



**CITY OF MADISON
ZONING BOARD OF APPEALS
VARIANCE APPLICATION**

\$300 Filing Fee

Ensure all information is **typed** or legibly **printed** using blue or black ink.

Address of Subject Property: 627 N. LAKE ST.

Name of Owner: SAE HOUSING CORP.

Address of Owner (if different than above): c/o BMOC 151 E. GORHAM
MADISON, WI 53703

Daytime Phone: 608-255-2301 Evening Phone: 608-245-6079 CELL

Email Address: bill.levy@bmocinc.com

Name of Applicant (Owner's Representative): TRI-NORTH BUILDERS (STEVE HARMS)

Address of Applicant: 2625 RESEARCH PARK DR
FITZBURGH, WI 53711

Daytime Phone: 608 204 7252 Evening Phone: 608 575 8262

Email Address: sharms@tri-north.com

Description of Requested Variance: SETBACK FROM LAKE FROM 75' to 53'

(See reverse side for more instructions)

FOR OFFICE USE ONLY

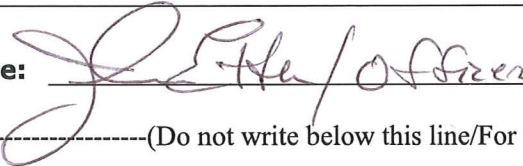
Amount Paid: 300-
Receipt: 144138
Filing Date: 6/24/2013
Received By: MPF
Parcel Number: 0709-143-0101-8
Zoning District: DR 2
Alder District: 8-RESNICK

Hearing Date: 8/8/13
Published Date: 8/1/13
Appeal Number: 080813-1
GQ: NZHP, Water Grant
Code Section(s): 28.138(5)(b)

Application Requirements

Please provide the following Information (Please note any boxes left unchecked below could result in a processing delay or the Board's denial of your application):

<input checked="" type="checkbox"/>	Pre-application meeting with staff: Prior to submittal of this application, the applicant is strongly encouraged to discuss the proposed project and submittal material with Zoning staff. Incomplete applications could result in referral or denial by the Zoning Board of Appeals.
<input checked="" type="checkbox"/>	Site plan , drawn to scale. A registered survey is recommended, but not required. Show the following on the site plan (Maximum size for all drawings is 11" x 17"): <ul style="list-style-type: none"> <input type="checkbox"/> Lot lines <input type="checkbox"/> Existing and proposed structures, with dimensions and setback distances to all property lines <input type="checkbox"/> Approximate location of structures on neighboring properties adjacent to variance <input type="checkbox"/> Major landscape elements, fencing, retaining walls or other relevant site features <input type="checkbox"/> Scale (1" = 20' or 1' = 30' preferred) <input type="checkbox"/> North arrow
<input type="checkbox"/>	Elevations from all relevant directions showing existing and proposed views, with notation showing the existing structure and proposed addition(s). (Maximum size for all drawings is 11" x 17") <i>NOTE: REVENGING VIEW IS ATTACHED.</i>
<input checked="" type="checkbox"/>	Interior floor plan of existing and proposed structure , when relevant to the variance request and required by Zoning Staff (Most additions and expansions will require floor plans). (Maximum size for all drawings is 11" x 17")
<input type="checkbox"/>	Front yard variance requests only. Show the building location (front setback) of adjacent properties on each side of the subject property to determine front setback average. <i>NA</i>
<input checked="" type="checkbox"/>	Lakefront setback variance requests only. Provide a survey prepared by a registered land surveyor showing existing setbacks of buildings on adjacent lots, per MGO 28.138.
<input type="checkbox"/>	Variance requests specifically involving slope, grade, or trees. Approximate location and amount of slope, direction of drainage, location, species and size of trees. <i>NA</i>
<input checked="" type="checkbox"/>	CHECK HERE. I acknowledge any statements implied as fact require supporting evidence.
<input checked="" type="checkbox"/>	CHECK HERE. I have been given a copy of and have reviewed the standards that the Zoning Board of Appeals will use when reviewing applications for variances.

Owner's Signature: 
Date: 6/24/13
 -----(Do not write below this line/For Office Use Only)-----

<u>DECISION</u>
The Board, in accordance with its findings of fact, hereby determines that the requested variance for _____ (is) (is not) in compliance with all of the standards for a variance. Further findings of fact are stated in the minutes of this public hearing.
The Zoning Board of Appeals: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> Conditionally Approved
Zoning Board of Appeals Chair:
Date:



Tri-North

BUILD SMART.

July 22, 2013

Matt Tucker
Zoning Administrator
City of Madison Zoning
215 Martin Luther King Jr. Blvd.
Madison, WI 53709

Re: 627 N. Lake St.
Lakefront set back variance – addition to the previously submitted variance application

Dear Mr. Tucker:

Our application for a variance on the lake front setback for the Sigma Alpha Epsilon house redevelopment was submitted to you June 24 of this year. Attached is further information to assist your process and communicate to the board our request. The proposed redevelopment will demolish the existing 3 story structure with 38 beds (double occupancy) and replace it with a 5 story, 69 bed facility utilizing suite style with single bedrooms.

- We are requesting a 53' setback from the lake (established water line elevation per the zoning code)

We believe the proposed redevelopment meets the standards for a variance:

1. There are conditions unique to the property of the applicant that does not apply generally to other properties in the district.

Other adjacent properties to the east in the district have varying setbacks along the lake that would allow redevelopment opportunities that 627 do not. This is because there are greater lot depths than 627 due to the varying lakefront that runs to the northeast vs. Mendota Court which runs east. (See adjacent setback exhibit view 5 and 6) Those lots allow a feasible redevelopment or addition given the greater foot print allowed by right due to the lakefront jutting out northeast.

Also there are properties with existing structures that are closer than 75' such as Delta Upsilon at 26.6', and 651 Mendota Court at 55.9'.

2. The variance is not contrary to the spirit, purpose, and intent of the regulations in the zoning district and is not contrary to the public interest.

The intent of the Lakefront portion of the ordinance is to preserve the lake front and its habitat and plantings to protect the lake from runoff and potential contaminants, and views from various adjacent lots, as well as allow for the lakefront walk easement to connect from the University to at least the Edgewater. We will, as part of our project, include the requested 10' easement for a future lakefront walkway, the first property to do so under the new zoning code. We also will design the landscaping to incorporate rain garden features to assist in filtering any water runoff from our lawn area. All impervious surfaces (roof primarily) will drain to the city storm water system. This in effect reduces runoff to the lake from current conditions, and with the enhanced landscaping and rain garden features, will improve runoff into the lake.

3. This redevelopment is not contrary to public interest.



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It will enhance the viability of the immediate area with higher density supporting the existing retail and businesses and upgraded landscaping around the entire property. This does not reduce or obstruct any views for any immediate neighbors. This property will remain an SAE house (vs. an apartment building) but with a larger number of beds than the 38 current beds, which will allow a better management structure (i.e. more costly) that can be employed in a larger facility including an on-site manager, supervised social gatherings (events that do take place will also be electronically monitored) which will make this property more of an asset for the area rather than a liability.

4. For an area (setbacks, etc.) variance, compliance with the strict letter of the ordinance would Unreasonably prevent use of the property for a permitted purpose or would render compliance with the ordinance unnecessarily burdensome.

This project would not be viable with the current setback requirement. The buildable area with the 75' set back is 3,633 GSF. That area would allow approximately 10- 12 beds per floor or a total of 40 to 48 beds. The revenue from those beds does not support the construction cost of a new facility. And the fraternity with over 100 members would not be able to recruit and grow their membership. The Fraternity cannot maintain a presence in the current building given the condition and without upgrading to private suites. The cost of those potential upgrades is also not feasible financially. Future of the existing site and building would be unknown.

The 53' requested setback will allow a buildable area of 5,323 GSF.

5. The alleged difficulty or hardship is created by the terms of the ordinance rather than by a person who has a present interest in the property.

The ordinance of 75' setback creates a buildable area that is not viable physically and financially due to the lack of depth of the lot. The current owners have considered selling the property to find a more suitable facility. However the small footprint on the site has detracted any potential buyers to date.

6. The proposed variance shall not create substantial detriment to adjacent property.

We have been in communication with the adjacent property owner's representative who is in favor of redevelopment. They believe the project will enhance their own property value. We will be submitting a letter from a neighboring property owner (2 adjacent and others in the area) showing support.

7. The proposed variance shall be compatible with the character of the immediate neighborhood.

The setbacks that are shown both east and west of the subject property have a reasonable average setback. We are asking only to use an average of those setbacks (which vary from 11.3' to 93.5'). By the other allowed calculations per the zoning code (Para. 28.138 (5) (b); sub-Para (1) - set back would be 61.3', Sub-Para (2) would be 37.3'. We are requesting a setback greater than the average of those (which would be 49.3') of 53'.

The property adjacent is currently 87.9'. A redevelopment of that parcel using the 75' set back would allow a building footprint area equal/greater to what we are proposing. Delta House is the 4th property adjacent, their setback is 27.4', and we are requesting a setback approximately double that existing setback.



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The character of the neighborhood is important to the current owners as well as the neighbors. We are submitting a project five stories in height, although 7 can be attained with exceptional design per the zoning code. The proposed variance does not increase the building footprint area compared to other parcels in the area. No other variances are requested for the redevelopment (front or side yard, height etc.) The redeveloped property will be in conformance with all other current zoning regulations, and will easily meet all other building and fire codes.

Sincerely:



Steve Harms, AIA, LEED BD+C
Tri-North Builders, Agent for SAE Housing Corp.

The logo for Tri-North features a stylized 'N' composed of three horizontal lines on the left, followed by the text 'Tri-North' in a bold, sans-serif font.

BUILD SMART.

627 N. Lake St.
Madison, WI
Zoning Analysis

Current Building:

Zoning district DR-2
Height – 3 stories + basement

Use – Fraternity
Max. 38 persons

Proposed redevelopment:

Yard Requirements:

Front yard – 10'

Side Yard – 5'

Rear Yard – 20'

Lake front setback – min 75', exceptions by calculations see letter

Use: Fraternity residence
69 Beds + resident manager apartment

Five Stories (max. allowable without enhancements for additional 2 bonus stories)

Useable Open Space = 20SF per bedroom X 69 = 1,380SF

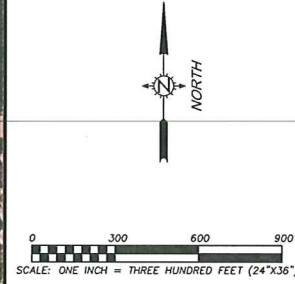
Actual Open space = XXXX SF

Off street parking required = 0
Loading stall provided

Off Street Bicycle parking required = 37
Off street Bicycle parking provided = 37



