



City of Madison

Proposed Demolition

Location
855 East Main Street

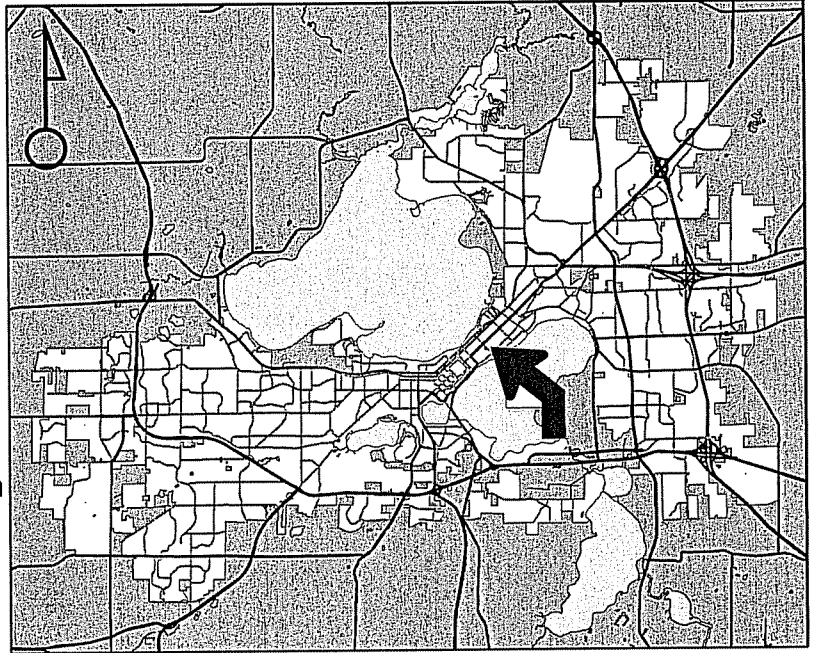
Project Name
MWU-Paterson Street Operations Center

Applicant
Al Larson - Madison Water Utility

Existing Use
Water Utility Operating Center

Proposed Use
Demolish street-facing façade of Water Utility operations center as part of addition and renovation of building

Public Hearing Date
Plan Commission
08 June 2015

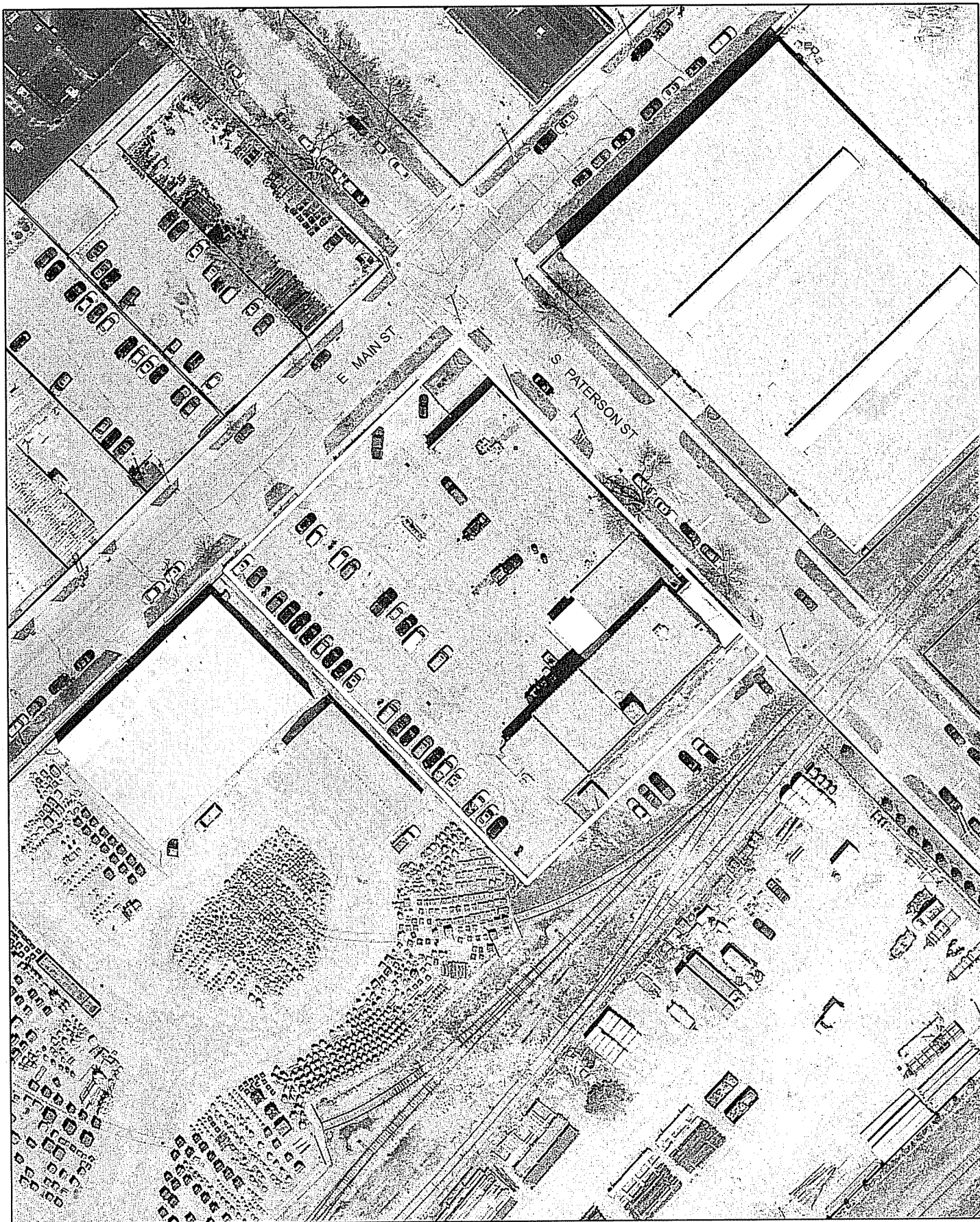


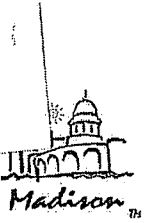
For Questions Contact: Heather Stouder at: 266-5974 or hstouder@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 02 June 2015





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:

Amt. Paid _____ Receipt No. _____

Date Received 4/22/15

Received By JLK

Parcel No. 0709-134-1101-6

Aldermanic District 6 Marsha Runnel

Zoning District TE

Special Requirements WIP-24

Review Required By:

Urban Design Commission Plan Commission

Common Council Other: _____

Form Effective: February 21, 2013

855 E. MAIN ST

1. Project Address: 110 South Paterson Street

Project Title (if any): Madison Water Utility - Paterson Street Operations Center

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: Public Project

3. Applicant, Agent & Property Owner Information:

Applicant Name: Madison Water Utility Company: _____

Street Address: 119 East Olin Avenue City/State: Madison, WI Zip: 53713

Telephone: (608) 266-4651 Fax: (608) 266-4426 Email: _____

Project Contact Person: Al Larson Company: Madison Water Utility

Street Address: See Above City/State: _____ Zip: _____

Telephone: () Fax: () Email: ALarson@madisonwater.org

Property Owner (if not applicant): _____

Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: This is the Operations Center for the Madison Water Utility, where they give field orders to their crews, repair and construct their vehicles, and repair and maintain their wells and equipment.

Development Schedule: Commencement September, 2015 Completion August, 2017

8

5. Required Submittal Information

All Land Use applications are required to include the following:

- Project Plans** including:*
 - Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
 - Grading and Utility Plans (existing and proposed)
 - Landscape Plan (including planting schedule depicting species name and planting size)
 - Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
 - Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
Marsha Rummell/Ledell Zellers - 1/28/15, Marquette Neighborhood Meeting - 2/19/15, Madison Water Utility Public Meeting - 2/18/15

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Heather Stouder Date: 2/19/15 Zoning Staff: Matt Tucker Date: 2/19/15

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant ALAN L. LARSON Relationship to Property: Owner

Authorizing Signature of Property Owner [Signature] Date 4/21/15

Madison Water Utility – Paterson Operations Center Additions and Remodeling

110 South Paterson Street

Letter of Intent

The proposed project development is to provide safer and more appropriate spaces for the existing Madison Water Utility Paterson Operations Center. Currently, the site and structures are used for administrative offices, workshops and staging of work crews, and maintenance of Water Utility construction vehicles. The Water Utility currently employs 65 people; the new, enhanced facility should accommodate 80 employees. This facility typically operates from 7am to 4pm. However, during the busy season (main breaks in the winter and well repairs in summer), there are many 24-hour-operation days.

