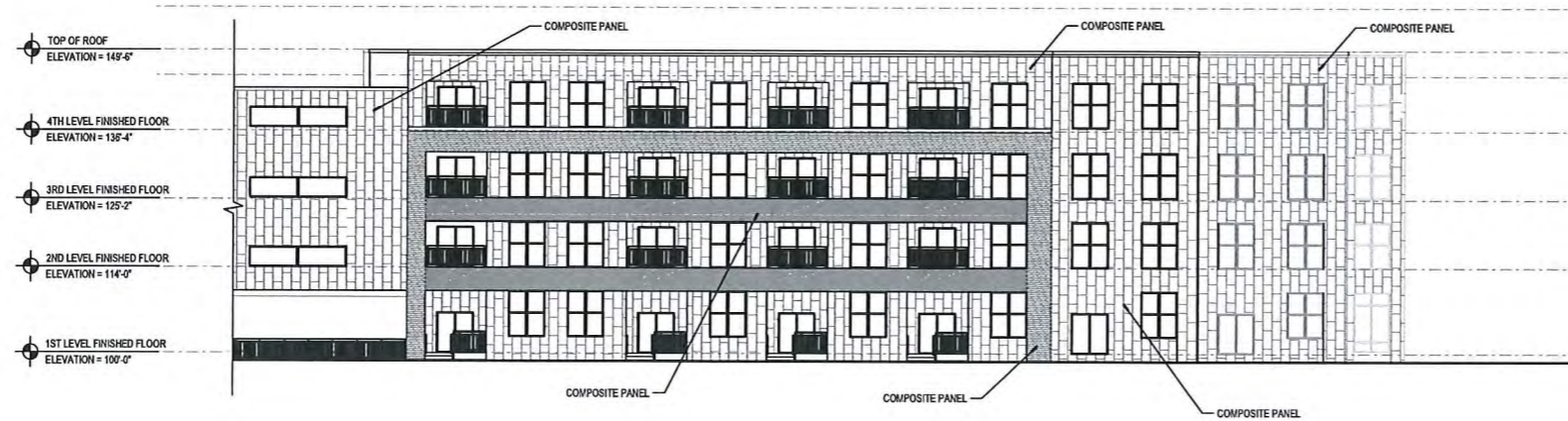


01 SOUTH STREET ELEVATION (SOUTH)  
A401 SCALE: 1/16" = 1'-0"

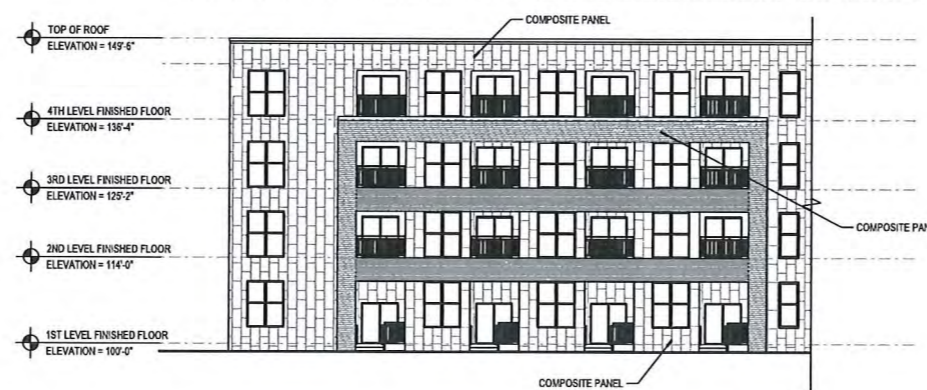
- Exterior Materials:
- Limestone Base
  - Brick Veneer
  - Composite siding and flat panel
  - Fiberglass and Vinyl Windows for residential
  - Aluminum storefront for commercial
  - Aluminum curtainwall at prow
  - Aluminum trim and fascia

## SOUTH ELEVATIONS





02 INTERIOR COURTYARD (WEST)  
A401 SCALE: 1/16" = 1'-0"



03 INTERIOR COURTYARD (SOUTH)  
A401 SCALE: 1/16" = 1'-0"

Exterior Materials:

- Limestone Base
- Brick Veneer
- Composite siding and flat panel
- Fiberglass and Vinyl Windows for residential
- Aluminum storefront for commercial
- Aluminum curtainwall at prow
- Aluminum trim and fascia





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## PROPOSED PERSPECTIVE RENDERINGS - Prow

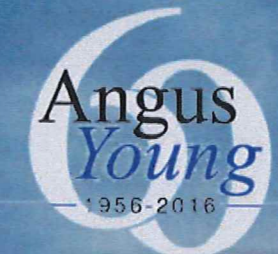
1010 PARK STREET · URBAN DESIGN DISTRICT 7 · PELTON PLACE RESIDENCES

MAY 10, 2017



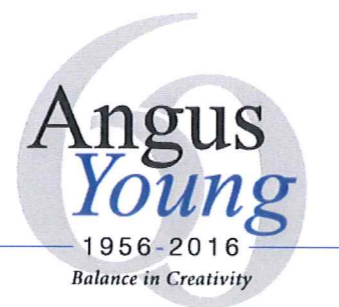






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## PROPOSED PERSPECTIVE RENDERINGS - Prow

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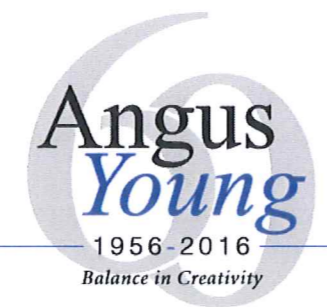
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# PROPOSED PERSPECTIVE RENDERINGS - Live/Work

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## PROPOSED PERSPECTIVE RENDERINGS - Fish Hatchery

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## PROPOSED PERSPECTIVE RENDERINGS - Fish Hatchery

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MAY 10, 2017





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## PROPOSED PERSPECTIVE RENDERINGS - Park Street

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## PROPOSED PERSPECTIVE RENDERINGS - South Street

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MAY 10, 2017