OVERALL VIEW

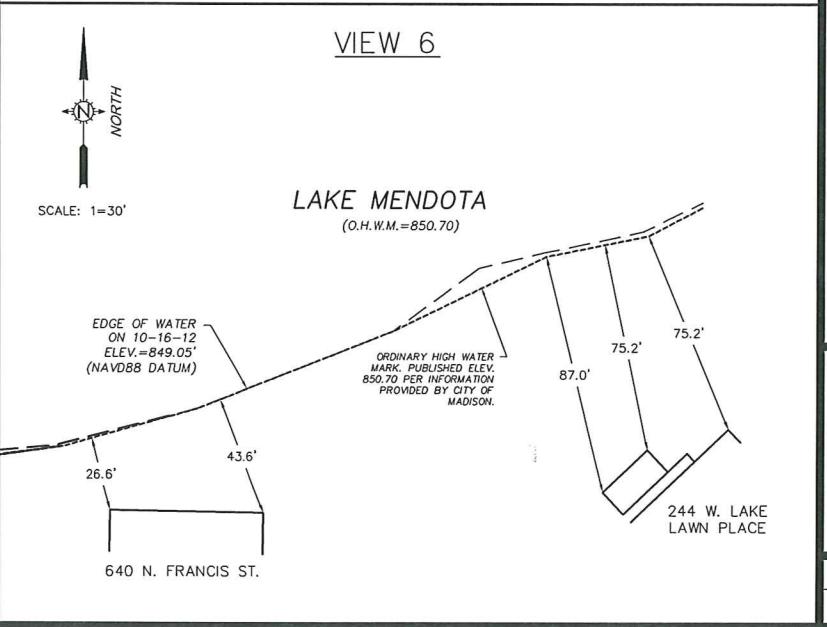
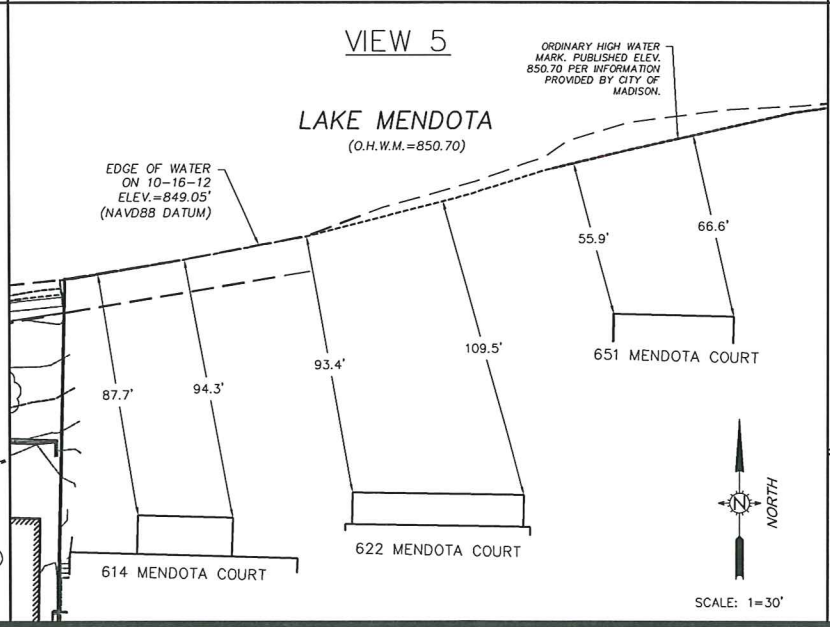
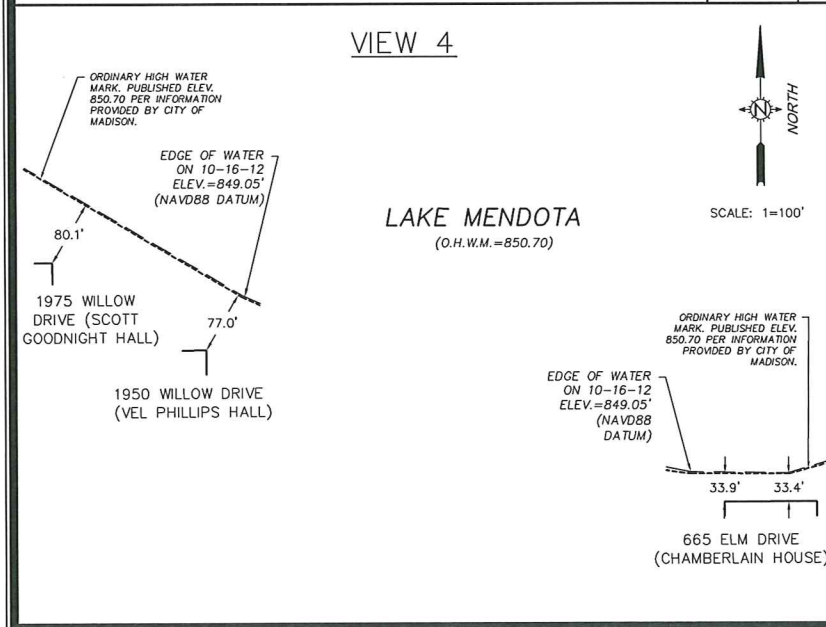
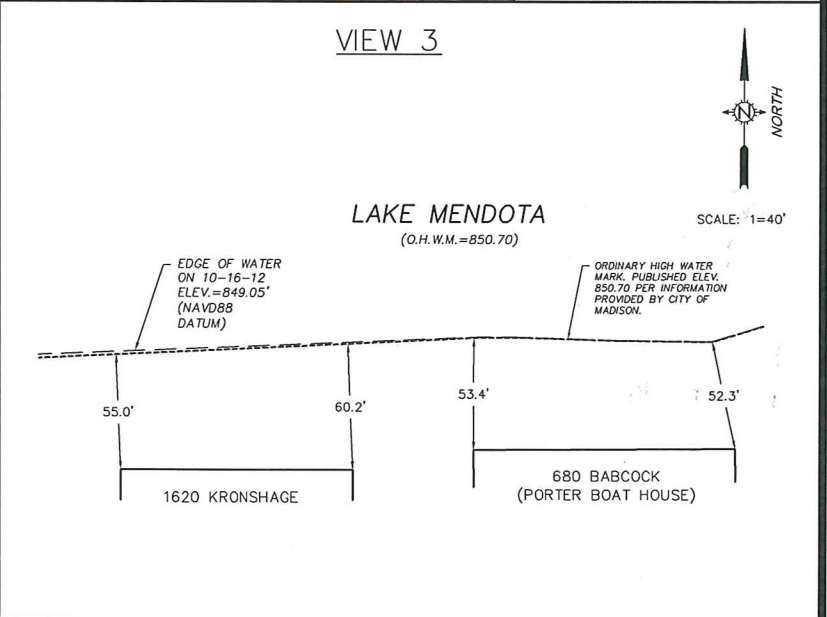
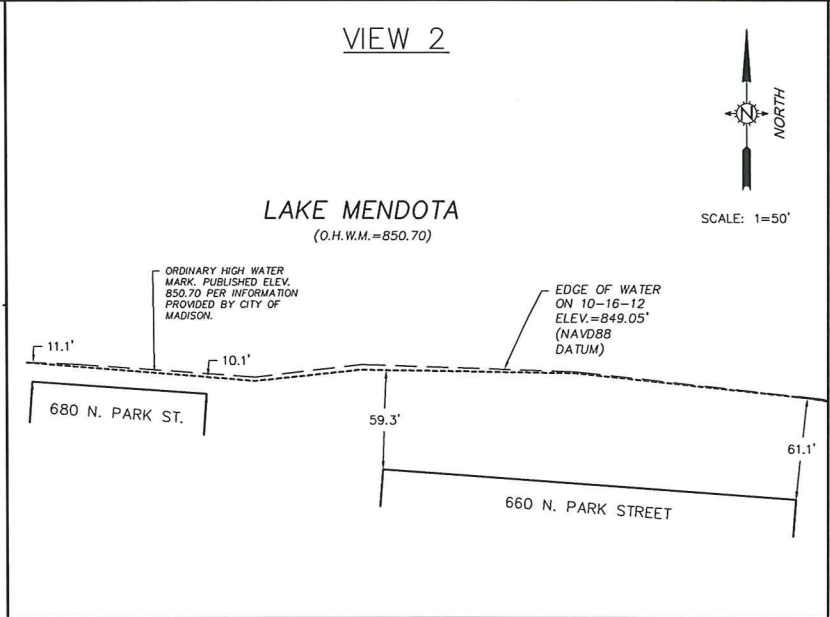
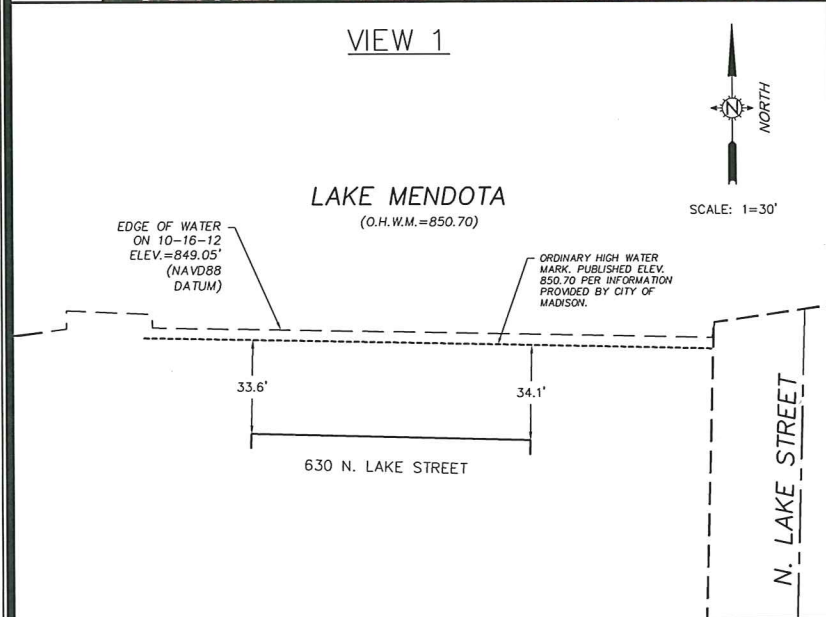


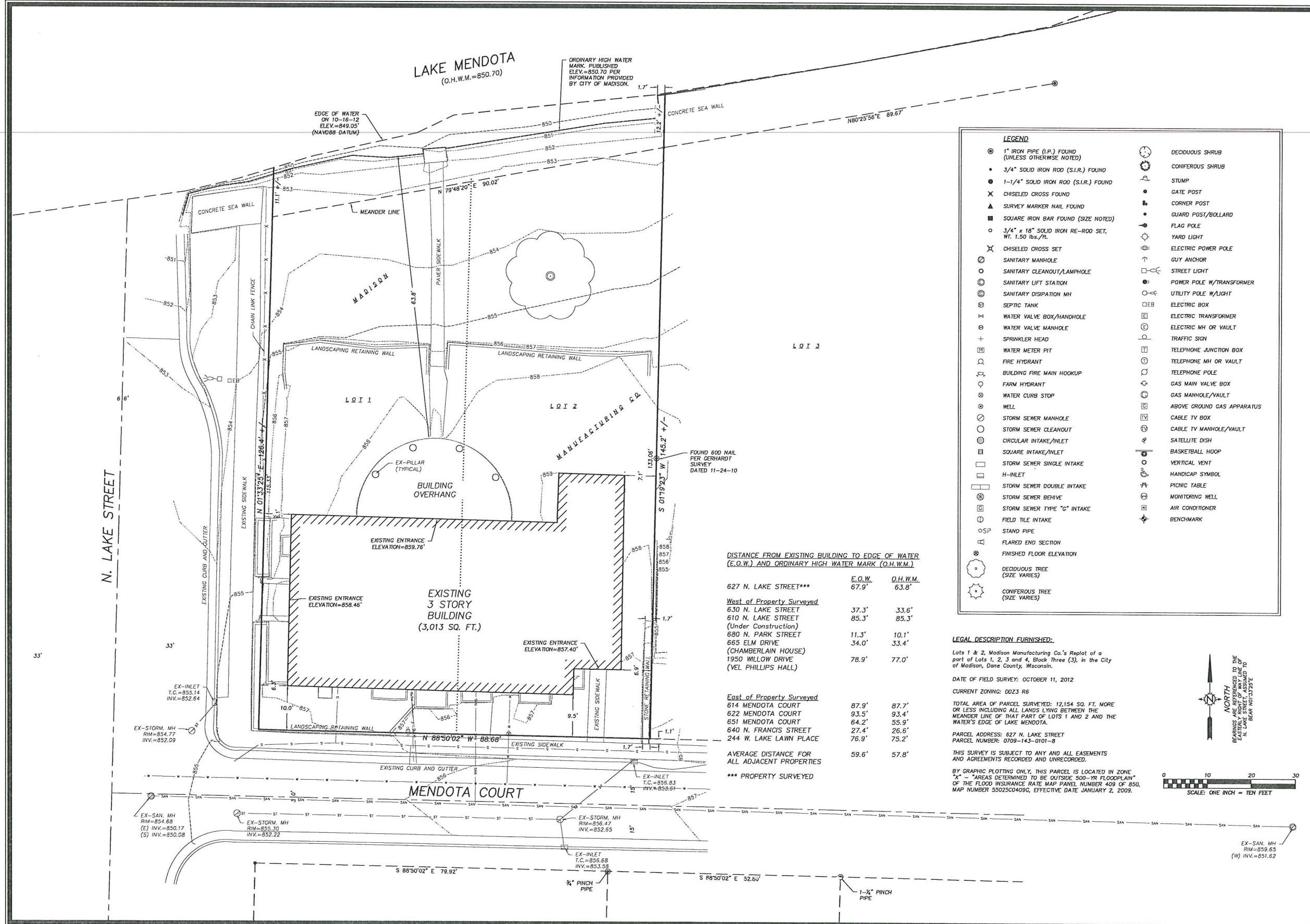
MARK	DATE	BY
ORDINARY HIGH WATER MARK	07-15-13	
REVISION		
Checked By:		
Engineer:		
Technician:	ARG	Date: 07-12-13
Field Bc:		
Project No:	TR109	
		Sheet 1 of 1

SAE HOUSE SURVEY- 627 N. LAKE STREET
 EX.-BUILDING SETBACKS FROM ORDINARY HIGH WATER MARK
 MADISON, WI
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com



Project No: TR109
 Sheet 1 of 1





LAKE MENDOTA
(O.H.W.M.=850.70)

ORDINARY HIGH WATER MARK PUBLISHED ELEV.=850.70 PER INFORMATION PROVIDED BY CITY OF MADISON.

EDGE OF WATER ON 10-16-12 ELEV.=849.05' (NAVD88 DATUM)

CONCRETE SEA WALL

N80°25'56" E 69.67'

CONCRETE SEA WALL

MEANDER LINE

MADISON

LQI 1

LQI 2

MANUFACTURING CO.

EXISTING 3 STORY BUILDING
(3,013 SQ. FT.)

MENDOTA COURT

FOUND 600 NAIL PER GERHARDT SURVEY DATED 11-24-10

DISTANCE FROM EXISTING BUILDING TO EDGE OF WATER (E.O.W.) AND ORDINARY HIGH WATER MARK (O.H.W.M.)