The project team consists of the Madison Water Utility (owner), Mead & Hunt, Inc. (civil, architecture, mechanical, plumbing, fire protection, and technology design services), Graef (structural engineering), and Ken Saiki Design (landscape design services). The project is to be publicly bid, with a general contractor to be determined.

The existing facility comprises 28,000 sf. The project includes demolition of the existing vehicle maintenance bays and offices (8,900 sf). New, replacement construction is to provide enhanced vehicle maintenance areas, employee support spaces, and administrative areas (22,700 sf). Remodeling and minor addition to the existing two-and-half story building is to provide enhanced workshop space (7,100 sf).

Total, final square footage for the facility is to be 40,644 sf. The vehicle maintenance and welding shops, along with supporting areas, comprise 8,349 sf. The well shop maintenance areas and related storage comprise 9,628 sf. Clean workshop and electrician working area comprise 2,910 sf. A public conference room is provided to support 84 people and is 1,265 sf. Supporting offices, locker/shower rooms, toilet rooms, mechanical spaces, and general circulation comprising the remaining 18,492 sf.

Site development is to include re-paving the existing parking lot, new fence line, site lighting, and a new landscape terrace. The site design shall provide 39 parking spaces, and 4 bike racks. The existing lot coverage is 98.9% impervious or building covered, with only 592 sf. The proposed project would provide 1,222 sf of landscaped, pervious area, which provides 97.6% lot coverage. No usable open space is calculated, as it is not a residential use.

The project schedule is anticipating a public bid to be released in July 2015, and bid opening in August 2015. This would allow for a construction start in October 2015. The phased construction, with shifting owner-occupied areas, is anticipated to take 20 months and would be complete in August 2017.

The current assessed value of land is \$0.00, as a city property. The estimated project cost is \$8.5 million. Based on \$1 million dollars of construction activity creating 6.8 direct construction jobs and 4.9 indirect construction jobs, the project should create 99.5 jobs. This project is funded by the public entity of the Madison Water Utility and is to be financed through the Utility Capital Budget.



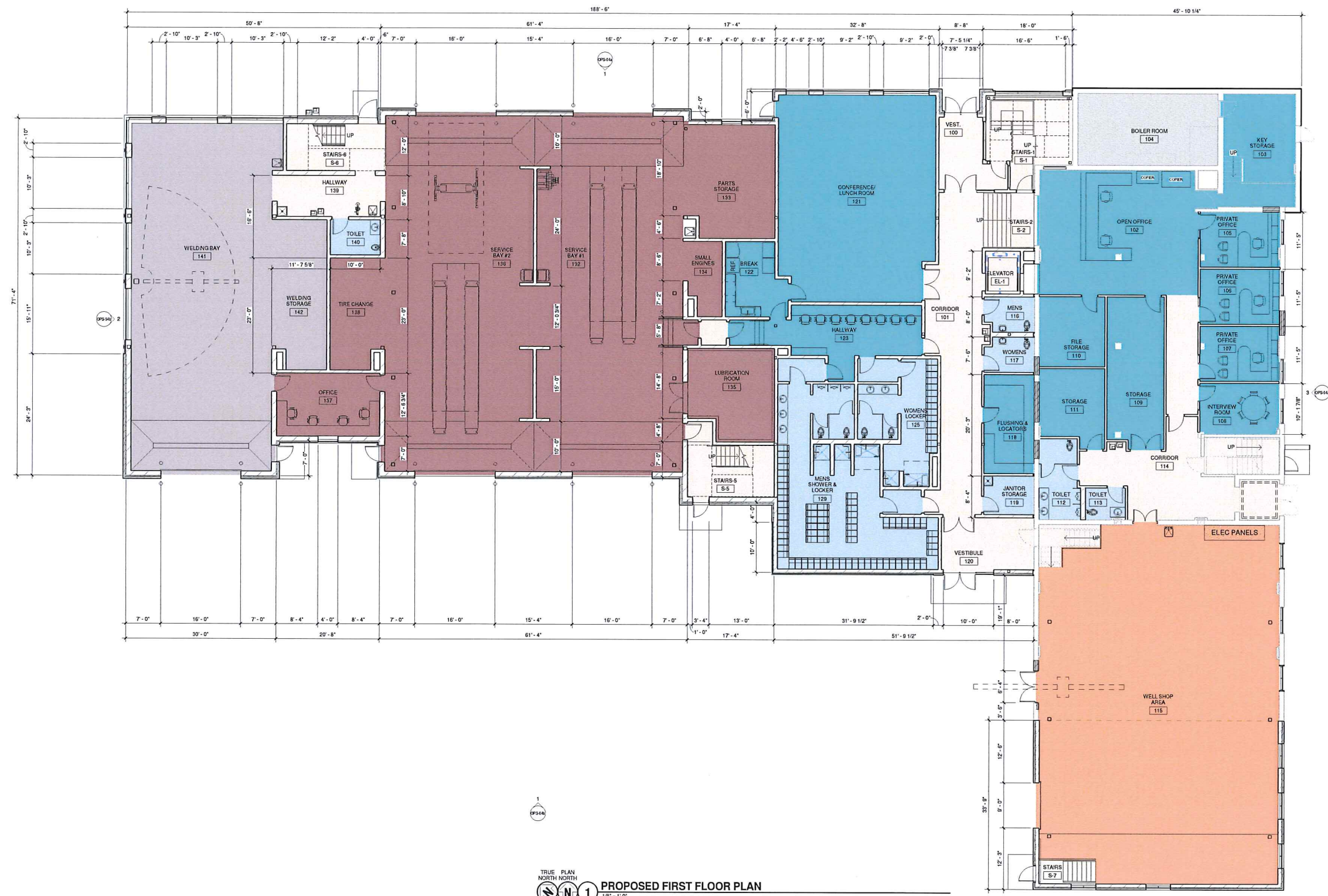
MADISON WATER UTILITY
Paterson Street Operations Center
RENDERING
22 April 2015





MADISON WATER UTILITY
Paterson Street Operations Center
RENDERING
22 April 2015





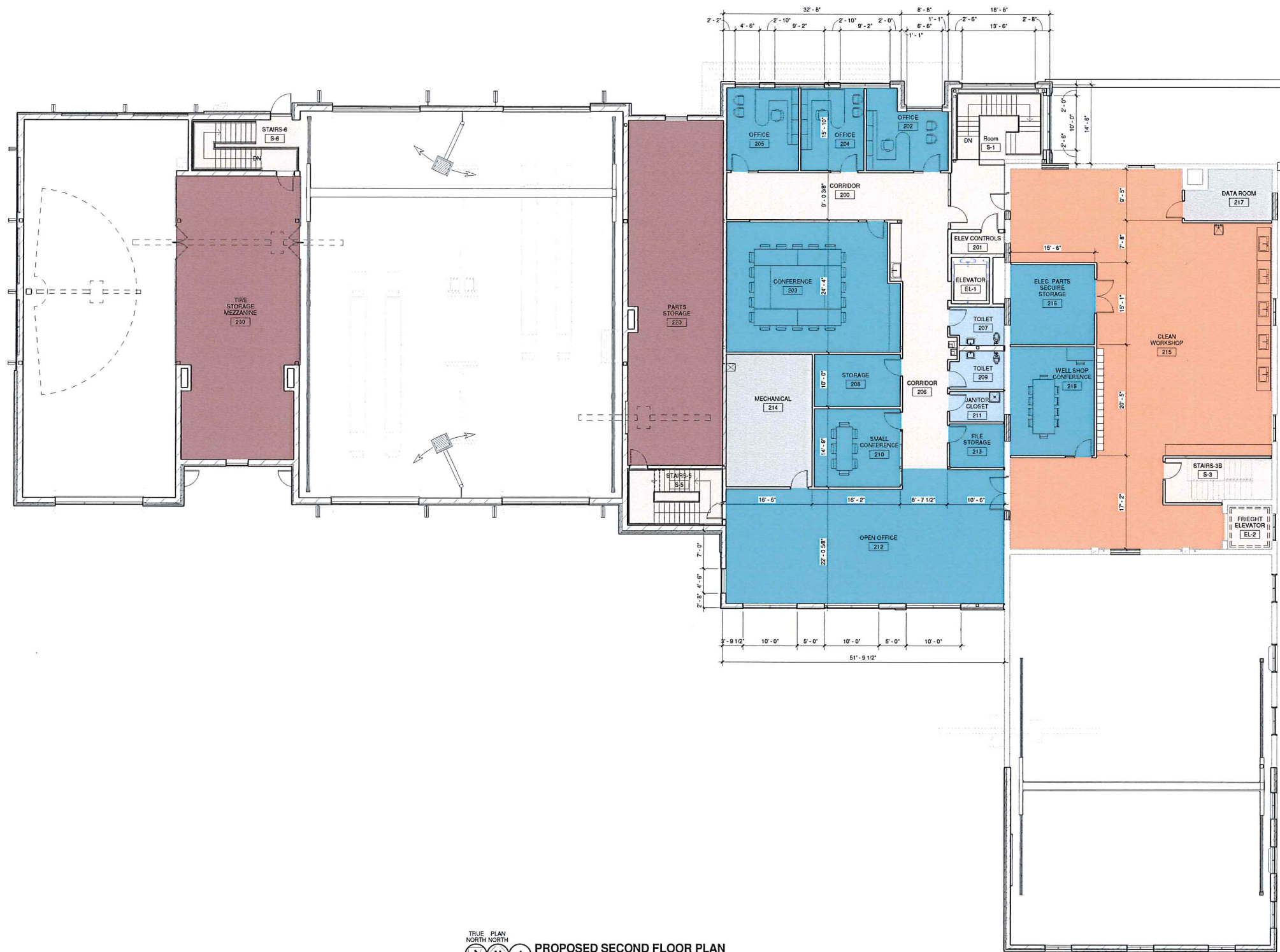
TRUE PLAN
 NORTH NORTH
 1
PROPOSED FIRST FLOOR PLAN
 1/8" = 1'-0"

