

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____
Project # _____
Legistar # 29600

DATE SUBMITTED: <u>June 11, 2014</u>	Action Requested
UDC MEETING DATE: <u>Aug. 6, 2014</u>	<input type="checkbox"/> Informational Presentation
If applicable, the combined schedule Plan Commission date: <u>Aug. 11, 2014</u>	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 6602 DOMINION DR
ALDERMANIC DISTRICT: 3

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:
DOOR CREEK CHURCH WILLIAMSON SURVEYING & ASSOC.
(RANDY OLSON) (NOA PRIEVE)

CONTACT PERSON: NOA PRIEVE
Address: 104A W MAIN ST
WAUNAKEE WI 53597
Phone: 608-255-5705
Fax: 608-849-9760
E-mail address: NOA@WILLIAMSONSURVEYING.COM

TYPE OF PROJECT:

(See Section A for:)

- Planned Development (PD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
 - Conceptual Presentation
 - Informational Presentation
- N/A Planned Mobile Home Park District (PMHPD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- N/A Residential Building Complex (RBC)
- N/A New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee, excludes State of Wisconsin projects.)
- N/A School, Public Building or Space (Fee may be required)
- N/A Planned Multi-Use Sites, New Construction Exceeding 40,000 Gross Square Feet with 25,000 Gross Square Feet of Retail, Hotel or Motel or any Sole Retail in Excess of 40,000 Square Feet



WILLIAMSON SURVEYING & ASSOCIATES, LLC

104A WEST MAIN STREET, WAUNAKEE, WI 53597

NOA T. PRIEVE and CHRIS W. ADAMS

PHONE: 1-608-255-5705 WEB: WILLIAMSONSURVEYING.COM

June 3, 2014

**Door Creek Church
6602 Dominion Drive
Madison, WI 53718**

LETTER OF INTENT

This site is currently zoned PD and has an existing Church and parking areas along with storm water detention areas all approved in the latest amendment to this PD. No conditions for the Church part of this PD are proposed to change and all information previously approved for business hours and use will remain accurate.

The church is looking to generate some additional money with the sale of a few building sites in the northerly most part of this site. We are requesting approval of a four (4) lot Certified Survey Map that would create three (3) new parcels as follows:

- Lot 1 - church lot – 1,308,237 sq.ft.
remaining land were the church is currently located.
- Lot 2 - one duplex lot - 13,280 sq.ft.
located on the corner of Annestown Drive and Hopewell Drive
- Lot 3& 4 - two single family lots - 8,740 sq.ft. each
located between the proposed duplex lot and the exiting Lot 113 of Reston Heights

The proposed new lots are shown on the Site Plan dated 6-2-2014 and included along with this packet. The proposed new Certified Survey Map is also included along with this packet. The single family lots are designed to match the size, shape and building area as all the surrounding lots located in the immediate vicinity. The duplex lot would be significantly larger in order to accommodate a duplex building site with the potential of having two driveways located either on Annestown Drive or Hopewell Drive depending on the future design. The remaining lot would continue to be used as the Church site along with substantial areas of green space.

This development should not greatly affect the current lot coverage and usable open space calculations. The value of the Church site should not be affected, but there would be the added value of the newly created building sites which would need to be appraised at time of creation. This project will not generate jobs at this time but the development of the new lots will in the future. No public subsidy is being requested for this project.

Project Team:

Randy Olson, Door Creek Church

Chris Adams or Noa Prieve, Williamson Surveying and Associates LLC

**ZONING TEXT PUD(SIP)
DOOR CREEK CHURCH
6602 DOMINION DRIVE
MADISON, WI 53718**

July 15, 2014

LEGAL DESCRIPTION: Lot 112, Reston Heights

- A. STATEMENT OF PURPOSE:** This zoning district is established to allow for the development of three new residential lots for future development or sale. The intent of this amendment is to be consistent with the approved GDP for this site by modifying area 3 as previously mapped to include a duplex lot and two single family lots which will assist in blending the church grounds with the neighborhood. This amendment includes development in the following areas as shown on the "Amended General Development Plan", attached hereto:

Area 3 (modified): This area will be modified to +/-4.0 acres but the use will remain as previously described in the GDP.

Area 8: Residential lots consisting of one (1) duplex lot and two (2) single family lots.

B. Permitted Uses:

1. Those that are stated as permitted uses in the GDP.
2. Residential lots consisting of one (1) duplex lot and two (2) single family lots.
3. Uses accessory to permitted uses listed above.
4. Uses consistent with the neighboring zoned residential lots.

- C. Subdivision of Property:** Further subdivision of the property consistent with the phased development as outlined in the GDP will be permitted.

- D. Alterations and Revisions:** No alteration or revisions of this Planned Unit Development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Developments and the District Alderperson and are compatible with the concept stated in the underlying General Development Plan approved by the City Plan Commission.

Specific Zoning Text

Single Family Lot Standards

1. **Lot Area:** *Minimum Lot Area:* 7,200 Square Feet
2. **Lot Width:** *Minimum Lot width:* 60' Wide
3. **Height Regulation:** *Maximum Height:* In the Single Family Residence District, no building or structure shall exceed two and one-half (2 1/2) stories and thirty-five (35) feet in height.
4. **Yard Requirements:**
 - a. *Front Yard - Minimum Setback:* Twenty (20) feet from the public right of way line. a front porch, entry bay, or front stoop may encroach into the front yard area up to five (5) feet. In no case shall any structural elements of the house be any closer than fifteen (15) feet to the public right of way.
 - b. *Side Yard - Minimum Setback:* A minimum of six (6) feet will be allowed and the combined total of both side yards may not be less than fourteen (14) feet.
 - c. *Rear Yard - Minimum Setback:* Thirty (30) feet from the rear lot line.
5. **Usable Open Space:** *Minimum amount per lot:* A minimum of one thousand three hundred (1300) square feet of usable open space shall be provided per dwelling.
6. **Accessory Building Regulations:**
 - a. *Time of construction.* No accessory building or structure shall be constructed on any lot prior to the time of construction of the principal building to which it is accessory.
 - b. *Percentage of Required Rear Yard Occupied.* No detached accessory building or buildings shall occupy more than fifty (50) percent of the area of the required rear yard. Any accessory building which exceeds four (4) automobile stalls or eight hundred (800) square feet of floor area shall first obtain a minor alteration or major alteration of the PUD at the discretion of the Alderman and Planning Director.
 - c. *Height of Accessory Buildings in Required Rear Yards.* No detached accessory building located in a required rear yard shall exceed 15 feet in height.
 - d. *Location.* No accessory building shall be erected in any yard except the rear yard, and all accessory buildings shall be located not less than three (3) feet from all lot lines and from any other building or structure on the same lot.

