

LANDMARKS COMMISSION APPLICATION

LC

Complete all sections of this application, making sure to note the requirements on the accompanying checklist (reverse).

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call (608) 266-4635

City of Madison
Planning Division
215 Martin Luther King Jr Blvd, Ste 017
PO Box 2985
Madison, WI 53701-2985
(608) 266-4635



1. LOCATION

Project Address: _____ Alder District: _____

2. PROJECT

Project Title/Description: _____

This is an application for: (check all that apply)

- ☐ **New Construction/Alteration/Addition in a Local Historic District or Designated Landmark** (specify):
- ☐ Mansion Hill ☐ Third Lake Ridge ☐ First Settlement
- ☐ University Heights ☐ Marquette Bungalows ☐ Landmark
- ☐ **Land Division/Combination in a Local Historic District or to Designated Landmark Site** (specify):
- ☐ Mansion Hill ☐ Third Lake Ridge ☐ First Settlement
- ☐ University Heights ☐ Marquette Bungalows ☐ Landmark
- ☐ **Demolition**
- ☐ **Development adjacent to a Designated Landmark**
- ☐ **Variance from the Historic Preservation Ordinance (Chapter 41)**
- ☐ **Landmark Nomination/Rescission or Historic District Nomination/Amendment**
(Please contact the Historic Preservation Planner for specific Submission Requirements.)
- ☐ **Informational Presentation**
- ☐ **Other** (specify): _____

DPCED USE ONLY	Registrar #:
	DATE STAMP RECEIVED 3/12/25

3. APPLICANT

Applicant's Name: _____ Company: _____

Address: _____
Street City State Zip

Telephone: _____ Email: _____

Property Owner (if not applicant): _____

Address: _____
Street City State Zip

Property Owner's Signature: _____ Date: _____

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

4. APPLICATION SUBMISSION REQUIREMENTS (see checklist on reverse)

All applications must be filed by 12:00pm on the submission date with the Preservation Planner. Applications submitted after the submission date or incomplete applications will be postponed to the next scheduled filing time. Submission deadlines can be viewed here: https://www.cityofmadison.com/dpced/planning/documents/LC_Meeting_Schedule_Dates.pdf

APPLICATION SUBMISSION REQUIREMENTS CHECKLIST:

In order to be considered complete, every application submission shall include at least the following information unless otherwise waived by the Preservation Planner. **All application materials should be submitted electronically to landmarkscommission@cityofmadison.com.** Please note that an individual email cannot exceed 20 MB.

- ☐ Landmarks Commission Application w/signature of the property owner.
- ☐ Narrative Description/Letter of Intent addressed to the Landmarks Commission, describing the location of the property and the scope of the proposed project.
 - ☐ Photographs of existing conditions;
 - ☐ Photographs of existing context;
 - ☐ Photographs of comparable historic resources within 200 feet of subject property;
 - ☐ Manufacturer's product information showing dimensions and materials.
- ☐ Architectural drawings reduced to 11" x 17" or smaller pages which may include:
 - ☐ Dimensioned site plans showing siting of structures, grading, landscaping, pedestrian and vehicular access, lighting, mechanicals, signage, and other features;
 - ☐ Elevations of all sides showing exterior features and finishes, subsurface construction, floor and roof;
 - ☐ Floor Plan views of levels and roof;
 - ☐ For proposals of more than two (2) commercial or residential or combination thereof units, a minimum of two (2) accurate street-view normal perspectives shown from a viewpoint of no more than five (5) feet above existing grade.
- ☐ Any other information requested by the Preservation Planner to convey the aspects of the project which may include:
 - ☐ Perspective drawing
 - ☐ Other _____

Landmarks Commission staff will preliminarily review projects related to the construction of additions and/or new construction with Zoning staff in order to determine the completeness of the submission materials. Applicants are encouraged to contact Zoning staff to discuss projects early in the process to ensure the project considered by the Landmarks Commission meets Zoning requirements.

CONTACT THE PRESERVATION PLANNER:

Please contact the Preservation Planner with any questions.

City of Madison Planning Division
215 Martin Luther King Jr Blvd, Suite 017
PO Box 2985 (mailing address)
Madison, WI 53701-2985
landmarkscommission@cityofmadison.com
(608) 266-6552



Huang / Markhardt Residence

2110 Bascom Street, Madison WI

Project Narrative

Huang Remodel & Addition
2110 Bascom Street, Madison, WI 53726

This is a 1924 Provincial Tudor style home which has maintained its charm for over 100 years.

The main intention for this project is to address accessibility issues for the current homeowners & create more practical spaces throughout the house. This includes a rear addition to the home that will add a lower level two car garage, a lower-level mud/laundry room, a main floor primary suite with accessible bathroom, a main floor kitchen expansion with walk-in-pantry, a second-floor flex room, and an elevator to access all floors.

The remodeling work is to address necessary repairs and cosmetic updates that include exterior stucco cracking, window repairs/replacements when necessary, re-finishing hardwood floors, a fireplace conversion, lower staircase modification to bring risers up to code, bathroom updates, a new main floor powder room, & creating an additional primary bathroom on the 2nd floor.

Our goal is to make this addition blend with the existing design and continue its natural charm while bringing in some modern conveniences to make this the best home for the Huang Family.



Huang / Markhardt Residence

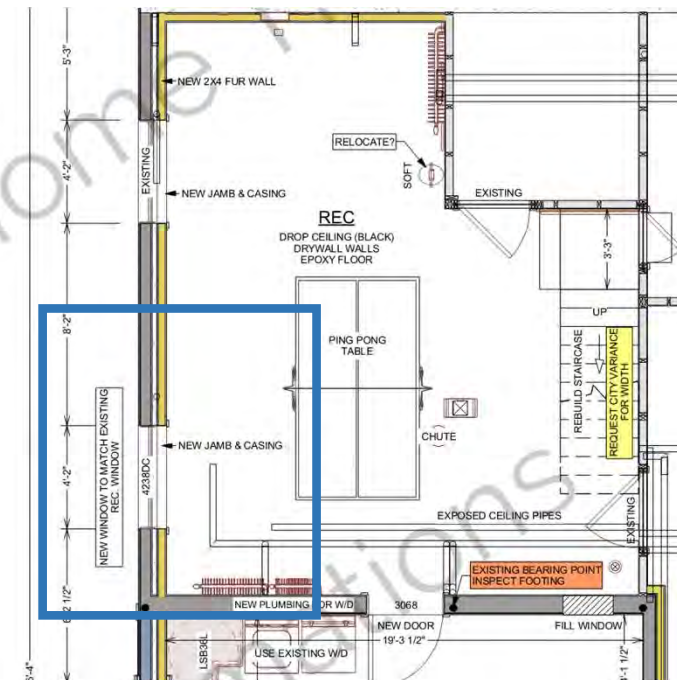
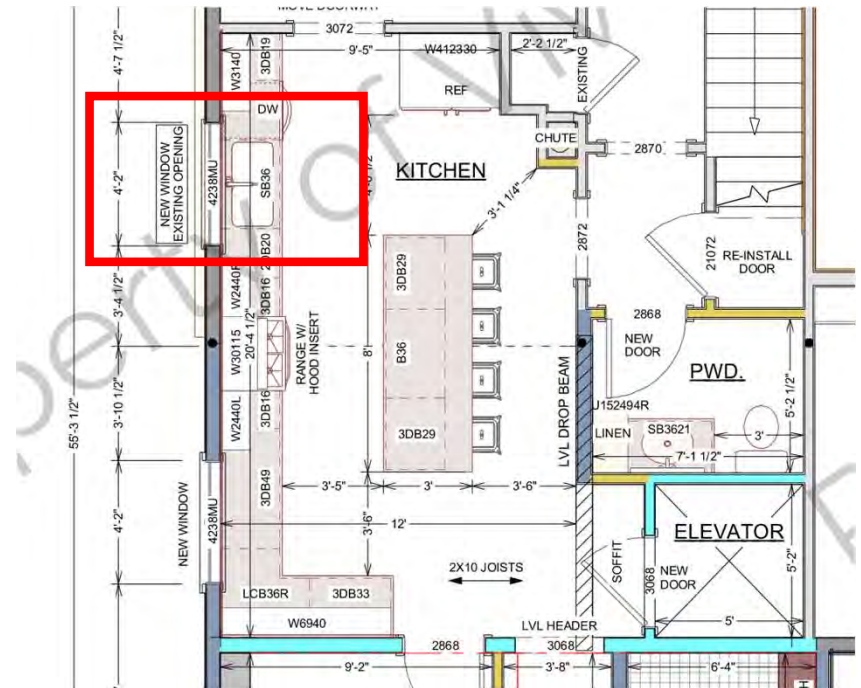
2110 Bascom Street, Madison WI