- BUSINESS/SUPPORT
- CIRCULATION
- LOCKERS/TOILETS ROOMS
- MECHANICAL
- VEHICLE MAINTENANCE
- WELDING
- WELL MAINTENANCE



MADISON WATER UTILITY
Paterson Street Operations Center
 FIRST FLOOR PLAN
 22 April 2015

OPS-02 **Mead & Hunt**



- BUSINESS/SUPPORT
- CIRCULATION
- LOCKERS/TOILETS ROOMS
- MECHANICAL
- VEHICLE MAINTENANCE
- WELDING
- WELL MAINTENANCE

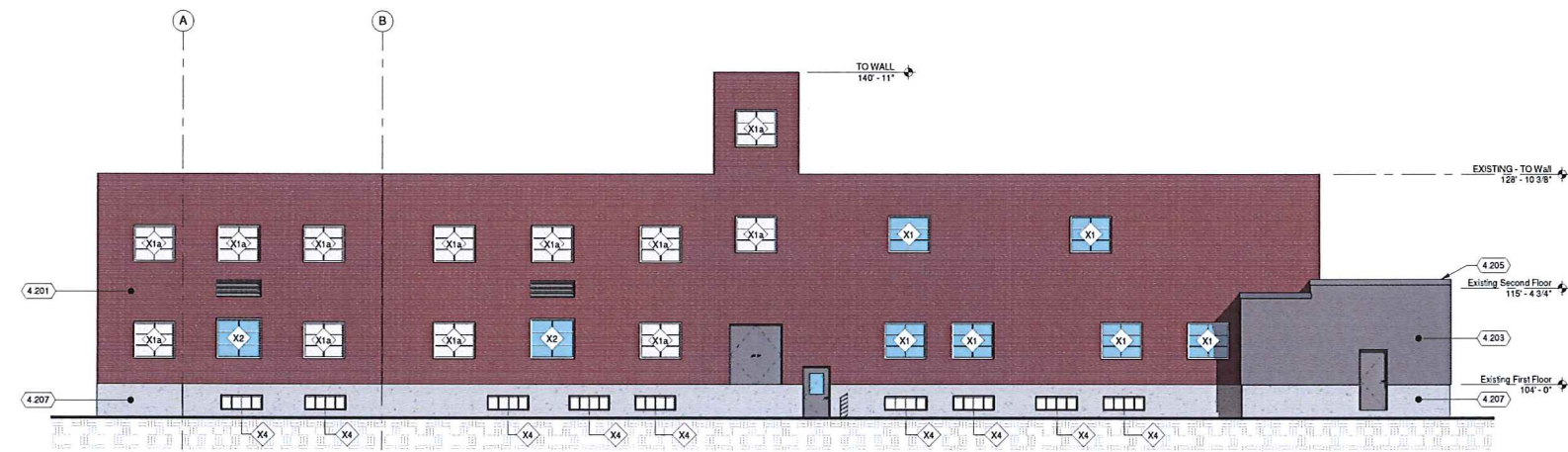
TRUE PLAN
NORTH NORTH
1 PROPOSED SECOND FLOOR PLAN
1/8" = 1'-0"



MADISON WATER UTILITY
Paterson Street Operations Center
 SECOND FLOOR PLAN
 22 April 2015



1 NORTH BUILDING ELEVATION
1/8" = 1'-0"



3 EAST BUILDING ELEVATION
1/8" = 1'-0"

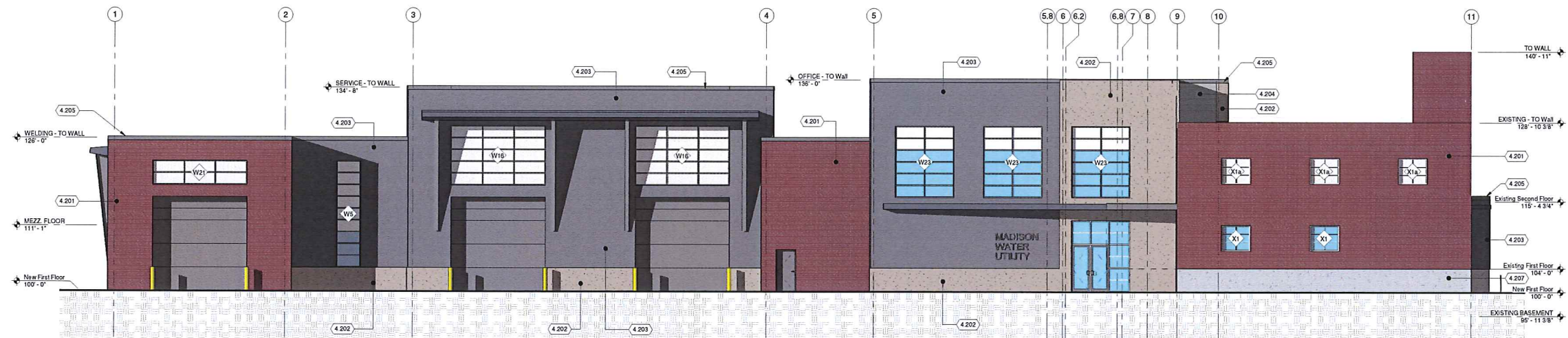
KEYED NOTES

- 4.201 BRICK VENEER
- 4.202 PRECAST CONCRETE PANEL
- 4.203 HORIZONTAL METAL SIDING
- 4.204 FLAT HORIZONTAL SHEET METAL
- 4.205 PREFINISHED ALUMINUM METAL COPING TRIM
- 4.206 BRACKETS
- 4.207 CONCRETE WALL

