

URBAN DESIGN COMMISSION APPLICATION



City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____
Date received _____
Received by _____
Aldermanic District _____
Zoning District _____
Urban Design District _____
Submittal reviewed by _____
Legistar # _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 4088 Felland Road and 5855 Lupine Drive
Title: Felland Road Apartments

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested _____
 New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)
 Signage Exception

Other

Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name James B. Hess
Street address 437 S. Yellowstone Drive Suite 201
Telephone 608-239-5812

Company American Realtors
City/State/Zip Madison, Wisconsin 53719
Email hessjamesb@gmail.com

Project contact person James B. Hess
Street address 437 S. Yellowstone Drive Suite 201
Telephone 608-239-5812

Company American Realtors
City/State/Zip Madison, Wisconsin 53719
Email hessjamesb@gmail.com

Property owner (if not applicant) Anand Santhalingam
Street address 810 Silver Sage Trail
Telephone 608-316-1516

City/State/Zip Middleton, Wisconsin 53562
Email anand.santhalingam@gmail.com

Urban Design Commission Application (continued)



5. Required Submittal Materials

- Application Form**
- Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development Plans** (Refer to checklist on Page 4 for plan details)
- Filing fee**
- Electronic Submittal***
- Notification to the District Alder**
 - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on October 11, 2018.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant James B. Hess Relationship to property Developer

Authorizing signature of property owner *Arund Santhalingam* Date _____

dotloop verified
02/18/20 3:49 PM CST
MASF-H4AS-QU3R-UNR4

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- | | |
|--|---|
| <ul style="list-style-type: none"> <input type="checkbox"/> Urban Design Districts: \$350 (per §35.24(6) MGO). <input type="checkbox"/> Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO) <input type="checkbox"/> Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO) <input type="checkbox"/> Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO) <input type="checkbox"/> All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO) | <p>A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:</p> <ul style="list-style-type: none"> — Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC) — Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC) — Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP) — Planned Multi-Use Site or Residential Building Complex |
|--|---|

Letter of Intent
February 19, 2020

RE: 4088 Felland Road 5855 Lupine Drive
Madison, WI 53718 Madison WI 53718

1. Existing Use: The approximate 1.95 acres is vacant land. It was a part of a General Development Plan for a planned residential development that was not developed.
2. Project Schedule: Upon approval of the zoning and building plan the 17 unit building at 4088 Felland Road will proceed in 2020.

3. Project Team:
Applicant
Anand Santhalingam
810 Silver Sage Trail
Middleton, Wisconsin 53562
anand.santhalingam@gmail.com

In Care of –
James Hess
American Relators
437 S. Yellowstone Drive #201
Madison, Wisconsin 53719
Cell 608-239-5812
hessjamesb@gmail.com

Architect
Jerry Bourquin, AIA
Dimension IV – Madison, LLC
6515 Grand Teton Plaza, Suite 120
Madison, Wisconsin 53719
608-829-4452
jbouquin@dimensionvimadison.com

Landscape Architect
Gerald O. Opime, Landscape Architect
Herman Landscape Service
6606 Seybold Road
Madison, Wisconsin 53744
608-288-9400

Civil Engineering
Eric Lindaas
Snyder & Associates
5010 Voges Road
Madison, Wisconsin 53718
608-838-0444
elindaas@snyder-associates.com

Letter of Intent
February 19, 2020

4. Project Use: The project will be a residential development. It will include a 17 unit, 2 story residential development at 488 Felland Road and a 33 unit, 3 story residential building at 5855 Lupine Drive.

5. Project Data:

Existing Zoning: PD Planned Development District

Proposed Zoning: PD Planned Residential Development District, GDP and SIP

Address/PIN: 4088 Felland Road Parcel #0810-232-0603-1
5855 Lupine Drive Parcel #0810-232-0604-9

Aldermanic District: District 17
Samba Baldeh

Legal Description: 4088 Felland- MORGAN PLAT, PART OF LOT 6 DESC AS FLWS: COM SE COR OF SD LOT 6; TH N 08 DEG 27 MIN 29 SEC E, ALG W LN OF LOT 6, 49.42 FT TO PT OF CUR L, RAD 680 FT, CHD BRS N 02 DEG 53 MIN 03 SEC W, 267.47 FT TO POB; TH N 14 DEG 13 MIN 35 SEC W, 122.36 FT TO SLY ROW LN OF FELLAND RD & PT OF CUR TO R, RAD 567 FT, CHD BRS 86 DEG 17 MIN 11 SEC E, 171.87 FT; TH S 85 DEG 23 SEC E, 106.26 FT; TH S 00 DEG 00 MIN 00 SEC E, 120.48 FT; TH N 90 DEG W, 247.10 FT TO POB.

5855 Lupine- MORGAN PLAT, PART OF LOT 6, DESC AS FLWS: COM SW COR OF SD LOT 6; TH S 72 DEG 18 MIN 59 SEC E, 38.02 FT TO CUR TO L, RAD 1,432 FT, CHD BRS S 86 DEG 34 MIN 53 SEC E, 91.43 FT; TH S 88 DEG 18 MIN 10 SEC E, 98.50 FT; TH S 80 DEG 53 MIN 54 SEC E, 50.62 FT TO POB; TH N 00 DEG W, 191.43 FT; TH N 90 DEG E, 156.90 FT; TH N 86 DEG 43 MIN 01 SEC E, 91.54 FT; TH S 01 DEG 14 MIN 38 SEC W, 198.23 FT TO CUR TO R, RAD 25 FT, CHD BRS S 46 DEG 28 MIN 14 SEC W, 35.49 FT; TH N 88 DEG 18 MIN 10 SEC W, 69.08 FT; TH N 80 DEG 53 MIN 54 SEC W, 151.11 FT TO POB.

LOT AREA: 4088 Felland .77 Acres/33,480 square feet
5855 Lupine 1.18 Acres/51,389 square feet

Proposed use: Multifamily

Zoning Text

PUD-GDP and PUD-SIP

Lot 6, Morgan Plat

Felland Road Apartments

4088 Felland Road & 5855 Lupine Lane

February 4, 2020

Legal Description: The lands subject to this Planned Unit Development District shall include Lot 6, Morgan Plat, City of Madison, Dane County, Wisconsin.

- A. **Statement of Purpose:** This zoning district is established to allow for the construction of a multifamily development consisting of a 17 unit building at 4188 Felland Road and a 33 unit building at 5855 Lupine Lane.
- B. **Permitted Uses:** Following are permitted uses within the project:
 - 1. Multifamily residential buildings.
 - 2. Accessory uses including, but not limited to:
 - a. Accessory uses directly associated with those permitted uses, including recreational facilities and parking for residents and guests.
 - b. Temporary buildings for storage of building materials and equipment for construction purposes when on the same lot as a principle use for a period not to exceed the duration of such construction.
- C. **Lot Area:** As shown on the approved plans.
- D. **Height Regulations:** As shown on the approved plans.
- E. **Yard Regulations:** As shown on the approved plans.
- F. **Landscaping:** Site landscaping will be provided as shown on the approved plans.
- G. **Usable Open Space Requirements:** Usable open space will be provided as shown on the approved plans.
- H. **Parking & Loading:** Off-street and surface parking shall be provided as shown on the approved plans.
- I. **Family Definition:** The family definition shall coincide with the definition given in M.G.O. 28.211 Definitions.
- J. **Signage:** Signage will be allowed as per Chapter 31 of the Madison General Ordinances as compared to the Group 1 Zoning District Groups or signage will be provided as approved on the S.I.P. plans or as a minor alteration to the approved S.I.P.
- K. **Alterations and Revisions:** No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Planning Commission; however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Architectural Review Committee, Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.

Felland Road Apartments

4088 Felland Rd. & 5855 Lupine Ln.,
Madison, WI



North Elevation - Felland Rd. 17 Unit

Architecture :

Dimension IV - Madison Design Group
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719
p: 608.829.4444 www.dimensionivmadison.com

Civil

Snyder & Assoc., Inc.
5010 Voges Rd., Madison, WI 53718
(608) 838-0444 snyder-associates.com

Project Data - 4088 Felland Rd. GDP & SIP:

Zoning: PD
Number of Living Units: 17
Number of Stories: 2
Building Hgt. : 32'- 5" - 42'
Footprint Area: 11,710sf
Underground Parking: 28 spaces

Project Data - 5855 Lupine Ln. GDP:

Zoning: PD
Number of Living Units: 33
Number of Stories : 3
Building Hgt. : 46'
Footprint Area: 14,907sf
Underground Parking: 36 spaces

LIST OF DRAWINGS

- GENERAL
- G0.1 COVER SHEET
- ARCHITECTURAL
- A0.0 CONTEXT IMAGES
- CIVIL
- C1.0 EXISTING SITE PLAN
- C2.0 PROPOSED SITE PLAN
- C2.1 GRADING PLAN - PROPOSED 16 UNIT BUILDING
- C2.2 PROPOSED SITE
- C2.3 POND GRADING PLAN
- C3.0 PROPOSED SITE UTILITY PLAN
- C4.0 NOTES & DETAILS
- C4.1 EROSION CONTROL DETAILS
- L1.0 LANDSCAPE
- ARCHITECTURAL
- A1.0 PARKING LEVEL PLAN
- A1.1 FIRST FLOOR PLAN
- A1.2 SECOND FLOOR PLAN
- A2.0 EXTERIOR ELEVATIONS - FELLAND RD.
- A2.0.1 ELEVATION - FELLAND RD.
- A2.1 CONCEPTUAL EXTERIOR ELEVATION - LUPINE LN.

PROJECT



UDC INITIAL / FINAL APPROVAL
LAND USE SUBMISSION
MAJOR AMENDMENT TO GDP & SIP

PROJECT # 15133

2/18/20

GO.1



View down Lupine Ln. from Felland Rd. to E.