Replacement of Existing Windows:

We are replacing the **existing Kitchen window** because it will need to match our new kitchen window (part of the addition).



We are replacing the **existing lower-level Rec Room window** because it will need to match the other window in that room that has already been replaced.



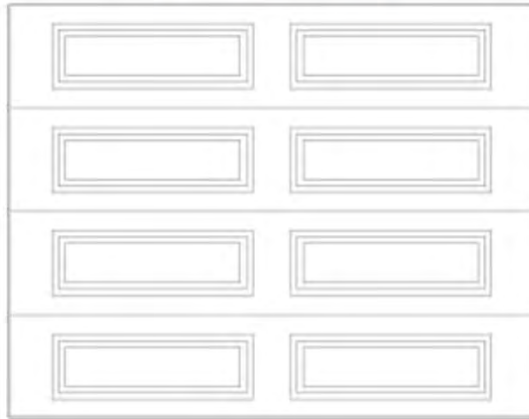


Huang / Markhardt Residence
2110 Bascom Street, Madison WI

Garage Door

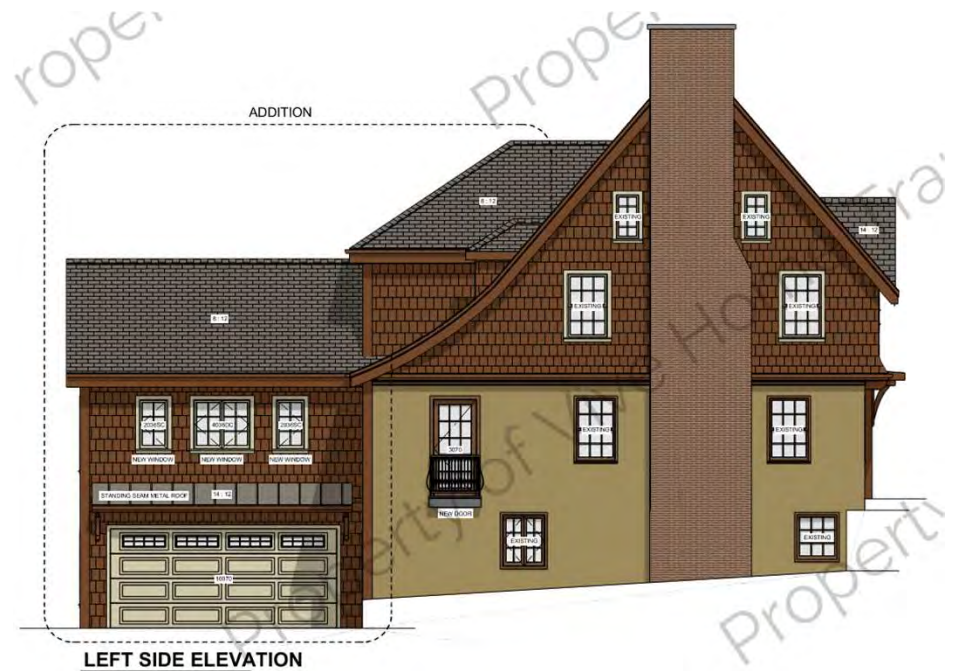
Garage Door Panel Style:

Raised Panel Long



Garage Door Window Style:

Glass Style: Clear



Section Detail



Available in both short and long panel options. The raised panels start with a recessed edge, but the interior surface of each panel is brought slightly forward, adding just a hint of definition to a classic garage door design.



Long Raised Panel



Pella® Reserve™
Traditional Wood & Clad/Wood





Pella® Reserve™
Traditional Wood & Clad/Wood



Exterior Finishes

Our low-maintenance, aluminum-clad interiors with EnduraClad® resist chalking and fading and are available in a wide variety of colors plus virtually unlimited custom options. Take durability further with EnduraClad Plus protective finish, which meets the industry's highest exterior coating standard to defend against chalking and fading. ²⁶



Dual Sidelights



Traditional Style Grills





Huang / Markhardt Residence
2110 Bascom Street, Madison WI

Roof Shingles – 3 tab



We
protect
what
matters
most™

Royal Sovereign®



Specs & Codes

Specifications (All Dimensions Are Nominal)

Pieces/Square	79
Bundles/Square	3
Nails/Square¹	316
Exposure	5" (127 mm)
Dimensions	12"x 36" (English); 13 1/4"x 39 3/8" (Metric)

Applicable Standards & Protocols

- Fire - UL Listed to ANSI/UL 790 Class A
- Wind - ASTM D7158, Class H
- Wind - ASTM D3161, Class F
- National - ASTM D3018, Type 1
- National - ASTM D3462* *
- National - Classified in accordance with ICC-ES AC438
- Regional - Miami-Dade County Product Control Approved***
- Regional - State of Florida Approved
- Regional - Texas Department of Insurance Listed
- Regional - ICC-ES ESR- 1475* * * *
- Regional - ICC-ES ESR- 3267



Huang / Markhardt Residence
2110 Bascom Street, Madison WI

Fascia (smooth) & Soffit (smooth)

TRIM & FASCIA

LP® SmartSide® ExpertFinish® Trim & Fascia are the finishing touch that's the first to get noticed. With deep cedar-grain texture and brushed smooth options as well as a variety of widths and thicknesses, you can add custom design accents that take curb appeal to the next level. LP SmartSide ExpertFinish Trim is a must-have product for when you want your craftsmanship to stand out on any home or shed.



Brushed Smooth



LP SMARTSIDE EXPERTFINISH
BRUSHED SMOOTH TRIM

Shown in ExpertFinish color Garden Sage

Specifications: LP® SmartSide® Soffit

BRUSHED SMOOTH SOFFIT

THE FINAL DETAIL TO MAXIMIZE CURB APPEAL

- Cut-to-width can help to eliminate time spent cutting full sheets down to size
- 38 Series engineered for closed soffit applications
- Treated with the SmartGuard® process for superior protection against many weather conditions and resistance to termites and fungal decay



Brushed Smooth

38 SERIES BRUSHED SMOOTH SOFFIT – CUT-TO-WIDTH



DESCRIPTION	LENGTH	ACTUAL WIDTH	THICKNESS	PID NUMBER	WEIGHT
38 Series Brushed Smooth Soffit – Cut-to-Width	16 ft. (192 in.) (4.9 m)	11.94 in. (303 mm)	0.354 in. (9 mm)	46005	-
	16 ft. (192 in.) (4.9 m)	15.94 in. (405 mm)	0.354 in. (9 mm)	46006	-
	16 ft. (192 in.) (4.9 m)	23.94 in. (608 mm)	0.354 in. (9 mm)	46009	-