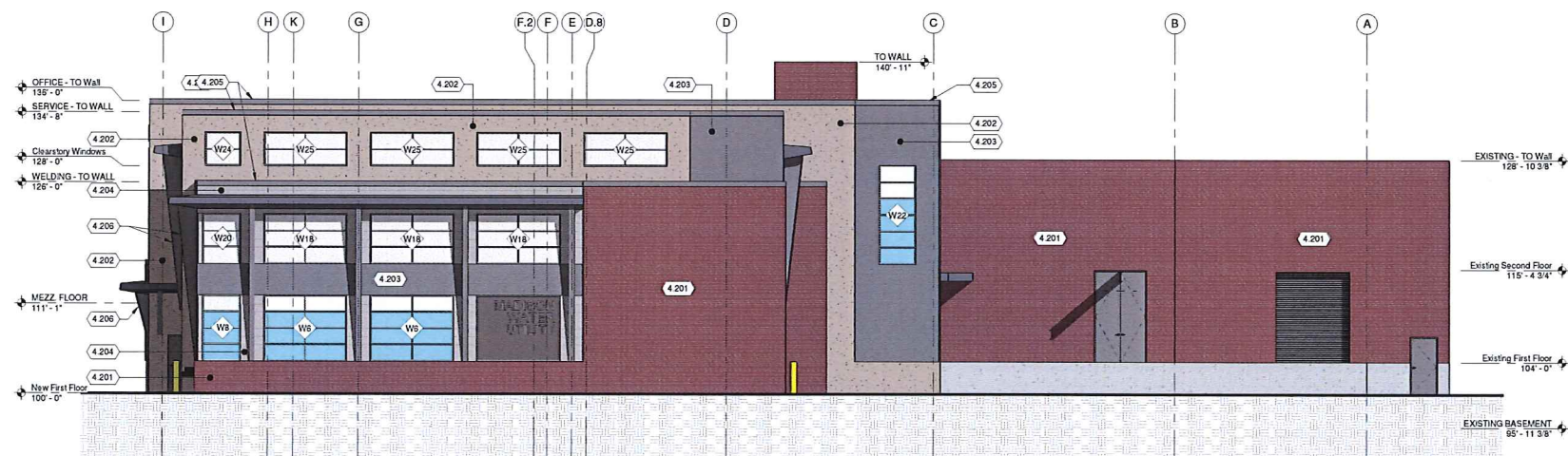


MADISON WATER UTILITY
Paterson Street Operations Center
 EXTERIOR ELEVATIONS
 22 April 2015

OPS-04a **Mead & Hunt**



1 SOUTH BUILDING ELEVATION
1/8" = 1'-0"

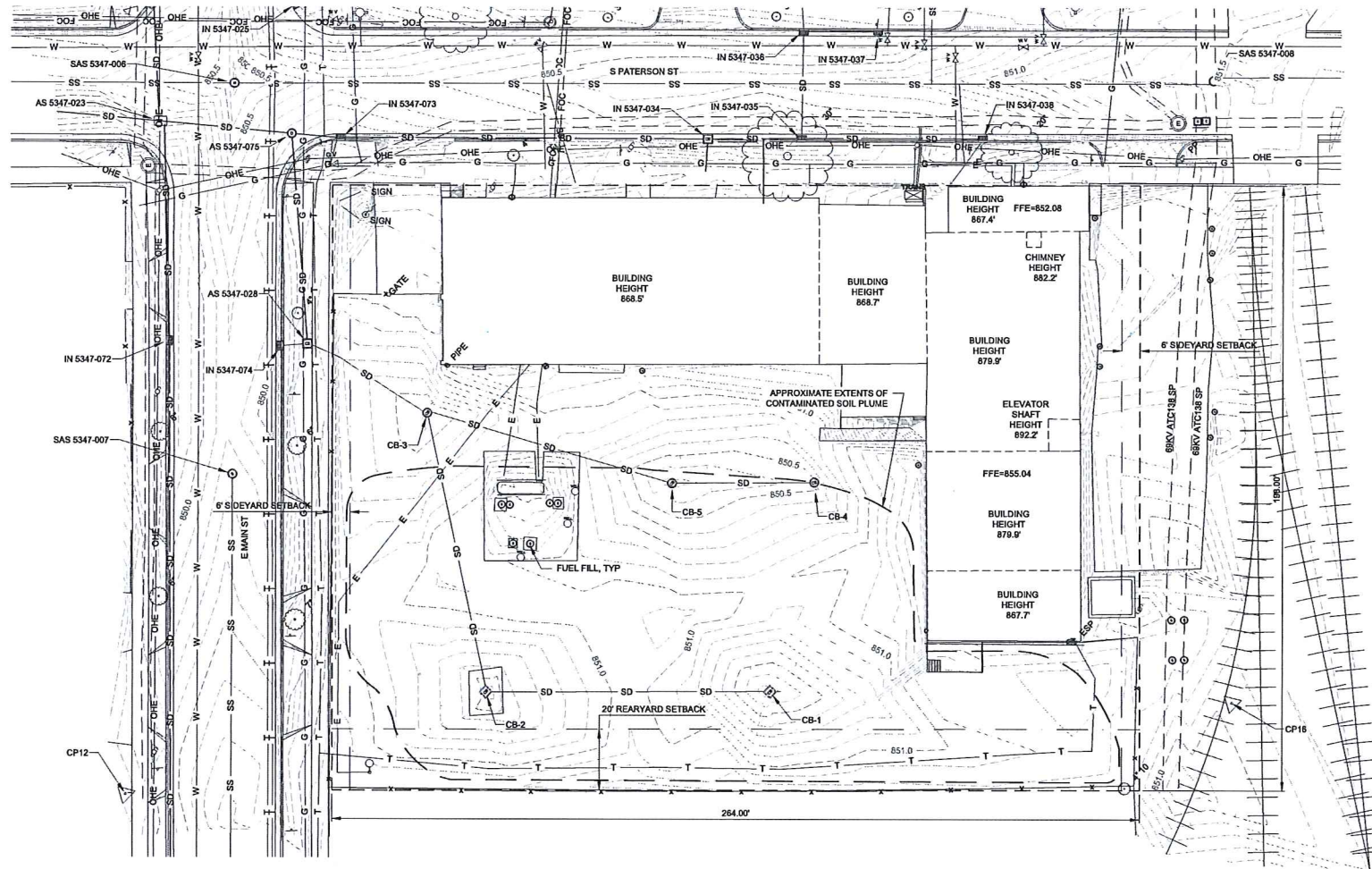


2 WEST BUILDING ELEVATION
1/8" = 1'-0"

KEYED NOTES

- 4.201 BRICK VENEER
- 4.202 PRECAST CONCRETE PANEL
- 4.203 HORIZONTAL METAL SIDING
- 4.204 FLAT HORIZONTAL SHEET METAL
- 4.205 PREFINISHED ALUMINUM METAL COPING TRIM
- 4.206 BRACKETS
- 4.207 CONCRETE WALL





SITE SURVEY PLAN NOTES:

1. CONTOUR INTERVALS SHOWN ARE 1.0'.
2. PRIVATE SUBSURFACE UTILITY LOCATIONS SHOWN HEREON ARE BASED UPON GROUND MARKINGS PLACED BY CLIENT REPRESENTATIVE. MARKINGS MAY NOT BE BY BENEFIT OF SUBSURFACE DETECTING INSTRUMENTS AS SOME WERE MARKED PER PERSONNEL BEST RECOLLECTION.
3. PUBLIC SUBSURFACE UTILITY LOCATIONS SHOWN HEREON ARE BASED UPON GROUND MARKINGS PLACED BY DIGGERS HOTLINE. DIGGERS HOTLINE DOES NOT GUARANTEE THE PRECISION OF THEIR MARKINGS. IN ACCORDANCE WITH WISCONSIN LAW, SUBSURFACE UTILITIES MUST BE EXPOSED VIA HAND DIGGING BEFORE MACHINE DIGGING IS PERMISSIBLE. UTILITY LOCATION MARKINGS ARE VALID FOR ONLY 10 DAYS. CONTRACTOR MUST ORDER NEW UTILITY LOCATE PRIOR TO ANY EXCAVATION.
4. SANITARY SEWER AND STORM SEWER LOCATIONS HAVE BEEN DETERMINED BY OBSERVABLE SURFACE STRUCTURES AND RESPECTIVE FEATURES. INTERMEDIATE PIPE LOCATIONS ARE APPROXIMATE AS ACCURATE LOCATIONS WERE NOT AVAILABLE AT TIME OF SURVEY.
5. CONTROL POINTS AND BENCHMARKS SHOWN HEREON ARE FOR REFERENCE PURPOSES ONLY. PRIOR TO STAKING, THE CONTROL MUST BE INDEPENDENTLY VERIFIED AS UNDISTURBED. NO WARRANTY IS MADE WITH RESPECT TO THE ACCURACY OF CONTROL SHOWN HEREON AS THEY ARE SUBJECT TO POTENTIAL DISTURBANCE.
6. LOT LINES ARE NOT MEASURED OR FIELD VERIFIED AND ARE SHOWN AS RECORDED ON THE ORIGINAL PLAT OF THE CITY OF MADISON. ALL TOPOGRAPHIC DATA IS REFERENCED TO WISCONSIN COUNTY COORDINATE SYSTEM.

