



City of Madison

Conditional Use

Location
4019 Marsh Road

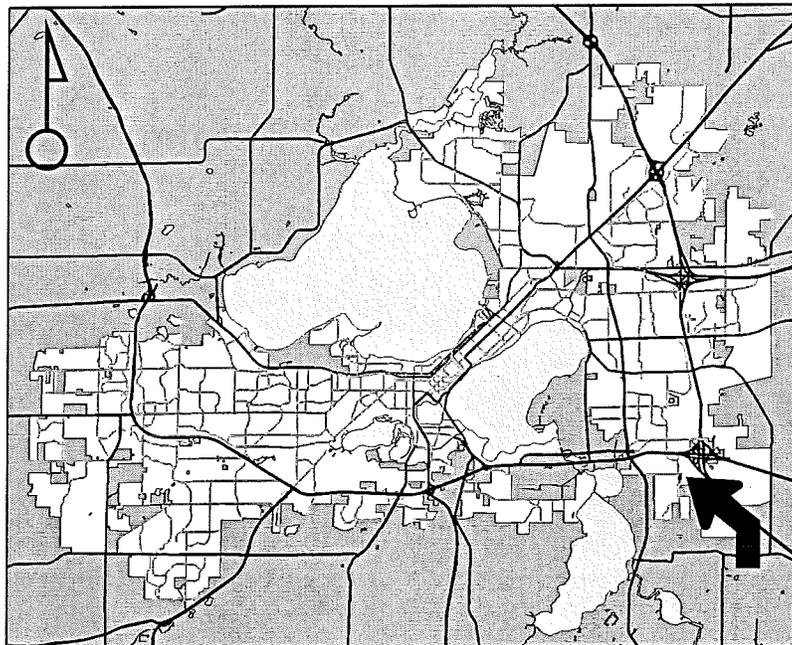
Project Name
Applewood Self Storage

Applicant
Thomas DeBeck/David D. Wood-
Applewood Self Storage

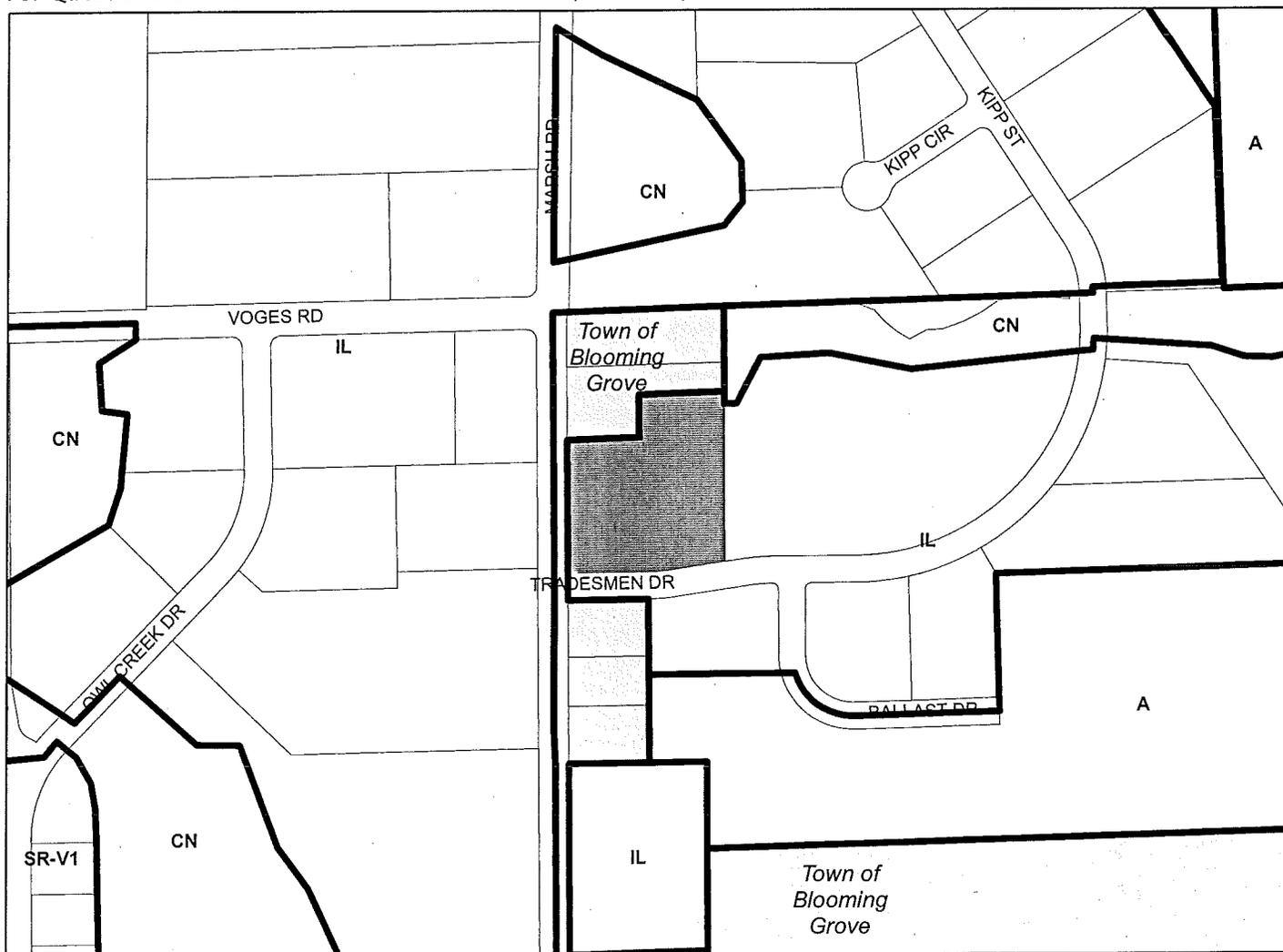
Existing Use
Vacant Land

Proposed Use
Construct personal indoor
storage facility (revised plans)

Public Hearing Date
Plan Commission
11 July 2016

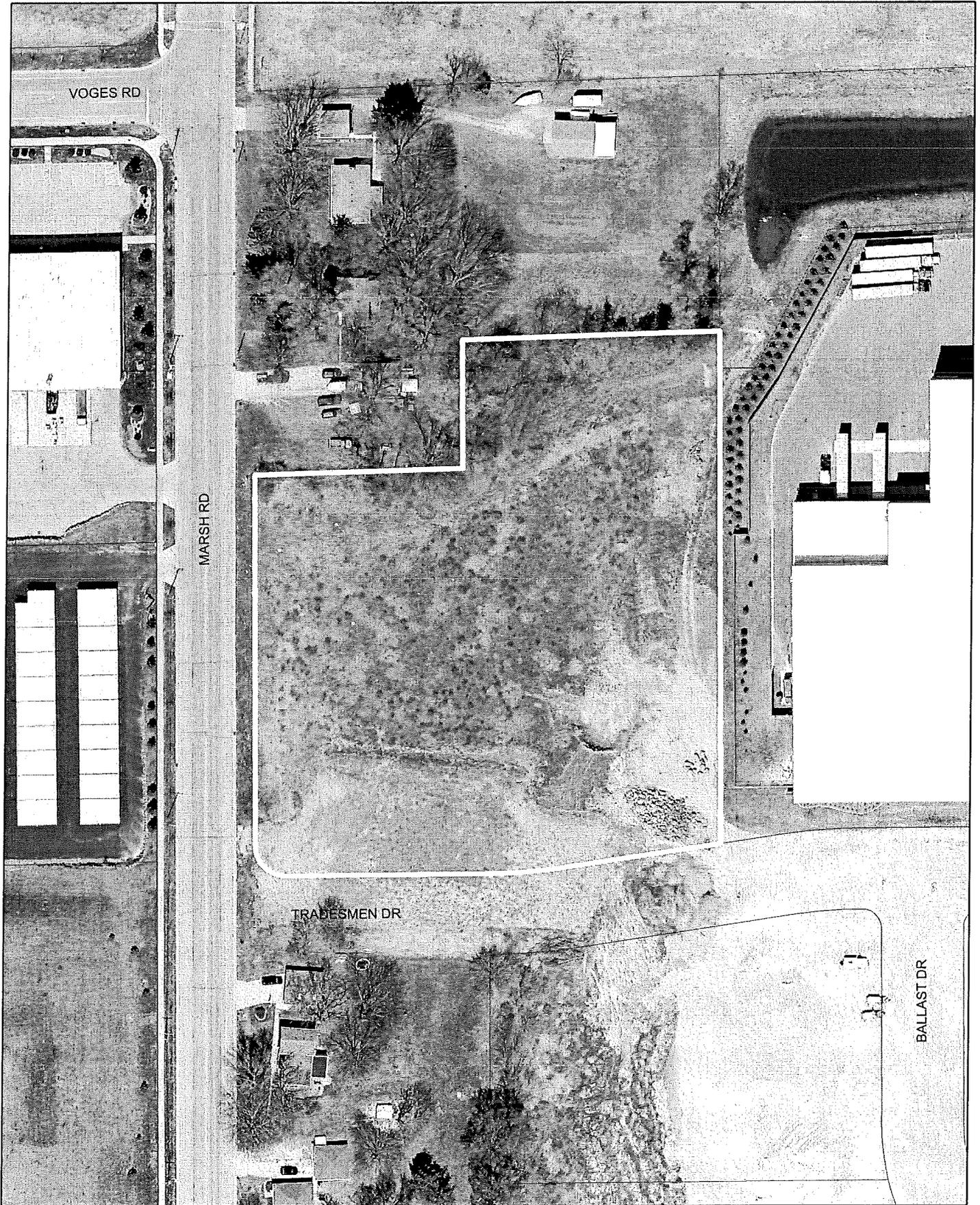


For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 06 July 2016





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:	
Amt. Paid <u>6900</u>	Receipt No. <u>14213-0001</u>
Date Received <u>3/16/16</u>	
Received By <u>PDA</u>	
Parcel No. <u>0710-263-0304-1</u>	
Aldermanic District <u>16 DEANER</u>	
Zoning District <u>IL</u>	
Special Requirements _____	
Review Required By:	
<input type="checkbox"/> Urban Design Commission	<input checked="" type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. Project Address: 4019 MARSA ROAD, MADISON WI 53718
 Project Title (if any): APPLEWOOD HOME + TRADES SELF STORAGE