View down Felland Rd. near Lupine Ln. to N.



View from Felland Rd. to S.E. Corner of 9 Unit Bldg.



View from Felland Rd. to S.E. Corner of 9 Unit Bldg.



View down Lupine Ln. from Felland Rd. to S.



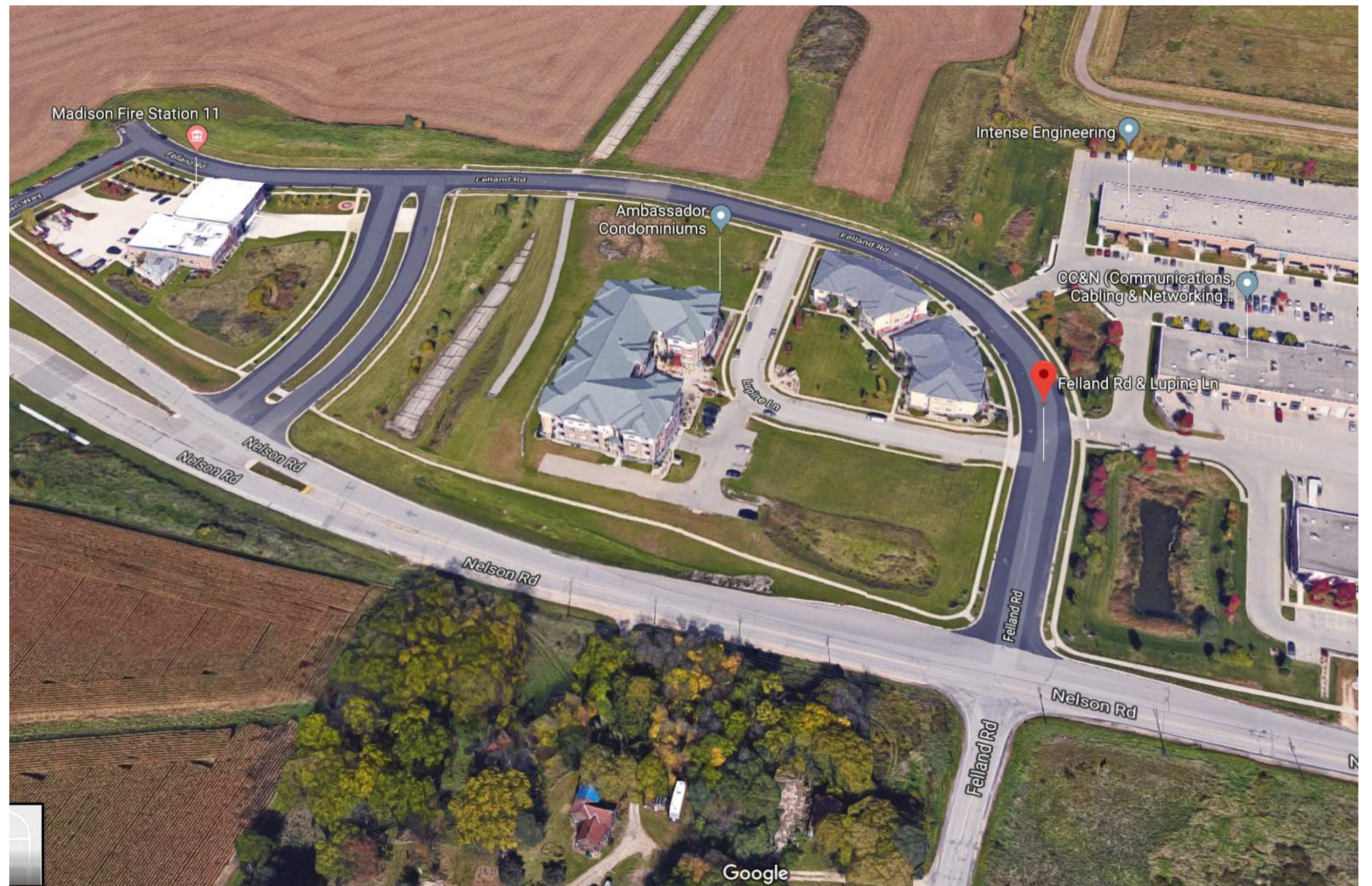
Rear of 9 Unit Building



N. End of 48 Unit Building



View from Felland Rd. & Lupine Ln SW to Nelson Rd.



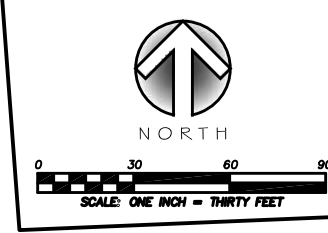
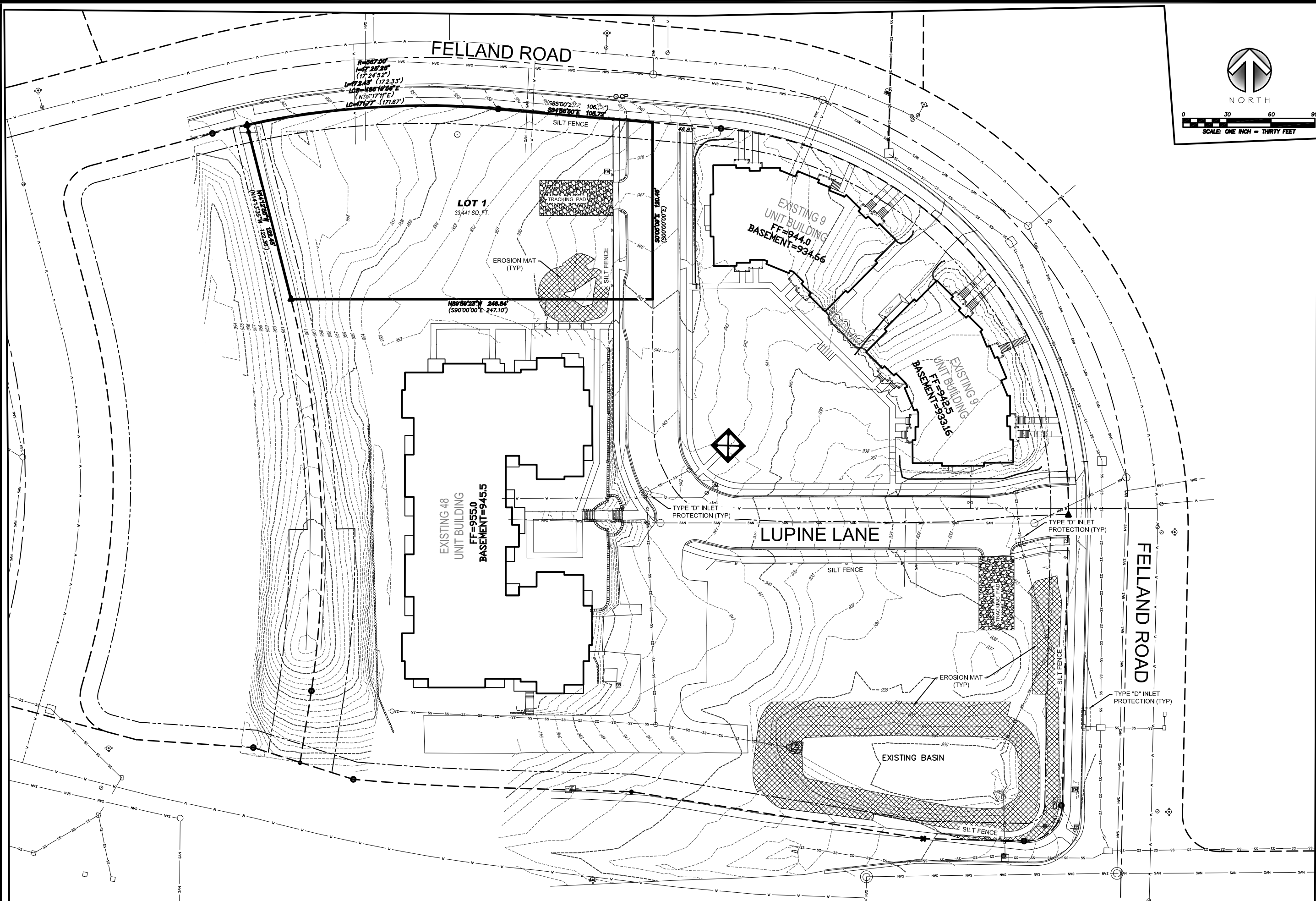
Aerial View Felland Rd. and Lupine Ln. - Looking North