Huang / Markhardt Residence
2110 Bascom Street, Madison WI

Straight Cedar Shake



Straight

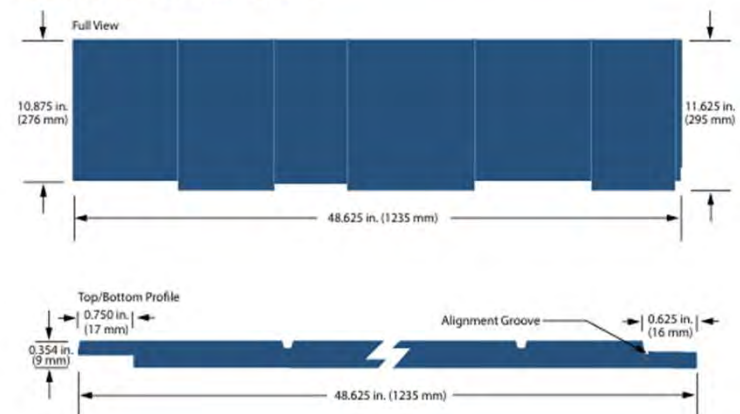
Specifications: LP® SmartSide® Shakes

CEDAR TEXTURE SHAKES

THE LUXURIOUS APPEAL OF CEDAR

- The look of traditional cedar with more durability for easier maintenance over time
- Staggered edges offer a lively, textured effect
- Can be used as a decorative accent or on the entire structure
- Shiplap ends for a clean appearance
- Reversible staggered or straight edge offers exceptional design versatility
- Treated with the SmartGuard® process for superior protection against many weather conditions and resistance to termites and fungal decay

38 SERIES CEDAR TEXTURE SHAKES



SHEET SIZE: 11"X17"

SHEET INDEX	
ID	NAME
A-1	ELEVATIONS
A-2	ELEVATIONS
A-3	DEMO PLAN
A-4	FND & LOWER FINISH
A-5	MAIN & 2ND FLR FINISH
A-6	ROOF PLAN & SECTION
A-7	SITE PLAN
A-8	EXTERIOR RENDERINGS
A-9	OVERHEAD RENDERINGS
A-10	INTERIOR RENDERINGS



FRONT ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING PHOTO:



REAR ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING PHOTO:

A-1	ELEVATIONS	
	DATE	DESCRIPTION
	03/10/25	LANDMARK SUBMITTAL
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EXISTING PHOTO:



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Madison, WI 53719
(608) 437-6181

VIVE

HOME TRANSFORMATIONS

Huang
Remodel/Addition
2110 Bascom Street, Madison, WI 53726

DATE	DESCRIPTION
03/10/25	LANDMARK SUBMITTAL
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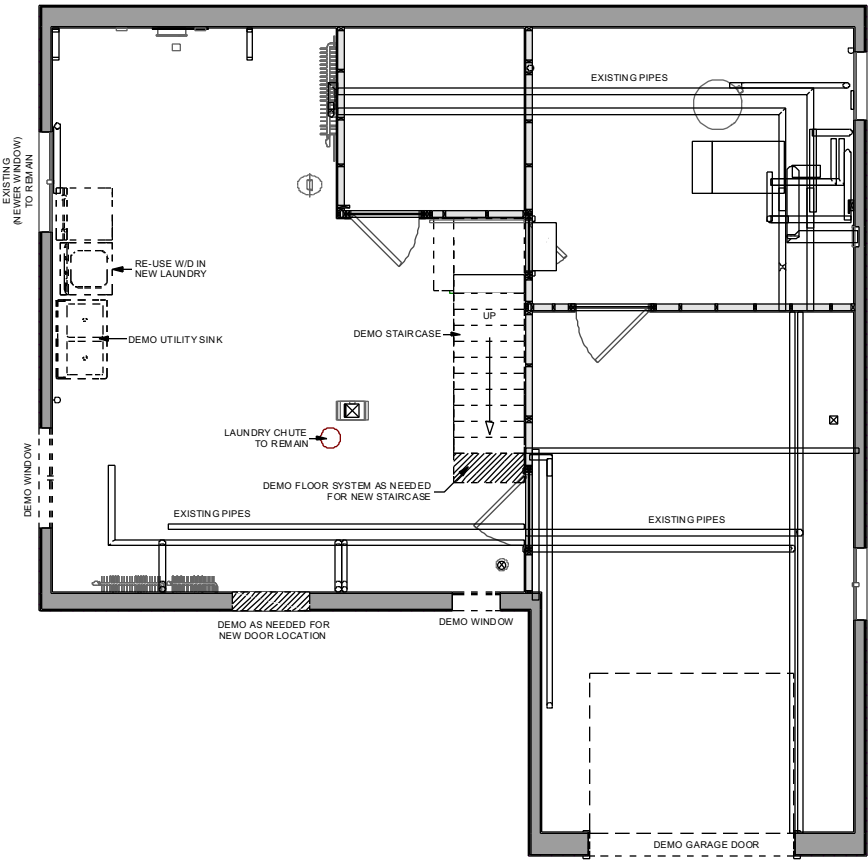
ELEVATIONS

A-2

SHEET SIZE: 11"X17"

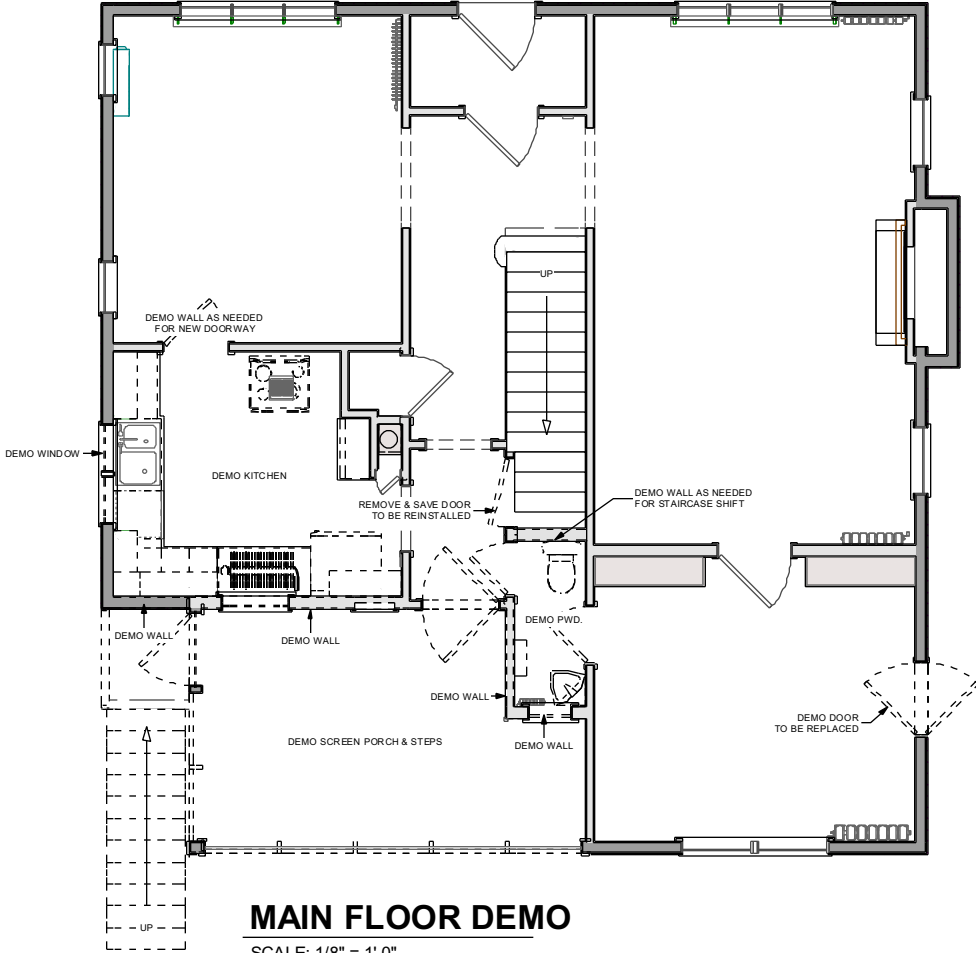


EXISTING PHOTO: (MAIN FLR)