	E.O.W.	O.H.W.M.
627 N. LAKE STREET***	67.9'	63.8'
<u>West of Property Surveyed</u>		
630 N. LAKE STREET	37.3'	33.6'
610 N. LAKE STREET (Under Construction)	85.3'	85.3'
680 N. PARK STREET	11.3'	10.1'
665 ELM DRIVE (CHAMBERLAIN HOUSE)	34.0'	33.4'
1950 WILLOW DRIVE (VEL PHILLIPS HALL)	78.9'	77.0'
<u>East of Property Surveyed</u>		
614 MENDOTA COURT	87.9'	87.7'
622 MENDOTA COURT	93.5'	93.4'
651 MENDOTA COURT	64.2'	55.9'
640 N. FRANCIS STREET	27.4'	26.6'
244 W. LAKE LAWN PLACE	76.9'	75.2'
AVERAGE DISTANCE FOR ALL ADJACENT PROPERTIES	59.6'	57.8'

*** PROPERTY SURVEYED

LEGEND

<ul style="list-style-type: none"> ⊙ 1" IRON PIPE (I.P.) FOUND (UNLESS OTHERWISE NOTED) • 3/4" SOLID IRON ROD (S.I.R.) FOUND ⊙ 1-1/4" SOLID IRON ROD (S.I.R.) FOUND ⊗ CHISELED CROSS FOUND ▲ SURVEY MARKER NAIL FOUND ■ SQUARE IRON BAR FOUND (SIZE NOTED) ○ 3/4" x 18" SOLID IRON RE-ROD SET, WT. 1.50 LBS./FT. ⊗ CHISELED CROSS SET ⊙ SANITARY MANHOLE ⊙ SANITARY CLEANOUT/LAMPHOLE ⊙ SANITARY LIFT STATION ⊙ SANITARY DISIPATION MH ⊙ SEPTIC TANK ⊙ WATER VALVE BOX/HANDHOLE ⊙ WATER VALVE MANHOLE ⊙ SPRINKLER HEAD ⊙ WATER METER PIT ⊙ FIRE HYDRANT ⊙ BUILDING FIRE MAIN HOOKUP ⊙ FARM HYDRANT ⊙ WATER CURB STOP ⊙ WELL ⊙ STORM SEWER MANHOLE ⊙ STORM SEWER CLEANOUT ⊙ CIRCULAR INTAKE/INLET ⊙ SQUARE INTAKE/INLET ⊙ STORM SEWER SINGLE INTAKE ⊙ H-INLET ⊙ STORM SEWER DOUBLE INTAKE ⊙ STORM SEWER BEHIVE ⊙ STORM SEWER TYPE "G" INTAKE ⊙ FIELD TILE INTAKE ⊙ SP STAND PIPE ⊙ FLARED END SECTION ⊙ FINISHED FLOOR ELEVATION ⊙ DEODUOUS TREE (SIZE VARIES) ⊙ CONIFEROUS TREE (SIZE VARIES) 	<ul style="list-style-type: none"> ⊙ DEODUOUS SHRUB ⊙ CONIFEROUS SHRUB ⊙ STUMP ⊙ GATE POST ⊙ CORNER POST ⊙ GUARD POST/BOLLARD ⊙ FLAG POLE ⊙ YARD LIGHT ⊙ ELECTRIC POWER POLE ⊙ GUY ANCHOR ⊙ STREET LIGHT ⊙ POWER POLE W/TRANSFORMER ⊙ UTILITY POLE W/LIGHT ⊙ ELECTRIC BOX ⊙ ELECTRIC TRANSFORMER ⊙ ELECTRIC MH OR VAULT ⊙ TRAFFIC SIGN ⊙ TELEPHONE JUNCTION BOX ⊙ TELEPHONE MH OR VAULT ⊙ TELEPHONE POLE ⊙ GAS MAIN VALVE BOX ⊙ GAS MANHOLE/VAULT ⊙ ABOVE GROUND GAS APPARATUS ⊙ CABLE TV BOX ⊙ CABLE TV MANHOLE/VAULT ⊙ SATELLITE DISH ⊙ BASKETBALL HOOP ⊙ VERTICAL VENT ⊙ HANDICAP SYMBOL ⊙ PICNIC TABLE ⊙ MONITORING WELL ⊙ AIR CONDITIONER ⊙ BENCHMARK
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LEGAL DESCRIPTION FURNISHED:
Lots 1 & 2, Madison Manufacturing Co.'s Replat of a part of Lots 1, 2, 3 and 4, Block Three (3), in the City of Madison, Dane County, Wisconsin.

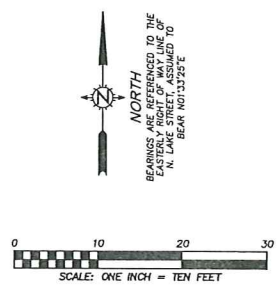
DATE OF FIELD SURVEY: OCTOBER 11, 2012
CURRENT ZONING: DD23 R6

TOTAL AREA OF PARCEL SURVEYED: 12,154 SQ. FT. MORE OR LESS INCLUDING ALL LANDS LYING BETWEEN THE MEANDER LINE OF THAT PART OF LOTS 1 AND 2 AND THE WATER'S EDGE OF LAKE MENDOTA.

PARCEL ADDRESS: 627 N. LAKE STREET
PARCEL NUMBER: 0709-143-0101-8

THIS SURVEY IS SUBJECT TO ANY AND ALL EASEMENTS AND AGREEMENTS RECORDED AND UNRECORDED.

BY GRAPHIC PLOTTING ONLY, THIS PARCEL IS LOCATED IN ZONE "X" - "AREAS DETERMINED TO BE OUTSIDE 500-YR FLOODPLAIN" OF THE FLOOD INSURANCE RATE MAP PANEL NUMBER 409 OF 850, MAP NUMBER S5025C0409, EFFECTIVE DATE JANUARY 2, 2009.



ORDINARY HIGH WATER MARK	07-15-13	BY	
ADJUSTED AVERAGE SETBACK	11-01-12	DATE	
LOCATED MORE EXISTING BUILDINGS	10-25-12	DATE	
REVISION		DATE	
Checked By	ARG	10-19-12	Field Bk
Engineer			Pg:
Technician	TR09		Sheet 1 of 1

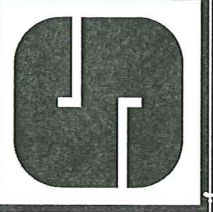
SAE HOUSE SURVEY- 627 N. LAKE STREET

EXISTING SITE

MADISON, WI

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

SNYDER & ASSOCIATES, INC.

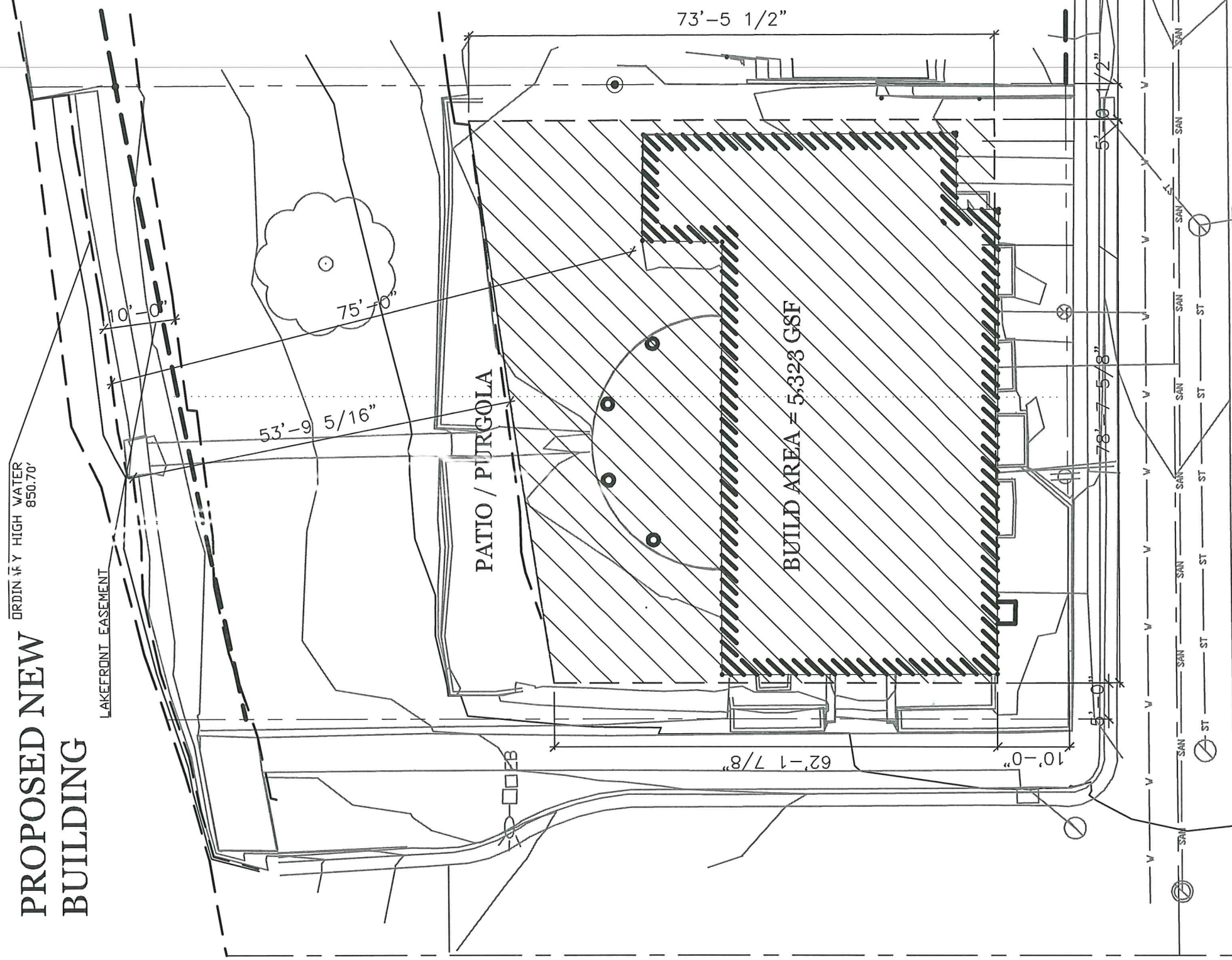


Project No: TR109
Sheet 1 of 1

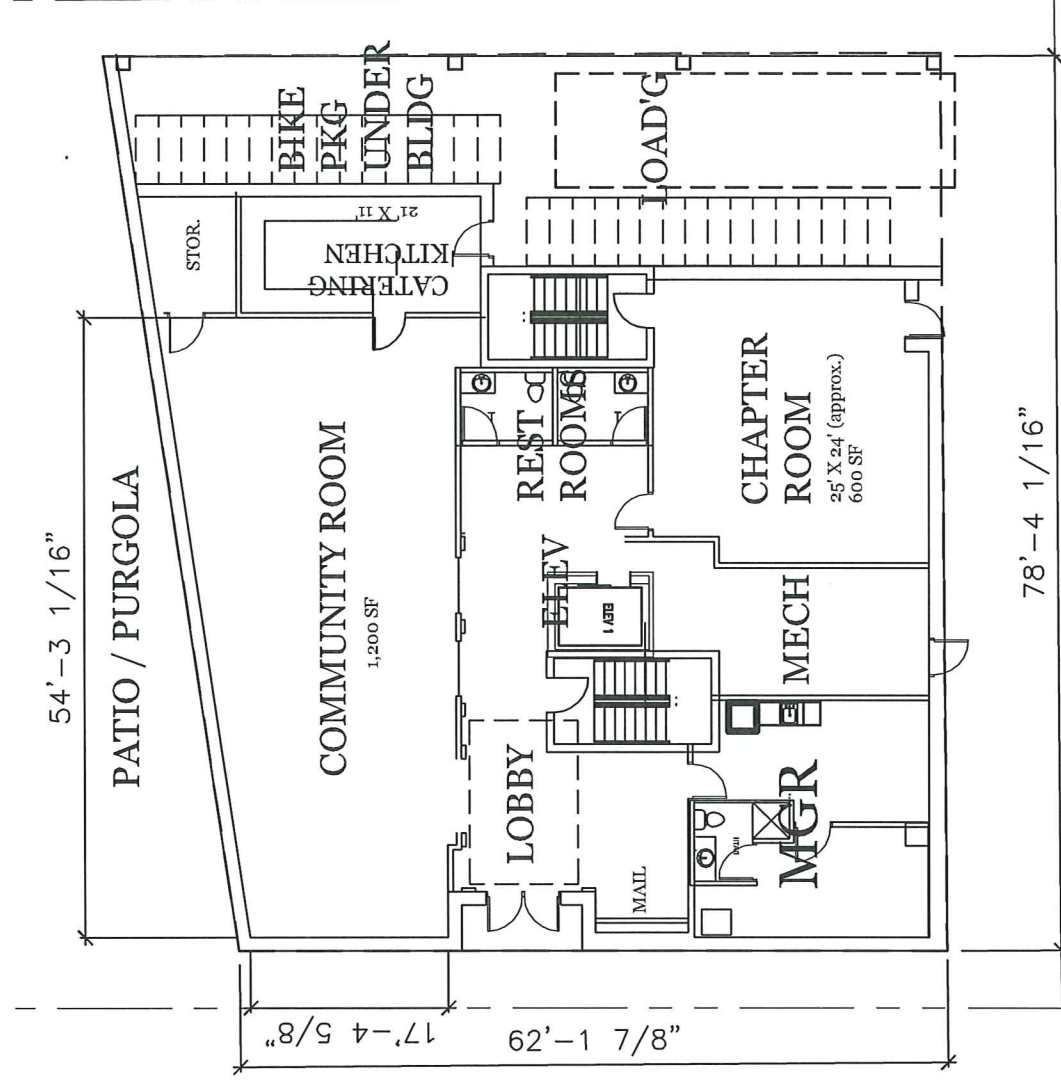
PROPOSED NEW BUILDING

ORDINARY HIGH WATER
850.70'