Architecture and Landscape Standards & Guidelines

House

1. The house facade is the most important aesthetic feature of the street corridor. The architecture of the façade should be brought forward to address the public street. To accomplish this the following standard have been written:
At least fifty (50) percent of the front house façade must fall within the twenty (20) to twenty-five (25) foot front yard minimum/maximum setback area. The garage door facade is not included in this calculation. Refer to the illustration below.
2. One ground floor entry shall be oriented to the front of the lot on a public or private street.
3. Balconies, entry bays and front porches are recommended to help enhance the human scale of the public street façade.

Garage

1. It is important the garage door does not dominate the architectural presence of the public street facade. To ensure the garage door is set back from the facade of the house the following standards have been written. The garage may be located in the rear yard, either attached to the rear of the house or detached from the house, or it can be attached to the side of the house with the following exceptions:
Under no condition shall the garage extend closer to the street than the front structural wall of the house facade. In this case the house facade excludes porches, entry bays, stoops, decks and any other similar elements. The garage door must be set back a minimum of three (3) feet from front corner of the structural wall it is attached to.

Landscape

1. Plans shall show the location, size and species of all existing trees on the site. Wherever, possible, healthy trees need to be saved.
2. Plans should use a good mix of plant species.
3. All proposed plans shall show the location and species of plants being used.
4. A minimum of thirty (30) percent of the front yard shall consist of planting beds with ground covers, shrubs or trees.

Duplex (Two-Family) Lot Standards

1. **Lot Area:** *Minimum Lot Area:* 11,000 Square Feet
2. **Lot Width:** *Minimum Lot width:* 90' Wide
3. **Height Regulation:** *Maximum Height:* In the Two-Family Residence District, no building or structure shall exceed two and one-half (2 1/2) stories and thirty-five (35) feet in height.
4. **Yard Requirements:**
 - a. **Front Yard - *Minimum Setback:*** Twenty (20) feet from the public right of way line. A front porch, entry bay, or front stoop may encroach into the front yard area up to five (5) feet. In no case shall any structural elements of the house be any closer than fifteen (15) feet to the public right of way.
Maximum Setback: Twenty-five (25) feet from the public right of way line.
 - b. **Side Yard - *Minimum Setback:*** A minimum of six (6) feet will be allowed and the combined total of both side yards may not be less than fourteen (14) feet.
Reverse corner lot minimum setback: A minimum fifteen (15) foot setback shall be provided for a side yard directly adjacent to a public street right of way.
 - c. **Rear Yard - *Minimum Setback:*** Thirty (30) feet from the rear lot line.
5. **Usable Open Space:** *Minimum amount per lot:* A minimum of seven hundred fifty (750) square feet of usable open space shall be provided per dwelling unit.
6. **Accessory Building Regulations:**
 - a. *Time of construction.* No assessor building or structure shall be constructed on any lot prior to the time of construction of the principal building to which it is accessory.

- b. *Percentage of Required Rear Yard Occupied.* No detached accessory building or buildings shall occupy more than fifty (50) percent of the area of the required rear yard. Any accessory building which exceeds four (4) automobile stalls or eight hundred (800) square feet of floor area shall first obtain a minor alteration or major alteration of the PUD at the discretion of the Alderman and Planning Director.
- c. *Height of Accessory Buildings in Required Rear Yards.* No detached accessory building located in a required rear yard shall exceed 15 feet in height.
- d. *Location.* No accessory building shall be erected in any yard except the rear yard, and all accessory buildings shall be located not less than three (3) feet from all lot lines and from any other building or structure on the same lot.

Architecture and Landscape Standards & Guidelines

House

1. At least fifty (50) percent of the front house façade must fall within the twenty (20) to twenty-five (25) foot front yard minimum/maximum setback area. The garage door facade is not included in this calculation. Refer to the illustration below.
2. Two ground floor entries shall be oriented to the front of the lot on a public or private street.
3. Balconies, entry bays and front porches are recommended to help enhance the human scale of the public street façade.

Garage

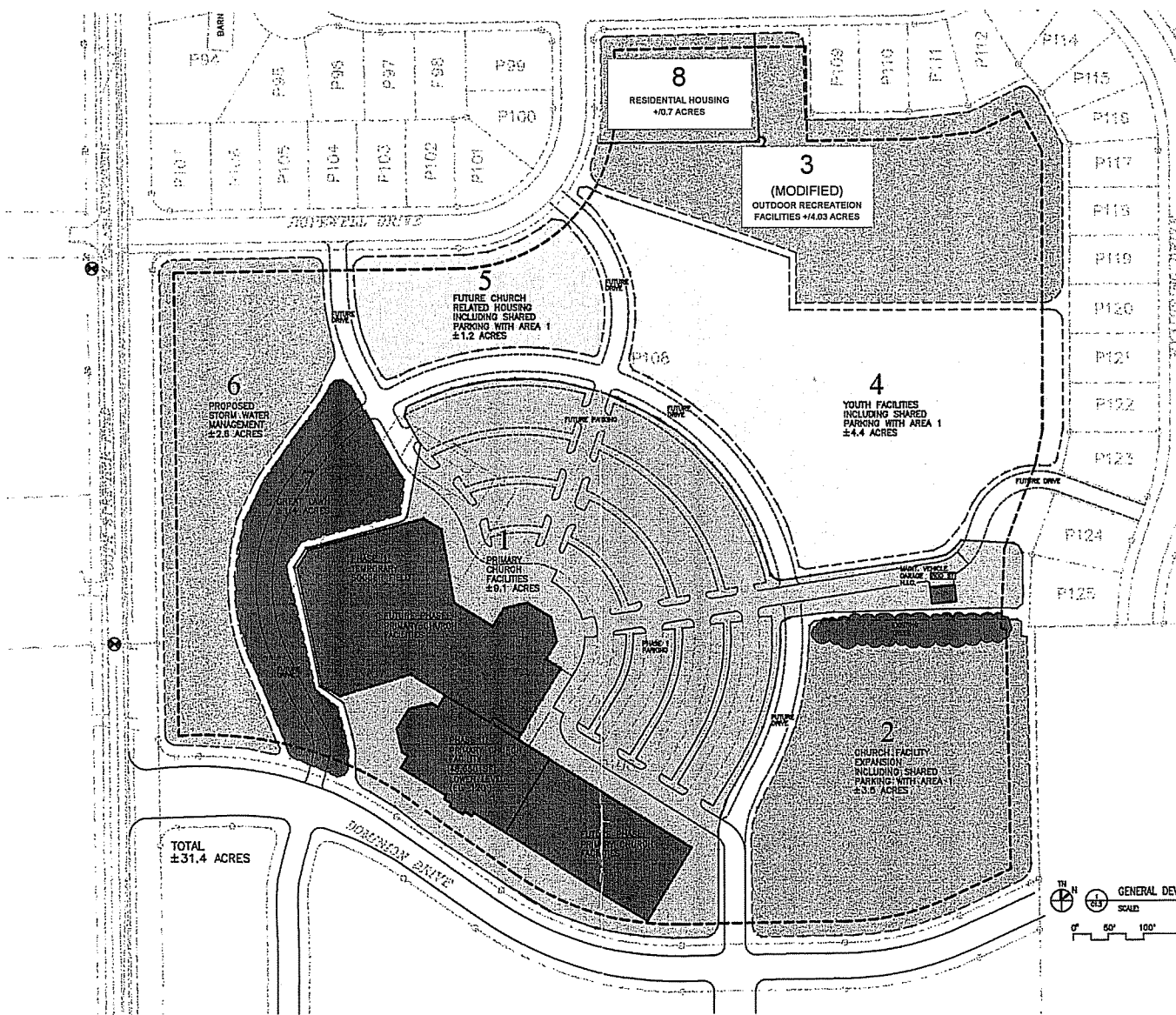
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2. Under no condition shall the garage extend closer to the street than the front structural wall of the house facade. In this case the house facade excludes porches, entry bays, stoops, decks and any other similar elements. The garage door must be set back a minimum of three (3) feet from front corner of the structural wall it is attached to.