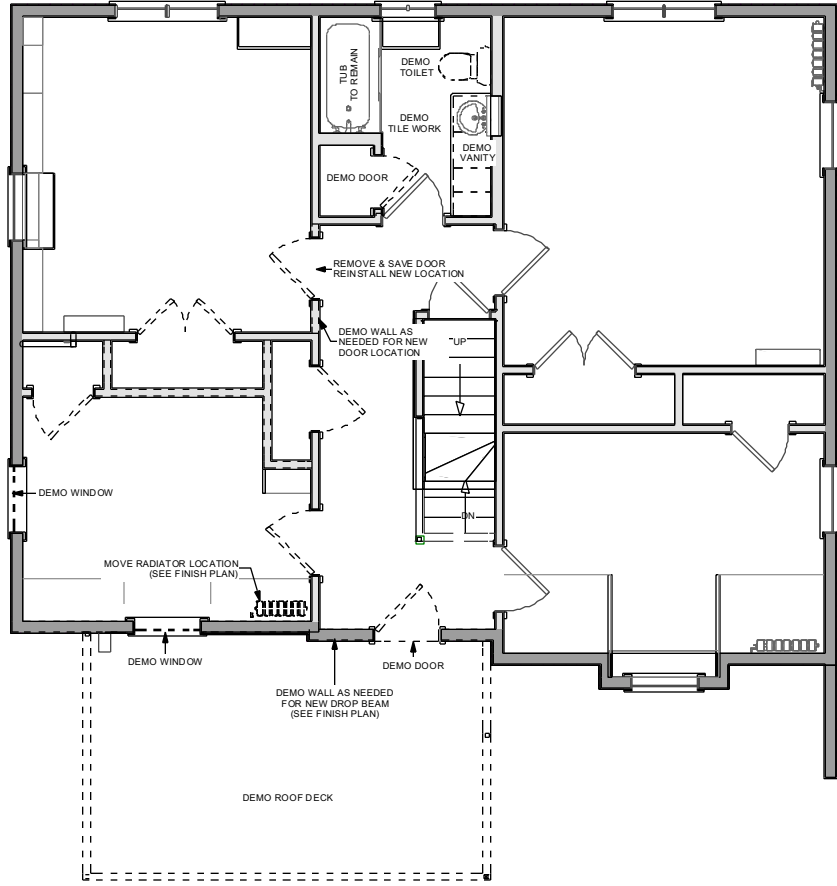
LOWER LEVEL DEMO

SCALE: 1/8" = 1'-0"



MAIN FLOOR DEMO

SCALE: 1/8" = 1'-0"



2ND FLOOR DEMO

SCALE: 1/8" = 1'-0"



EXISTING PHOTO: (2ND FLR)

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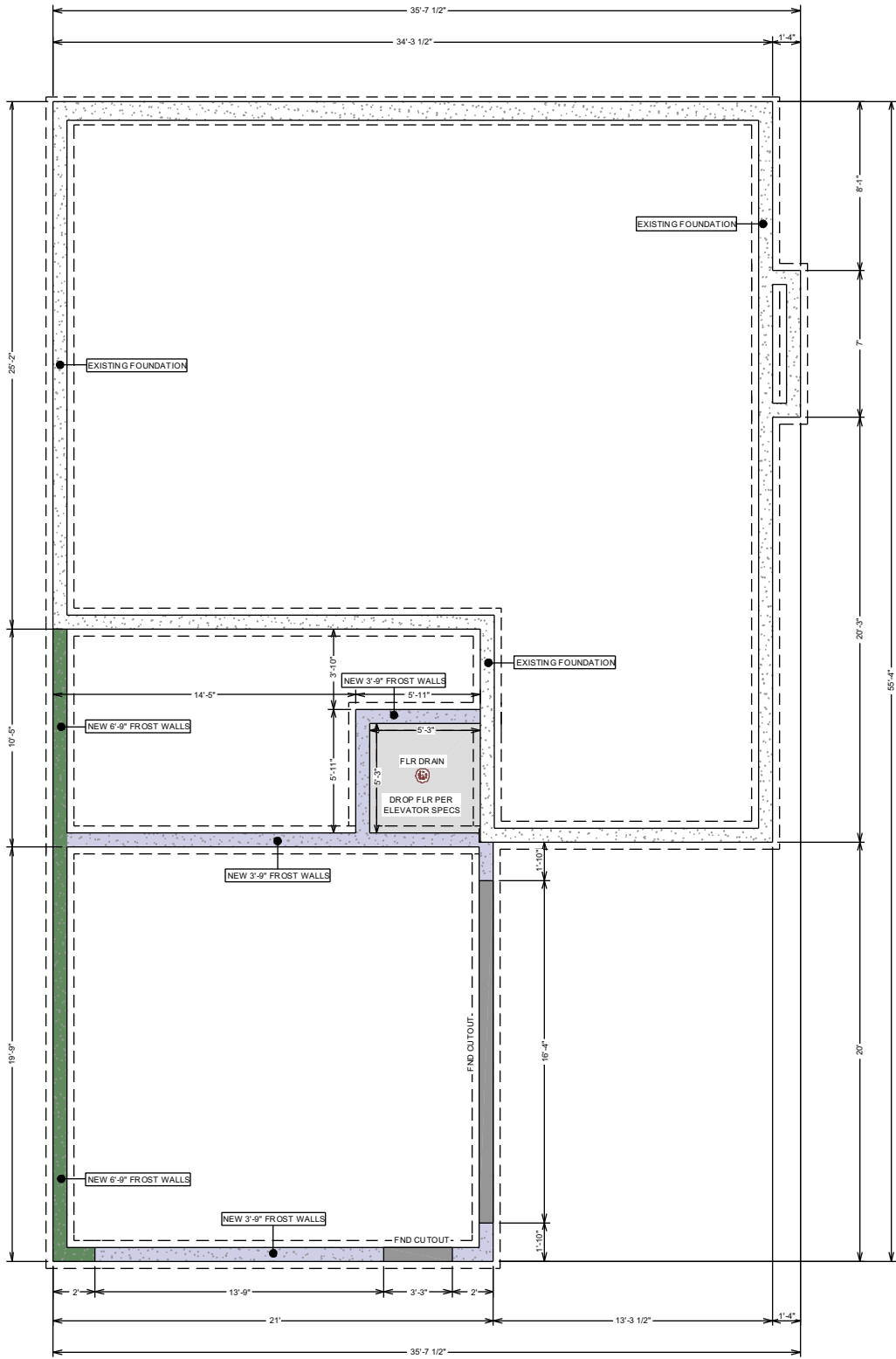
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DEMO PLAN