LAKEFRONT EASEMENT



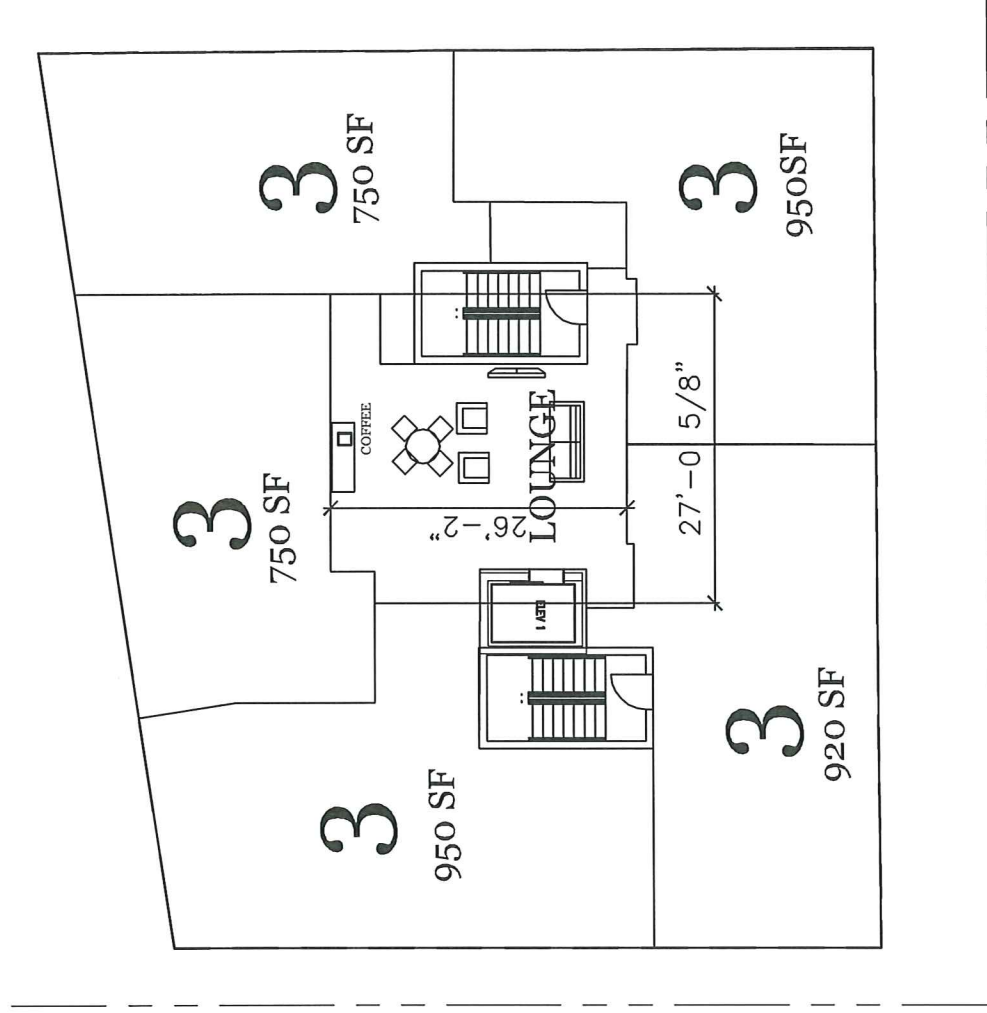
627 N. LAKE ST.
PROPOSED NEW SITE PLAN
SCALE: 1/16"=1'



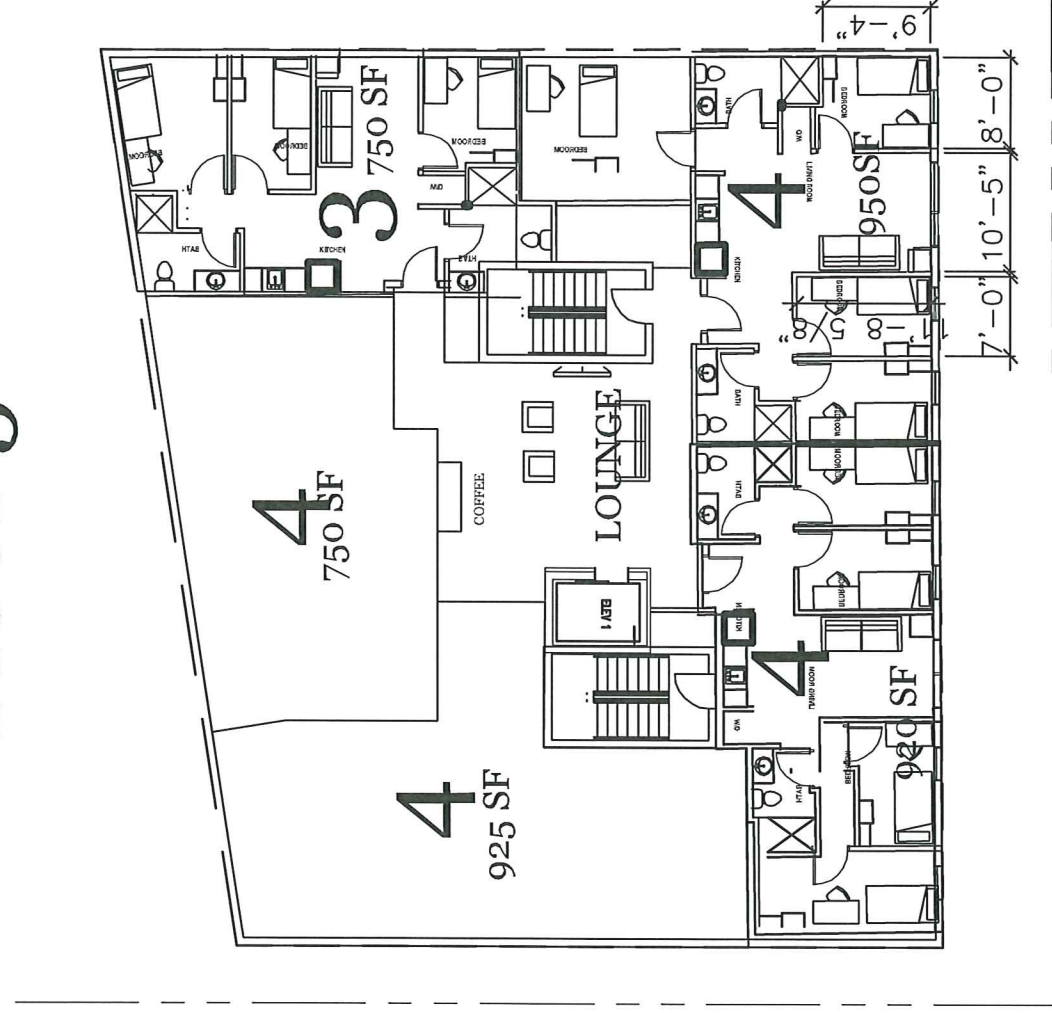
LAKE ST.

MENDOTA CT. **Floor 1**

627 N. LAKE ST.
 PROPOSED NEW FIRST FLOOR PLAN
 SCALE: 1/16"=1'



Floor 5



Floors 2-4

627 N. LAKE ST.
 PROPOSED UPPER PLANS
 SCALE: 1/16"=1'



NORTH



2625 Research Park Drive | Fitchburg, WI 53711 PO Box 259568 | Madison, WI 53725-9568

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SAE HOUSE 627 N. LAKE ST. MADISON, WI
PROPOSED REDEVELOPMENT

ELEVATION
1/8"=1'-0"



WEST



2625 Research Park Drive | Fitchburg, WI 53711 PO Box 259568 | Madison, WI 53725-9568

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**SAE HOUSE 627 N. LAKE ST. MADISON, WI
PROPOSED REDEVELOPMENT**

**ELEVATION
1/8" = 1'-0"**



OPEN TO BICYCLE COVERED PARKING

SOUTH
MENDOTA CT.



2625 Research Park Drive | Fitchburg, WI 53711 PO Box 259568 | Madison, WI 53725-9568

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SAE HOUSE 627 N. LAKE ST. MADISON, WI
PROPOSED REDEVELOPMENT

ELEVATION
1/8" = 1'-0"



CEMENT BD.
SIDING

MASONRY

MASONRY

OPEN TO BIKE PARKING
UNDER BUILDING

EAST



2625 Research Park Drive | Fitchburg, WI 53711 PO Box 259568 | Madison, WI 53725-9568

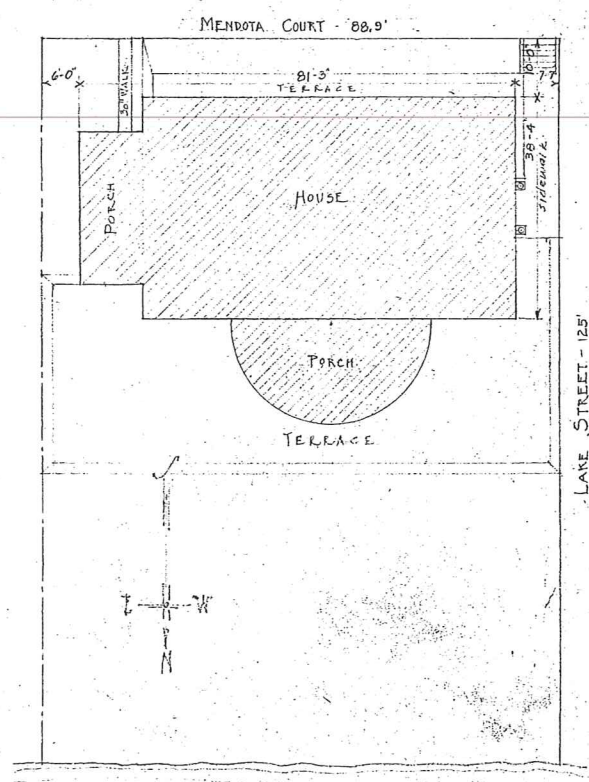
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SAE HOUSE 627 N. LAKE ST. MADISON, WI
PROPOSED REDEVELOPMENT

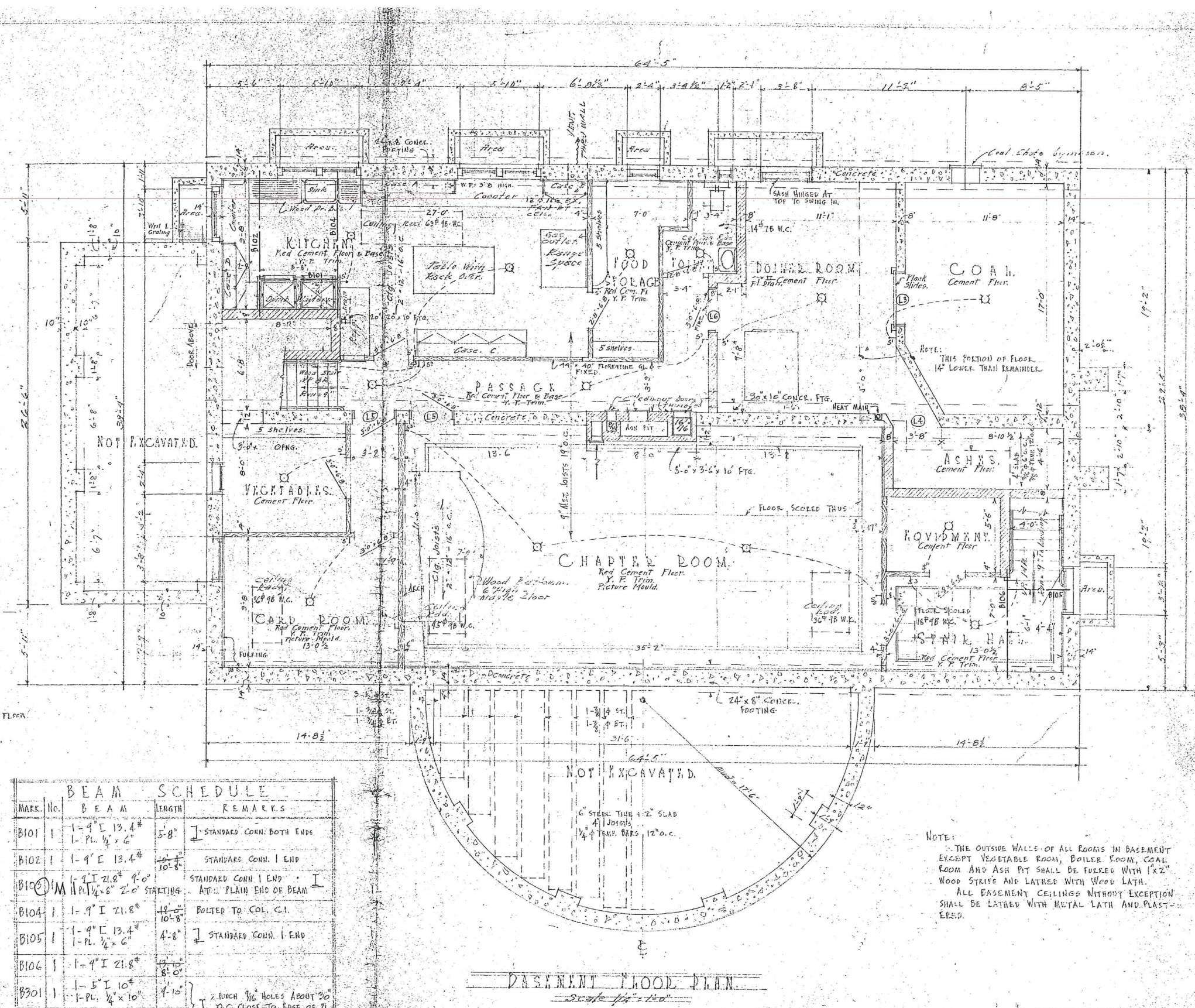
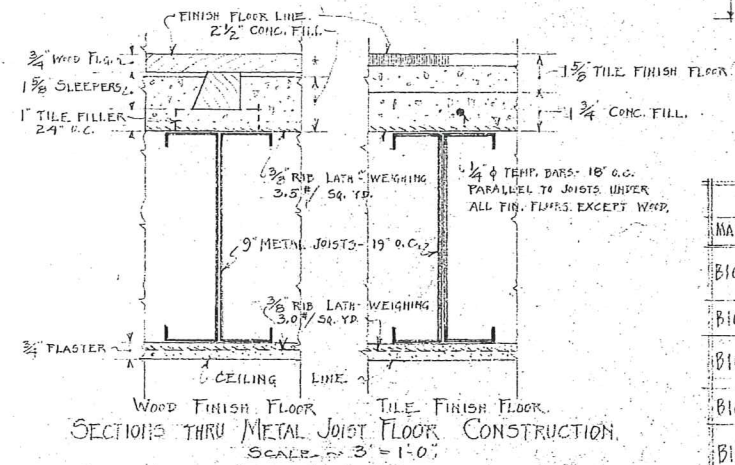
ELEVATION
1/8"=1'-0"