48 Unit Bldg from Nelson Rd. to N.



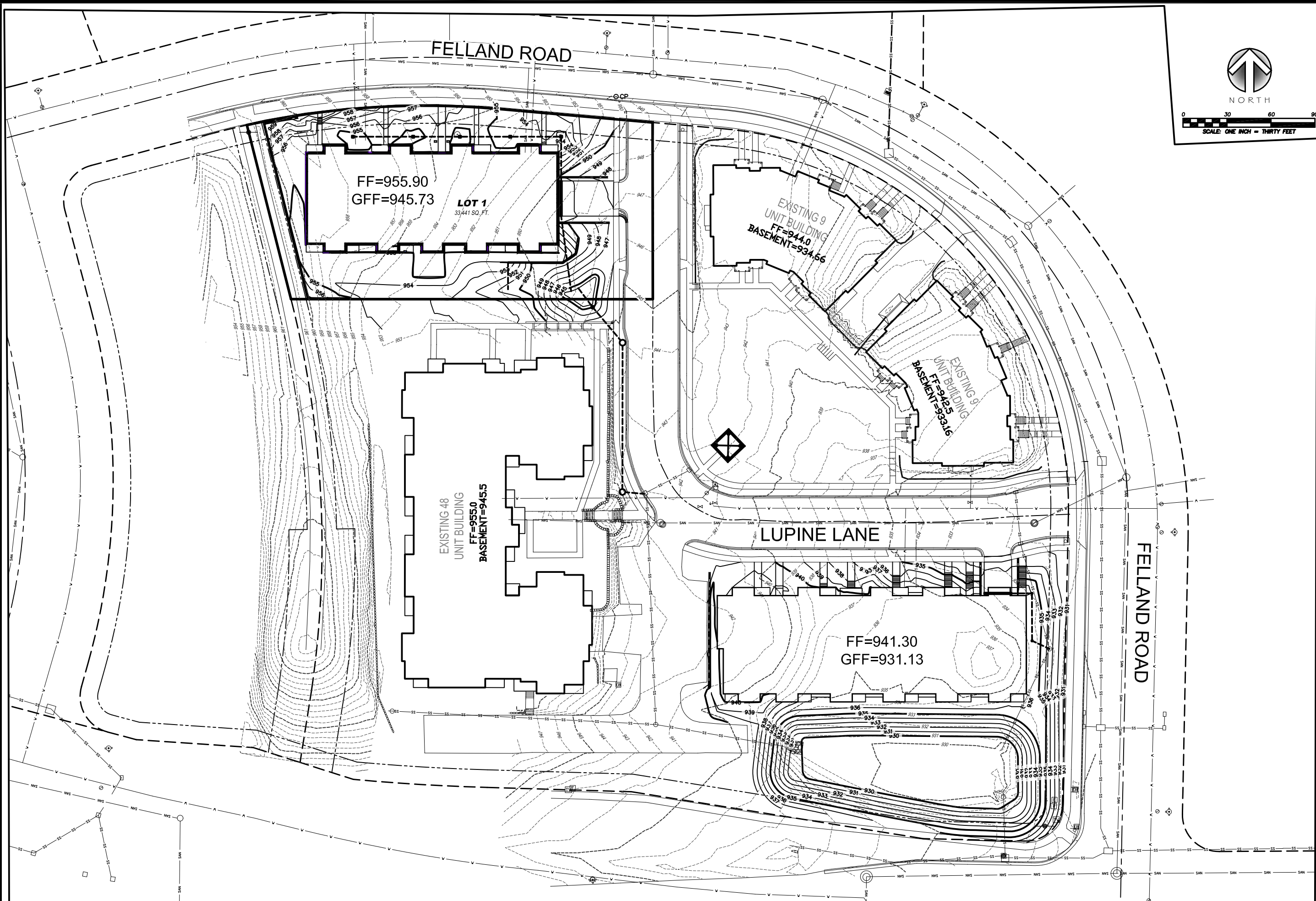
General View from Nelson Rd. to N.



MARK	REVISION	DATE	BY
Engineer: ENG	Checked By: CHKD	Scale: 1" = SCALE	Field Bk:
Technician: TECH	Date: 10-18-2019	Project No: 118.0306.30	

FELLAND ROAD APARTMENTS
 EXISTING SITE
 CITY OF MADISON, WISCONSIN
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com

SNYDER & ASSOCIATES
 C 1.0



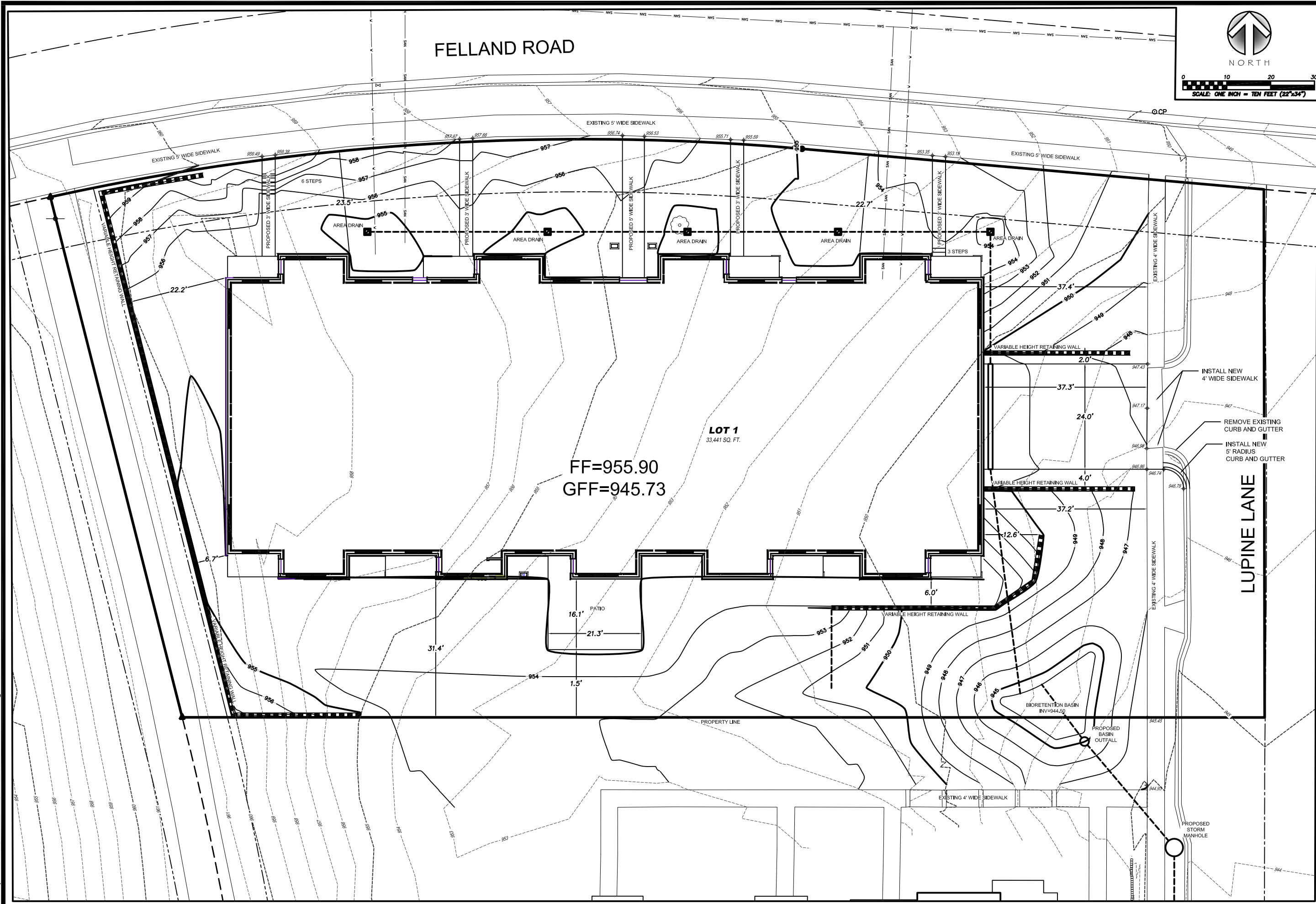
MARK	REVISION	DATE	BY
Engineer: ENG	Checked By: CHKD	Scale: 1" = SCALE	Field Bk:
Technician: TECH	Date: 10-18-2019	Project No: 118.0306.30	



FELLAND ROAD APARTMENTS
PROPOSED SITE
 CITY OF MADISON, WISCONSIN
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com



SNYDER & ASSOCIATES

C 2.0




 NORTH

 SCALE: ONE INCH = TEN FEET (22"x34")

FELLAND ROAD

LOT 1
33,441 SQ. FT.