Landscape

1. Plans shall show the location, size and species of all existing trees on the site. Wherever, possible, healthy trees need to be saved.
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4. A minimum of thirty (30) percent of the front yard shall consist of planting beds with ground covers, shrubs or trees.

**WILLIAMSON
SURVEYING &
ASSOCIATES, LLC**

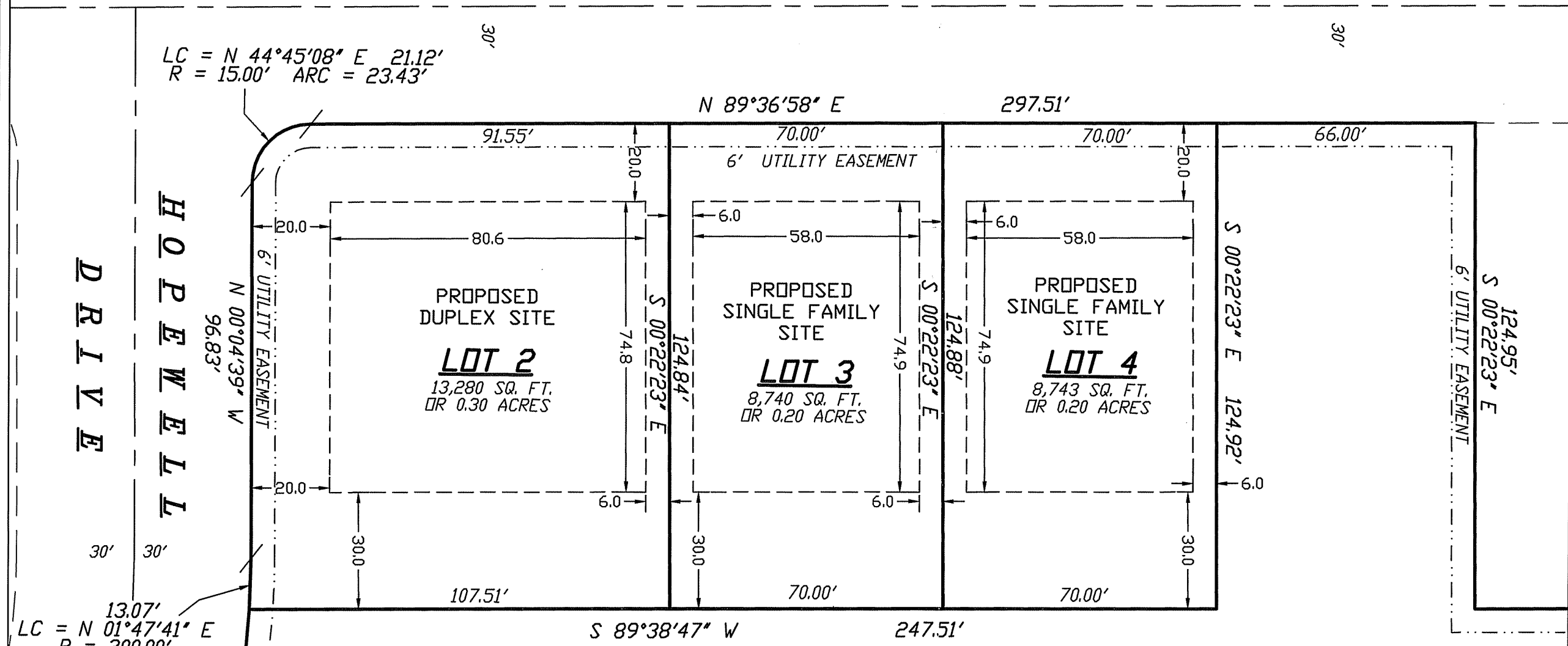
COPIED DRAWING IS FOR VISUAL AID ONLY
AND IS NOT TO SCALE. LEGIBILITY MAY BE
IMPAIRED DUE TO REPRODUCTIONS. SEE
ORIGINAL DRAWING IN THE GDP PLAN FOR
ANY INFORMATION ON AREAS 1, 2, 4, 5, 6, & 7



TOTAL
±31.4 ACRES

2025 File Number _____
 PROJECT OF _____
 Prepped By _____
 Drawn By _____
 Checked _____
 Date: 3/23/25
 BY: [Signature]
 TITLE: [Signature]
 AUGENDED GENERAL DEVELOPMENT PLAN
 Project Title: _____
 SUNCREEVE EVANGELICAL FREE CHURCH
 Project No. _____
 90001
 Date: 3/25/25
 Sheet No. _____

A N N E S T O W N D R I V E



DESCRIPTION:

BEING PART OF LOT 112 RESTON HIEGHTS, LOCATED IN THE SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4, SECTION 1, T7N, R10E, CITY OF MADISON, DANE COUNTY WISCONSIN.