SURVEY DATA:

SURVEY DATE(S) DECEMBER 2014
 COORDINATE SYSTEM WCCS DANE COUNTY
 VERTICAL DATUM GEOID 12A-WI
 CONTROL SOURCE WISCORS
 SURVEY UNITS US SURVEY FOOT

SURVEY CONTROL DATA

POINT #	DESCRIPTION	ELEVATION	NORTHING	EASTING
CP10	NO 6 REBAR	851.20	485105.156	824578.052
CP11	NO 6 REBAR	850.53	485294.867	824396.620
CP12	CHISELED X	851.30	485159.539	824158.651
CP18	RR SPIKE	851.12	484919.820	824430.828

LEGEND:

- BOLLARD
- CONTROL POINT
- DOWNSPOUT
- ELECTRICAL TRANSFORMER BOX
- ELECTRICAL SERVICE PANEL
- ELECTRICAL HANDHOLE/PULLBOX
- FIRE HYDRANT
- FLAGPOLE
- FUEL FILL
- GAS METER
- GAS VALVE
- INLET, CURB
- INLET, ROUND
- INLET, SQUARE
- IRON PIN
- LIGHT POLE (SINGLE)
- MANHOLE, ELECTRIC
- MANHOLE, SANITARY SEWER
- MANHOLE, STORM SEWER
- MANHOLE, TELECOMMUNICATIONS
- MARKER, CABLE
- POWER POLE
- SIGN (SINGLE POST)
- SOIL BORING
- TREE, DECIDUOUS
- WATER VALVE
- WATER METER
- WATER SHUTOFF
- MONITORING WELL
- GAS
- ELECTRIC, OVERHEAD
- ELECTRIC, UNDERGROUND
- EXISTING CONTOUR LINES
- FENCE
- HANDRAIL
- SANITARY SEWER
- STORM SEWER / CULVERT
- TELEPHONE
- TV CABLE
- WATER
- RAILROAD TRACKS

STORM SEWER STRUCTURE REPORT

STRUCTURE #	STRUCTURE TYPE	DEPTH	ELEVATION	SIZE	TYPE	STREET	
CB-1	SQUARE INLET	RIM FA	852.30			WU PARKING LOT	
		INV NW	1.90	848.40	12		RCP
		INV SE	1.45	848.85	4		CAST
CB-2	SQUARE INLET	RIM FA	850.47			WU PARKING LOT	
		INV NE	2.60	847.87	12		RCP
		INV SE	2.50	847.97	12		RCP
CB-3	SQUARE INLET	RIM FA	850.38			WU PARKING LOT	
		INV N	3.20	847.18	12		RCP
		INV SE	3.05	847.21	12		RCP
CB-4	ROUND INLET	RIM FA	850.49			WU PARKING LOT	
		INV NW	1.90	848.59	12		RCP
		INV SE	1.85	848.38	12		RCP
CB-5	ROUND INLET	RIM FA	850.78			WU PARKING LOT	
		INV NW	1.95	848.38	12		RCP
		INV SE	1.95	848.38	12		RCP
AS 5347-028	SQUARE INLET STRUCTURE	RIM FA	850.78			E MAIN ST	
		INV NW	2.50	848.28	2'-6"		PVC
		INV SE	-	-	6		RCP
IN 5347-074	CURB INLET	RIM FA	849.59			E MAIN ST	
		INV NW	1.40	848.28	2'-6"		PVC
		RIM		850.14			
AS 5347-075	ACCESS STRUCTURE RECTANGULAR	INV NW	3.30	848.84	18	RCP	
		INV W	3.15	848.99	12	RCP	
		INV SE	5.00	845.14	18	RCP	
IN 5347-073	CURB INLET	RIM FA	849.70			E MAIN ST AT S PATERSON ST	
		INV NW	3.50	848.99	18		RCP
		INV SE	3.35	848.35	18		RCP
AS 5347-023	VAULT RECTANGULAR	RIM		850.09		E MAIN ST AT S PATERSON ST	
		INV NW	3.80	848.29	19x30		HERCP
		INV NE	3.90	848.19	15		RCP
IN 5347-025	CURB INLET	RIM FA	848.43			E MAIN ST AT S PATERSON ST	
		INV NW	2.10	847.89	12		PVC
		INV E	1.30	848.13	10		PVC
IN 5347-024	CURB INLET	RIM FA	849.39			E MAIN ST AT S PATERSON ST	
		INV NE	2.40	848.99	8		PVC
		INV SE	2.50	848.89	12		PVC
IN 5347-024	CURB INLET	RIM FA	849.39			E MAIN ST AT S PATERSON ST	
		INV NE	2.40	848.99	8		PVC
		INV SE	2.55	848.84	15		PVC

* STR - STRUCTURE

SANITARY SEWER STRUCTURE REPORT

STRUCTURE#	DEPTH	ELEV	SIZE	TYPE	BUILD	ID (FT)	TOP TYPE	OFFSET	RINGS	STREET	
SAS 5347-007	RIM		850.27							E MAIN ST	
	INV SW	4.45	845.82	8	PVC	PRECAST	4	CONE	NORTHEAST		1x4' CONC
	RIM		850.74								
SAS 5347-006	RIM		849.43							E MAIN ST AT S PATERSON ST	
	INV NW	9.40	841.54	10	PVC	BRICK	4	CONE	CENTER		
	INV SE	9.38	841.36	10	VP						
SAS-5347-008	RIM		851.21							S PATERSON ST	
	INV E	8.72	842.02	8	STUB						
	RIM		851.21								
SAS-5347-008	RIM		849.21							S PATERSON ST	
	INV NW	9.30	842.21	10	PVC	POURED	5x5	FLAT TOP	NORTHWEST		4x8' CONC
	INV SE	9.10	842.41	10	PVC						



MADISON WATER UTILITY
Paterson Street Operations Center
 EXISTING SITE PLAN
 22 April 2015