627 N LAKE ST
SAE PROPOSED NEW BUILDING



LAKE MENDOTA
PLOT PLAN
SCALE - 1/4" = 1'-0"



MARK.	No.	BEAM	LENGTH	REMARKS
B101	1	1-9" I 13.4# 1-PL. 1/2" x 6"	5'-8"	STANDARD CONN. BOTH ENDS
B102	1	1-9" I 13.4#	10'-8"	STANDARD CONN. 1 END
B103	1	1-9" I 21.8# 1-PL. 1/2" x 8"	9'-0"	STANDARD CONN. 1 END ATTN: PLAIN END OF BEAM
B104	1	1-9" I 21.8#	18'-0"	BOLTED TO COL. C.1
B105	1	1-9" I 13.4# 1-PL. 1/2" x 6"	4'-8"	STANDARD CONN. 1 END
B106	1	1-9" I 21.8#	12'-0"	
B301	1	1-5" I 10# 1-PL. 1/2" x 10"	4'-10"	2" RICH 1/2" HOLES ABOUT 30 O.C. CLOSE TO EDGE OF PL. TO BOLT PARTIE TO BELOW.
B302	1	1-8" I 19.4# 1-PL. 1/2" x 10"	12'-0"	
COMMIT		2 1/2" STANDARD PIPE COL.	8'-0"	5 x 5 1/2" PL. CAP + BASE

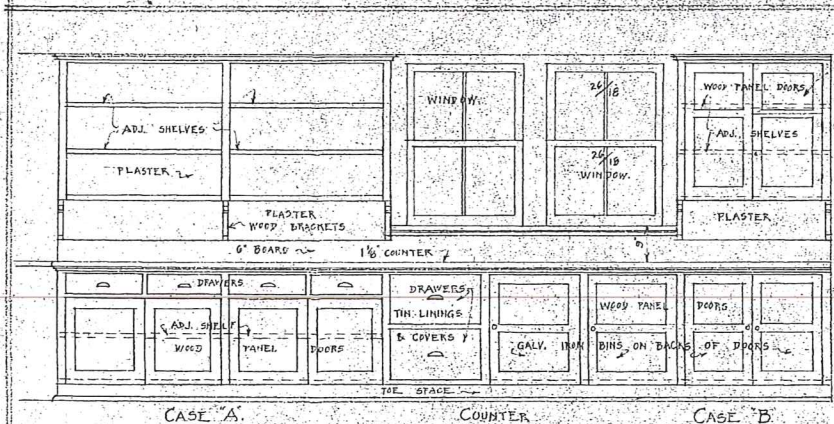
SEE ALSO BEAM SCHEDULE ON SHEET #3 ADDED ON
ACCOUNT OF CHANGING TO FIREPROOF FLOORS
1-27-25

BASEMENT FLOOR PLAN
Scale 1/4" = 1'-0"

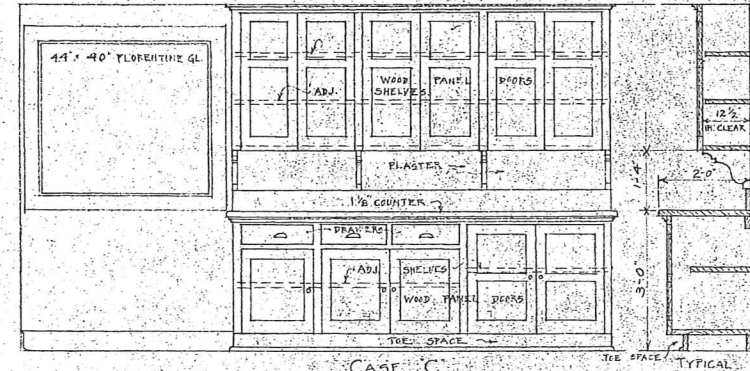
627 N. Lake St.
Madison, WI
Existing Basement Plan

NOTE:
- THE OUTSIDE WALLS OF ALL ROOMS IN BASEMENT EXCEPT VEGETABLE ROOM, BOILER ROOM, COAL ROOM AND ASH PIT SHALL BE FURRED WITH 1x2" WOOD STRIPS AND LATHED WITH WOOD LATH.
ALL BASEMENT CEILINGS WITHOUT EXCEPTION SHALL BE LATHED WITH METAL LATH AND PLASTERED.

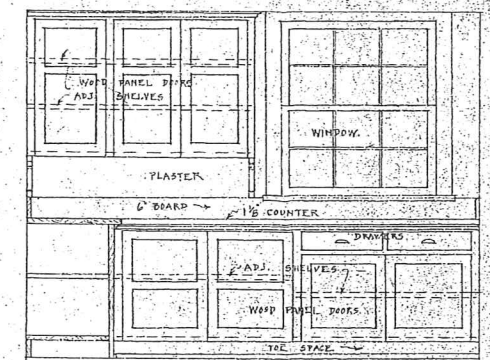
PROJECT NO. 204	Sheet 1
FOR MR. RAND S. CROWL	OF 10
J. J. M. I. LAW ARCHITECTS	Date: 9-29-24
MADISON, WISCONSIN	



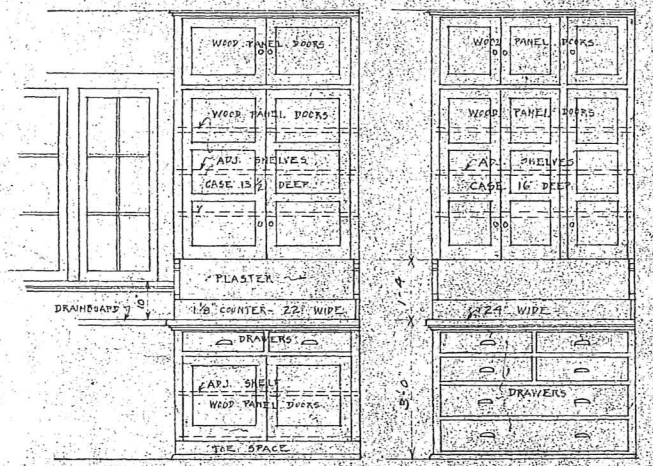
CASE A. COUNTER. CASE B.



CASE C. TYPICAL SECTION.

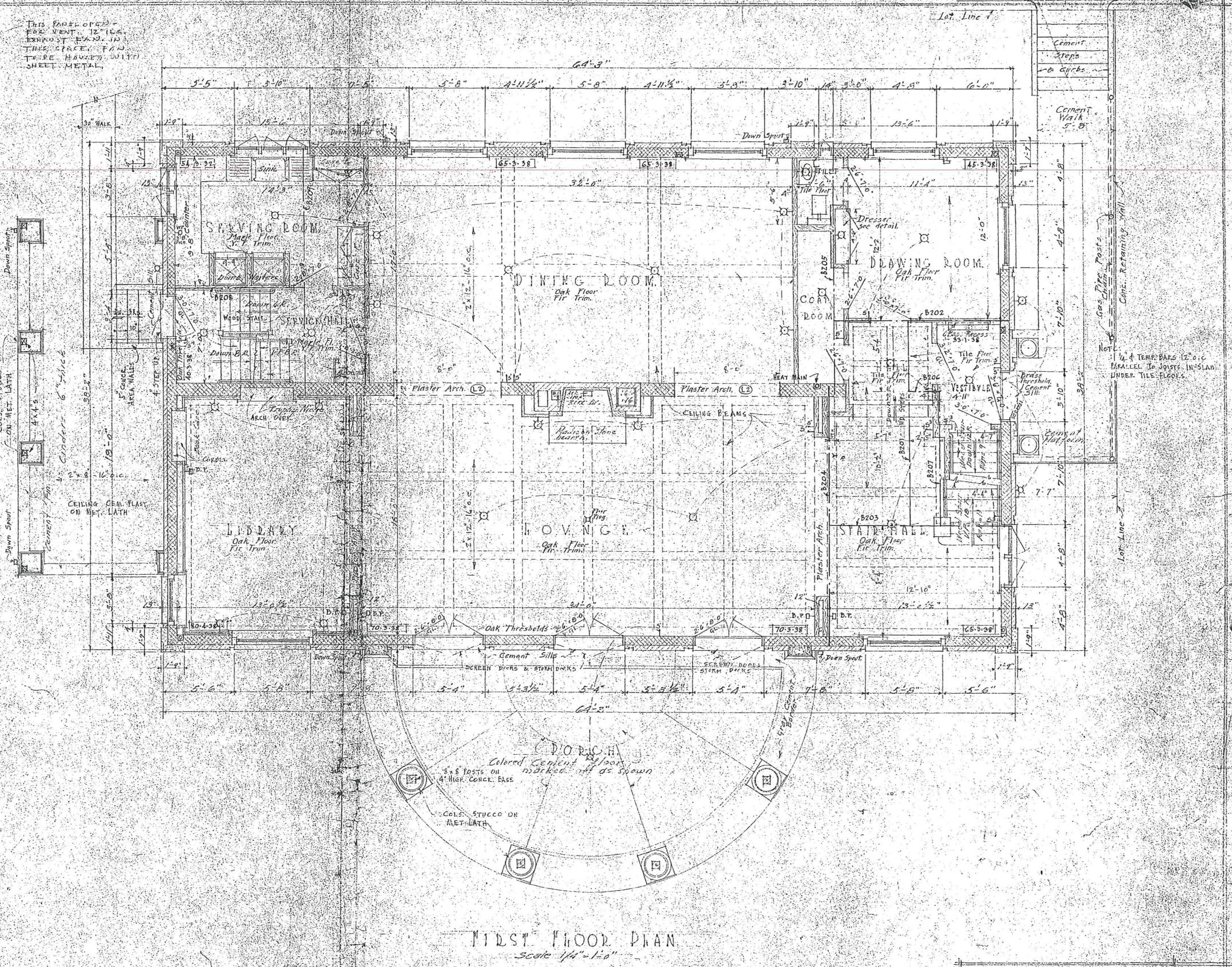


CASE D. DETAILS OF KITCHEN CASES. SCALE 1/2\"/>



CASE E. CASE F. CASES IN SERVING ROOM. SCALE 1/2\"/>

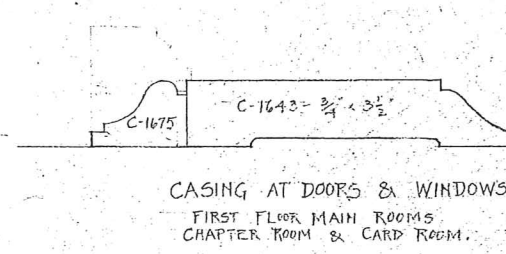
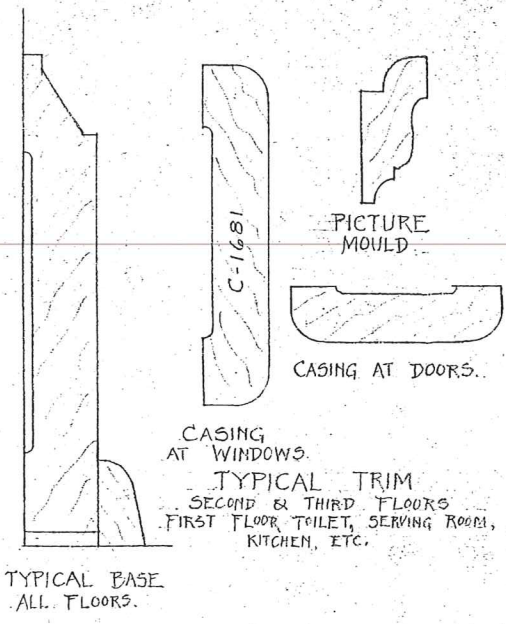
THIS PANEL OF 22\"/>