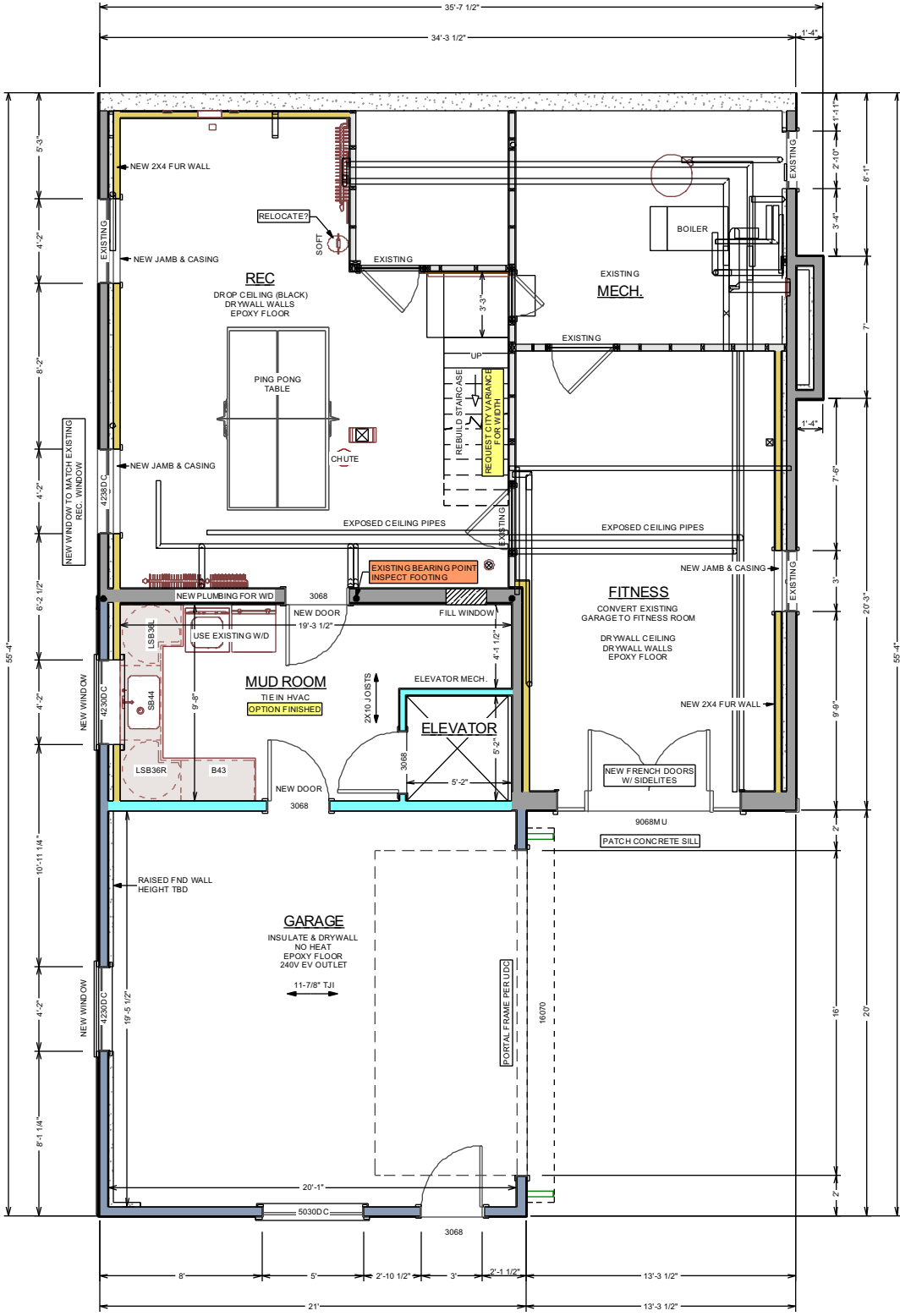
A-3

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WALL BRACING DESIGN BY OTHER



FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



LOWER LEVEL FINISH PLAN
SCALE: 1/8" = 1'-0"

WALL SCHEDULE	
2D SYMBOL	LABEL
	8" CONC. FND WALL
	8" CONC. FND WALL W/ 1" FOAM
	EXISTING
	2X6 EXTERIOR WALL
	2X6 INTERIOR WALL
	2X4 INTERIOR WALL
	2X4 HALF WALL
	2X4 HALF WALL W/ GLASS PANEL
	RAILING
	2X4 THIN WALL (TURN STUDS)
	2X6 BEARING WALL

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HOME TRANSFORMATIONS

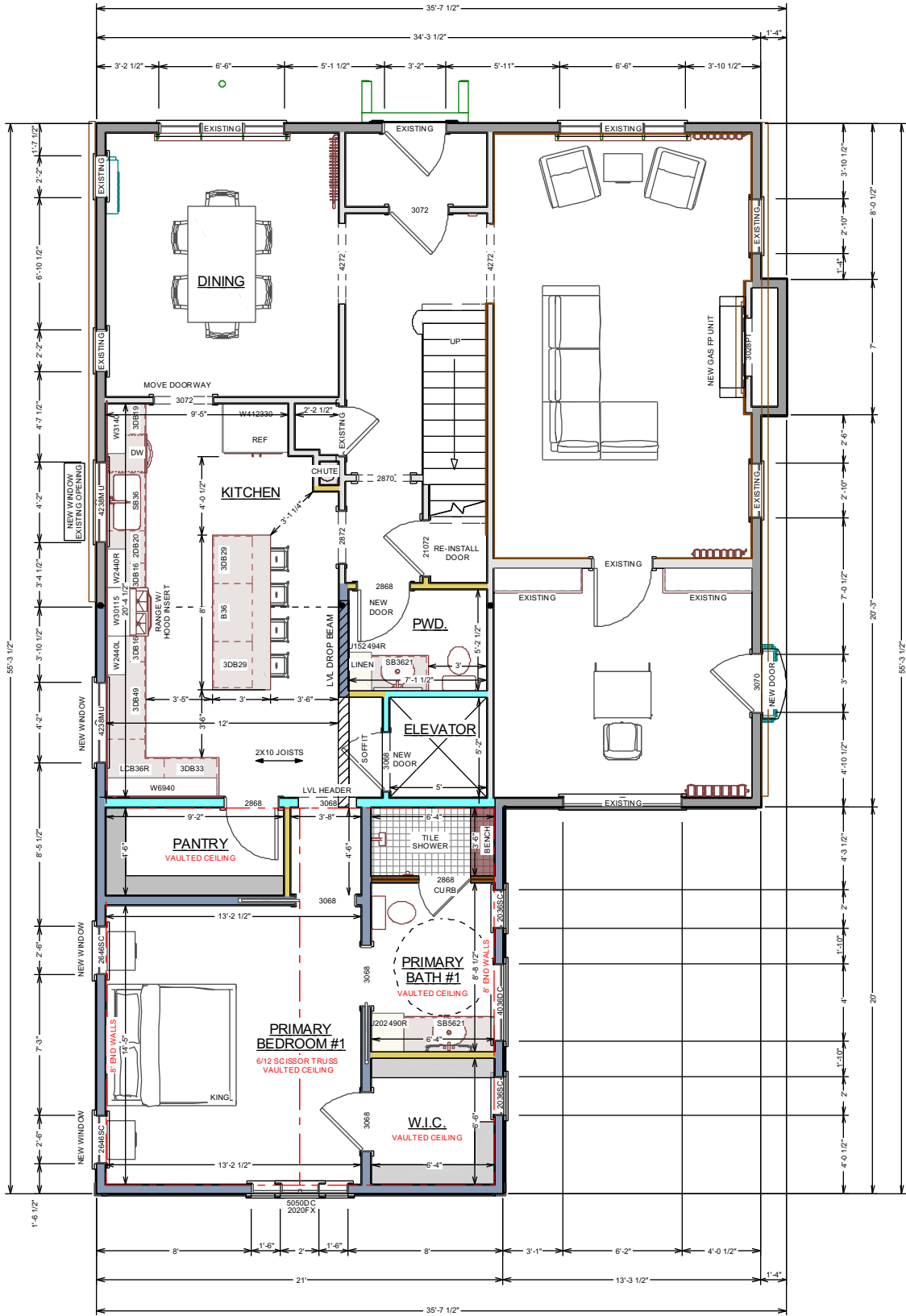
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FND & LOWER FINISH