FF=955.90
GFF=945.73

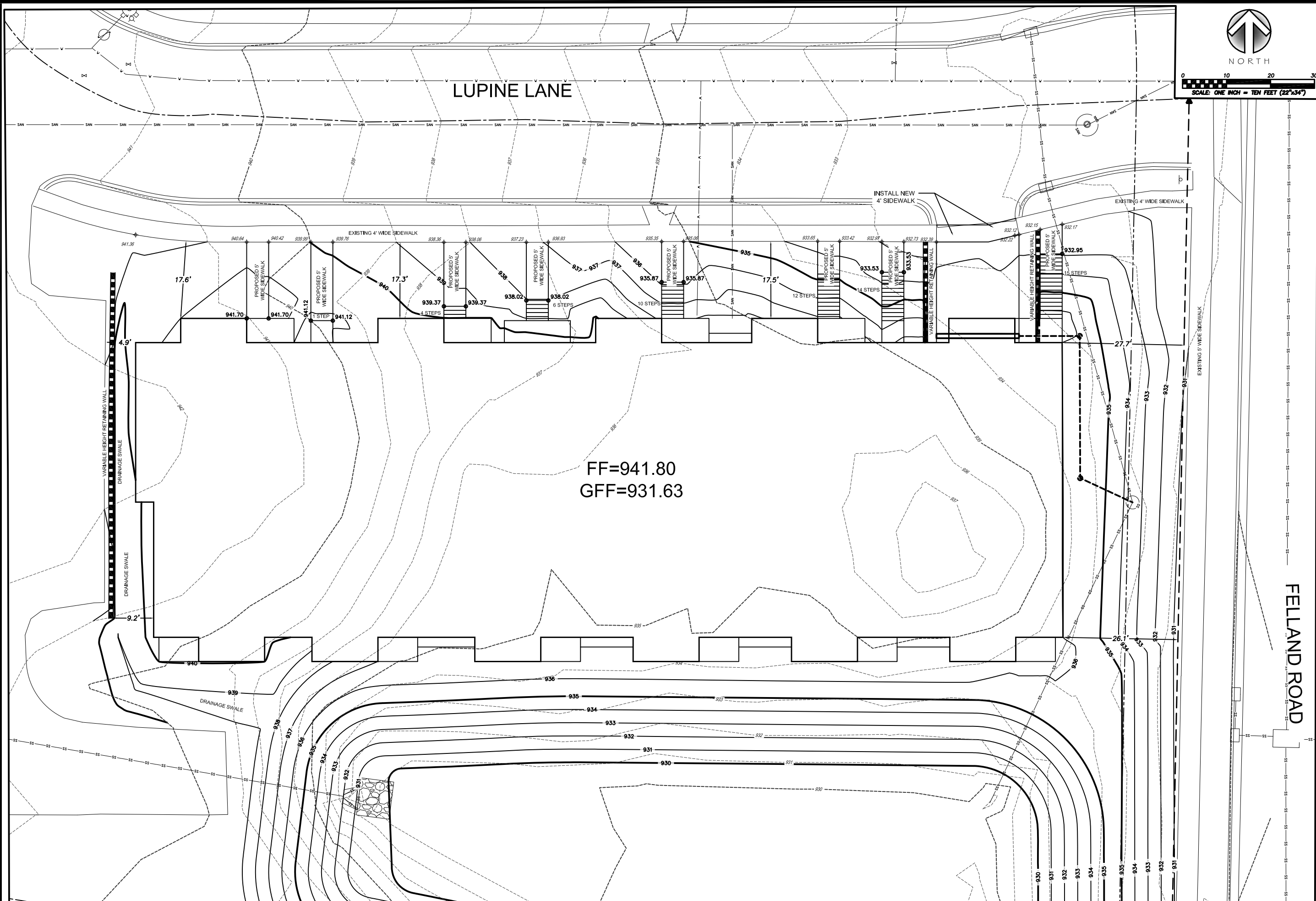
LUPINE LANE

MARK	REVISION	DATE	BY
ENG	Checked By: CHKD	10-16-2019	1" = 10'
TECH	Engineer: ENG	Date: 10-16-2019	Field Bk: 10-16-2019
Technician: TECH			Project No: 118.0306.30

FELLAND ROAD APARTMENTS
 PROPOSED 16-UNIT BUILDING
 CITY OF MADISON, WISCONSIN
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com



C 2.1



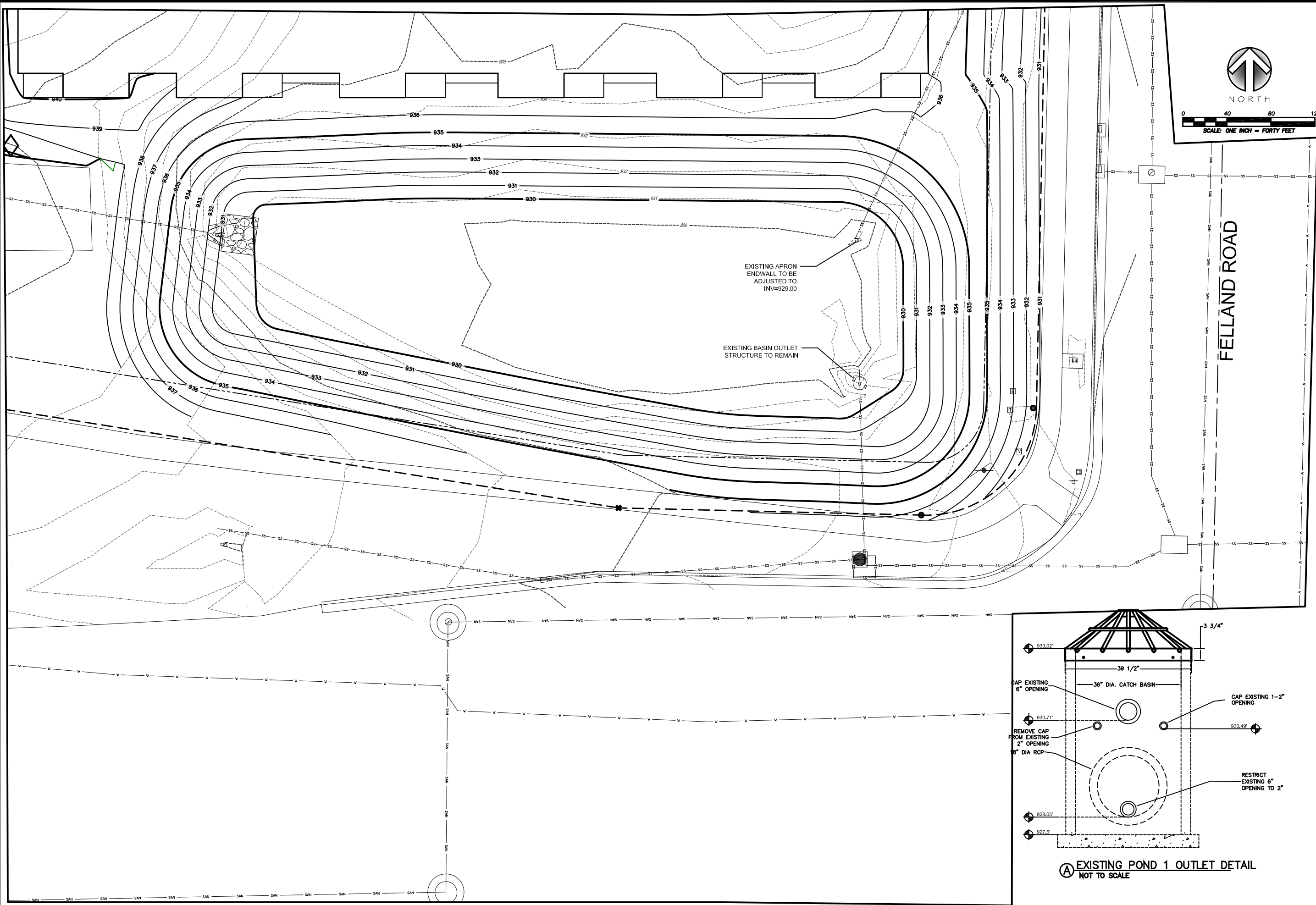
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SCALE: ONE INCH = TEN FEET (22"x34")

MARK	REVISION	DATE	BY
Engineer: ENG	Checked By: CHKD	Scale: 1" = 10'	
Technician: TECH	Date: 10-16-2019	Field/BK:	
Project No: 118.0306.30			

FELLAND ROAD APARTMENTS
 PROPOSED SITE
CITY OF MADISON, WISCONSIN
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com



C 2.2



MARK	REVISION	DATE	BY
Engineer: ENG	Checked By: CHKD	Scale: 1" = SCALE	Field Bk:
Technician: TECH	Date: 10-16-2019		Project No: 118.0306.30