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: DAVID D. WOOD Company: APPLEWOOD SELF STORAGE
 Street Address: 3200 LARSEN ROAD City/State: MADISON WI Zip: 53711
 Telephone: (608) 442-8000 Fax: () NA Email: DAVE@APPLEWOODSTORAGE.COM

Project Contact Person: _____ Company: _____
 Street Address: _____ City/State: _____ Zip: _____
 Telephone: () _____ Fax: () _____ Email: _____

Property Owner (if not applicant): Thomas DeBeck
 Street Address: 6500 Greenway Blvd #202 City/State: Middleton, WI Zip: 53562

4. Project Information: PHASE I - BLDGS A, B, C, D

Provide a brief description of the project and all proposed uses of the site: DEVELOPMENT OF SELF STORAGE FACILITY, PROVIDING UNITS OF SIZE + ACCESS FOR TRADES / BUSINESS AS WELL AS TRADITIONAL STORAGE

Development Schedule: Commencement _____ Completion _____

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed) w/ FIRE PROTECTION PLANS
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- ONE CD FOR ENGINEERING
- Seven (7) copies of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- Twenty Five (25) copies of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- One (1) copy of the plan set reduced to fit onto 8 1/2 X 11-inch paper

N/A For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: City Treasurer.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com. PDFS ON CD

N/A Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

EMAIL ON 11/16/15 FOLLOWED BY DECEMBER PHONE CONVERSATIONS

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: TIM PARKS Date: 2/20/16 Zoning Staff: PAR ANDERSON Date: 11/16/15
2/9/16

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant DAVID D. WOOD Relationship to Property: APPLEWOOD STORAGE OWNER

Authorizing Signature of Property Owner Thomas DeBlack Date 3-16-16

8



Letter of Intent

March 15, 2016

Mr. Patrick Anderson – City of Madison Zoning
215 Martin Luther King Jr. Blvd
Madison, WI 53701

Herein outlines a “Letter of Intent” for our family to build AppleWood Mini Storage facility at 4019 Marsh Road.

History & Background:

A visit to AppleWoodStorage.com will provide an excellent representation attesting to the quality of the two family-owned and managed City of Madison facilities (4018 Marsh Road since 2004 and 3017 Dairy Drive since 2012). Our marketing position is “Safety is Our #1 Goal”. Since 2009 we are proud supports of City of Madison K9, and Madison Mounted Patrol. We are also a financial supporter of the Dane County Sheriff’s Freeway Service Vehicle program. For reputation management, check Google or Yelp for our customer’s reviews.

Project Background:

1. Project Team: (same team as having done 3017 Dairy Dr., built in Spring 2012)
 - David D. Wood; Owner and Manager
 - AJ Regali – American Structures General, Inc.

2. Existing Conditions & Parcel Description:
 - Vacant land located in Tradesman Industrial Park
 - Lot #4 3.32 acres in front of Pellitteri Waste Systems
 - West frontage, Marsh Road, South boundary with proposed Tradesman Drive
 - Zoned IL, property use M1
 - Alder District #16, Ms. Denise DeMarb
 - Assessed \$82,000

3. Project Schedule:
 - May - City approval of site plans
 - May - Order building plans
 - August - Present building plans to City
 - August - Building plans approved
 - Sept-Oct - Earth work and foundations, Aug-Oct
 - Phase I Late Fall 2016 to Spring 2017

AppleWood Self Storage, LLC. P.O. Box 259284, Madison, WI 53725

Phone: (608) 442-8000

E-Mail: applewoodstorage@sbcglobal.net

"Safety is Our #1 Goal™"

4. Phase I: - 36,000 sq ft
 - Building A:
 - 34 x 45 Office and owner's storage area
 - 65 x 137 Climate control storage
 - Building B:
 - 30x 167
 - Contractor-targeted 12x30 unheated storage
 - Building C:
 - 80 x145
 - Climate Control Storage
 - Building D:
 - 60 x 145
 - Unheated Drive up Storage

5. Phase II: - 30,000 sq. ft.
 - Specific use; climate control vs. unheated and unit sizes subject to learning of product acceptance and market demand. Timing of construction will be driven by market demand. Projected goal of within 3-5 years.
 - Building E - 65 x 185
 - Building F - 60 x 110
 - Building G - 75 x 75
 - Building H - 75 x 75

6. Set-Backs and Land Use Per Meeting with Zoning Staff:
 - Setbacks; Side yard 15', Rear 30'
 - Lot usage no greater than 75%

7. Hours of Operation:
 - Monday-Friday 7:30-5:30
 - Sat/Sun by appointment

8. Other:
 - Parking stalls per plan, 2 plus handicapped space.
 - Staff; myself full time, 2 other part time as season dictates
 - Solar Panels are proposed only. We are working with Sun Peak on a program with the concept of being close to 100% self-sufficient.

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Submittal Inventory 4019 Marsh Road

March 15, 2016

Mr. Patrick Anderson – City of Madison Zoning
215 Martin Luther King Jr. Blvd
Madison, WI 53701

Below is a summary of items assembled for submittal regarding our family's desire to build an AppleWood Storage facility at 4019 Marsh Road.

Contact/Meeting Recap:

1. Patrick Anderson:
 - Initial contact; Zoning counter meeting & email – November 15, 2015
 - Follow-up meetings, primary February 9, 2016
 - Packet submittals on or before March 18, 2016

2. Alderperson Concept Introduction:
 - E-Mail November 16, 2015
 - Phone call, voice mail left early December
 - Phone call conversation, mid-December

3. Preliminary Previews:

Emailed and discussed plans early on with goal of being right earlier!

 - Patrick Anderson
 - William Sullivan
 - Jeffrey Benedict

4. Tim Parks:
 - Email conversations February
 - Zoning counter meeting February 22, 2016

Fees Submitted:

1. Filing Fee: - \$ 900.00
2. Engineering Permit (fees to follow):
 - Erosion Control Permit - \$ 940.50
 - Storm Water Management Permit - \$1,548.96

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Media Submitted:

1. CD for:
 - Patrick Anderson
 - Jeff Benedict – Engineering

2. Paper Plan Sets:
 - One (1) set on 8 ½ x 11
 - Seven (7) sets on 24x36
 - 25 sets on 11x17

Materials Submitted:

1. Letter of Intent
2. Land Use Application
3. Copy of Alder Email, dated, November 16th
4. Photos of 3017 Dairy Drive on CD to show material use, color scheme

5. Quam Engineering Plan Sets for:
 - Existing Site Plan - 2/25/16
 - Site Plan - 3/4/16
 - Grading/Erosion - 2/25/16
 - Utility/Fire - 3/4/16
 - Landscape - 2/25/16
 - Engineering Submittal set for Jeff Benedict

6. Transcend Architects – Knute Villand:
 - Elevations
 - Materials Used
 - Proposed solar placement - TBD

7. Safety Recognition:
 - Dane County Freeway Service Vehicle
 - Prevention Through Education & Personal Responsibility Campaign – Jan 2009
 - Capital K9's involvement