FIRST FLOOR PLAN. Scale 1/4\"/>

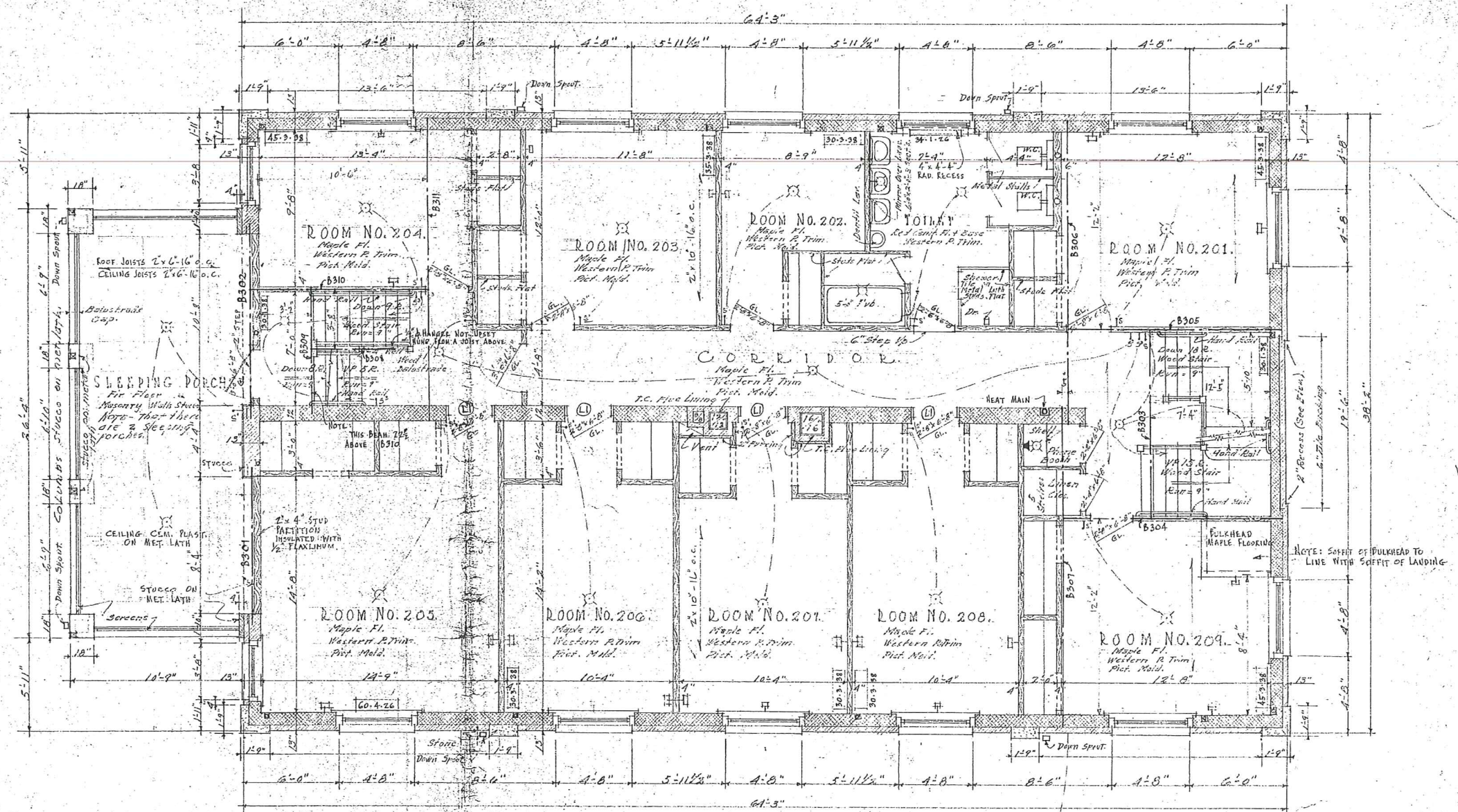
627 N. Lake St.
Madison, WI
Existing First Floor Plan

FRATERNITY PROJECT No. 202	Sheet
MOR.	2
MR. RALPH S. CROWL	01/10
JED. C. H. J. LAW	Date
ARCHITECTS	1/29/24
MADISON WISCONSIN	



MARK	NO.	BEAM	LENGTH	REMARKS
B201	1	1-7" I 15.3"	15'-0"	OTHERWISE SIMILAR TO B202
B202	1	SIMILAR TO B305	13'-0"	1 B.P. 12" x 12" x 3/4"
B203	1	" " B304	13'-5"	"
B204	1	" " B307	14'-4"	1 B.P. 10" x 10" x 3/8"
B205	1	" " B306	18'-4"	1 B.P. 12" x 18" x 3/4"
B206	1	1-4" I 13.4"	7'-3"	1 WEB PUNCHED 2-1/8" HOLES
B207	1	1-4" I 21.8"	10'-2"	1 WEB PUNCHED 3/8" HOLES 2'-0" o.c.
B208	1	1-6" I 12.5"	10'-4"	"
B209	1	1-4" I 21.8"	18'-4"	2 B.P. 10" x 10" x 3/8"
B210	1	1-6" I 12.5"	11'-8"	1 PL. 1/2" x 6" WEB PUNCHED 3-1/8" HOLES
B211	1	1-4" I 21.8"	13'-5"	1 WEB PUNCHED 3/8" HOLES 2'-0" o.c.
B212	1	1-4" I 21.8"	13'-0"	"
B213	1	1-4" I 21.8"	18'-4"	1 B.P. 10" x 10" x 3/8"
B214	1	1-4" I 21.8"	18'-4"	1 B.P. 12" x 18" x 3/4"
B215	1	SAME SECT. AS B206	19'-4"	1 B.P. 10" x 10" x 3/8"
B216	1	1-2" I 4.1"	5'-0"	PROVIDE 1-1/2" HANGER ROD NOT UPSET ABOUT 10" LONG TO HANG FROM ATTIC FL. JOIST TO SUPPORT ONE END OF BEAM.
B217	1	1-4" I 5.4"	7'-6"	PROVIDE STRUT TO B.310.
B218	1	1-6" I 12.5"	11'-0"	BEAM TO BE SUSPENDED ABOUT 12" BELOW B202 WITH A 3/4" HANGER NOT UPSET.
B219	1	1-4" I 21.8"	18'-4"	2 B.P. 10" x 10" x 3/8"
C101	1	2" I.D. STANDARD PIPE COL. 2.61"	10'-10"	WITH CAP & BASE. PROVIDE HOLES TO BOLT CAP TO BEAM.

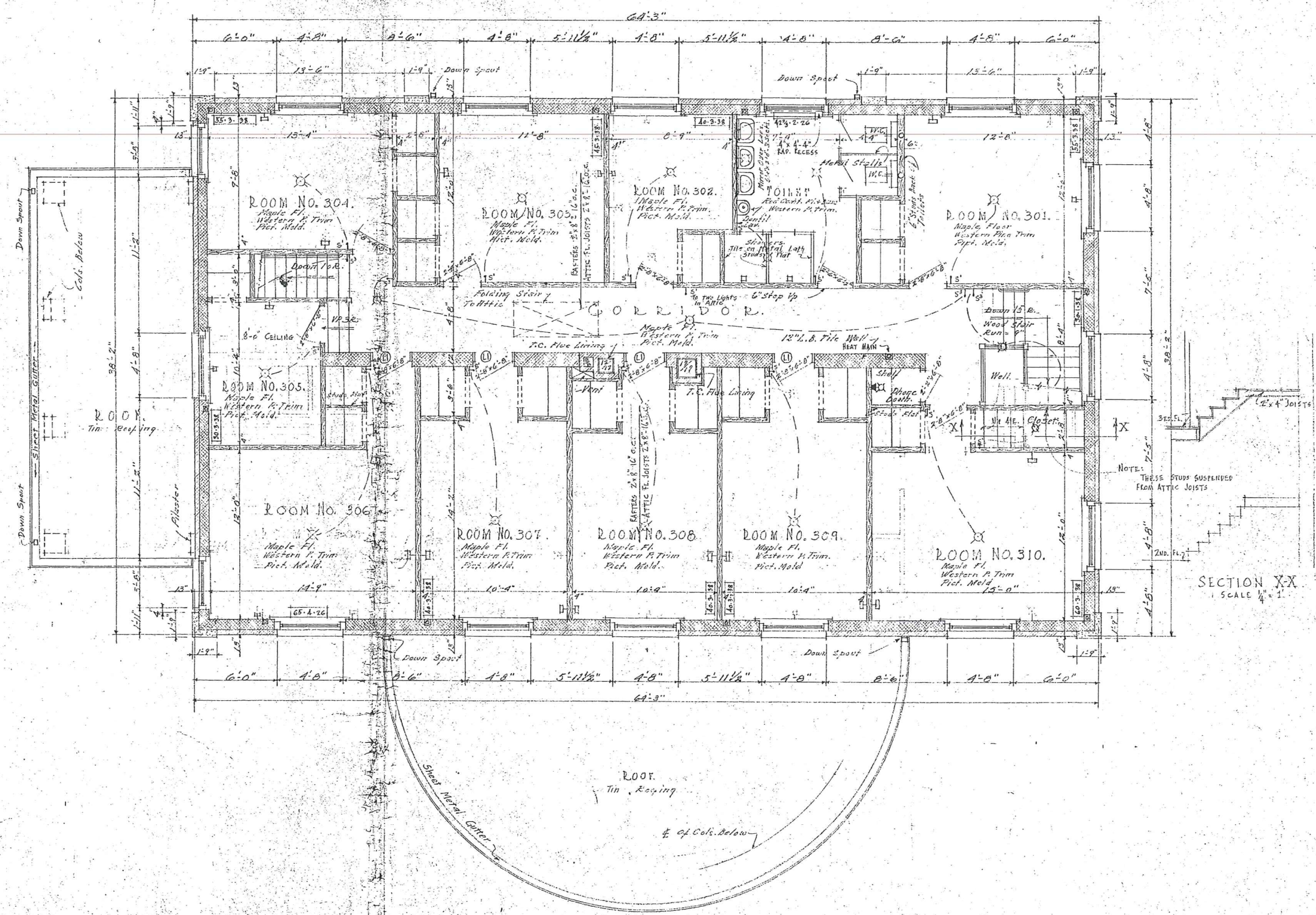
NOTE:
 USE STANDARD CONN. WHERE BEAMS FRAME INTO ONE ANOTHER.
 SEE ALSO BEAM SCHEDULE ON SH. 1.
 ALL INTERIOR BEAMS ARE USED TO SUPPORT MET. LUMBER JOISTS. THEY SHOULD THEREFORE BE PLACED AT AN ELEVATION SO THAT THE JOIST BEARING WILL BE FROM THE CEILING LINE.



SECOND FLOOR PLAN
 Scale 1/4" = 1'-0"

627 N. Lake St.
 Madison, WI
 Existing 2nd Floor Plan

FRATERNITY PROJECT NO. 201	Sheet 3
FOR MR. DAVID S. CROWL	of 10
J. L. G. H. J. LAW ARCHITECTS	Date
MADISON, WISCONSIN	9-24-24



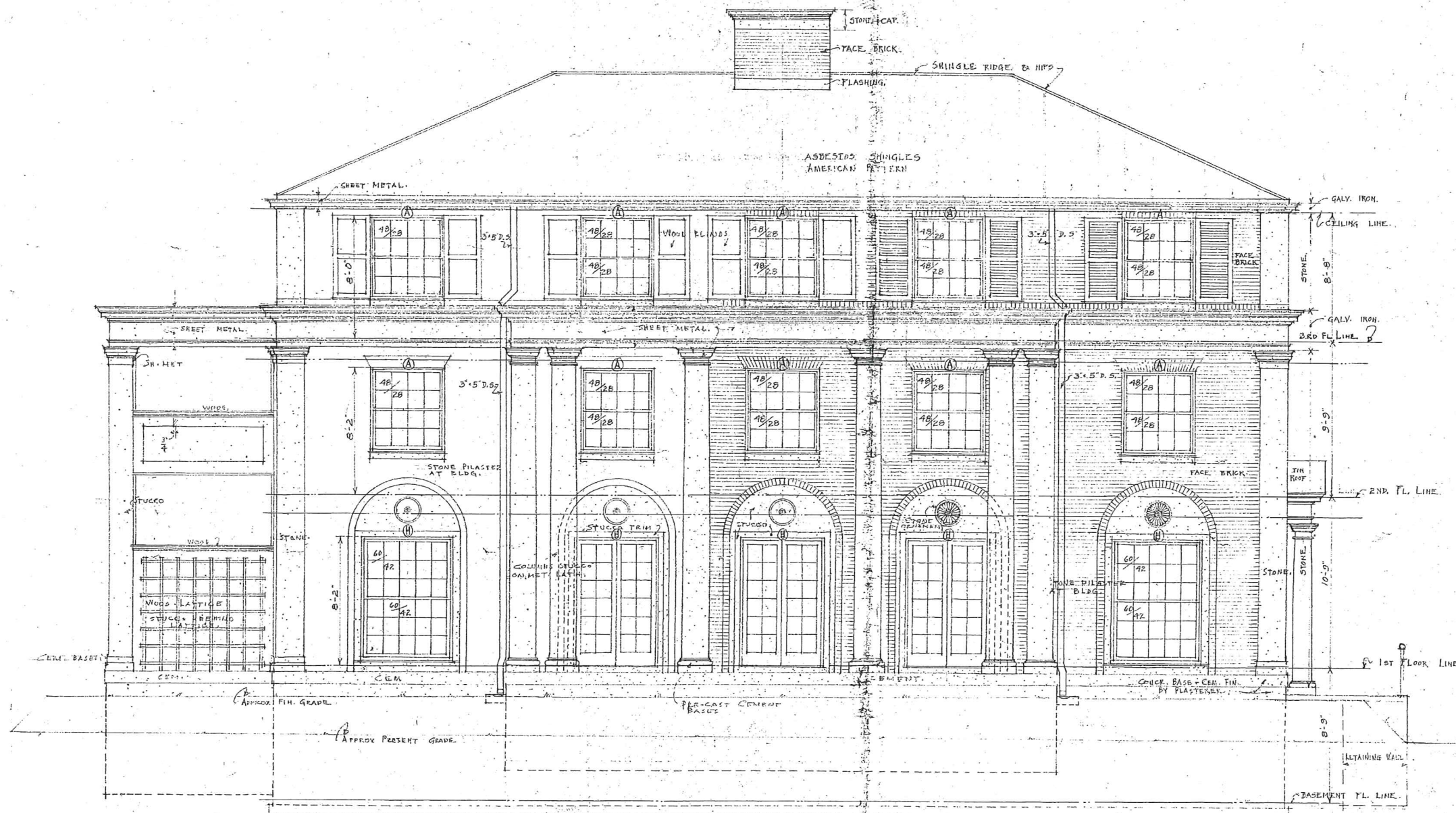
THIRD FLOOR PLAN

Scale 1/4" = 1'-0"

Note: All Closets To Have Hangers & Openings
 With 2" Doors Or Frames.
 Note: All Bed Rooms Closets To Have
 And Hanging Rods To Run Lengthwise Of Closets.
 Note: All Frame Partitions To Be 4 Studs
 As Other Wise Noted.