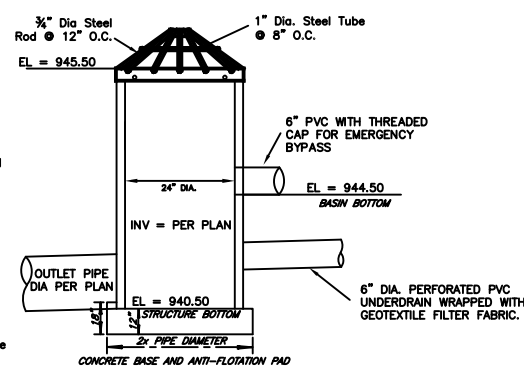
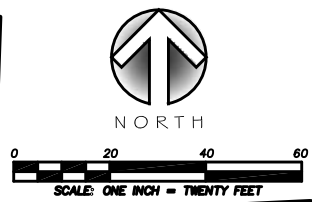
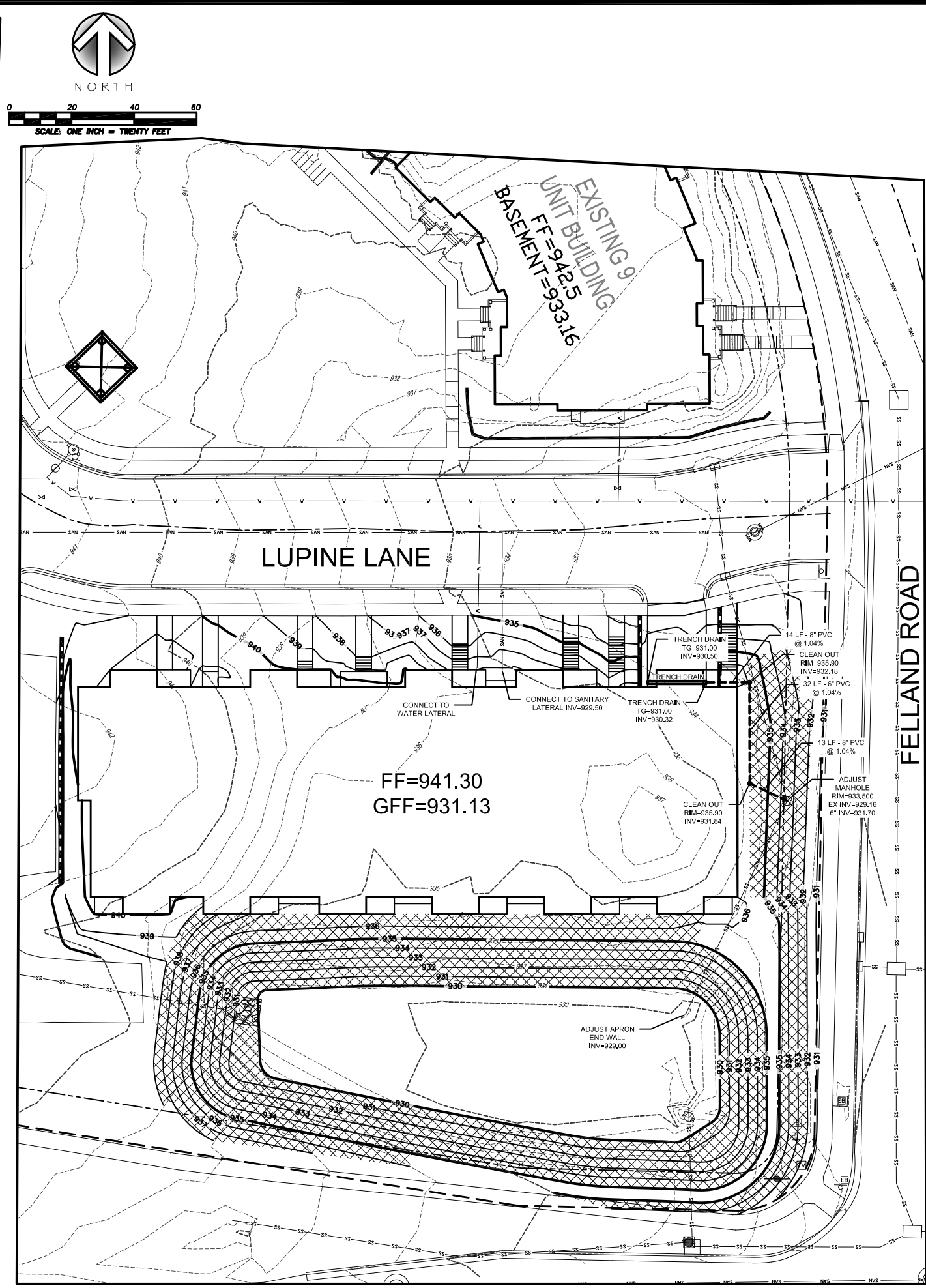
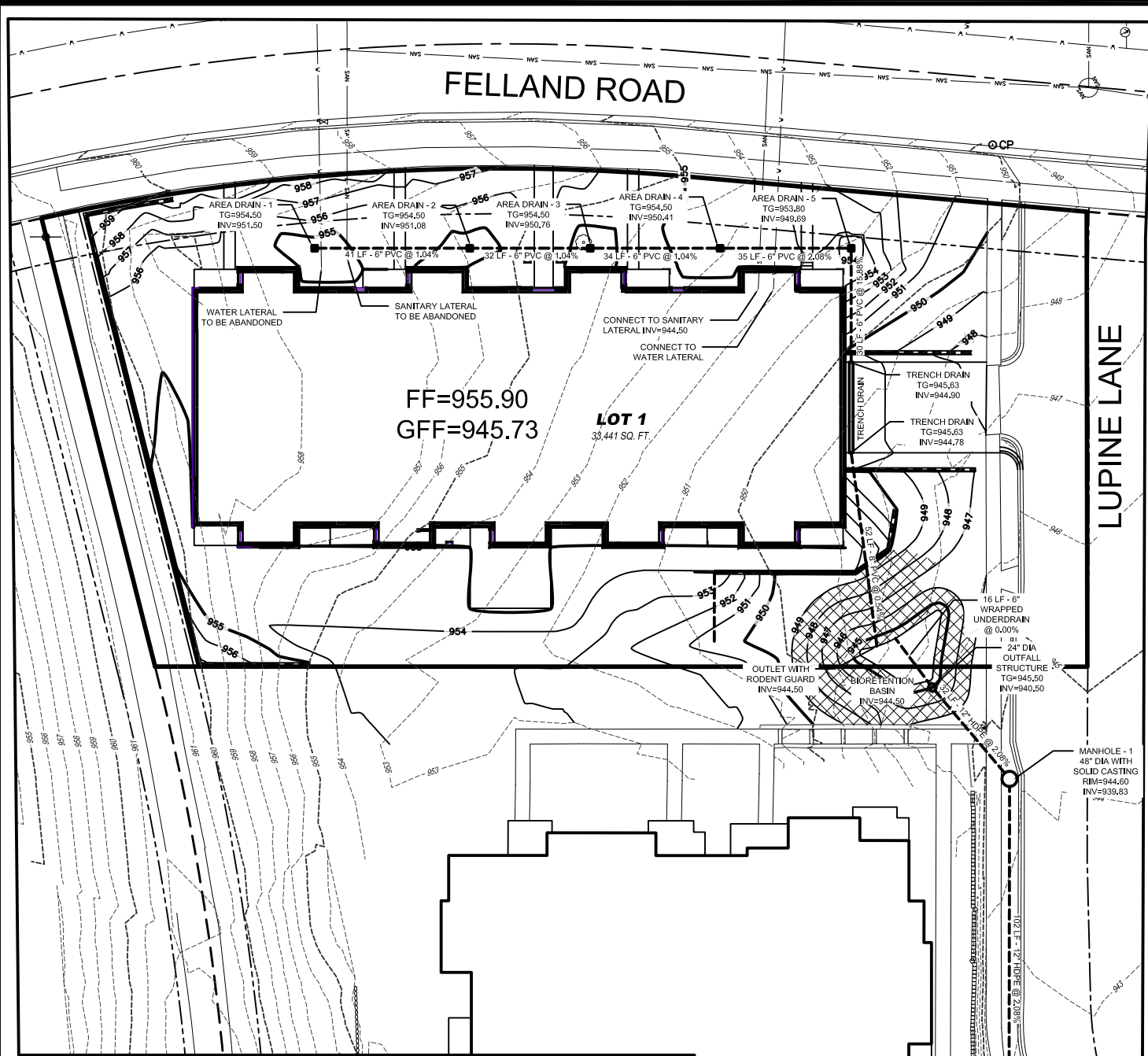
FELLAND ROAD APARTMENTS
 CITY, COUNTY, STATE

POND GRADING PLAN

SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com

SNYDER & ASSOCIATES

C 2.3



- NOTES:**
1. EACH GRATE IS WIRE BRUSHED AND CLEANED THOROUGHLY PRIOR TO PAINTING
 2. EACH COAT IS AN OVERALL COAT EACH COAT IS ALLOWED TO DRY FOR 24 HOURS MIN.
 3. FIRST COAT: RUST-OLEUM X-60 RED BARE METAL PRIMER OR EQUAL
 4. SECOND COAT: RUST-OLEUM 960 ZINC CHROMATE PRIMER OR EQUAL
 5. THIRD COAT: RUST-OLEUM 1262 HIGH GLOSS AND METALLIC FINISH OR EQUAL
 6. GALVANIZED AND EPOXY COATED GRATES ALSO AVAILABLE AS SPECIFIED
- OUTLET STRUCTURE DETAILS**
NOT TO SCALE

MARK	REVISION	DATE	BY
ENG	CHKD	10-16-2019	SCALE
TECH	CHKD	10-16-2019	Field Bk
Technician:	TECH	10-16-2019	Field Bk
Project No:	118.0306.30		

FELLAND ROAD APARTMENTS
PROPOSED SITE UTILITY PLAN
SNYDER & ASSOCIATES, INC.
 CITY OF MADISON, WISCONSIN
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com



C 3.0

GENERAL CONDITIONS

- THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY TWO WORKING DAYS (48 HOURS) PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN HIS PROPOSAL. HE SHALL BASE HIS BID ON HIS OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
- CONTRACTOR IS ADVISED THAT ANY MUD AND DEBRIS MAY NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
- ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID PRICES.
- THE CONTRACTOR SHALL PROVIDE ACCURATE AS-BUILT QUANTITIES FOR ALL UTILITIES INCLUDING ELEVATIONS, PIPE SIZE, STRUCTURE SIZE, AND PIPE LENGTHS.
- CONTRACTOR SHALL NOTIFY ENGINEER OF ANY PLAN DEVIATIONS. ANY PLAN DEVIATIONS DURING CONSTRUCTION WILL REQUIRE PLANS TO BE MODIFIED AND SUBMITTED TO THE CITY ENGINEER FOR AS-BUILT PURPOSES.
- CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
- ANY DAMAGE TO THE PAVEMENT ON FELLAND ROAD ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.

EROSION CONTROL

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS, INCLUDING WPDES DISCHARGE PERMITS (IF APPLICABLE), AND THE CITY OF MADISON EROSION CONTROL PERMIT. CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
- ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARD, OR THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK IF A TECHNICAL STANDARD IS NOT AVAILABLE.
- ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH THE DNR WPDES GENERAL PERMIT.
- ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
- ALL DISTURBED GROUND LEFT INACTIVE FOR THIRTY DAYS OR MORE SHALL BE STABILIZED WITH TOPSOIL, SEED, AND MULCH IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS 1059 AND 1058.
- TEMPORARY SEED MIXTURE SHALL CONFORM TO 630.2.1.5.1.4 OF THE WISDOT STANDARD SPECIFICATIONS. USE WINTER WHEAT OR RYE FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 1.
- DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM) IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050.
- SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASINS TO MAINTAIN A THREE FOOT DEPTH OF TREATMENT, MEASURED BELOW THE NORMAL WATER ELEVATION. SEDIMENT WILL BE REMOVED FROM THE DIVERSION DITCHES WHEN IT REACHES HALF THE HEIGHT OF THE DITCH. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE AND DITCH CHECKS WHEN IT REACHES HALF THE HEIGHT OF THE FENCE/BALE THE SILT FENCE AND DITCH CHECKS SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
- ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 PRIOR TO DISCHARGE TO WATERS OF THE STATE, WETLANDS, OR OFFSITE.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED, DEPENDING ON HOW THE CONTRACTOR GRADES THE SITE. IT MAY BE NECESSARY TO INSTALL TEMPORARY SEDIMENT TRAPS IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT. TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1063.
- ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORKING DAY.
- DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1068.
- FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
- ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE APPROVED LANDSCAPE PLAN TO MAINTAIN A VIGOROUS DENSE VEGETATIVE COVER.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED BY THE CONTRACTOR, IF NECESSARY, EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5" OR GREATER. ALL NECESSARY MAINTENANCE SHOULD FOLLOW THE INSPECTIONS WITHIN 24 HOURS.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBING ACTIVITIES BEGIN.