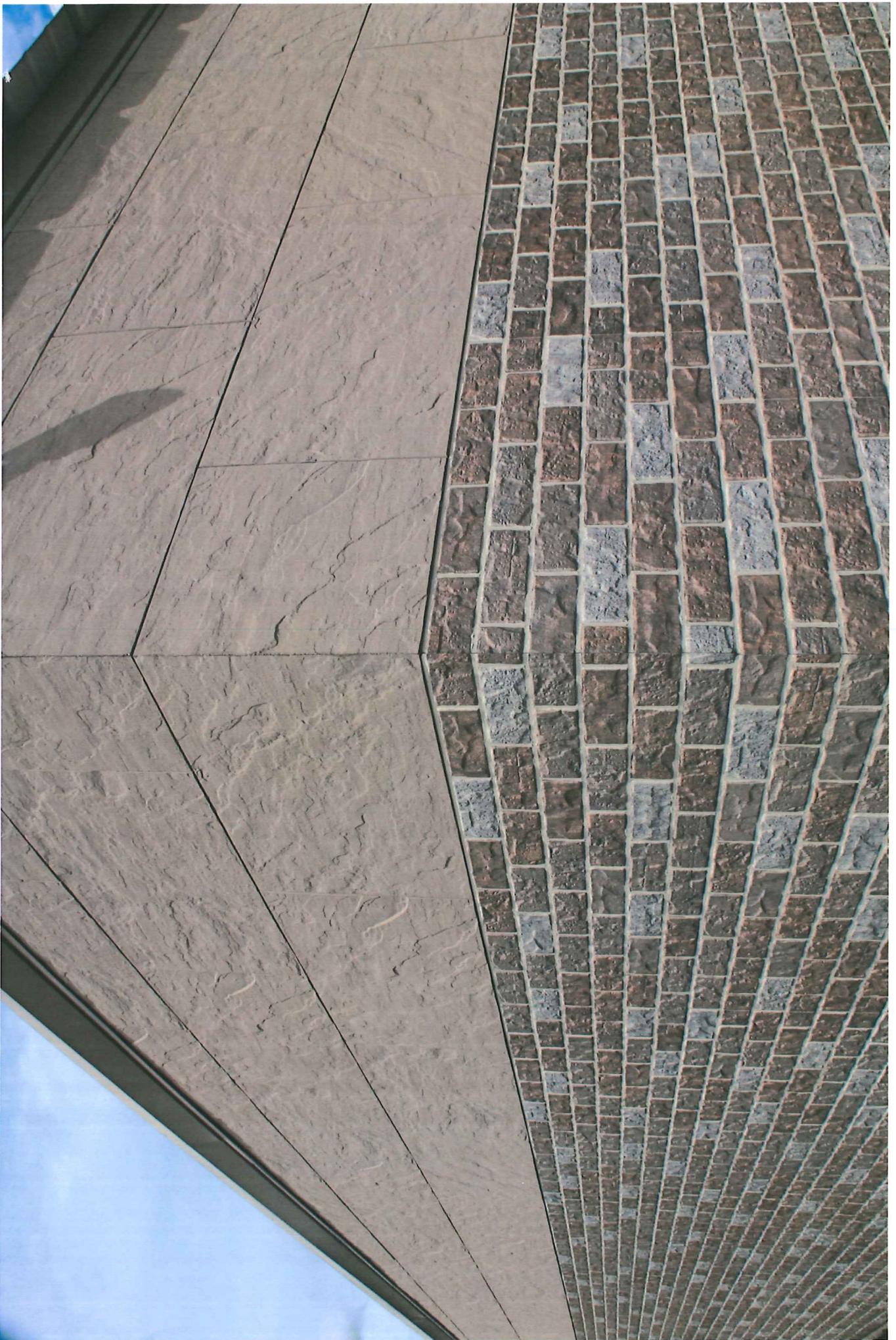
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 - Patrick Anderson
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"Safety is Our #1 Goal™"





SPEED LIMIT 10

No Smoking
This is a
Non-Smoking
Facility



AppleWood

SELF STORAGE, LLC

Home Business Auto Toys



5x5
for
16'

Safety is Our #1 Goal

AppleWoodStorage.com

Call 608-442-8000

3017, 3025, 3033, 3041 Dairy Drive



Climate
Control



SHERIFF DAVID J. MAHONEY
DANE COUNTY SHERIFF'S OFFICE

JEFF HOOK, Chief Deputy
(608) 284-6167



TIMOTHY F. RITTER
Captain, Administration Services
(608) 284-6175

JANICE L. TETZLAFF
Captain, Support Services
(608) 284-6186

RICHELLE J. ANHALT
Captain, Security Services
(608) 284-6165

JEFFREY A. TEUSCHER
Captain, Field Services
(608) 284-6870

FOR IMMEDIATE RELEASE

**NEWS
RELEASE**

Contact: Steve Theisen, Project Communications Manager, WisDOT
Phone: 608-884-1230
Email: steven.theisen@dot.wi.gov

New Freeway Service Truck Unveiled

September 3, 2015 – The Wisconsin Department of Transportation (WisDot) and the Dane County Sheriff's Office unveiled the new Dane County Sheriff Freeway Service Team (FST) truck today. Since 2001, Dane County Sheriff's deputies have been operating the Freeway Service Patrol, funded by the WisDOT. The deputies use Traffic Incident Management principles to quickly clear problems on the Madison Beltline to keep traffic moving by working in close cooperation with towing and recovery contractors, and by utilizing the service truck's heavy-duty push bumper, changeable message signs, and various vehicle assistance tools.

The highly visible service truck patrols the corridor of U.S. Highway 12 & 18, also known as the Beltline, from I-39 to the City of Middleton. The service patrol runs Monday through Friday from 6:00 am to 6:00 pm, excluding holidays. According to the Federal Highway Administration (FHWA), service patrols are universally accepted as the most effective tool for Traffic Incident Management. The presence of the service patrol reduces the overall duration of traffic incidents on the Beltline, as well as reduces secondary incidents and delays.

To reduce program costs, The WisDot and Dane County Sheriff's Office partnered with several private businesses to help fund the valuable program. Major sponsors for the Dane County FST program now include Kayser Ford, American Family Insurance and Applewood Self Storage. Other FST sponsors include Barnes Green Energy, Monroe Truck, Mad Wraps, and Schmidt's Auto.

In 2013, the Freeway Service Team logged 56,787 miles, and responded to over 5,000 calls for service. The current 2008 truck, has logged well over 326,000 miles. With the assistance of Kayser Ford, a 2016 Ford F250 Super Duty truck will be put into service on the beltline starting Labor Day weekend. The new vehicle allows the program to take a more environmentally friendly approach. Sponsor Barnes Green Energy has equipped the vehicle with a compressed natural gas bi-fuel system, which will significantly reduce fuel costs and emissions.

Each motorist assisted by the FST receives a comment card to provide feedback about the program. Between 2013 and 2014, the state received 560 responses, with an overall rating of excellent by 92.9 percent. The Dane County Sheriff's Office in partnership with WisDot plans to continue this high level of service to motorists, while saving tax dollars thanks to our sponsors. As the Labor Day weekend approaches, we want to remind drivers to be patient and "Slow Down and Move Over" for roadside workers and emergency vehicles.

###

PLEASE TAKE AN ACTIVE ROLE IN YOUR OWN SAFETY SAFETY IS EVERYONE'S RESPONSIBILITY

Your safety & security is important to us. Please take a moment to educate yourself on your apartment and as you are out about town with friends follow the buddy system.

Also, pre-discuss a plan on how you will be getting home.

Your apartment has a variety of building security & fire protection items in place (will vary by building and apartment) such as; building's entry door closures, carbon monoxide and smoke detectors, fire doors and fire extinguishers in common areas.

These are all for your protection...please **DON'T** tamper with or remove them.

Report to your landlord immediately any doors, lighting, smoke detectors or fire extinguishers that are missing or not working properly.

BUILDING SECURITY & PERSONAL SAFETY

With busy lives and desire for convenience, security too often takes a back seat to carelessness.

Please review these "Do's and Don'ts" with your roommates.

DO'S

1. **Entry Doors:** Keep closed **AT ALL TIMES.**
When coming and going, make sure you lock your apartment door. Make sure the building entry door closes and latches completely behind you.
2. **Awareness:** Look around before you leave. Report anything that appears suspicious to you.
3. **Renters Insurance:** You will need your own policy to protect your belongings in case of fire or theft.
4. **Out On The Town:** Have a game plan on what you are doing and where you are going. Share those plans with others. If plans change, let someone know. Practice the "Buddy System". When walking home, stay on well-lit, high traffic, highly visible areas.

DON'TS

1. **Keys:** **DON'T** leave a "hidden key" outside for a friend. Don't give apartment keys to anyone else.
2. **Entry Doors:** **DON'T** disarm or tamper with entry door closures or locks. Propping doors open or tampering with door closures is counter-productive to keeping you safe.
3. **Out On The Town:** **DON'T** walk home alone, never drive under the influence. Call a friend or a cab. Stay put until they arrive.

Information Courtesy of:



608-266-4709
www.MadisonFire.org



608-266-6014
<http://www.ci.madison.wi.us/police/crimestop.html>



608-442-8000
www.AppleWoodStorage.com



608-251-8777
www.MadisonProperty.com

FIRE SAFETY

After move-in, tour hallways, basement and common areas to locate exits (doors & windows). Know where fire extinguishers are, and which fire doors should be kept closed. Inside your apartment, locate smoke and carbon monoxide detectors. Make sure they are working.

DO'S

1. **In Case of Fire:** Begin evacuation and call 911 from a safe location. If the fire is not spreading **AND** you are familiar with the proper use of fire extinguishers, you may then attempt to extinguish the fire. Know both your limits and the fire extinguisher's limits.
2. **Escape Plan:** Develop and practice a fire escape plan with roommates and know at least two ways out of each room. Select a safe place outside to meet. When at a party, night club or large-scale event, know two ways out in case of emergency.
3. **Smoke Detectors:** Test smoke detectors regularly and do not tamper with or disconnect the battery. It is **YOUR RESPONSIBILITY** to ensure the smoke alarm is in working order. Notify your landlord if it is not.
4. **Fire Extinguishers:** When using; PASS...Pull the pin, Aim low at base of the fire, Squeeze lever to discharge, Sweep nozzle from side to side. **ALWAYS** keep your back to an unobstructed exit that is free from fire.
5. **If a Cooking Fire:** Call 911 immediately. Then, if you can, slide a pan lid over flames to smother a grease or oil fire. Then turn off the heat and leave the lid on until the pan cools. Never carry the pan outside. Extinguish other food fires with baking soda. Never use water or flour on cooking fires. For oven fires, shut the oven door and turn off the stove to smother.
6. **Cooking Safely:** Unattended stoves are the #1 cause of cooking fires. Stay in the kitchen and keep an eye on your stove. Wear short or close-fitting sleeves and turn pan handles inward to prevent spills and burns. Keep cooking surfaces clean to prevent food and grease build-up. If alarm goes off from cooking open a door or window vs. disabling a smoke detector.
7. **Fire Doors:** Doors to basements, laundry and furnace rooms are "fire doors" that must be **CLOSED AT ALL TIMES** (never propped open).