NOTES:

- 1.) THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT FOR THE SUBJECT TRACT OR ADJOINERS AND IS THEREFORE SUBJECT TO ANY EASEMENTS, AGREEMENTS, RESTRICTIONS AND STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS.
- 2.) WETLANDS, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.
- 3.) FLOOD PLAIN, IF PRESENT, HAS NOT BEEN LOCATED OR SHOWN.

LOT 1

1,308,237 SQ. FT.
OR 30.03 ACRES

PROPOSED BUILDING SETBACKS

FRONT = 20' HOUSE, 15' FOR PORCH, ENTRY BAY OR FRONT STOOP
 SIDES = 6' MIN. WITH 14' TOTAL
 REAR = 30'

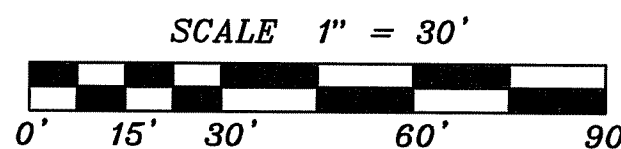
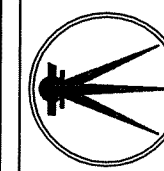
PREPARED FOR:

DOOR CREEK CHURCH
 6602 DOMINION DRIVE
 MADISON, WI 53718

SITE PLAN

BEING PART OF LOT 112 RESTON HIEGHTS, LOCATED IN THE SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4, SECTION 1, T7N, R10E, CITY OF MADISON, DANE COUNTY WISCONSIN.

DATE	MARCH 17, 2014	REVISION DATE	6-2-2014	CHECK BY	N.T.P.
SCALE	1" = 30'	REVISION DATE	7-15-2014	DRAWING NO.	14M-51
DRAWN BY	NEIL BORTZ			SHEET	1 OF 1



WILLIAMSON SURVEYING & ASSOCIATES, LLC
 104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597.
 NDA T. PRIEVE & CHRIS W. ADAMS
 REGISTERED LAND SURVEYORS
 PHONE: 608-255-5705 FAX: 608-849-9760 WEB: WILLIAMSONSURVEYING.COM



CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NOA T. PRIEVE & CHRIS W. ADAMS, REGISTERED LAND SURVEYORS
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Located in the SW 1/4 and SE 1/4 of the SW 1/4 of Section 1, and the NW 1/4 of the NW 1/4 of Section 12, all in T7N, R10E, City of Madison, Dane County, Wisconsin. Including all of Lot 112, Reston Heights.

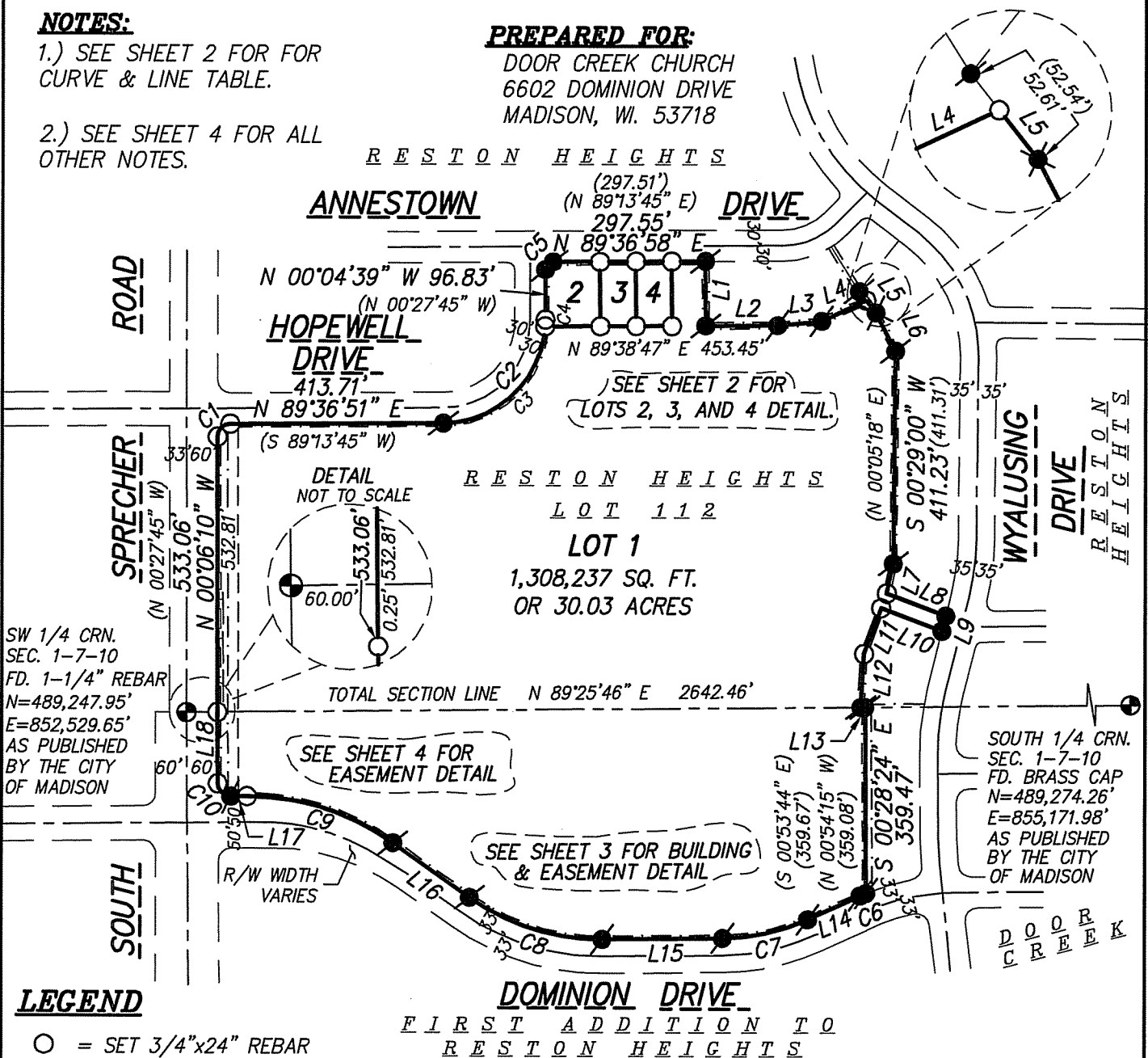
NOTES:

1.) SEE SHEET 2 FOR FOR CURVE & LINE TABLE.