GRADING

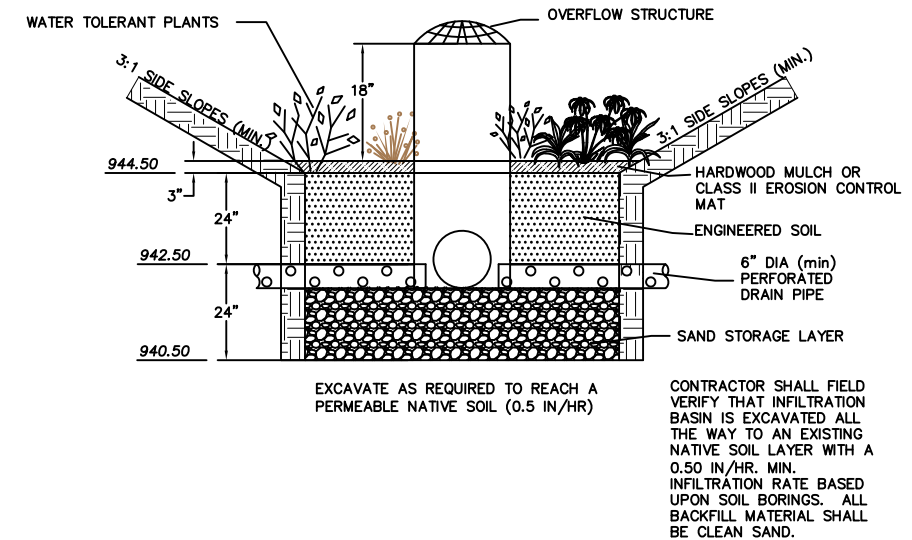
- THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
- SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE SITE HAS BEEN STABILIZED WITH VEGETATION AND THE APPROVAL OF THE GOVERNING AGENCY.
- THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING, CUT AND FILL CALCULATIONS AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
- GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AND ON-SITE EARTHWORK BALANCE, GRADING THE PROPOSED BUILDING PADS AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
- NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE ENGINEER BEFORE ANY MATERIAL IS PLACED.
- THE FINISHED GROUND SHALL BE 8-INCHES BELOW THE FINISHED FLOOR ELEVATION EXCEPT AT GARAGES AND ELSE AS SHOWN ON THE GRADING PLANS.

PAVING

- CONCRETE PAVEMENT SHALL BE A MINIMUM THICKNESS OF 6" ON 8" BASE.
- BASE COURSE THICKNESS SHALL BE A MINIMUM OF 8" CONSISTING OF DENSE AGGREGATE BASE COURSE.
- PAVING SHALL CONSIST OF FINE GRADING PAVEMENT AREAS, INSTALLATION OF CRUSHED STONE BASE, CONCRETE AND/OR BITUMINOUS PAVEMENT, PAVEMENT MARKING, AND CLEANUP. ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR.
- CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL BE GRADE A (OR GRADE A2 IF PLACING BY SLIP-FORMED PROCESS) AIR ENTRAINED IN ACCORDANCE WITH SECTION 501 FOR THE STANDARD SPECIFICATIONS, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI.
- ALL FINISHED CONCRETE SHALL BE COVERED WITH A LIQUID CURING COMPOUND CONFORMING TO AASHTO M 148, TYPE 2, IN ACCORDANCE WITH SECTION 415 OF THE STANDARD SPECIFICATIONS.
- CUTTING OF FLOW LINES IS PROHIBITED FOR DRIVEWAY CONSTRUCTION. CURB HEAD SHALL BE CUT TO FORM THE CURB CUT USING A PROFILE CURB CUT BY USING A MACHINE OR THE CURB AND GUTTER SHALL BE REPLACED.
- SIDEWALK IN DRIVEWAYS SHALL HAVE A MINIMUM THICKNESS OF 7" ON A BASE OF 6" DENSE AGGREGATE BASE COURSE OR SAND.

UTILITIES

- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO WISCONSIN ADMINISTRATIVE CODE, SECTION SPS 382-384, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
- ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS.
- PROPOSED SANITARY SEWER, WATER MAIN, AND INTERNALLY CONNECTED STORM SEWER SHOWN ON THIS PLAN SHALL TERMINATE AT POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. STORM SEWER CONNECTING TO EXTERIOR DOWN SPOUTS SHALL BE PER DETAILS ON THE ARCHITECTURAL PLANS. THE EXACT LOCATION OF ALL DOWN SPOUTS SHALL BE PER THE ARCHITECTURAL PLANS.
- MATERIALS FOR SANITARY SEWER SHALL BE AS FOLLOWS:
SANITARY SEWER SHALL BE PVC AND BEDDED WITH CLASS C BEDDING (CLEAR STONE).
TRACER WIRE SHALL BE INSTALLED WITH ALL NEW LATERALS.
EXCAVATED MATERIAL FROM THE TRENCH NOT SUITABLE FOR BACKFILL AS DEEMED BY THE CITY ENGINEER SHALL BE HAULED OFF-SITE AND SELECT TRENCH BACKFILL WILL BE REQUIRED.
- MATERIALS FOR WATER SERVICE SHALL BE AS FOLLOWS:
MJ FITTINGS ARE REQUIRED FOR ALL FITTINGS.
- STORM SEWER AND STORMWATER MANAGEMENT SHALL BE AS FOLLOWS:
STORM SEWER SHALL BE ADS N-12 UNLESS OTHER WISE NOTED ON THE UTILITY PLAN.
AREA DRAINS 1-5 SHALL BE NYPLAST 12" DRAIN OR APPROVED EQUAL.
STORM SEWER PIPE BEDDING SHALL BE CRUSHED STONE.
MINIMUM COVER FOR ALL STORM SEWER SHALL BE 2'.
EXCAVATED MATERIAL FROM THE TRENCH NOT SUITABLE FOR BACKFILL AS DEEMED BY THE CITY ENGINEER SHALL BE HAULED OFF-SITE AND SELECT TRENCH BACKFILL WILL BE REQUIRED.
- EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER AND WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. THE COST OF THIS GRANULAR MATERIAL AND ITS COMPACTION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE PROPOSED UTILITY.
- PRIOR TO FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED-UP PRINTS SHOWING ALL CHANGES MADE DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE OWNER.
- TRACER WIRE SHALL BE INSTALLED ON ALL BURIED NON-METALLIC SANITARY SEWERS, PRIVATE SANITARY INTERCEPTOR MAIN SEWERS, STORM BUILDING SEWERS, AND PRIVATE STORM INTERCEPTOR MAIN SEWERS THAT DISCHARGE TO MUNICIPAL MAINS. TRACER WIRE SHALL BE A MINIMUM OF 18-GAUGE, INSULATED, SINGLE-CONDUCTOR COPPER WIRE OR EQUIVALENT. TRACER WIRE COLOR SHALL BE BLUE FOR POTABLE WATER, GREEN FOR SANITARY SEWER, AND BROWN FOR STORM SEWER.



BIORETENTION BASIN SECTION NOT TO SCALE

- BIORETENTION BASIN CONSTRUCTION METHODS, MATERIALS, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1004. FOR TECH. STANDARD 1004, SEE WEBSITE <http://dnr.wi.gov/topic/stormwater/documents/Bioretenion1004.pdf>
- A CLASS II, TYPE B EROSION MAT/BLANKET (I.E. COCONUT MAT) SHALL BE PLACED ON THE SURFACE OF THE BIORETENTION BASIN.
- ENGINEERED SOIL SHALL CONSIST OF 75-85% SAND AND 15-25% COMPOST BY VOLUME. SOILS BENEATH THE ABOVE SOIL STRUCTURE SHALL BE UNDERCUT AS NEEDED TO REACH A PERMEABLE LAYER.
- INFILTRATION AREA SHALL BE GRADED AND INSTALLED AFTER SITE DRAINING TO THE BASIN IS SEEDED AND VEGETATION IS ESTABLISHED.
- CONTRACTOR MUST EXCAVATE BASINS UNTIL REACHING THE SOIL LAYER WITH 0.50 IN/HR INFILTRATION RATE. BACKFILL TO THE PEA GRAVEL/ENGINEERED SOIL LAYER USING CLEAN SAND.
- MOISTURE TOLERANT PLANTS SHALL BE PLANTED IN THE BOTTOM OF BASIN SPACED ONE FOOT ON CENTER. PLUGS SHALL BE AGRECOL WET PRAIRIE SHORT STATURE MIX OR APPROVED EQUIVALENT.
- FIELD INFILTRATION TESTING: IMMEDIATELY AFTER ROUGH GRADING OF STORMWATER BIOINFILTRATION AND INFILTRATION DEVICES, PROVIDE FIELD INFILTRATION TESTING CONDUCTED BY A THIRD-PARTY TESTING AGENCY TO VERIFY INFILTRATION RATES FOR ALL STORMWATER BIOINFILTRATION AND INFILTRATION DEVICES. DETERMINE INFILTRATION RATES IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) SITE EVALUATION FOR STORMWATER INFILTRATION, STANDARD 1002. FREQUENCY OF TESTING SHALL BE 1 TEST PER 5000 SQUARE FEET OF SURFACE AREA OF THE STORMWATER INFILTRATION DEVICE MEASURED AT THE DESIGN HIGH WATER LEVEL AND AT LEAST ONE TEST PER DEVICE. FURNISH A REPORT OF THE TEST RESULTS TO ARCHITECT/ENGINEER.

FELLAND ROAD APARTMENTS

NOTES AND DETAILS

CITY OF MADISON, WISCONSIN

SNYDER & ASSOCIATES, INC.