8. **Grilling:** Cool coals with water and stir to make sure they are completely cooled down before disposing in a waste receptacle.
9. **Space Heaters:** Are to provide supplemental heat **ONLY**, not to warm bedding or dry clothing. Keep things that burn at least 3 feet away. Always turn off when you leave the room or go to sleep.
10. **Candles & Smoking Materials:** Make sure candles are in a sturdy holder and kept at least 3 feet from anything. **ALWAYS BLOW OUT** when leaving apartment or going to sleep. When smoking, be sure smoking materials are fully extinguished and disposed of in metal containers as smoking materials are the leading cause of fatal fires.
11. **Having Guests:** 40% of fatal fires involve the use of alcohol by victims, their family and friends. Ask guests not to tamper with any of the safety measures of your apartment and to drink responsibly.

DON'TS

1. **Smoke Detectors:** **DON'T** disable smoke detectors because of nuisance alarms caused by cooking fumes or smoking cigarettes. Instead of disarming a smoke detector, open a window to vent out the smoke. Ask cigarette smokers to smoke outside.
2. **Hallways:** **DON'T** leave garbage bags or bikes in hallways. In event of a fire, the hallway may be best or only safe exit path to get outside.
3. **Basement Storage:** Store only in approved/ designated storage areas. **DON'T** store anything in furnace rooms, up against electrical panels, laundry rooms, or any hallway.
4. **Grilling:** **DON'T** cook on any balcony or porch. Anything with an open flame must be at least 10 feet from the building (fines up to \$101.50 for violations). Cool coals with water and stir to make sure they are completely cooled down before disposing double-bagged in a waste receptacle.

(Presented as a public service for your safety. No expressed warranty is implied.)



City of Madison Fire Department

News Release



Date: January 21, 2009

Released By: **Joel DeSpain** – Public Information Officer, MPD
(608) 266-4897
Lori Wirth – Public Information Officer, MFD
(608) 266-5947 or (608) 575-4943

Landlord Increases Safety Education in Student Housing Initiates *Prevention Through Education and Personal Responsibility* Program

In the wake of multiple incidents over the past 18 months, safety and security in Madison's student housing has become a topic of increased interest.

Dave Wood owns rental property in Madison. He's decided to do something about housing safety by providing brightly-colored information on Fire Safety, Building Security, and Personal Safety to all of his tenants. But more than just posting the information, rental consultants will go over the poster, present a flyer of the same info and have dialogue on the various safety points, asking tenants to help by taking responsibility for their own safety.

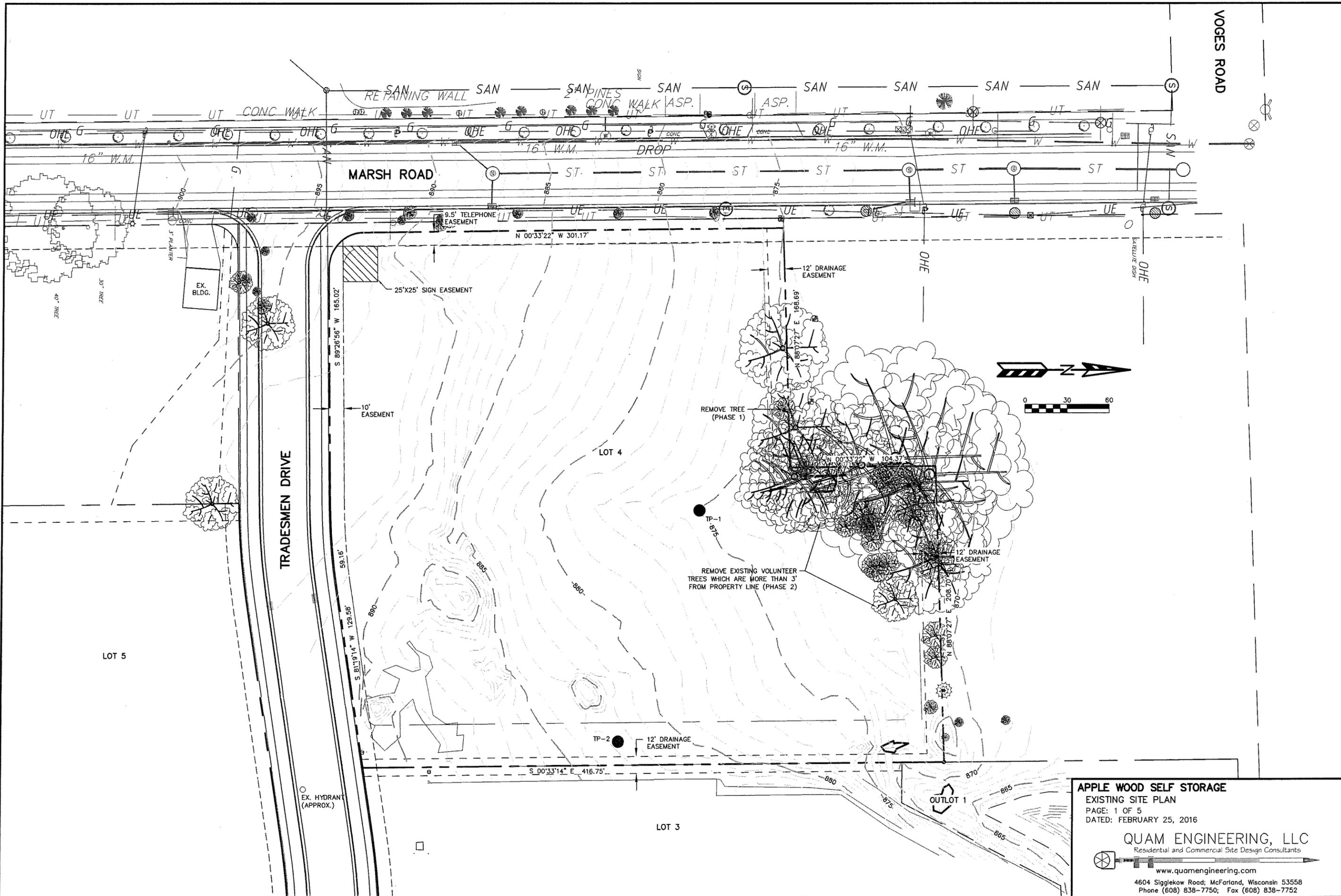
While Wood originally printed the posters for use in his family's properties, Madison Property Management, Inc. (MPM) has adopted the project and have started installing 500 of the posters for other properties they manage for other owners. Wood estimates the reach could be in the 4-5,000 range of the student population.

Wood says he takes some inspiration from this week's inaugural address. "Our new President recently asked for 'responsibility on the part of business and government.' This prevention program applies to houses, flats or high rises. Similarly, for the Prevention through Education and Personal Responsibility Program to work, in addition to asking owners and managers to be responsible, we need the apartment residents to take personal responsibility for their own safety. Getting this last responsibility involvement of the resident provides the ultimate prevention benefit. Without it, making preventative gains will be tough".

Fire Chief Debra Amesqua applauded the initiative. "It's exciting and gratifying to receive this kind of support from the business community," said Fire Chief Debra Amesqua. "This initiative sets a clear expectation for a culture of safety across the community."

Police Chief Noble Wray added his praise for the activity. "The City of Madison Police Department encourages and embraces this type of community partnership. We firmly believe we must all work together to keep our neighborhoods safe."

--END--



APPLE WOOD SELF STORAGE
 EXISTING SITE PLAN
 PAGE: 1 OF 5
 DATED: FEBRUARY 25, 2016

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Sigglekow Road, McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752

LUMINAIRE SCHEDULE				
SYMBOL	QTY	CATALOG #	DESCRIPTION	LAMP
□	27	E-WPAH071Z	E-CONLIGHT BUILDING MOUNTED LUMINAIRE, 70W HPS, ADJUSTABLE CUTOFF.	ONE 70-WATT ED-17 HIGH PRESSURE SODIUM, HORIZONTAL POSITION.