2.) SEE SHEET 4 FOR ALL OTHER NOTES.

PREPARED FOR:

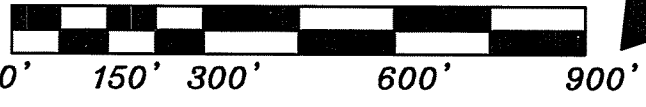
DOOR CREEK CHURCH
6602 DOMINION DRIVE
MADISON, WI. 53718



LEGEND

- = SET 3/4"x24" REBAR
WT 1.5 LB PER LIN FT
- = FOUND 3/4" REBAR
- ⊙ = FOUND 1 1/4" REBAR
- ⊗ = FOUND 1 1/4" PIPE
- ⊕ = FOUND DANE COUNTY SECTION CORNER (AS NOTED)
- (##) = RECORDED AS

SCALE 1" = 300'



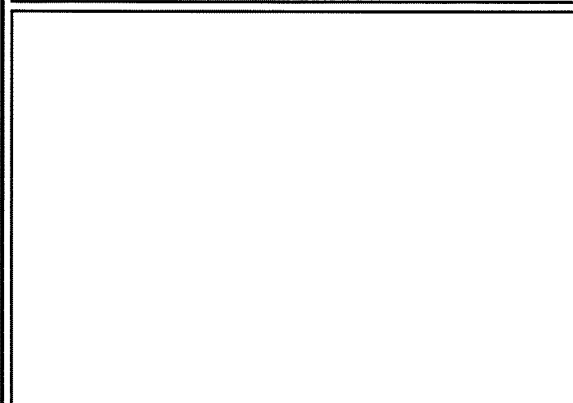
DOCUMENT NO. _____

CERTIFIED SURVEY MAP NO. _____



WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY BEARINGS ARE REFERENCED TO THE SOUTH LINE OF THE SW 1/4 OF SECTION 1-7-10. LINE TO BEAR N 89°25'46" E

SURVEYORS SEAL





CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

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104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

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RESTON HEIGHTS

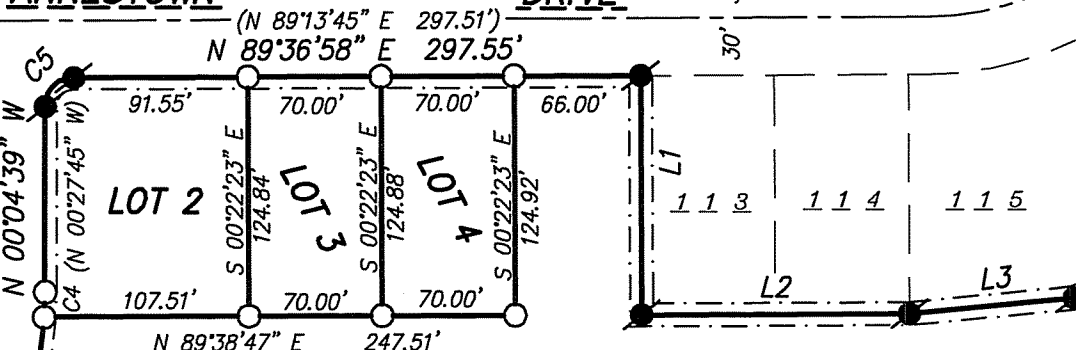
SCALE 1" = 100'



WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY BEARINGS ARE REFERENCED TO THE SOUTH LINE OF THE SW 1/4 OF SECTION 1-7-10. LINE TO BEAR N 89°25'46" E

ANNESTOWN DRIVE

DRIVE



LOT 1

1,308,237 SQ. FT.

OR 30.03 ACRES

LOT 112

RESTON HEIGHTS

EX. 6' WIDE UTILITY EASEMENT

LOT AREA TABLE

LOT	SQ. FT.	ACRES
2	13,280	0.30
3	8,740	0.20
4	8,743	0.20

CURVE TABLE

C#	RADIUS	CHORD BEARING	DISTANCE	ARC LENGTH	DELTA	TAN. IN	TAN. OUT
C1	25.00'	N 44°46'06" E	35.26'	39.14'	89°41'29"	N 00°04'38" W	N 89°36'51" E
C1		(N 44°23'00" E)			(89°41'30")		
C2	200.00'	N 44°46'06" E	282.08'	313.08'	89°41'29"	N 89°36'51" E	N 00°04'38" W
C2		(N 44°23'00" E)			(89°41'30")		
C3	200.00'	N 46°38'26" E	272.66'	300.01'	85°56'50"	N 89°36'51" E	N 03°40'01" E
C4	200.00'	N 01°47'41" E	13.07'	13.07'	03°44'39"	N 03°40'01" E	N 00°04'38" W
C5	15.00'	N 44°45'08" E	21.12'	23.43'	89°29'48"	N 00°00'14" E	N 89°30'02" E
C5		(N 44°23'00" E)	(21.16')	(23.48')	(89°41'30")		
C6	450.00'	S 66°18'34" W	12.79'	12.79'	01°37'43"	S 67°07'25" W	S 65°29'43" W
C6		(S 65°55'58" W)			(01°37'42")	(N 66°44'49" E)	
C7	409.00'	S 77°27'30" W	169.56'	170.80'	23°55'36"	S 65°29'42" W	S 89°25'18" W
C7		(S 77°04'54.5" W)			(23°55'35")		
C8	442.00'	N 72°38'21" W	271.59'	276.06'	35°47'06"	S 89°28'06" W	N 54°44'48" W
C8		(N 73°02'35" W)	(271.88')	(276.36')	(35°49'26")		
C9	483.00'	N 72°38'37" W	296.99'	301.88'	35°48'39"	N 54°44'18" W	S 89°27'03" W
C9		(N 73°02'22" W)	(297.04')	(301.94')	(35°49'02")		
C10	25.00'	N 45°31'58" W	35.39'	39.32'	90°06'32"	S 89°24'46" W	N 00°28'42" W
C10		(N 45°55'04" W)	(35.37')	(39.30')	(90°03'38")		