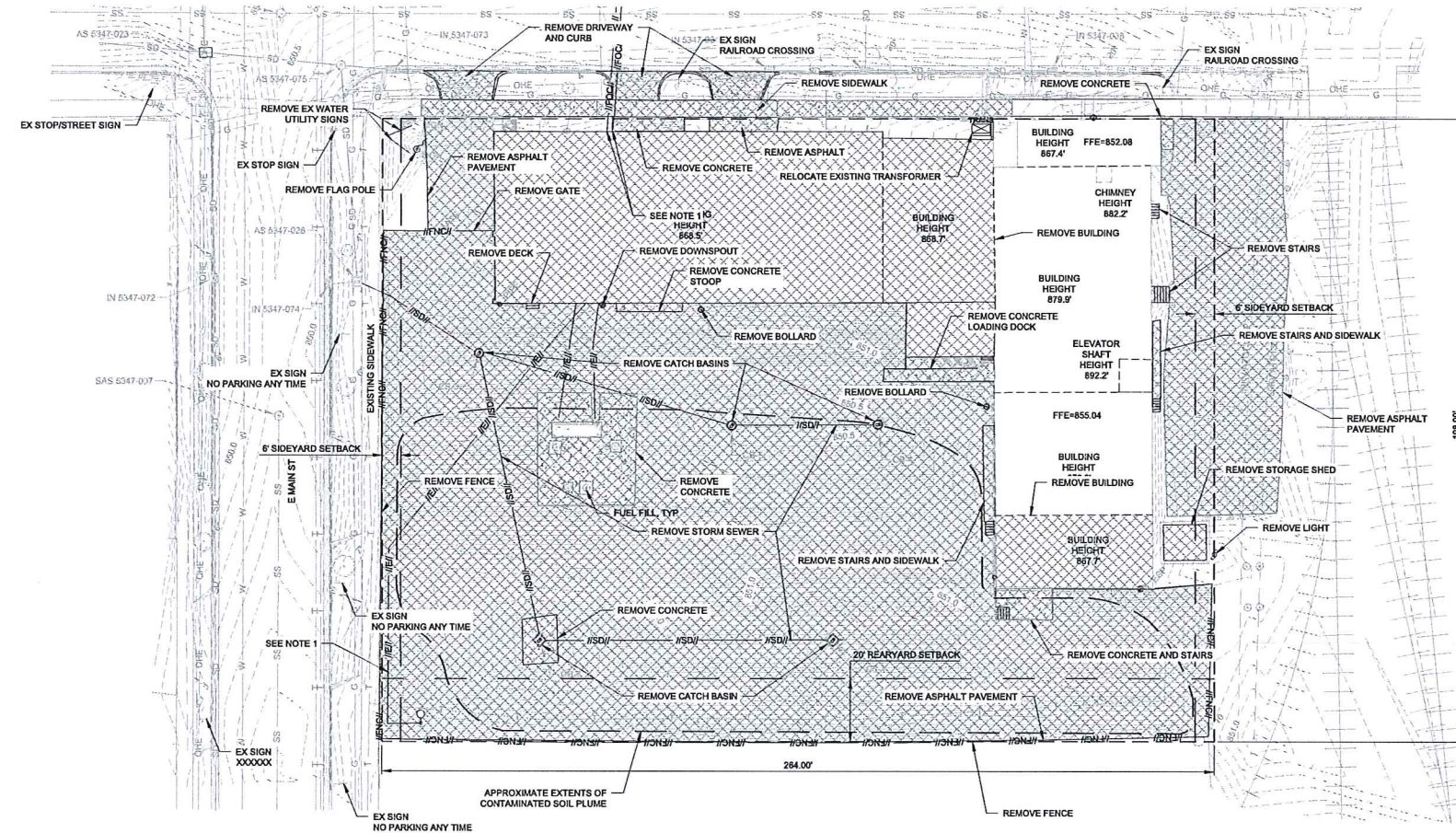


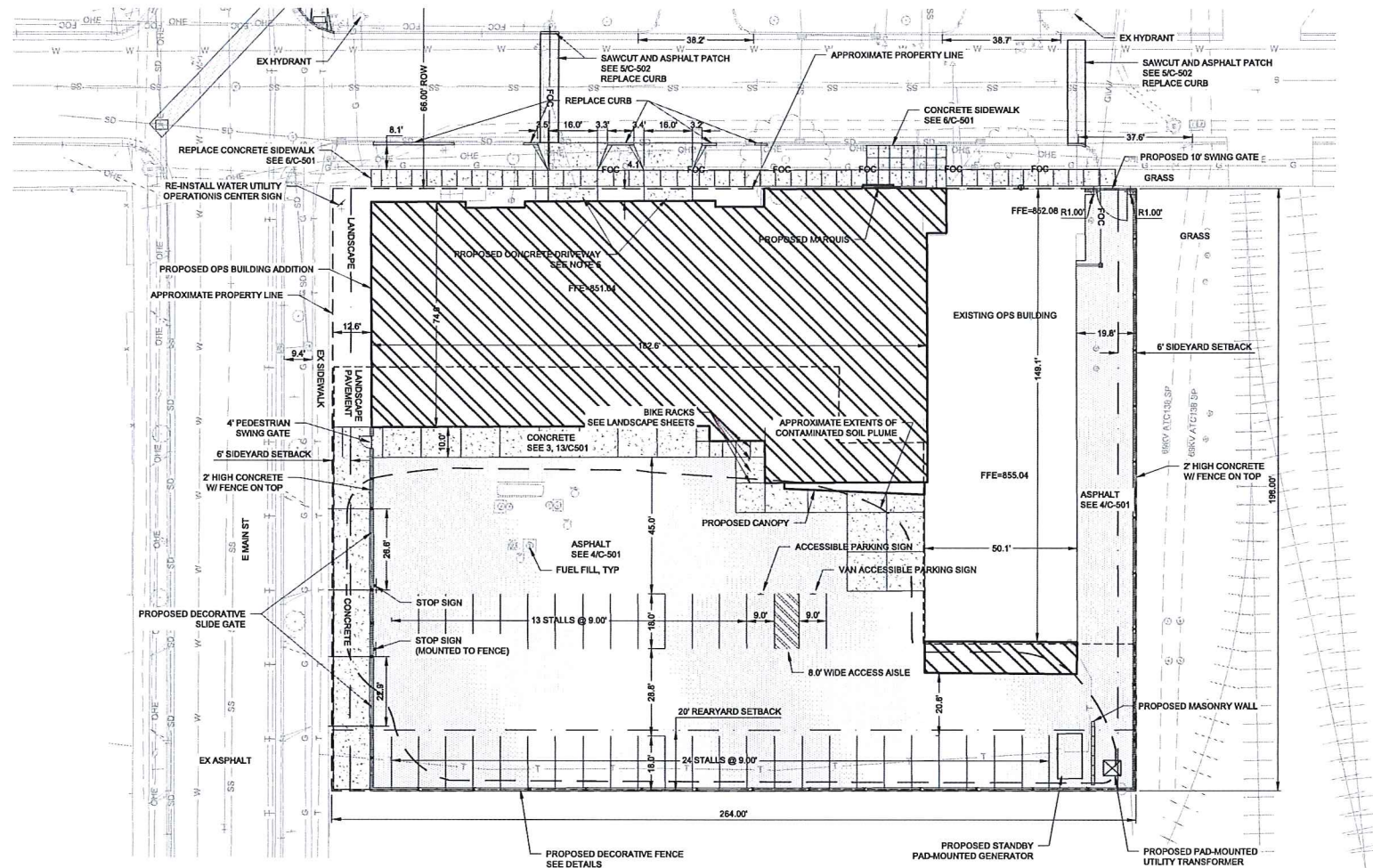
SITE DEMOLITION PLAN NOTES:

1. FOR ELECTRICAL REMOVALS, SEE ED011.

LEGEND:

- |W|--- ABANDON
- |CONW|--- ABANDON CONDUIT
- |EW|--- ABANDON ELECTRIC, UNDERGROUND
- |GW|--- ABANDON GAS, UNDERGROUND
- |SSW|--- ABANDON SANITARY SEWER
- |SDW|--- ABANDON STORM SEWER
- |TW|--- ABANDON TELEPHONE
- |WAW|--- ABANDON WATER
- |X|--- REMOVE
- ||||| REMOVE
- |ICON|--- REMOVE CONDUIT
- |IE|--- REMOVE ELECTRIC, UNDERGROUND
- |IOHE|--- REMOVE ELECTRIC, OVERHEAD
- |IFNC|--- REMOVE FENCE
- |IFOC|--- REMOVE FIBER OPTIC CABLE
- |IGL|--- REMOVE GAS LINE
- |ISS|--- REMOVE SANITARY SEWER
- |ISD|--- REMOVE STORM SEWER
- |IT|--- REMOVE TELEPHONE
- |IWL|--- REMOVE WATER LINE
- XXXXXXX SAW CUT PAVEMENT
- ASPHALT REMOVAL
- CONCRETE REMOVAL
- REMOVAL PATTERN





SITE IMPROVEMENTS PLAN NOTES:

1. LOT LINES ARE NOT MEASURED OR FIELD VERIFIED AND ARE SHOWN AS RECORDED ON THE ORIGINAL PLAT OF THE CITY OF MADISON. ALL TOPOGRAPHIC DATA IS REFERENCED TO WISCONSIN COUNTY COORDINATE SYSTEM.
2. 40 TOTAL PARKING STALLS.
3. 2 ADA PARKING STALLS.
4. ESTIMATED EXTENT OF CONTAMINATED SOIL EXCEEDING NR 720 GENERIC RCLs FROM DEED RESTRICTION, ATTACHMENT A DATED 7/22/2013, DOCUMENT # 3770078.
5. FOR ALL CONCRETE IN DRIVEWAY INCLUDING CONCRETE SIDEWALK, CONSTRUCT ACCORDING TO DETAILS #3 AND #13, SHEET C-501.
6. ANY PAVEMENT DAMAGED DURING CONSTRUCTION MUST BE REPLACED BY CONTRACTOR AT NO EXPENSE TO OWNER.
- 7.

LEGEND:

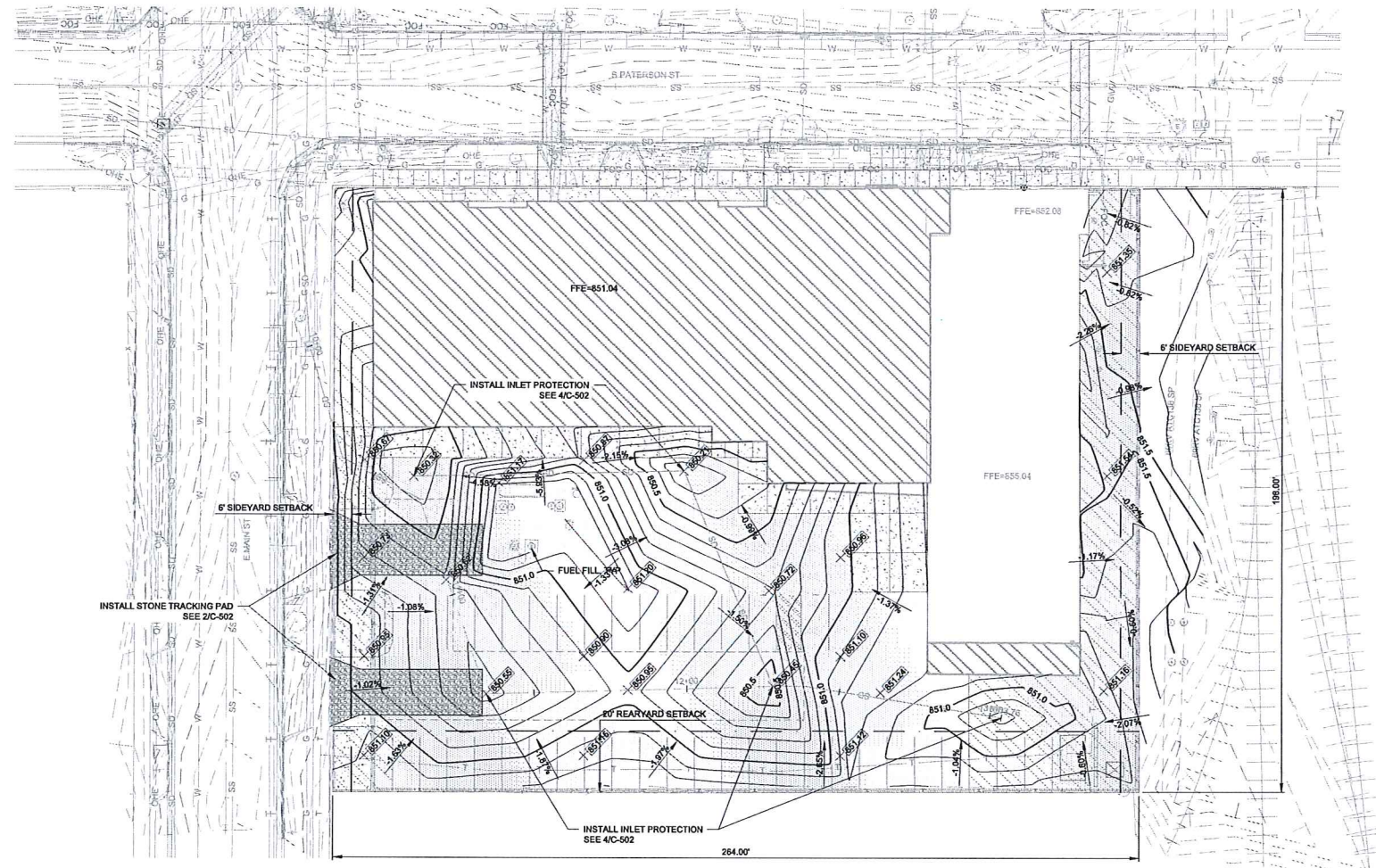
- ESTIMATED EXTENTS OF SOIL CONTAMINATION, SEE NOTE 4.
- - - - PROPOSED BOUNDARY OF SURFACE CAP
- SIGN (SINGLE POST)
- ⊗ STORM INLET, CURB
- ⊙ STORM INLET, ROUND
- ⊠ STORM INLET, SQUARE
- ⊕ STORM SEWER MANHOLE
- ↑ TRAFFIC FLOW DIRECTION
- G GAS
- OHE ELECTRIC, OVERHEAD
- E ELECTRIC, UNDERGROUND
- X FENCE
- o HANDRAIL
- - - - PROPERTY LINE
- SS SANITARY SEWER
- S SIGNAL CABLE, UNDERGROUND
- SD STORM SEWER / CULVERT
- T TELEPHONE, UNDERGROUND
- TV TV CABLE
- W WATER
- ASPHALT
- CONCRETE

Parking Lot Plan Site Information Block	
Site Address:	855 E MAIN ST
Site acreage (total):	1.20 ACRE
Number of building stories:	1 (ADDITION)
Building Height:	
DILHR type of construction:	NEW
Total square footage of building:	14,840 SF
Use of property:	INDUSTRIAL
Gross square feet of office:	
Number of employees in warehouse:	
Number of employees in office:	
Number of bicycle stalls shown:	8
Number of parking stalls shown:	40
Small car:	0
Large car:	38
Accessible:	2
Total:	40
Number of trees:	8



MADISON WATER UTILITY
Paterson Street Operations Center
 SITE IMPROVEMENTS PLAN
 22 April 2015





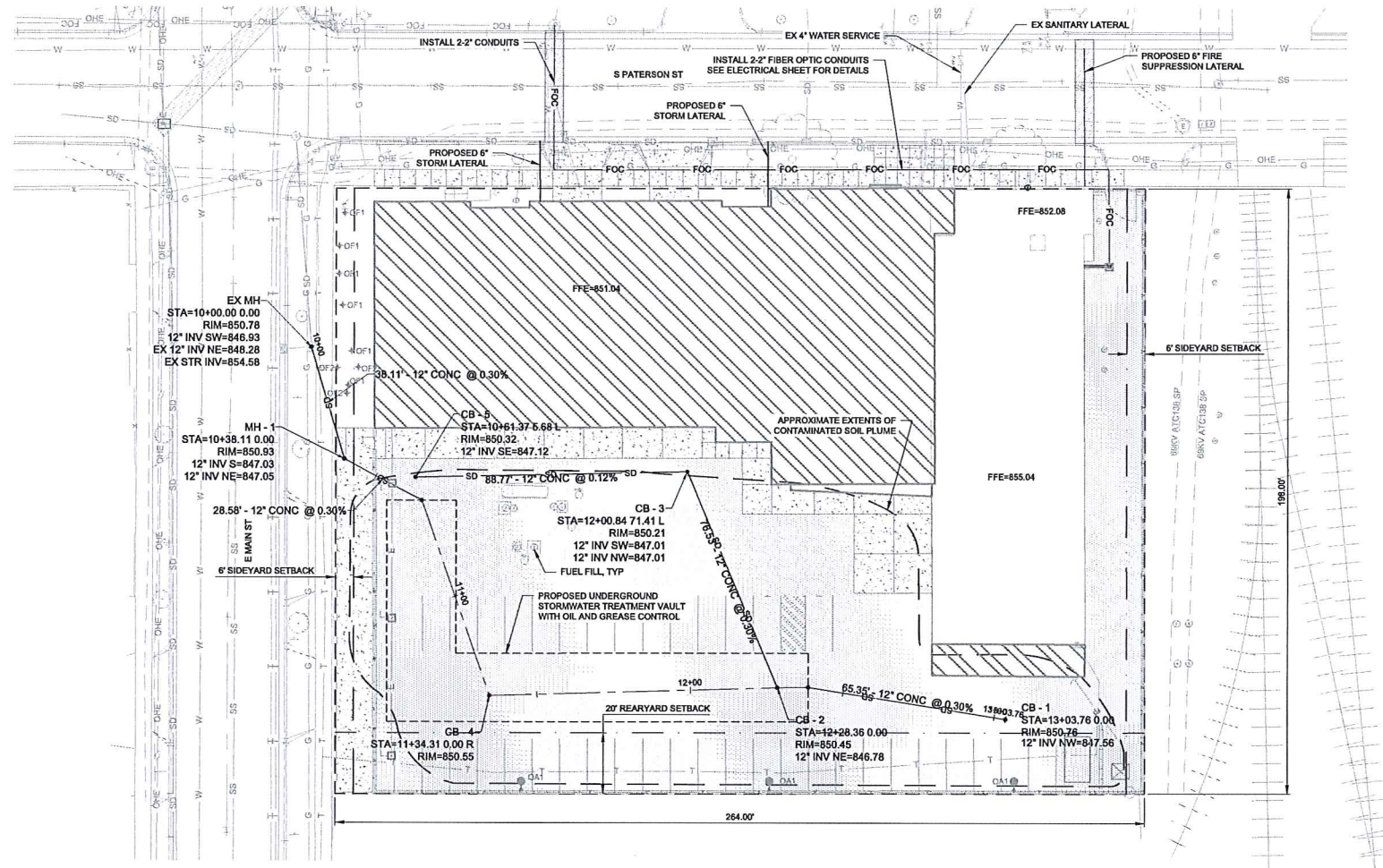
LEGEND:

- 734.97' M EXISTING SPOT ELEVATION
- 739.78 FINISHED / PROPOSED SPOT ELEVATION
- 3.1 FINISHED / PROPOSED SLOPE
- 2% FINISHED / PROPOSED SLOPE



MADISON WATER UTILITY
Paterson Street Operations Center
 GRADING AND EROSION CONTROL PLAN
 22 April 2015