AW-01-08\AW01BASE.DWG

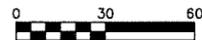
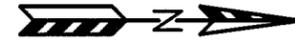
44604 Siggelkow Road, McFarland, WI 53558 (608) 838-7750

QUAM ENGINEERING, LLC

VOGES ROAD

MARSH ROAD

TRADESMEN DRIVE
(FUTURE-BY OTHERS)



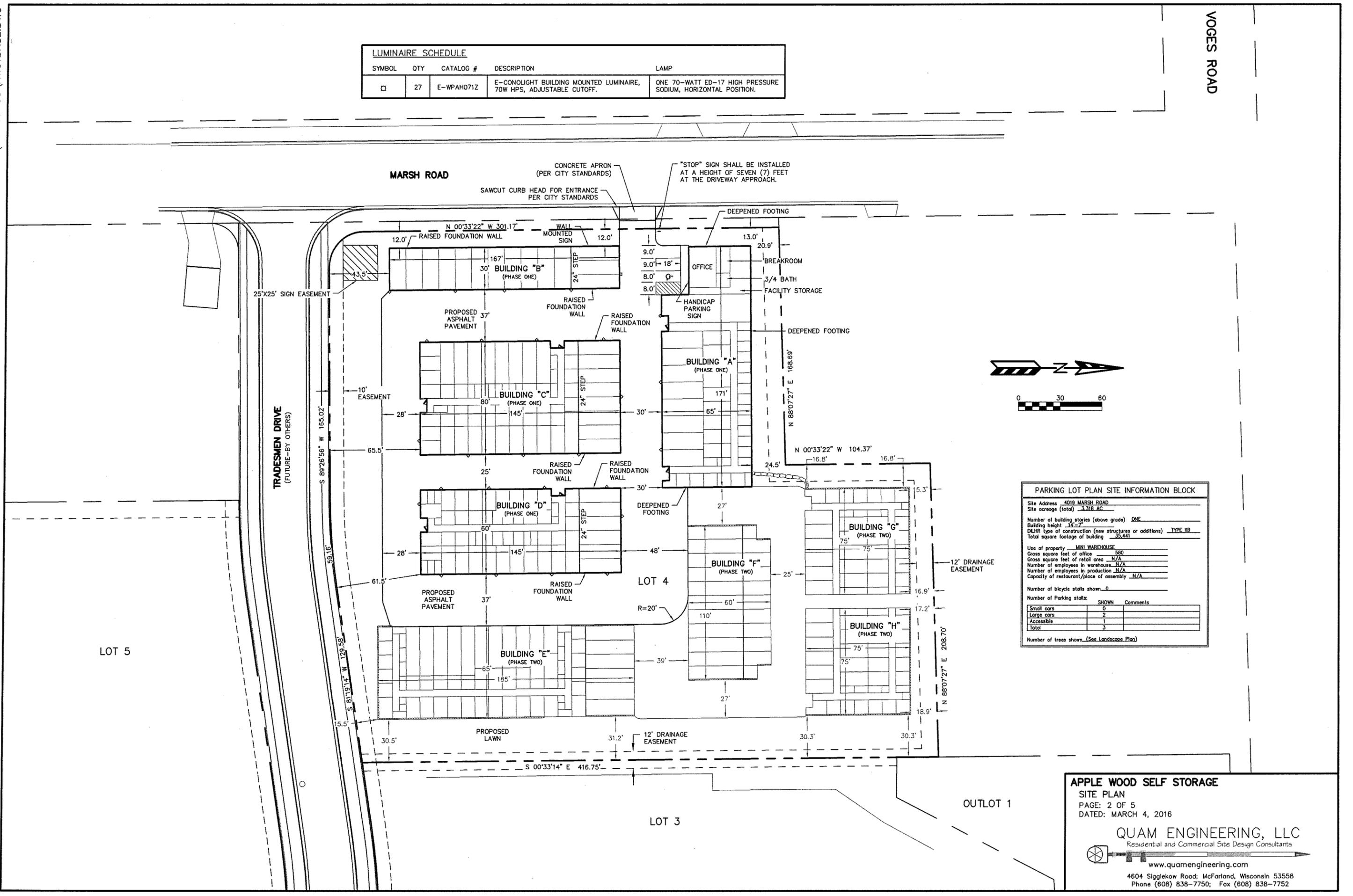
PARKING LOT PLAN SITE INFORMATION BLOCK	
Site Address	4018 MARSH ROAD
Site acreage (total)	3.318 AC.
Number of building stories (above grade)	ONE
Building height	11-7
DLLR type of construction (new structures or additions)	TYPE IIB
Total square footage of building	35,441
Use of property	MINI WAREHOUSE
Gross square feet of office	580
Gross square feet of retail area	N/A
Number of employees in warehouse	N/A
Number of employees in production	N/A
Capacity of restaurant/piece of assembly	N/A
Number of bicycle stalls shown	0
Number of Parking stalls:	
Small cars	0
Large cars	2
Accessible	1
Total	3
Number of trees shown (See Landscape Plan)	

APPLE WOOD SELF STORAGE
 SITE PLAN
 PAGE: 2 OF 5
 DATED: MARCH 4, 2016

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants

www.quamengineering.com

4604 Siggelkow Road, McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



LOT 5

LOT 4

LOT 3

OUTLOT 1

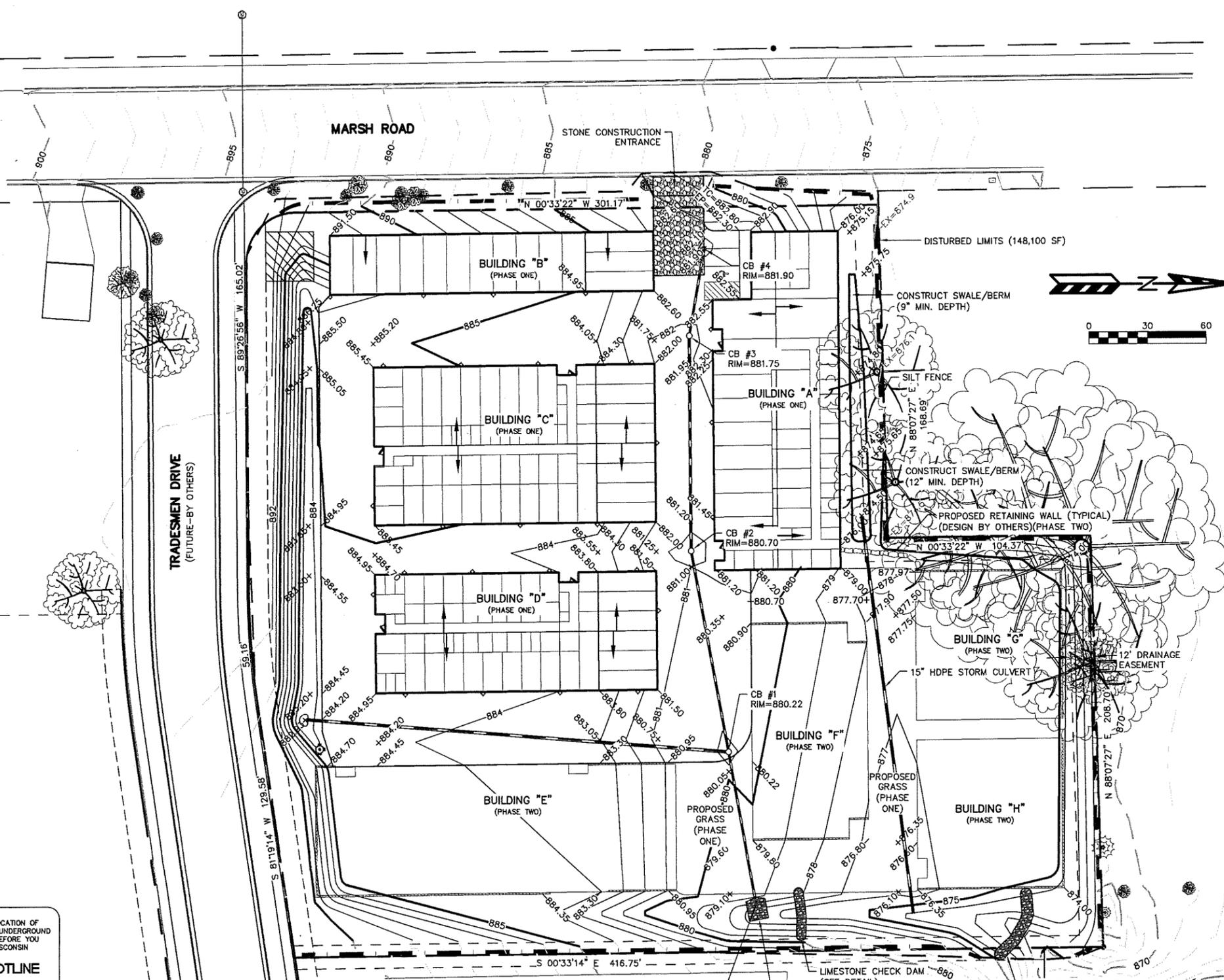
TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289
 WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE

→ = ROOF DRAINAGE ARROW

LOT 5

LOT 3

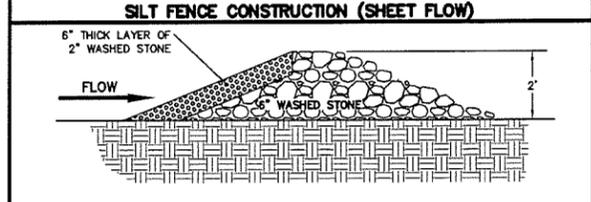
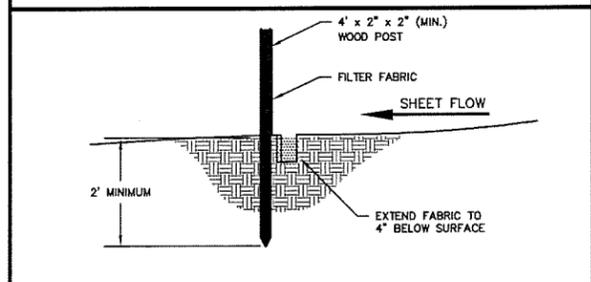
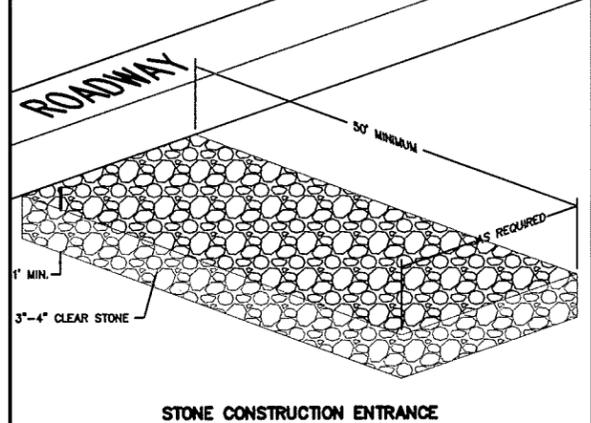
OUTLOT 1



EROSION NOTES:
 THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
 EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
 CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1. 3:1 SLOPES SHALL BE MULCHED WITHIN ONE DAY OF DISTURBANCE AND PERMANENTLY RESTORED WITHIN 32 DAYS. 4:1 SLOPES SHALL BE MULCHED WITHIN ONE DAY AND PERMANENTLY RESTORED WITHIN 80 DAYS.
 EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

TIME SCHEDULE:
 MAY 1, 2016 INSTALL INITIAL EROSION CONTROL DEVICES.
 MAY 1 TO SEPT. 15, 2016 CONSTRUCT BUILDINGS A, B, C, & D AND DRIVE. RESTORE PVIOUSLY DISTURBED AREAS.
 MAY 1 TO SEPT. 15, 2018 CONSTRUCT BUILDINGS E, F, & G AND DRIVE. RESTORE PVIOUSLY DISTURBED AREAS.
 MAY 1 TO JULY 31, 2019 CONSTRUCT BUILDINGS H. RESTORE PVIOUSLY DISTURBED AREAS.

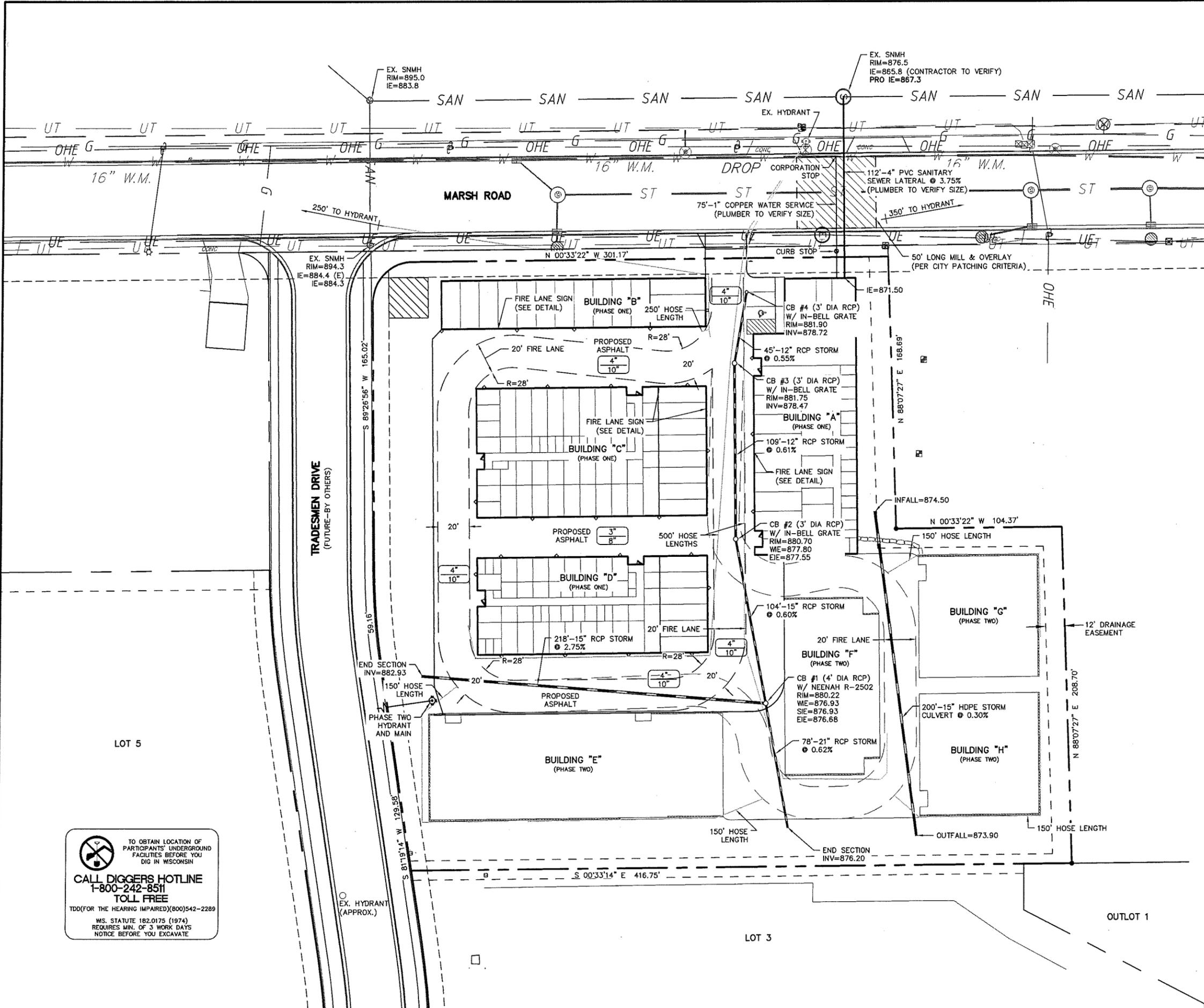
RESTORATION NOTES:
 ALL PVIOUSLY DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 40 SHALL BE USED ON ALL DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.
 SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE.
 FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%.
OWNER: DAVID WOOD, P.O. BOX 259284, MADISON, WI 53725
ENGINEER: QUAM ENGINEERING, LLC, ATTN: RYAN QUAM, 4604 SIGGELKOW ROAD, MCFARLAND, WI 53558



ROCK CHECK DAM DETAIL

APPLE WOOD SELF STORAGE
 GRADING & EROSION CONTROL PLAN
 PAGE: 3 OF 5
 DATED: FEBRUARY 25, 2016

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Siggelkow Road, McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



GENERAL NOTES:
 ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
 ANY DAMAGE TO THE PUBLIC INFRASTRUCTURE INCLUDING SIDEWALK, CURB AND GUTTER, STREET, PAVEMENT, AND PUBLIC UTILITIES RESULTING FROM CONSTRUCTION OF THIS DEVELOPMENT SHALL BE THE APPLICANT'S RESPONSIBILITY TO REPAIR.

UTILITY NOTES:
 CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS, SIZES, AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ENGINEER.
 ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.
 ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE TO CITY OF MADISON STANDARD SPECS.
 CONTRACTOR SHALL OBTAIN ALL NECESSARY SEWER CONNECTION PERMITS PRIOR TO ANY UTILITY WORK. THE PERMIT APPLICATION IS AVAILABLE ON LINE AT [HTTP://WWW.CITYOFMADISON.COM/ENGINEERING/PERMITS.CFM](http://WWW.CITYOFMADISON.COM/ENGINEERING/PERMITS.CFM).
 CONTRACTOR SHALL OBTAIN A CONNECTION PERMIT AND EXCAVATION PERMIT PRIOR TO COMMENCING STORM SEWER CONSTRUCTION MGO 37.05(7). PERMIT APPLICATION IS AVAILABLE ON LINE AT [HTTP://WWW.CITYOFMADISON.COM/ENGINEERING/PERMITS.CFM](http://WWW.CITYOFMADISON.COM/ENGINEERING/PERMITS.CFM).
 ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.
 CONTRACTOR SHALL FIELD VERIFY SANITARY, WATER, & STORM SEWER LATERALS PRIOR TO CONSTRUCTION.

PAVING LEGEND

3" 8"	3" ASPHALT PAVEMENT OVER 8" AGGREGATE BASE COURSE
4" 10"	4" ASPHALT PAVEMENT OVER 10" AGGREGATE BASE COURSE (IN FIRE ACCESS AISLE)

THE FIRE LANE AND ACCESS AISLE SHALL BE CONSTRUCTED TO SUPPORT A MINIMUM LOAD OF 85,000 POUNDS AND CERTIFIED IN THE FIELD BY AN APPROVED SOILS ANALYST.