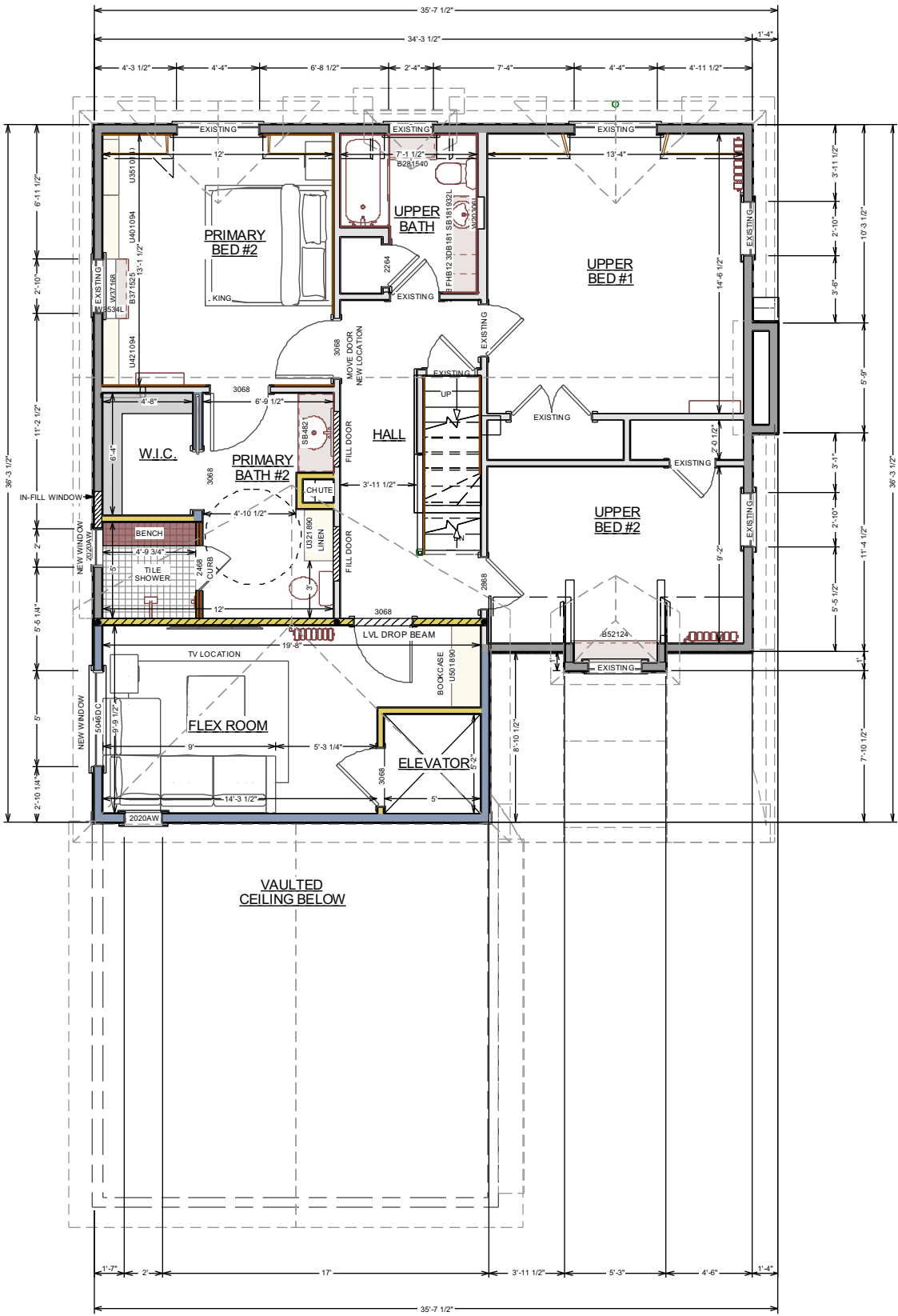
A-4

WALL BRACING DESIGN BY OTHER



MAIN FLOOR FINISH PLAN

SCALE: 1/8" = 1'-0"



2ND FLOOR FINISH PLAN

SCALE: 1/8" = 1'-0"

WALL SCHED ULE	
2D SYMBOL	LABEL
	8" CONC. FND WALL
	8" CONC. FND WALL W/ 1" FOAM
	EXISTING
	2X6 EXTERIOR WALL
	2X6 INTERIOR WALL
	2X4 INTERIOR WALL
	2X4 HALF WALL
	2X4 HALF WALL W/ GLASS PANEL
	RAILING
	2X4 THIN WALL (TURN STUDS)
	2X6 BEARING WALL

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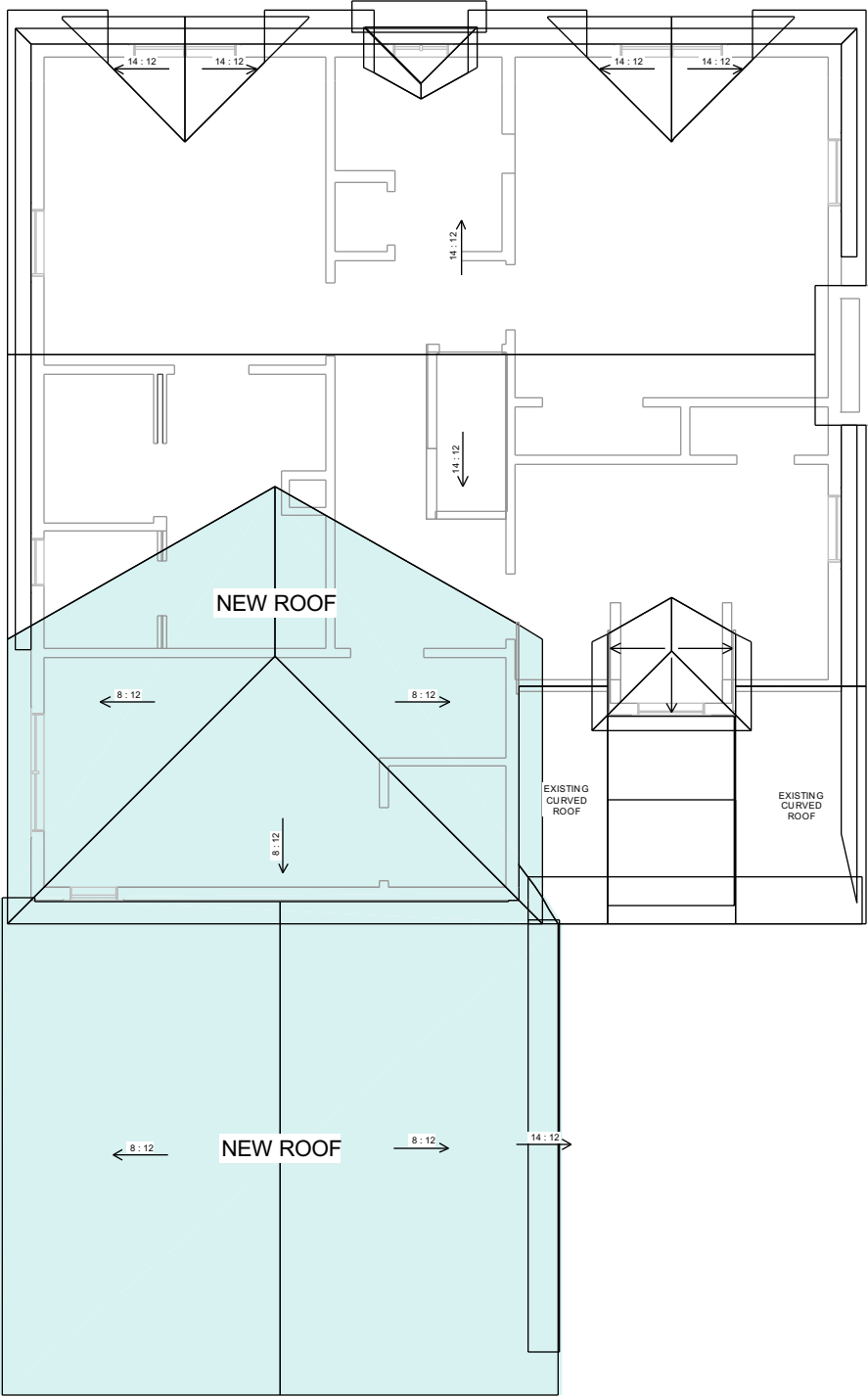
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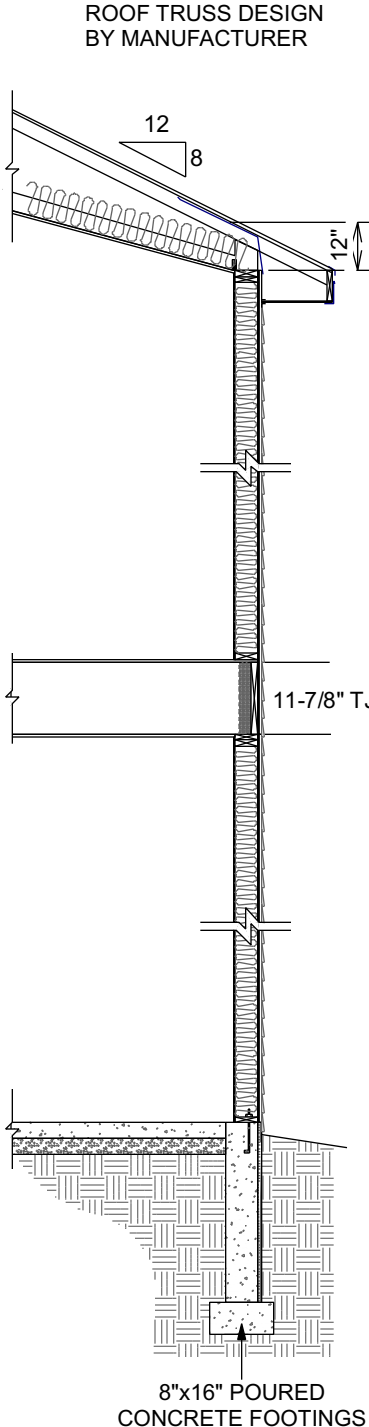
MAIN & 2ND FLR FINISH