SNYDER & ASSOCIATES

C 4.0

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

Project No: 118.0306.30

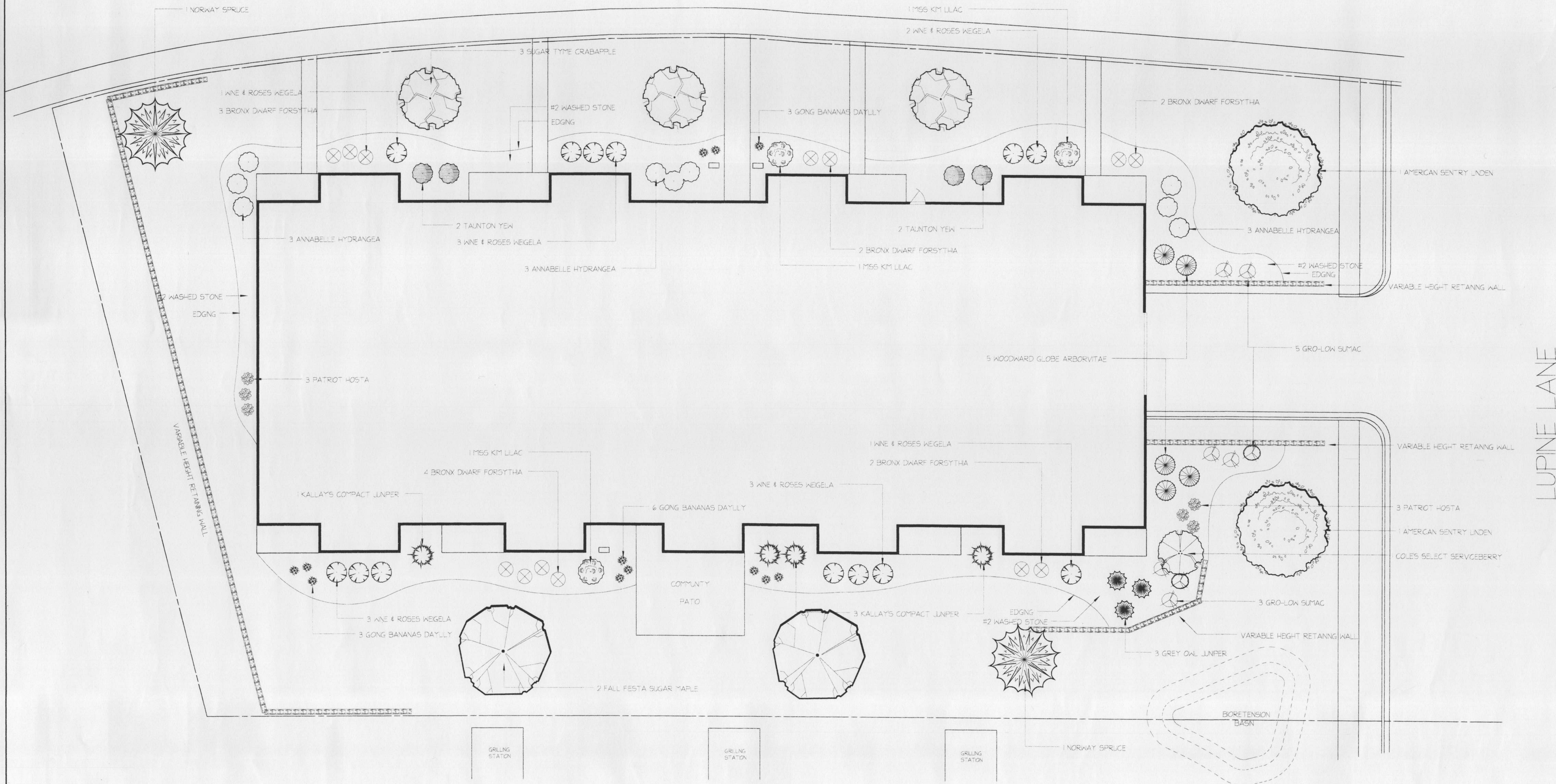
MARK: _____
Engineer: **ENG**
TECH: _____

REVISION: _____
Checked By: **CHKD**
Date: **10-16-2019**

DATE: _____
BY: _____
Scale: **1" = SCALE**
Field Bk: _____

FELLAND ROAD

LOT #1



NOTES

SCALE: 1" = 10'

SCALE: 1" IN FEET

0 5 10 20

SCALE: 1" IN FEET

No.	Date	Description

FELLAND ROAD APARTMENTS
MADISON, WI

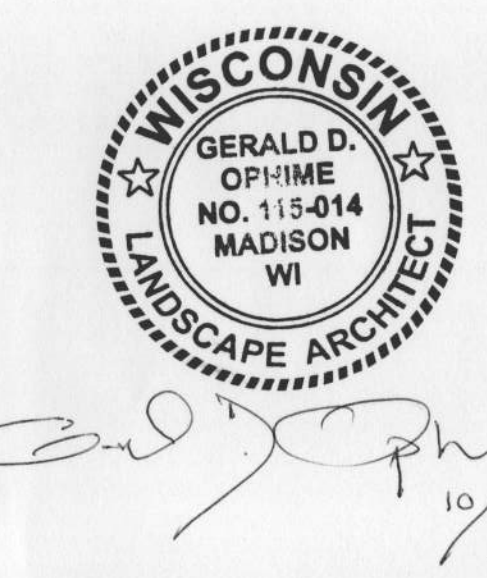
DESIGN BY:
HERMAN
LANDSCAPE SERVICE, INC
6606 SEYBOLD ROAD
MADISON, WI 53744

FELLAND ROAD APARTMENTS

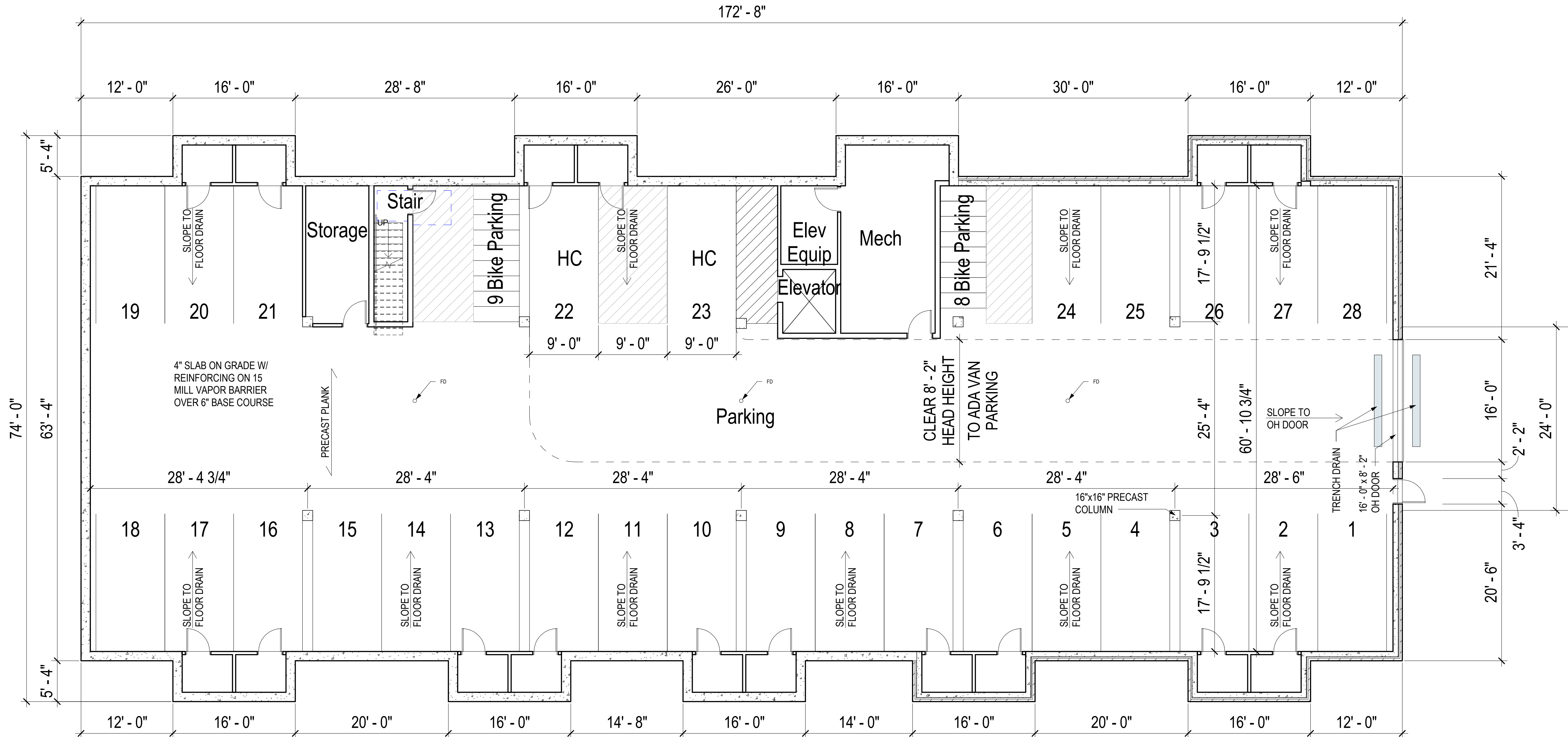
Scientific Name	Common Name	Size & Root	Quantity
OVERSTORY DECIDUOUS TREES			
<i>Acer saccharum</i> 'Ballst'	Fall Fiesta Sugar Maple	2-1/2 in b&b	2
<i>Tilia americana</i> 'McKsentry'	American Sentry Linden	2-1/2 in b&b	2
ORNAMENTAL TREES			
<i>Malus</i> 'Sutyaz'	Sugar Tyme Crabapple	1-1/2 in b&b	3
EVERGREEN TREES			
<i>Picea abies</i>	Norway Spruce	5 ft b&b	2
UPRIGHT EVERGREEN SHRUB			
<i>Arborvitae occidentalis</i> 'Woodwardii'	Woodward Globe Arborvitae	3 ft b&b	5
DECIDUOUS SHRUBS			
<i>Amelanchier x grandifolia</i> 'Coles Select'	Cole's Select Serviceberry	#5 container	1
<i>Forsythia viridissima</i> 'Bronxensis'	Bronx Forsythia	#3 cont.	13
<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Smooth Hydrangea	#3 cont.	9
<i>Rhus aromatica</i> 'Gro-low'	Gro-low Sumac	#3 cont.	8
<i>Syringa patula</i> 'Miss Kim'	Miss Kim Lilac	#5 cont.	3
<i>Weigela florida</i> 'Alexandra'	Wine & Roses Weigela	#3 cont.	13
EVERGREEN SHRUBS			
<i>Juniperus chinensis</i> 'Kallay's Compacta'	Kallay's Compact Juniper	#3 cont.	4
<i>Juniperus virginiana</i> 'Grey Owl'	Grey Owl Juniper	#3 cont.	3
<i>Taxus x media</i> 'Tauntonii'	Taunton Yew	18 in b&b	4
PERENNIALS			
<i>Hemerocallis</i> 'Going Bananas'	Going Bananas Daylily	#1 cont.	12
<i>Hosta</i> 'Patriot'	Patriot Hosta	#1 cont.	6