 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289
 WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE

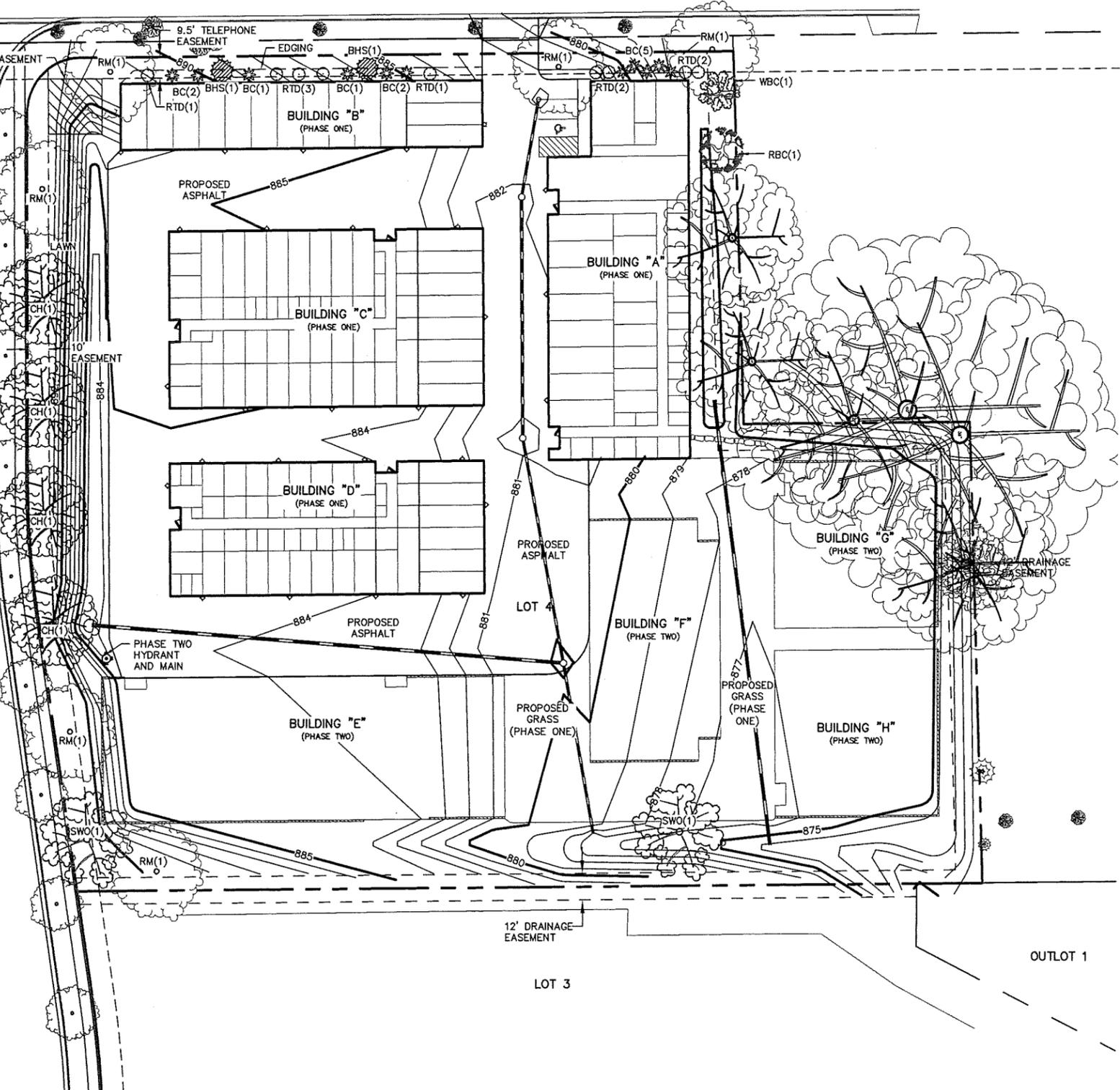
APPLE WOOD SELF STORAGE
 UTILITY PLAN AND FIRE LANE
 PAGE: 4 OF 5
 DATED: MARCH 4, 2016

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 4604 Siggelkow Road; McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



MARSH ROAD

TRADESMEN DRIVE



PLANT LIST

KEY	QUAN	SIZE	COMMON NAME	ROOT
	12		Canopy Trees	
CH	4	2 1/2"	Hackberry	BB
RM	6	2 1/2"	Red Maple	BB
SWO	2	2 1/2"	Swamp White Oak	BB
	2		<u>Low Ornamental Trees</u>	
RBC	1	12'	River Birch Clump	BB
WBC	1	12'	Whitespire Birch Clump	BB
			<u>Evergreen Trees</u>	
BHS	2	5'	Black Hills Spruce	BB
	17		<u>Deciduous Shrubs</u>	
BC	11	24"	Black Chokeberry	Pot
RTD	9	24"	Red Twig Dogwood	Pot

NOTES:

- 1) All turf areas to be seeded (No mow seed mix), fertilized, and mulched with straw.
- 2) Turf areas in drainage swales and slopes 3:1 and greater shall be mulched with straw mat fabric (installed per manufacturer's specifications).
- 3) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3"
- 4) Owner will be responsible for landscape maintenance after completion and acceptance of the project.
- 5) Plantings on south lot adjacent to proposed Tradesman will be installed within 90 days of the completion of Tradesman road, sidewalk and city trees.

LANDSCAPE WORKSHEET

Zoning Classification:	IL
Landscape Points Required	
Developed Area =	43,262 SF
Landscape Points: 84,504 /100 =	433 points
Total Landscape Points Required	433 points
Landscape Points Supplied	
Proposed canopy trees - 12 @ 35 =	420 points
Proposed evergreen trees - 2 @ 35 =	70 points
Proposed ornamental trees - 2 @ 15 =	30 points
Proposed upright evergreen shrubs - 0 @ 10 =	0 points
Proposed deciduous shrubs - 20 @ 3 =	60 points
Proposed evergreen shrubs - 0 @ 4 =	0 points
Proposed perennials & grasses 0 @ 2 =	0 points
Total landscape points supplied =	580 points



Paul Skidmore, Landscape Architect LLC

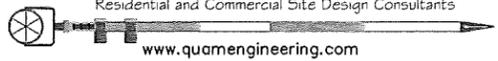
Paul Skidmore, ASLA
Landscape Architect

13 Red Maple Trail (608) 826-0032
Madison, WI 53717 (608) 335-1529 (c)
paulskidmore@tds.net

APPLE WOOD SELF STORAGE

LANDSCAPE PLAN
PAGE: 5 OF 5
DATED: FEBRUARY 25, 2016 REVISED: MAY 9, 2016

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants



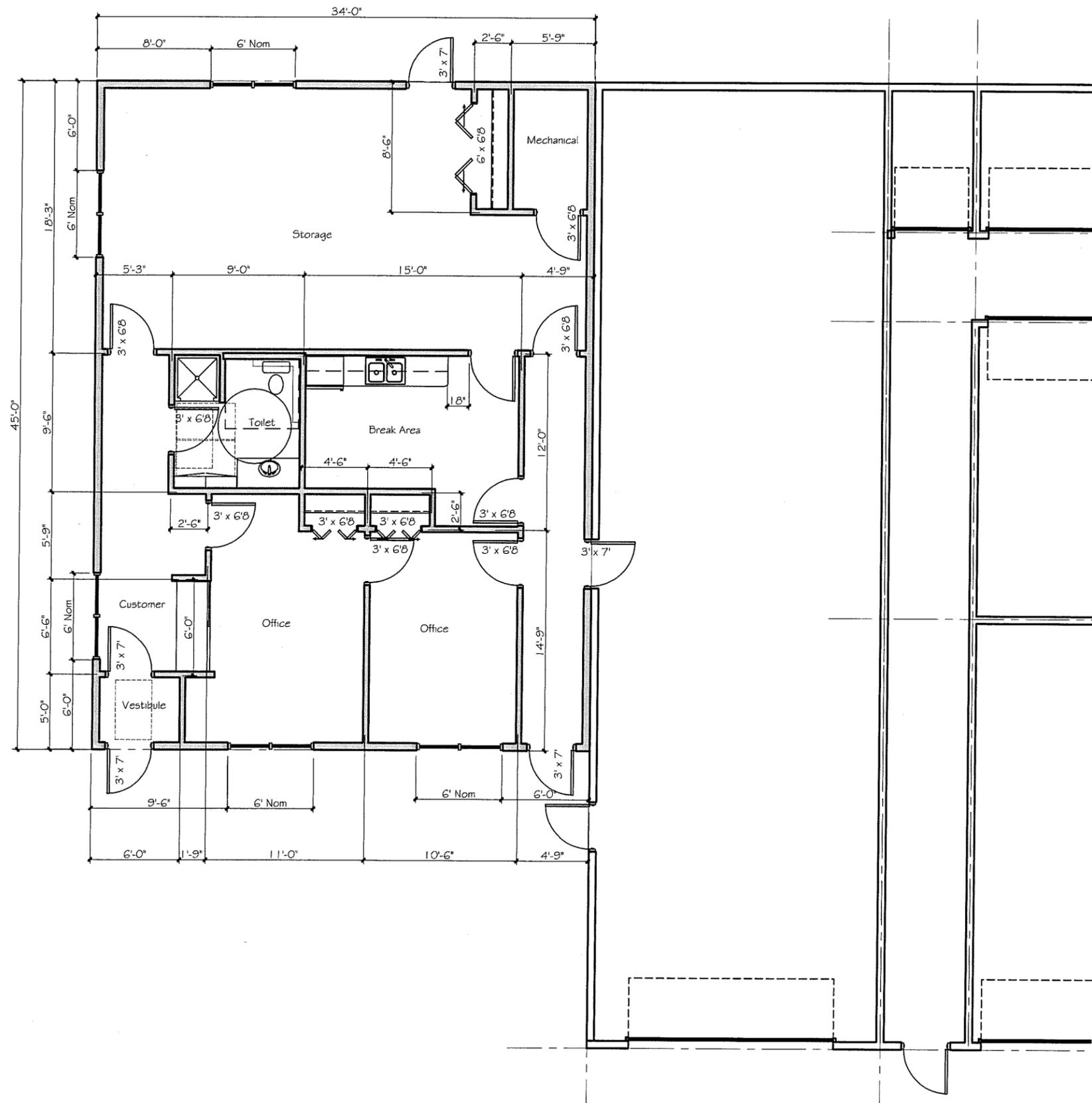
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NOTICE BEFORE YOU EXCAVATE