LINE TABLE

L#	BEARING	DISTANCE	L#	BEARING	DISTANCE
L1	S 00°22'23" E	124.95'	L10	N 69°22'39" W	125.59'
L1	(S 00°46'15" E)	(125.00')	L10	(N 69°40'08" W)	
L2	N 89°38'47" E	139.93'	L11	S 20°41'13" W	94.83'
L2	(N 89°13'45" E)	(140.00')	L11	(S 20°19'52" W)	
L3	N 84°27'03" E	86.27'	L12	S 03°11'43" W	103.69'
L3	(S 84°01'17" W)	(86.21')	L12	(N 02°42'14" E)	
L4	N 64°47'34" E	95.42'	L13	N 89°25'46" E	8.07'
L4	(S 64°25'45" W)	(95.47')	L13	(N 89°02'20" E)	(8.00')
L5	S 38°22'36" E	30.31'	L14	S 65°29'43" W	111.92'
L5	(N 39°01'22" W)	(30.27')	L14	(N 65°07'07" E)	
L6	S 27°24'31" E	83.47'	L15	S 89°25'09" W	235.07'
L6	(S 27°45'14" E)	(83.45')	L15	(N 89°02'42" E)	(235.01')
L7	S 12°10'43" W	59.08'	L16	N 54°44'01" W	182.80'
L7	(N 11°54'52" E)		L16	(S 55°07'52" E)	(182.83')
L8	S 69°22'39" E	122.03'	L17	S 89°27'03" W	31.58'
L8	(S 69°40'08" E)		L17	(N 89°03'07" E)	(31.64')
L9	S 14°01'01" W	30.22'	L18	N 00°24'16" W	137.75'
L9	(S 13°33'01" E)	(30.21')	L18	(N 00°53'15" W)	(137.76')

SURVEYORS SEAL

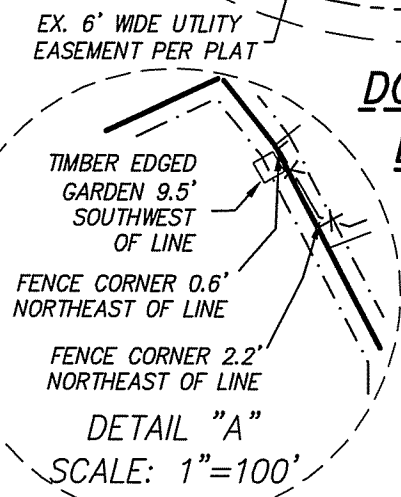
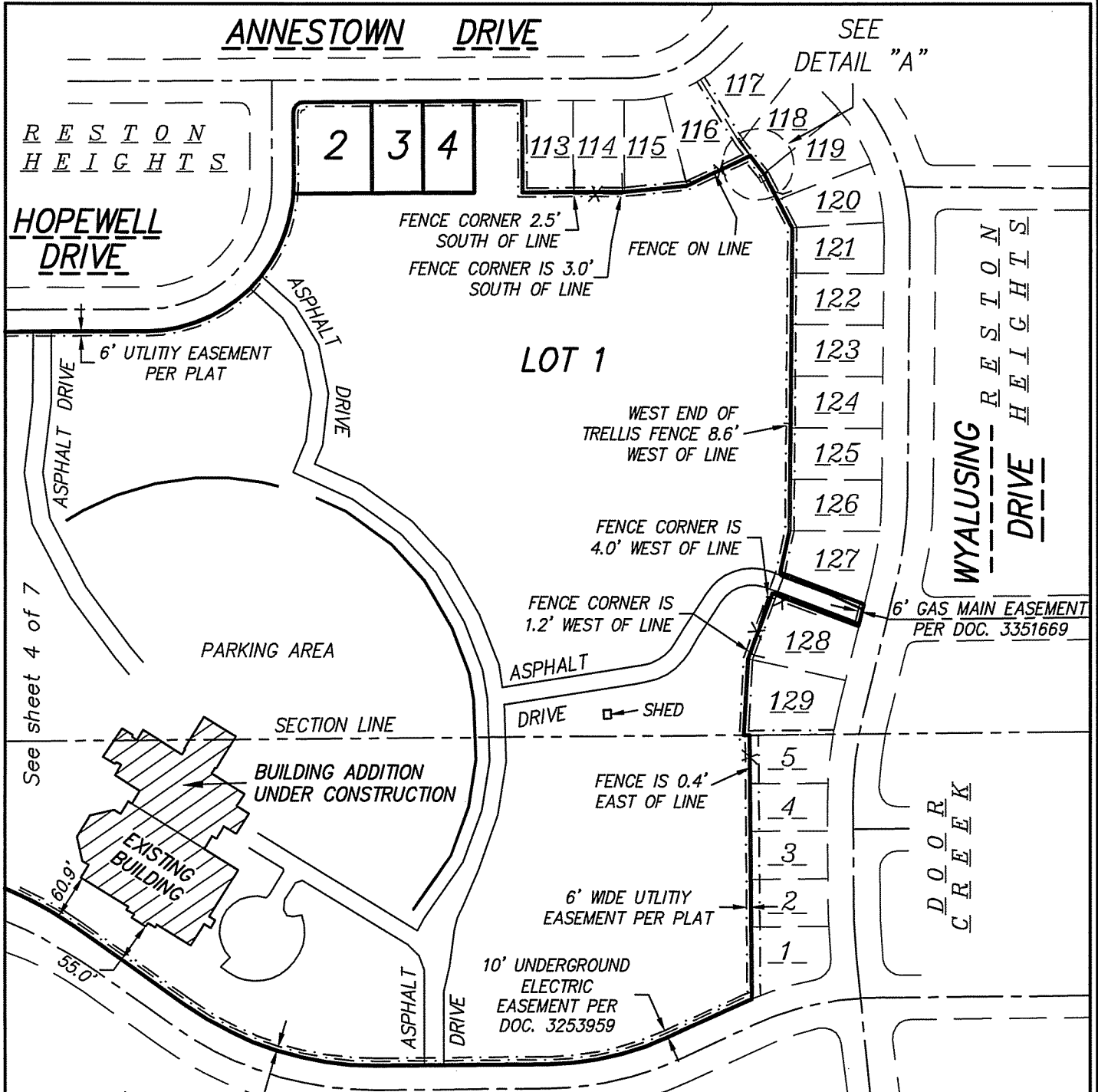


CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NOA T. PRIEVE & CHRIS W. ADAMS, REGISTERED LAND SURVEYORS
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Located in the SW 1/4 and SE 1/4 of the SW 1/4 of Section 1, and the NW 1/4 of the NW 1/4 of Section 12, all in T7N, R10E, City of Madison, Dane County, Wisconsin. Including all of Lot 12, Reston Heights.