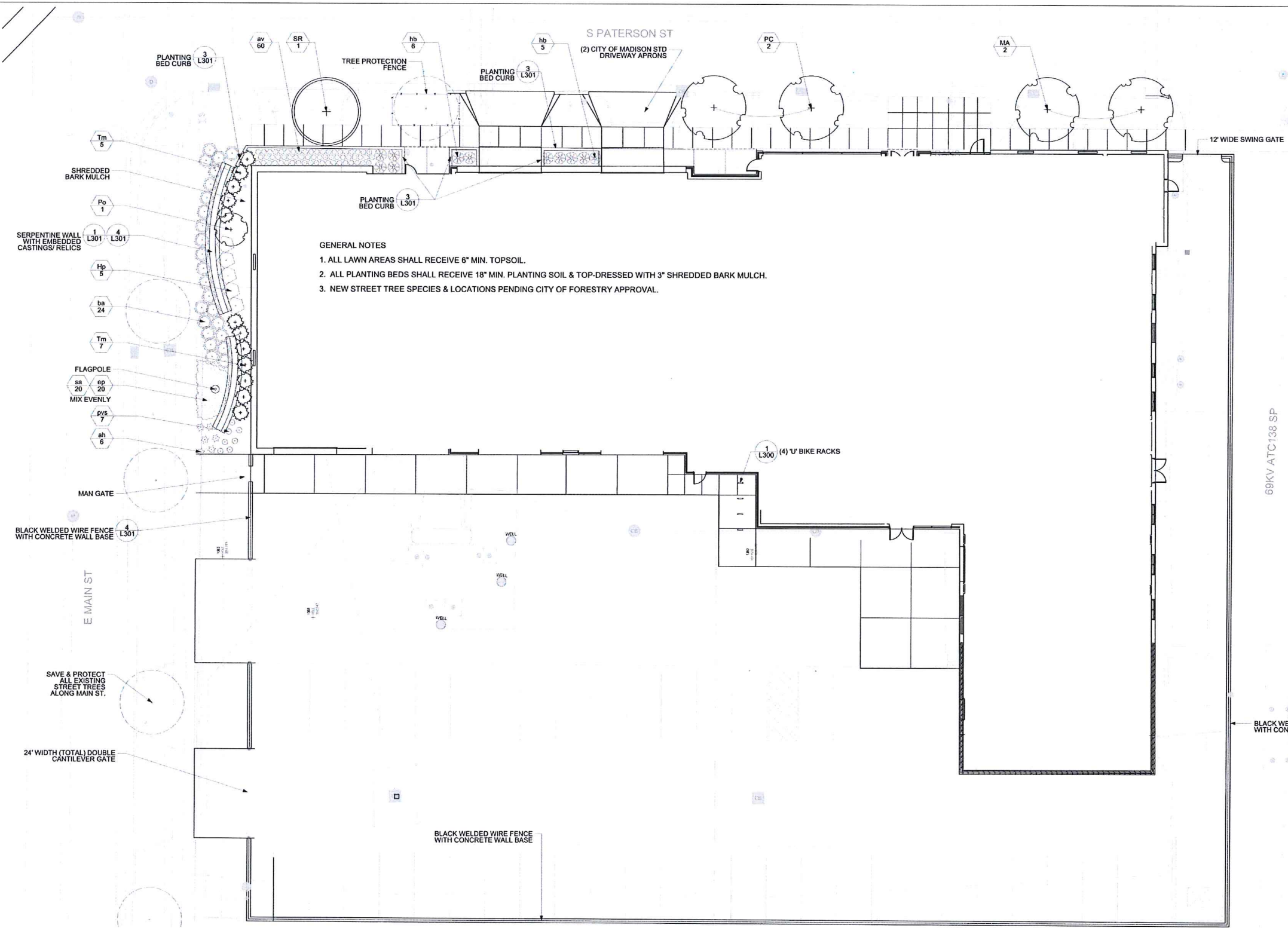


LEGEND:
 STORM INLET, ROUND
 STORM SEWER MANHOLE



MADISON WATER UTILITY
Paterson Street Operations Center
 SITE UTILITY PLAN
 22 April 2015





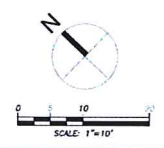
GENERAL NOTES

1. ALL LAWN AREAS SHALL RECEIVE 6" MIN. TOPSOIL.
2. ALL PLANTING BEDS SHALL RECEIVE 18" MIN. PLANTING SOIL & TOP-DRESSED WITH 3" SHREDDED BARK MULCH.
3. NEW STREET TREE SPECIES & LOCATIONS PENDING CITY OF FORESTRY APPROVAL.

1 LANDSCAPE PLAN
L200

Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments	Mature Size
Deciduous Trees							
MA	<i>Masackia amurensis</i> 'Starburst'	Starburst Amur Masackia	2	2" Cal.	B&B	Single, straight leader, match specimens, branching shall start at 5'-0" min.	20' Ht x 20' Sp.
PC	<i>Prunus californica</i> 'Cleveland Select'	Cleveland Select Pear	2	2" Cal.	B&B	Single, straight leader, match specimens, branching shall start at 5'-0" min.	15' Ht x 15' Sp.
SR	<i>Syringa reticulata</i> 'Wiliamee'	Wily Pillar Tree Lilac	1	2" Cal.	B&B	Single, straight leader, match specimens, branching shall start at 5'-0" min.	20-25' Ht x 10-15' Sp.
Evergreen Shrubs							
Tm	<i>Taxus x media</i> 'Taunton'	Taunton Yew	12	2 1/2" Ht.	B&B	Single, straight leader, match specimens	2-3' Ht x 4-5' Sp.
Deciduous Shrubs & Vines							
Hp	<i>Hydrangea paniculata</i> 'Jane'	Little Lime Hydrangea	5	36" Ht.	B&B	Space 4'-0" o.c.	4-5' Ht x 4-5' Sp.
Po	<i>Physocarpus opulifolius</i> 'Donna May'	Little Devil Ninebark	1	5 gal.	Cort.	Space 6'-0" o.c.	5-6' Ht x 5-6' Sp.
Perennials & Ornamental Grasses							
ah	<i>Amsonia hubertii</i> 'Halfway to Arkansas'	Halfway to Arkansas Narrow Leaf Blue Star	6	1 gal.	Cort.	Space 3'-0" o.c.	3' Ht x 2.5-3' Sp.
av	<i>Alchemilla vulgaris</i>	Lady's Mantle	60	1 gal.	Cort.	Space 18" o.c.	5-1.5' Ht x 1-1.5' Sp.
ba	<i>Baptisia australis</i>	Blue False Indigo	24	1 gal.	Cort.	Space 3'-0" o.c.	3' Ht x 2.5-3' Sp.
ep	<i>Echinacea x 'Purle Meadowbrite'</i>	Purle Meadowbrite Coneflower	20	1 gal.	Cort.	Space 18" o.c.	1.5-2' Ht x 1.5-2' Sp.
hb	<i>Hosta 'Blue Angel'</i>	Blue Angel Hosta	11	2 gal.	Cort.	Space 3'-0" o.c.	2.5' Ht x 4' Sp.
ira	<i>Panicum virgatum</i> 'Shenandoah'	Shenandoah Switchgrass	7	1 gal.	Cort.	Space 3'-0" o.c.	3.5' Ht x 2.5-3' Sp.
sa	<i>Sesleria autumnalis</i>	Autumn Moor Grass	20	1 gal.	Cort.	Space 1'-6" o.c.	1.5' Ht x 1.5' Sp.

City of Madison - Landscape Worksheet					
Operations Center Site		Points Req.		Points Achieved	
Total Sq. Footage of Developed Area	29,425 sq ft				
Total No. of Landscape Points Req.	5 per 300 sq ft developed area	491			
Plant Type/Element	Minimum Size at Installation	Points	Credit Existing Landscaping	New Proposed Landscaping	Points Achieved
Overstory deciduous tree	2 1/2" inch caliper (dbh)	35			0
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35			0
Ornamental tree	1 1/2" inch caliper	15			0
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10			0
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			6
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			12
Ornamental grasses/perennials	#1 gallon container size, Min. 8"-18"	2			143
Ornamental/decorative fencing or wall	n/a	4 per 10 lin ft			232
Existing significant specimen tree	min. 2-1/2" cal.	14 per inch dbh			0
Landscape furniture for public seating and/or transit connections	publicly accessible	5 per seat			0
TOTAL POINTS		663			663



MADISON WATER UTILITY
Paterson Street Operations Center
 LANDSCAPE PLAN
 22 April 2015