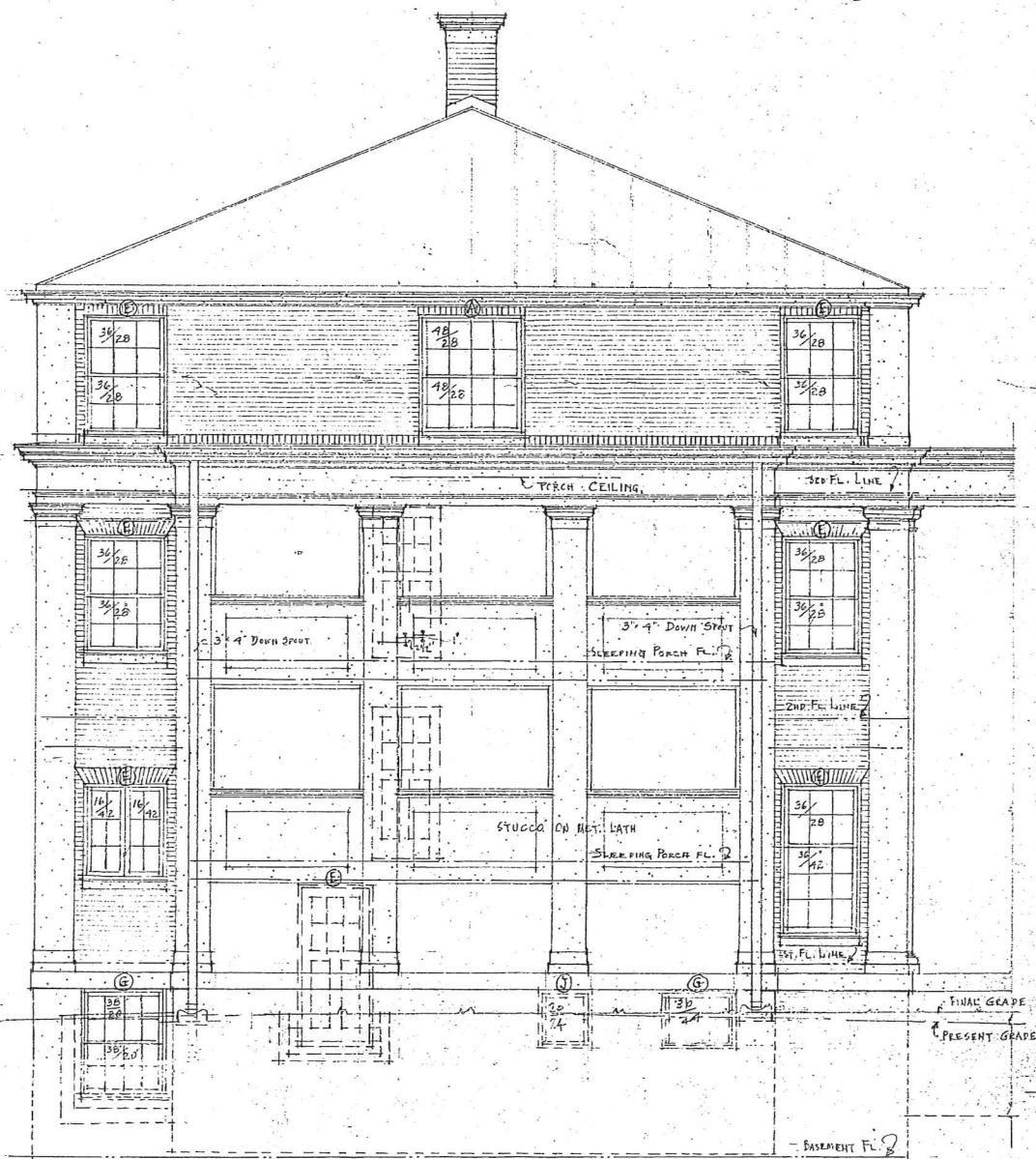
627 N. Lake St.
 Madison, WI
 Existing 3rd Floor Plan

FRATERNITY PROJECT NO. 204	Sheet 4
J.R. CROWL	Of 12
MR. DAVID S. CROWL	Date
J.R. CROWL	9.29.24
MADISON, WISCONSIN	



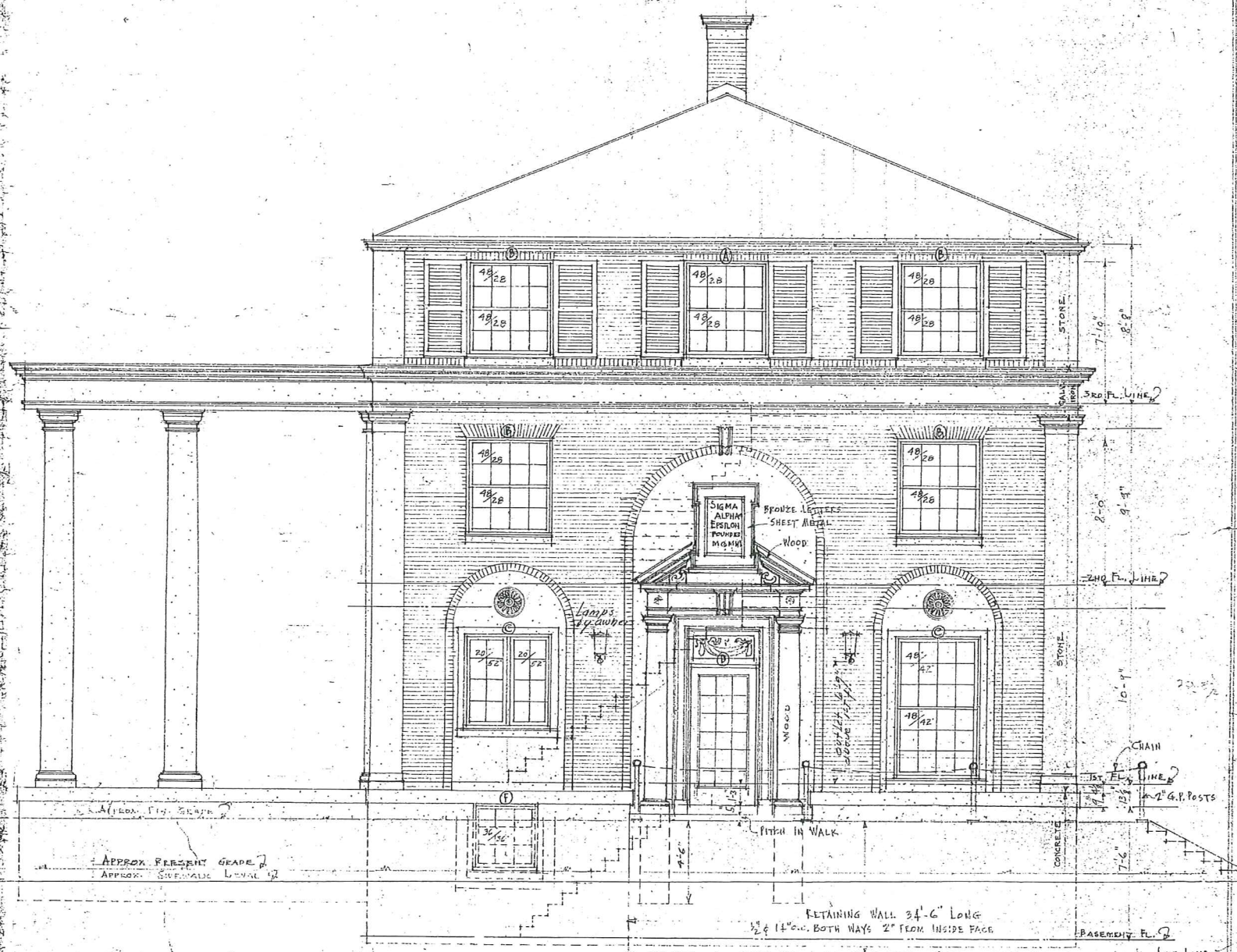
LAKE - ELEVATION
 Scale 1/4" = 1'-0"

FRATERNITY PROJECT NO. 204	Sheet
FOR	5
MR. RALPH S. CROWN	Cl to
J. E. D. R. T. HAW	Date
ARCHITECTS	4-24-24
MADISON, WISCONSIN	



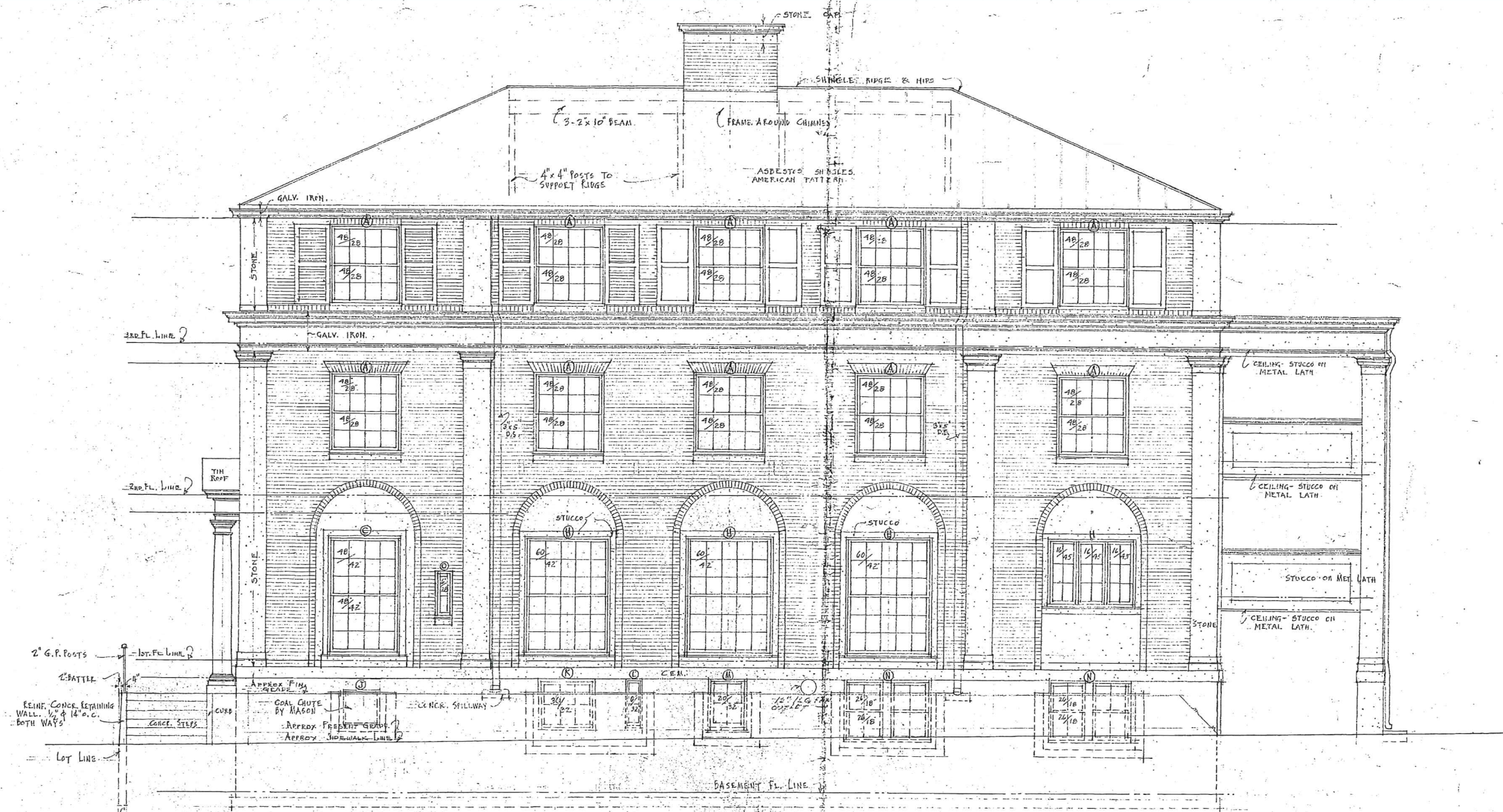
Original

- EAST ELEVATION -
Scale 1/4" = 1'-0"



- LAKE STREET ELEVATION -
Scale 1/4" = 1'-0"

FRATERNITY PROJECT NO. 204	Sheet
FOR	6
MR. ERIC S. CROWL	01-10
DR. J. H. LAW	Date
ARCHITECTS	4-24-24
MADISON WISCONSIN	



- SOUTH - OR - COURT ELEVATION -
Scale 1/4" = 1'-0"