A-5



ROOF PLAN

SCALE: 1/8" = 1'-0"



TYP. WALL SECTION (ADDITION)

SCALE: 1/4" = 1'-0"

ARCHITECTURAL SHINGLES
SYNTHETIC UNDERLAYMENT
1/2" OSB ROOF SHEATHING

STAPLED CARDBOARD PROPER VENT

TRUSS SCREWS

12" ENERGY HEEL TYP.

12" LP FASCIA
VENTED LP SOFFIT

CEILING:
R50 BLOWN FG INSULATION MIN
6MIL VAPOR BARRIER &
1/2" TYPE-X SHEETROCK

8' 1-1/8" WALL

EXTERIOR WALL
LP SMART SIDING
2X6 STUD WALL 16" OC
ZIP WALL SYSTEM
W/ R21 FG BATT INSULATION
4MIL VAPOR BARRIER
& 1/2" SHEETROCK

FLOOR SYSTEM
11-7/8" TJI W/ RIMBOARD
3/4" TG ADVANTECH SUBFLOOR &
3" THICK SPRAY FOAM AT RIM
2x6 TREATED SILL PLATE

8' 1-1/8" WALL

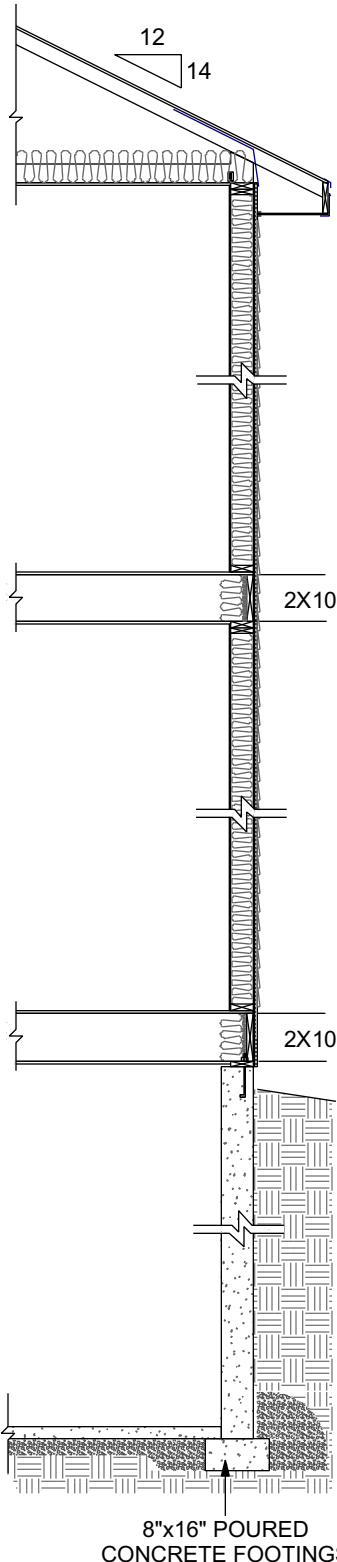
CONCRETE FLOORS W/ FIBERMESH
HOUSE: 4" CONCRETE
GARAGE: 4" CONCRETE

6MIL VAPOR BARRIER
MIN. 4" COMPACTED GRANULAR FILL

2x6 TREATED, SILL PLATE, SILL SEAL
1/2"x8" ANCHOR BOLTS

3'-9" FND. WALL

8" POURED CONCRETE FND WALL
30 YEAR WARRANTY
INSULCRETE GROUND BREAK



TYP. WALL SECTION (EXISTING)

SCALE: 1/4" = 1'-0"

EXISTING ROOF FRAMING

EXISTING ENERGY HEEL

EXISTING:
12" WOOD FASCIA
VENTED WOOD SOFFIT

EXISTING CEILING: (ASSUMED)
R50 BLOWN FG INSULATION MIN
6MIL VAPOR BARRIER &
PLASTER CEILING

98" FINISHED CEILING

EXISTING EXTERIOR WALLS: (ASSUMED)
WOOD SIDING
STUD WALL 16" OC
HOUSE WRAP
R21 FG BATT INSULATION
6MIL VAPOR BARRIER & PLASTER WALLS