DOMINION DRIVE

SCALE = 1" = 200'

WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY BEARINGS ARE REFERENCED TO THE SOUTH LINE OF THE SW 1/4 OF SECTION 1-7-10. LINE TO BEAR N 89°25'46" E

SURVEYORS SEAL



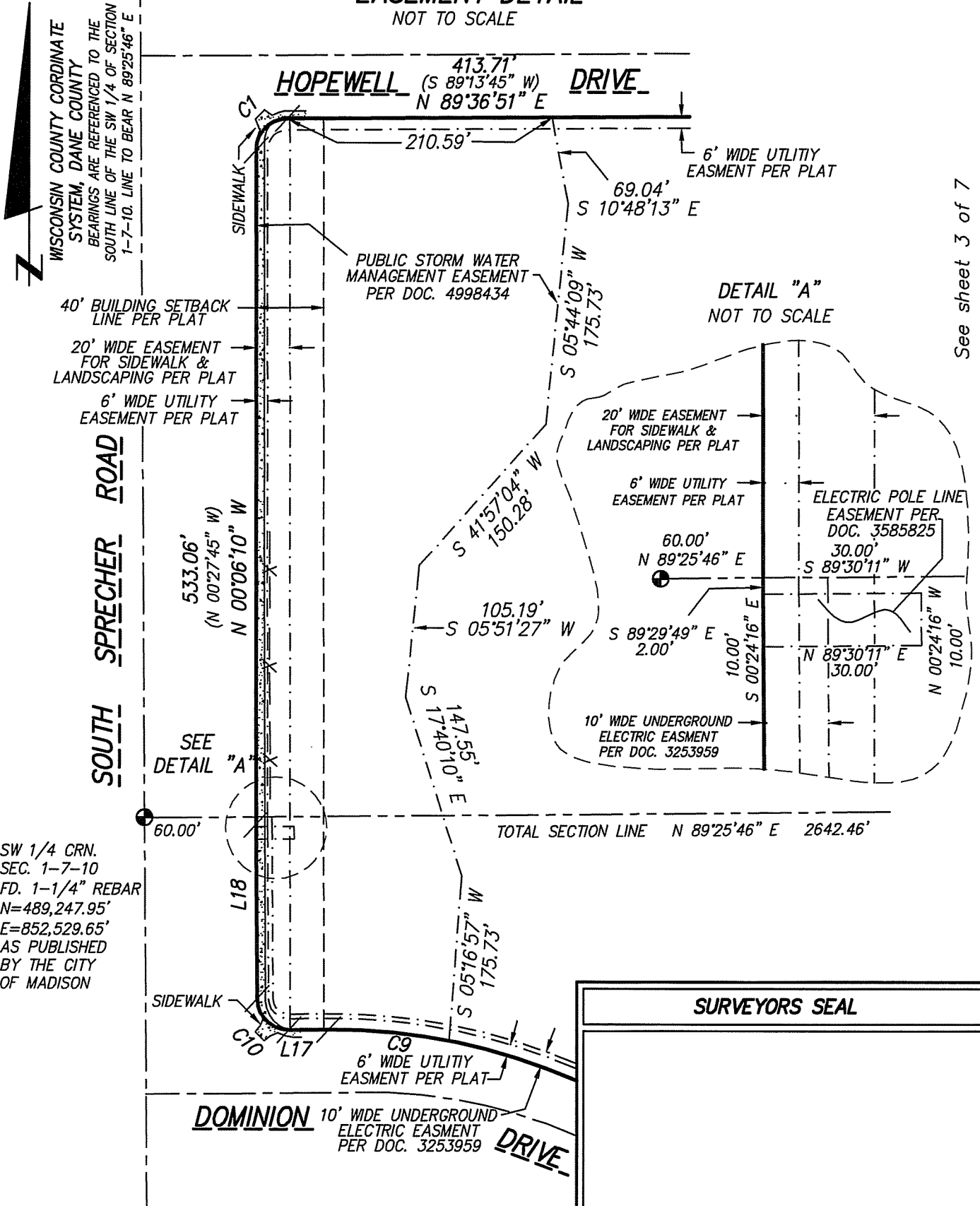
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EASEMENT DETAIL NOT TO SCALE



See sheet 3 of 7

SURVEYORS SEAL

DOCUMENT NO. _____

CERTIFIED SURVEY MAP NO. _____



CERTIFIED SURVEY MAP

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Located in the SW 1/4 and SE 1/4 of the SW 1/4 of Section 1, and the NW 1/4 of the NW 1/4 of Section 12, all in T7N, R10E, City of Madison, Dane County, Wisconsin. Including all of Lot 112, Reston Heights.

NOTES:

- 1.) THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT FOR THE SUBJECT TRACT OR ADJOINERS AND IS THEREFORE SUBJECT TO ANY EASEMENTS, AGREEMENTS, RESTRICTIONS AND STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS.
- 2.) WETLANDS, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.
- 3.) FLOOD PLAIN, IF PRESENT, HAS NOT BEEN LOCATED OR SHOWN.
- 4.) SUBJECT TO A DECLARATION OF CONDITIONS AND COVENANTS RECORDED DECEMBER 1, 1998, AS DOCUMENT No. 3052768.
- 5.) SUBJECT TO THE RESTRICTIONS FOR RESTON HEIGHTS RECRDED DECEMBER 28, 1999, AS DOCUMENT No. 3181291. FIRST AMENDMENT RECORDED DECEMBER 14, 2000, AS DOCUMENT No. 3272972. SECOND AMENDMENT RECORDED SEPTEMBER 26, 2001, AS DOCUMENT No. 3377795. THIRD AMENDMENT RECORDED OCTOBER 16, 2001, AS DOCUMENT No. 3567915. FOURTH AMENDMENT RECORDED NOVEMBER 18, 2003, AS DOCUMENT No. 3842274. FIFTH AMENDMENT RECORDED JANUARY 7, 2005, AS DOCUMENT No. 4009575.

CITY OF MADISON COMMON COUNCIL:

Resolved that this Certified Survey Map located in the City of Madison was hereby approved by Enactment number _____, File ID Number _____, adopted on the _____ day of _____, 20____, and that said enactment further provided for the acceptance of those lands dedicated and rights conveyed by said Certified Survey Map to the City of Madison for public use.