CITY OF MADISON LANDSCAPING REQUIREMENTS

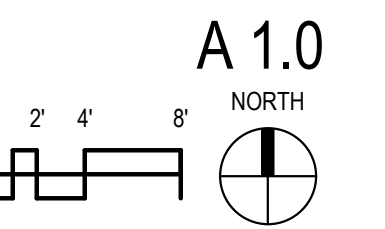
Total developed square footage	21,734		
Required landscape units (Total/300 sq ft)	73		
Required landscape points (Units X 5 points)	365		
LANDSCAPE POINTS CALCULATION			
		NEW/PROPOSED	
	POINT VALUE	QUANTITY	POINTS ACHIEVED
Overstory deciduous trees (2.5" caliper)	35	4	140
Evergreen trees (5' tall)	35	2	70
Ornamental trees (1.5" caliper)	15	3	45
Upright evergreen shrub (3-4' tall)	10	5	50
Shrub deciduous (#3 gallon container)	3	47	141
Shrub evergreen (#3 gallon container)	4	11	44
Ornamental grasses & perennials	2	18	36
TOTAL			526



SCALE: 1" = 10'	PROJECT NO.
DRAWN BY: EKC	
CHECKED BY: J. OPHIME	REVISION
DATE: 10/4/18	
DATE OF PRINT	



1 BASEMENT PLAN
1/8" = 1'-0"





1 01-FIRST FLOOR
1/8" = 1'-0"

Patio

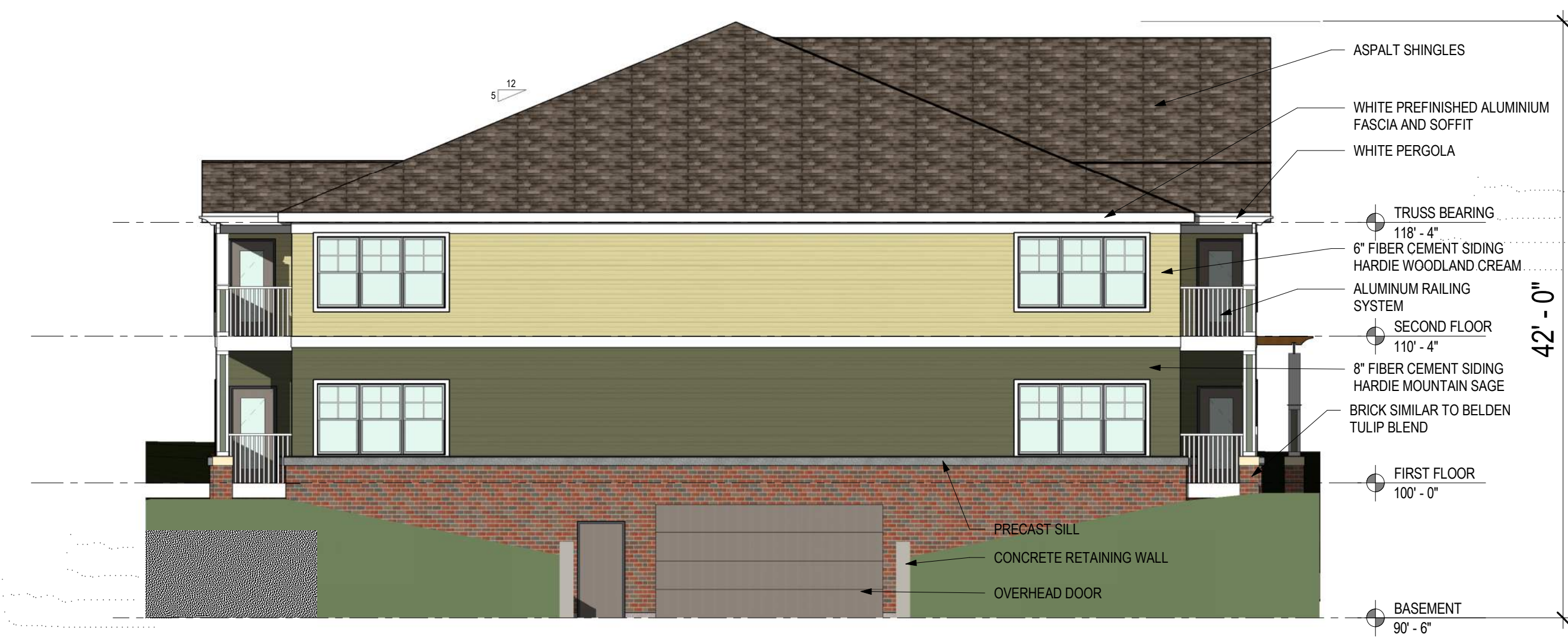
11,710 gsf/floor



1 02-SECOND FLOOR
1/8" = 1'-0"



3 SOUTH ELEVATIONS.
 1/8" = 1'-0"



1 EAST ELEVATIONS
 1/8" = 1'-0"



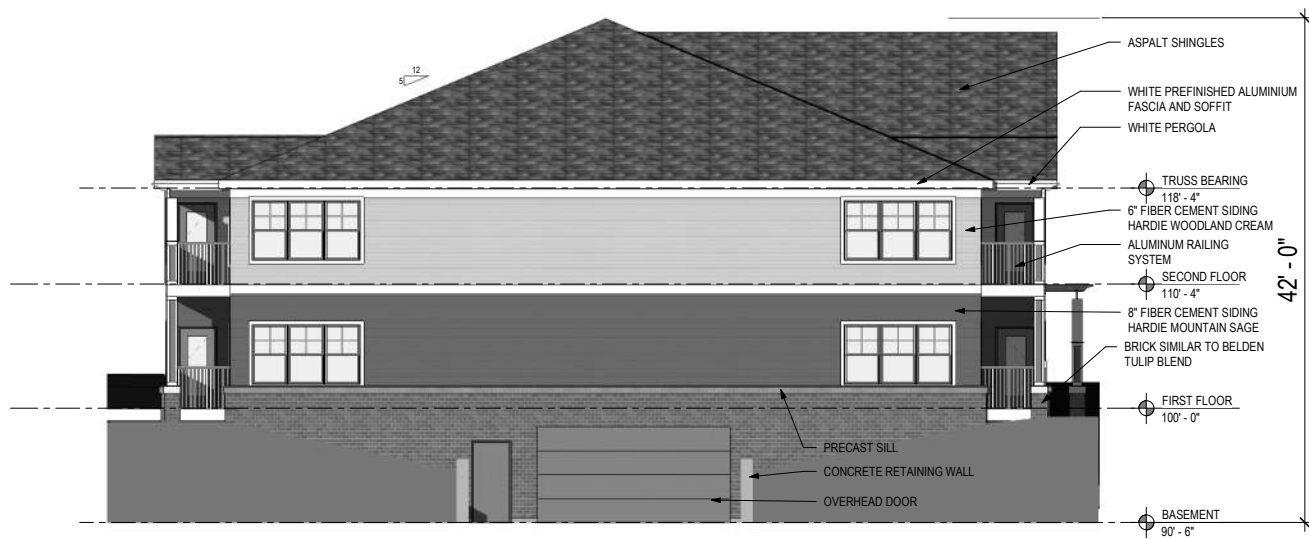
4 WEST ELEVATIONS.
 1/8" = 1'-0"



2 NORTH ELEVATIONS
 1/8" = 1'-0"



3 SOUTH ELEVATIONS.
1/8" = 1'-0"



1 EAST ELEVATIONS
1/8" = 1'-0"



4 WEST ELEVATIONS.
1/8" = 1'-0"



2 NORTH ELEVATIONS
1/8" = 1'-0"



1 Rendered Elevation Felland Rd
1/8" = 1'-0"

0' 2' 4' 8'
A 2.0.1

Felland Road Apartments



1 Rendered Elevation Felland Rd
1/8" = 1'-0"

0 2 4 8
A 2.0.1

Felland Road Apartments



Possible Location of UG
Parking Entry

① Preliminary Front Elevation - 33 Units - Lupine Ln.
1/8" = 1'-0"



Possible Location of UG
Parking Entry

1 Preliminary Front Elevation - 33 Units - Lupine Ln.
1/8" = 1'-0"