EXTERIOR LINTEL SCHEDULE

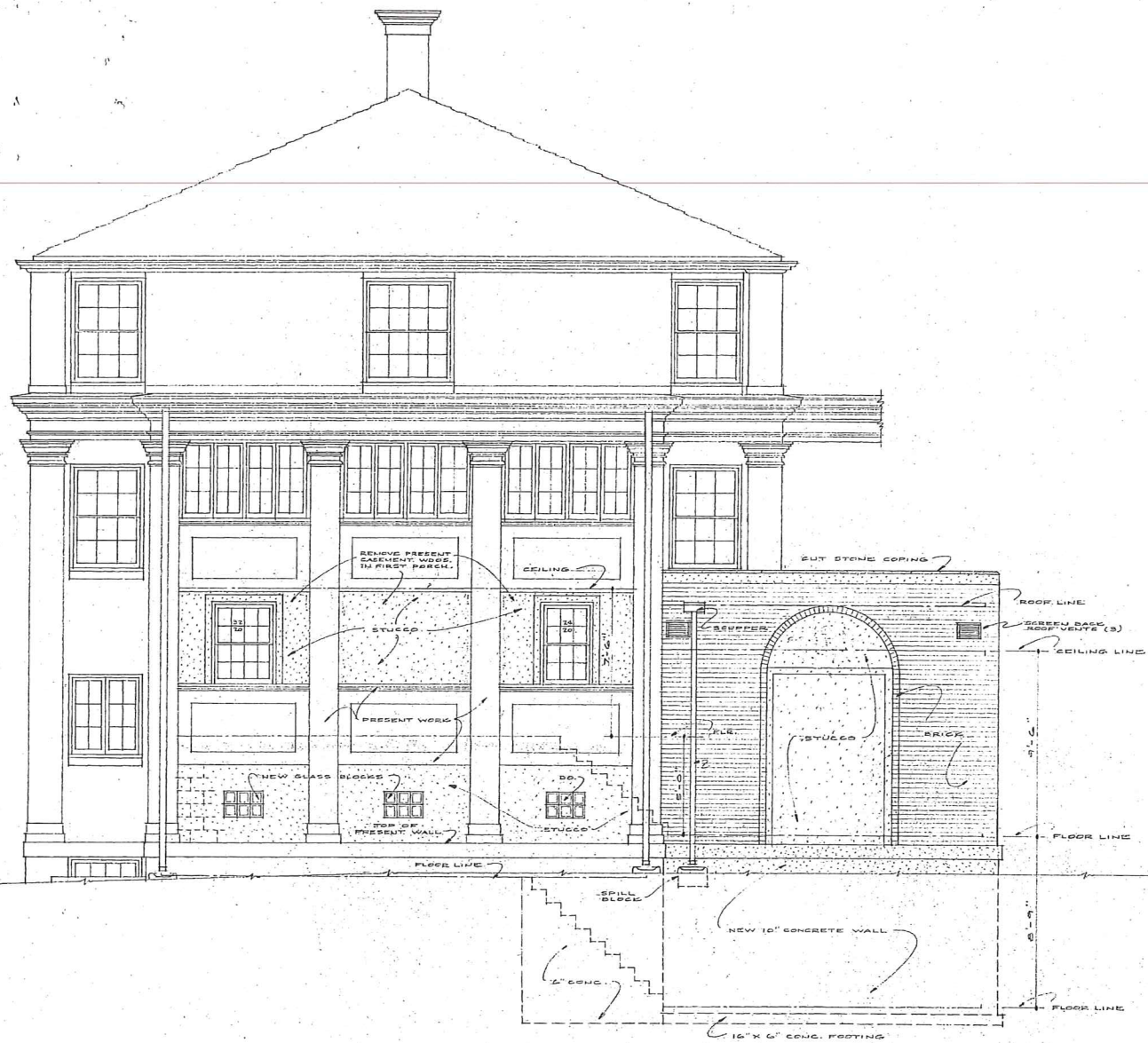
MARK	NO.	LINTEL	LENGTH	REMARKS
A	22	2LS 2 1/2 x 3 1/4 1L 4 x 4 x 3/16 (on INSIDE)	6'-0"	4'-0"
B	4	3LS 2 1/2 x 3 1/4	6'-0"	"
C	3	10x12 TILE REINF. 3-3/8 φ	6'-0"	
D	1	8x12 TILE REINF. 3-3/8 φ	5'-0"	"
E	7	3LS 2 x 3 x 3/16	4'-9"	SAME SECT. AS 'A'
F	1	1L 3 x 3 x 1/4 2-3/8 φ	4'-6"	
G	2	3-3/8 φ	5'-0"	
H	9	10x12 TILE REINF. 3-1/2 φ	7'-0"	SAME SECT AS 'C'
J	2	3-3/8 φ	3'-0"	
K	1	1L 4 x 4 x 5/16 2-1/2 φ	4'-6"	
L	1	1L 4 x 4 x 5/16 2-3/8 φ	1'-9" 2'-0"	
M	1	1L 4 x 4 x 5/16 2-3/8 φ	3'-0"	
N	2	1L 6 x 4 x 3/8 2-1/2 φ	7'-3"	
O	1	1-PL. 1/2 x 10"	1'-6"	

INTERIOR LINTEL SCHEDULE

MARK	NO.	LINTEL	LENGTH	REMARKS
L1	8	12x12 TILE REINF. 3-3/8 φ	4'-0"	
L2	2	1-7" I 15.3# 1-PL 1/4 x 10"	9'-8"	I
L3	1	2-1/2 φ	5'-0"	
L4	1	1L 3 x 3 x 1/4 2-1/2 φ	5'-0"	
L5	2	2-1/2 φ	4'-0"	
L6	1	2LS 2 x 3 x 3/16	4'-0"	

NOTE:
VERTICAL LEGS OF IS LISTED FIRST IN ALL CASES.
NOTICE TEMP. BARS REQ'D. IN FL. AT MAIN ENTR. VEST. & HALL SH. 'Z. ALSO IN EXTERIOR STAIR TO BASEMENT THIS SH. ALSO BARS IN RETAINING WALL THIS SHEET.

TRATTENITY PROJECT NO. 204	Sheet
FOR	7
MR. RALPH S. CROWL	Of 10.
J. L. C. H. J. LAW	Date:
ARCHITECTS	9-29-24
MADISON WISCONSIN	



EAST ELEVATION
1/4" = 1'-0"



NORTH OR LAKE ELEVATION
1/4" = 1'-0"

5-7-50
J.M.

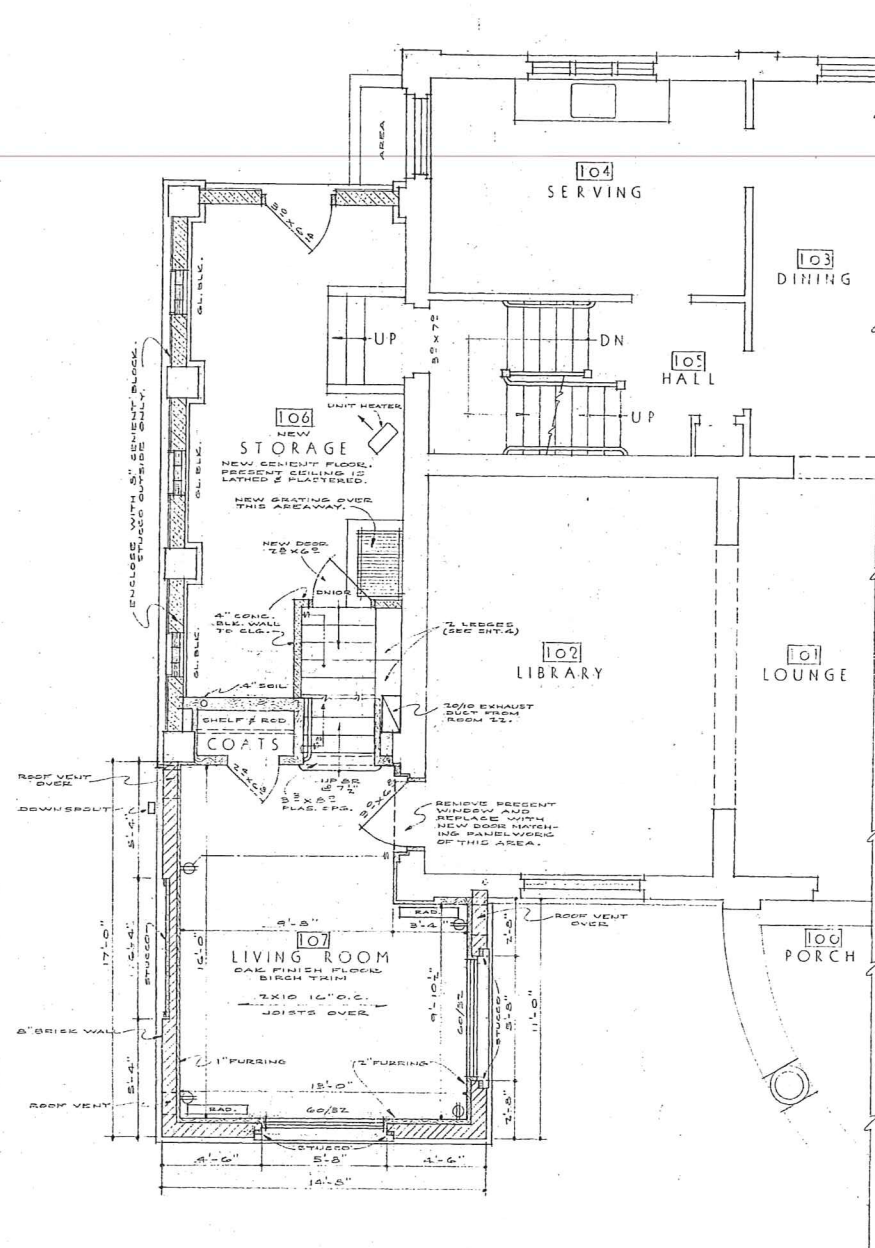
627 N. Lake St.
Madison, WI
1929 Addition Elevations



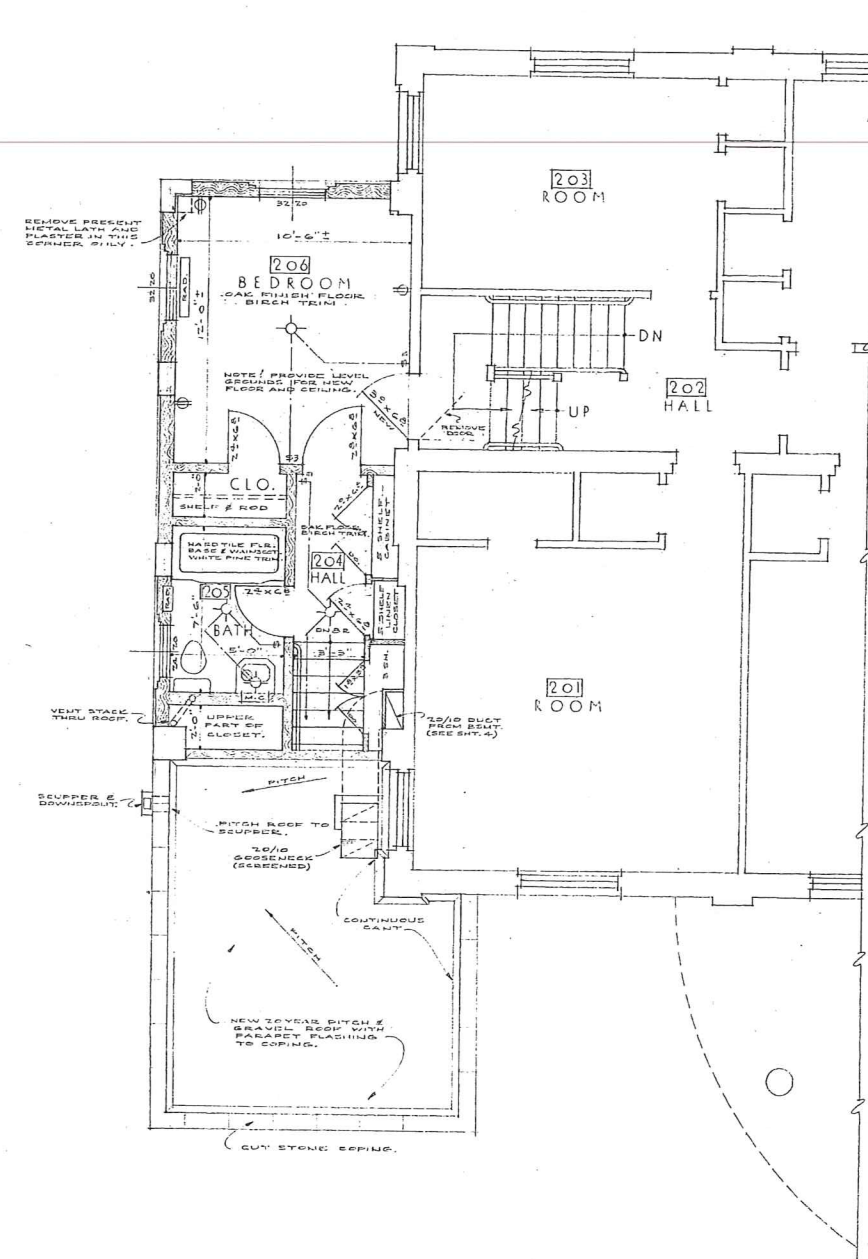
ADDITION & ALTERATION TO SIGMA ALPHA EPSILON HOUSE, 627 N. LAKE ST., MADISON, WISCONSIN	JOB No 349 1 OF 4
LIVERMORE & SAMUELSON ARCHITECTS, 25 EAST MAIN ST., MADISON 3, WISCONSIN	3-29-50 P.C.S.



SOUTH OR COURT ELEVATION
1/4" = 1'-0"



FIRST FLOOR PLAN
1/4" = 1'-0"



SECOND FLOOR PLAN
1/4" = 1'-0"

627 N. Lake St.
Madison, WI
1929 Addition Floor Plans