Dated this _____ day of _____, 20____

Maribeth Witzel-Behl
City of Madison, Dane County

CITY OF MADISON PLAN COMMISSION:

Approved for recording per Secretary, Madison Planning Commission action of _____ day of _____, 20____

Steven R. Cover
Secretary Plan Commission

SURVEYORS SEAL



CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NOA T. PRIEVE & CHRIS W. ADAMS, REGISTERED LAND SURVEYORS
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Located in the SW 1/4 and SE 1/4 of the SW 1/4 of Section 1, and the NW 1/4 of the NW 1/4 of Section 12, all in T7N, R10E, City of Madison, Dane County, Wisconsin. Including all of Lot 112, Reston Heights.

SURVEYOR'S CERTIFICATE

I, Noa T. Prieve, Registered Land Surveyor hereby certify that in full compliance with the provisions of Chapter 236.34 Wisconsin Statutes, the subdivision regulations of City of Madison, and by the direction of the owners listed below, I have surveyed, divided, and mapped a correct representation of all of the exterior boundaries of the land surveyed, being part of the SW 1/4 and SE 1/4 of the SW 1/4 of Section 1, and the NW 1/4 of the NW 1/4 of Section 12, all in T7N, R10E, City of Madison, Dane County, Wisconsin, including all of Lot 112, Reston Heights, more particularly described as follows:

Commencing at the Southwest corner of said Section 1; thence along the south line of said SW 1/4 of Section 1, N 89°25'46" E, 60.00 feet to the point of beginning; thence N 00°06'10" W, 532.81 feet; thence along the arc of a curve concaved southeasterly having a radius of 25.00 feet and a long chord bearing N 44°46'06" E, a distance of 35.26 feet; thence N 89°36'51" E, 413.71 feet; thence along the arc of a curve concaved northwesterly having a radius of 200.00 feet and a long chord bearing N 44°46'06" E, a distance of 282.08 feet; thence N 00°04'39" W, 96.83 feet; thence along the arc of a curve concaved southeasterly having a radius of 15.00 feet and a long chord bearing N 44°45'08" E, a distance of 21.12 feet; thence N 89°36'58" E, 297.55 feet; thence S 00°22'23" E, 124.95 feet; thence N 89°38'47" E, 139.93 feet; thence N 84°27'03" E, 86.27 feet; thence N 64°47'34" E, 95.42 feet; thence S 38°22'36" E, 30.31 feet; thence S 27°24'31" E, 83.47 feet; thence S 00°29'00" W, 411.23 feet; thence S 12°10'43" W, 59.08 feet; thence S 69°22'39" E, 122.03 feet; thence S 14°01'01" W, 30.22 feet; thence N 69°22'39" W, 125.59 feet; thence S 20°41'13" W, 94.83 feet; thence S 03°11'43" W, 103.69 feet to said south line of the SW 1/4 of Section 1; thence along said south line of the SW 1/4 of Section 1, N 89°25'46" E, 8.07 feet; thence S 00°28'24" E, 359.47 feet; thence along the arc of a curve concaved southerly having a radius of 450.00 feet and a long chord bearing S 66°18'34" W, a distance of 12.79 feet; thence S 65°29'43" W, 111.92 feet; thence along the arc of a curve concaved northerly having a radius of 409.00 feet and a long chord bearing S 77°27'30" W, a distance of 169.56 feet; thence S 89°25'09" W, 235.07 feet; thence along the arc of a curve concaved northerly having a radius of 442.00 feet and a long chord bearing N 72°38'21" W, a distance of 271.59 feet; thence N 54°44'01" W, 182.80 feet; thence along the arc of a curve concaved southerly having a radius of 483.00 feet and a long chord bearing N 72°38'37" W, a distance of 296.99 feet; thence S 89°27'03" W, 31.58 feet; thence along the arc of a curve concaved northeasterly having a radius of 25.00 feet and a long chord bearing N 45°31'58" W, a distance of 35.39 feet; thence N 00°24'16" W, 137.75 feet; thence N 00°06'10" W, 0.25 feet to the point of beginning. This parcel contains 1,339,000 square feet or 30.74 acres.

Williamson Surveying and Associates, LLC
by Noa T. Prieve & Chris W. Adams

Date _____

Noa T. Prieve S-2499
Registered Land Surveyor

OWNERS' CERTIFICATE:

Door Creek Church, Inc., a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the lands described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented on the Certified Survey Map.

Door Creek Church, Inc., does further certify that this Certified Survey Map is required to be submitted to the following for approval or objection: Common Council, City of Madison

WITNESS the hand seal of said owners this _____ day of _____, 20____.

Door Creek Church, Inc.

STATE OF WISCONSIN)
DANE COUNTY)

Lisa Taylor, Registered Agent

Personally came before me this _____ day of _____, 20____ the above named Lisa Taylor, Door Creek Church, Inc., acting in said capacity and known by me to be the person who executed the foregoing instrument and acknowledge the same.

County, Wisconsin.

My commission expires _____

Notary Public

Print Name

SURVEYORS SEAL



CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NOA T. PRIEVE & CHRIS W. ADAMS, REGISTERED LAND SURVEYORS
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Located in the SW 1/4 and SE 1/4 of the SW 1/4 of Section 1, and the NW 1/4 of the NW 1/4 of Section 12, all in T7N, R10E, City of Madison, Dane County, Wisconsin. Including all of Lot 112, Reston Heights.

CONSENT OF MORTGAGEE:

Buckeye Evangelical Free Church, Inc., a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the described land, does hereby consent to the surveying, dividing, dedication and mapping of the land described on this certified survey map and does hereby consent to the above owners certificate.

IN WITNESS WHEREOF, the said Bache Funding Corp. of Wisconsin, has caused these presents to be signed by its corporate officer listed below at _____, Wisconsin and its corporate seal hereunto affixed on this ____ day of _____, 20____.

Buckeye Evangelical Free Church, Inc.

Authorized Representative

STATE OF WISCONSIN)
DANE COUNTY)

Personally came before me this ____ day of _____, 20____, _____ its _____ of the above named corporation, to me known to be the person who executed the foregoing instrument and to me known to be such officer of said corporation, and acknowledge that they executed the foregoing instrument as such officer as the deed of said corporation, by its authority.

Notary Public

_____ County, Wisconsin.

My commission expires _____

REGISTER OF DEEDS:

Received for recording this ____ day of _____, 20____ at ____ o'clock ____M. and recorded in Volume _____ of Dane County Certified Surveys on pages _____ through _____.

Kristi Chlebowski
Register of Deeds

SURVEYORS SEAL

DOCUMENT NO. _____

CERTIFIED SURVEY MAP NO. _____