98" FINISHED CEILING

EXISTING FLOOR SYSTEM:
2X10 FLOOR JOISTS AT 16" OC
3/4 DIAGONAL PLANK SUBFLOOR
FG BATT AT RIM

98" FINISHED CEILING

8" POURED CONCRETE FND WALL

CONCRETE FLOORS
HOUSE: 3" CONCRETE
GARAGE: 4" CONCRETE

6MIL VAPOR BARRIER &
MIN. 4" COMPACTED GRANULAR FILL

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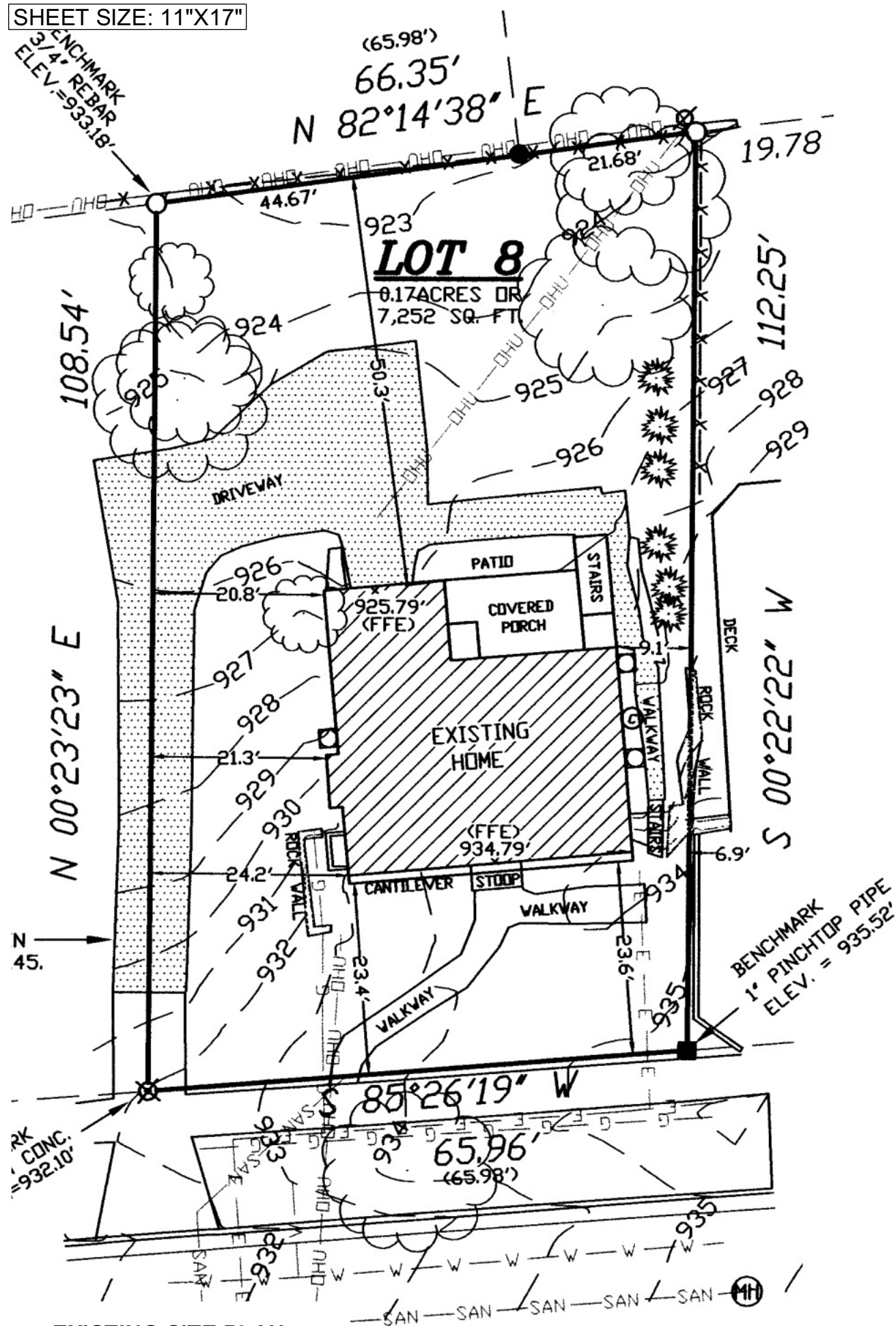
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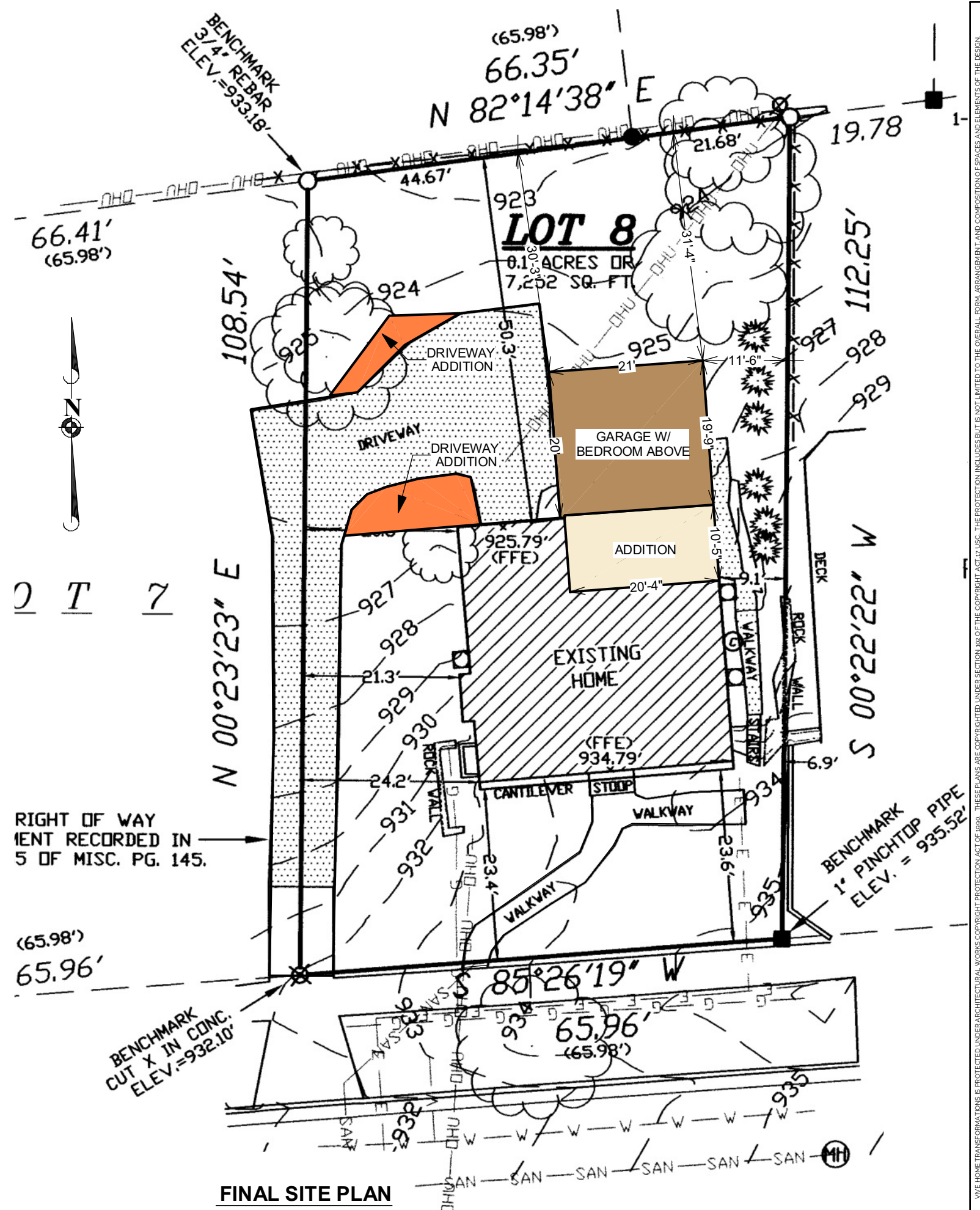
ROOF PLAN & SECTION

A-6



EXISTING SITE PLAN

SCALE: 1/16" = 1'-0"



FINAL SITE PLAN

SCALE: 1/16" = 1'-0"



EXTERIOR RENDERINGS

SCALE: NTS

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EXTERIOR RENDERINGS

A-8



OVERHEAD RENDERINGS

SCALE: NTS

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___/___/___	---
___/___/___	---
___/___/___	---

OVERHEAD RENDERINGS

A-9

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INTERIOR RENDERINGS

SCALE: NTS

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INTERIOR RENDERINGS

A-10