PLAN REVIEW ONLY NOT FOR CONSTRUCTION

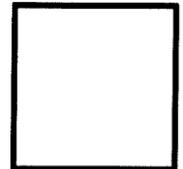
⊕ = Safety & Buildings Approved Exit Light w/ Battery Backup, LED, Red Color
W/ Emergency Egress Path Lighting Combination Unit

Partial Floor Plan - 1/8" = 1'-0"

New Storage Facility For:
AppleWood Self Storage, LLC
Project Location:
4019 Marsh Road
Madison, WI

American Structures General Inc.
Madison, WI 53704
608-248-9181

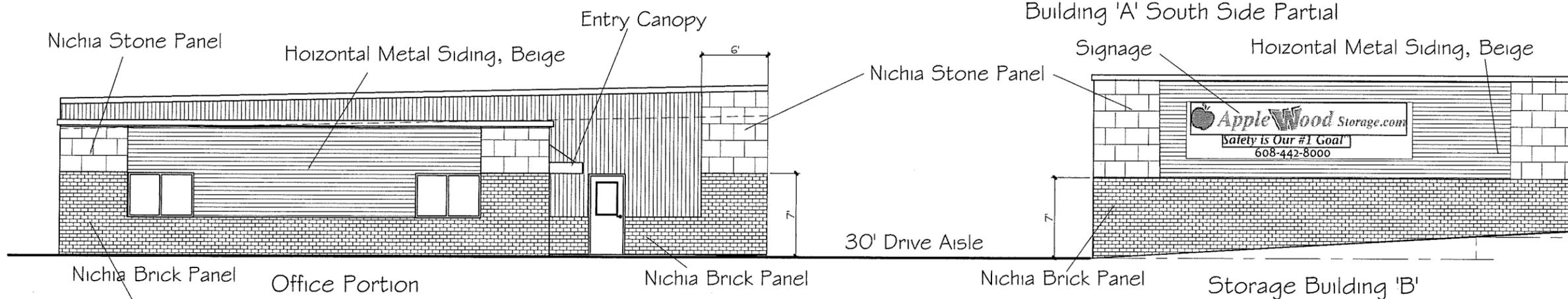
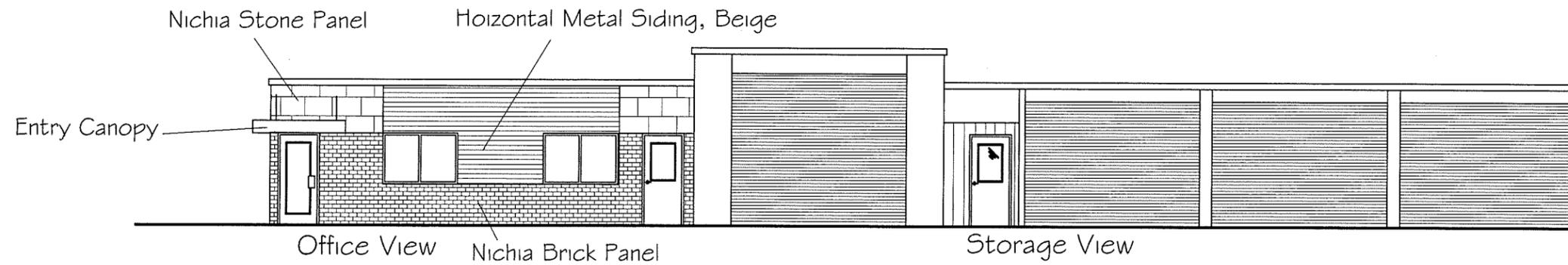
Transcend Architects & Engineers
193 Deway Street
Sun Prairie, WI 53580
(608) 825-2222 voice
kwilland@gmail.com



Partial Floor Plan
Scale: 1/8" = 1'-0"

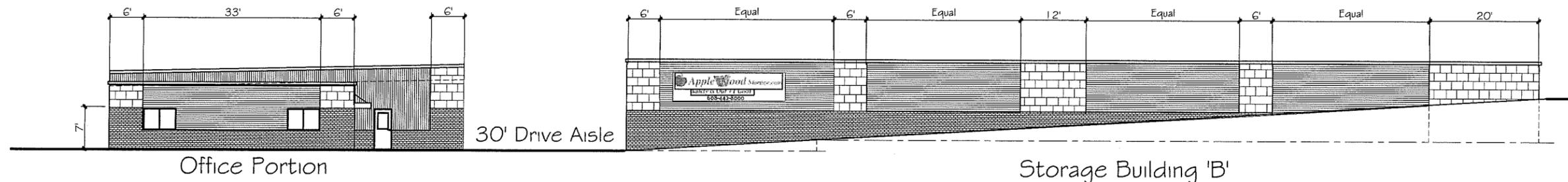
REVISIONS:
Submitted For Review
3-16-2016
9 March 2016
2016-13 KVV

6.1

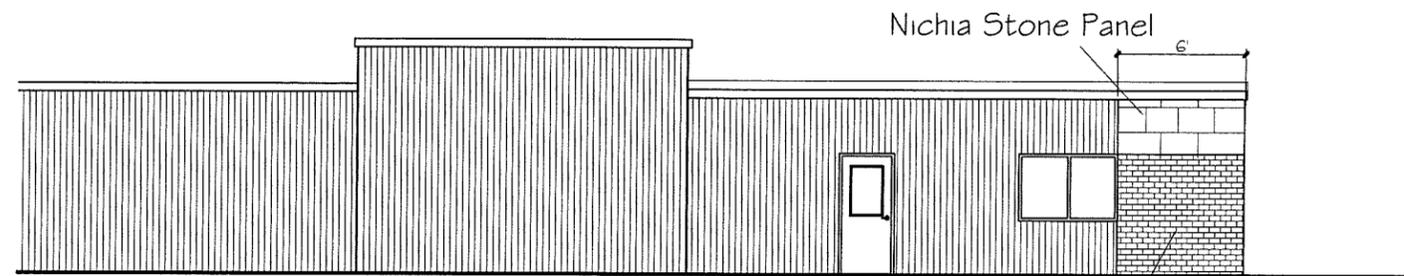


View From Marsh Road Building 'A' West Side Looking East

View From Marsh Road Building 'B' West Side Partial Looking East



Overall View From Marsh Road Building 'A' And 'B' West Side Looking East

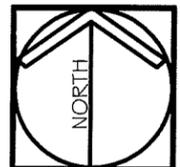


Building 'A' North Side Partial

Elevations

PLAN REVIEW ONLY NOT FOR CONSTRUCTION

New Storage Facility For:
AppleWood Self Storage, LLC
 Project Location:
 4019 Marsh Road
 Madison, WI

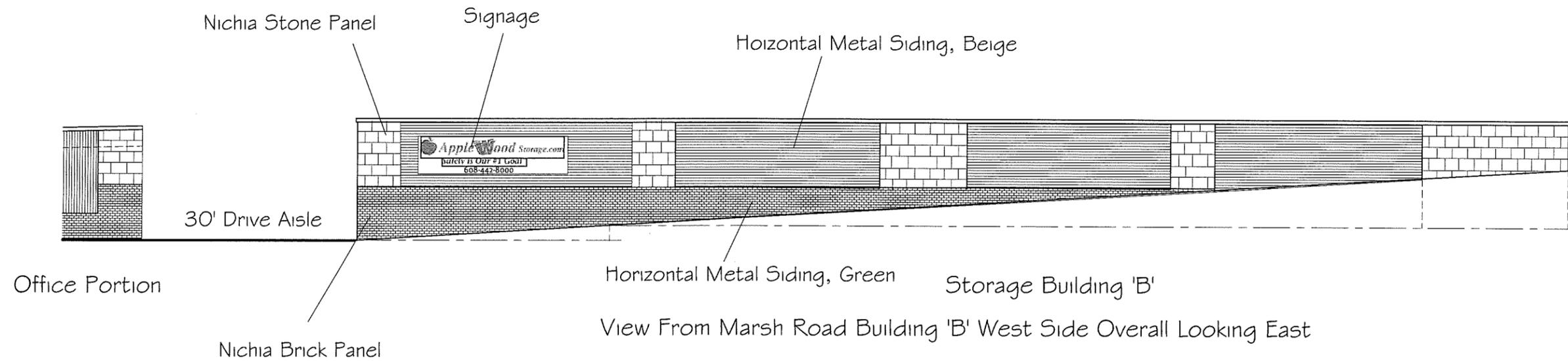


Elevations
 Scale: 3/16" = 1'-0"

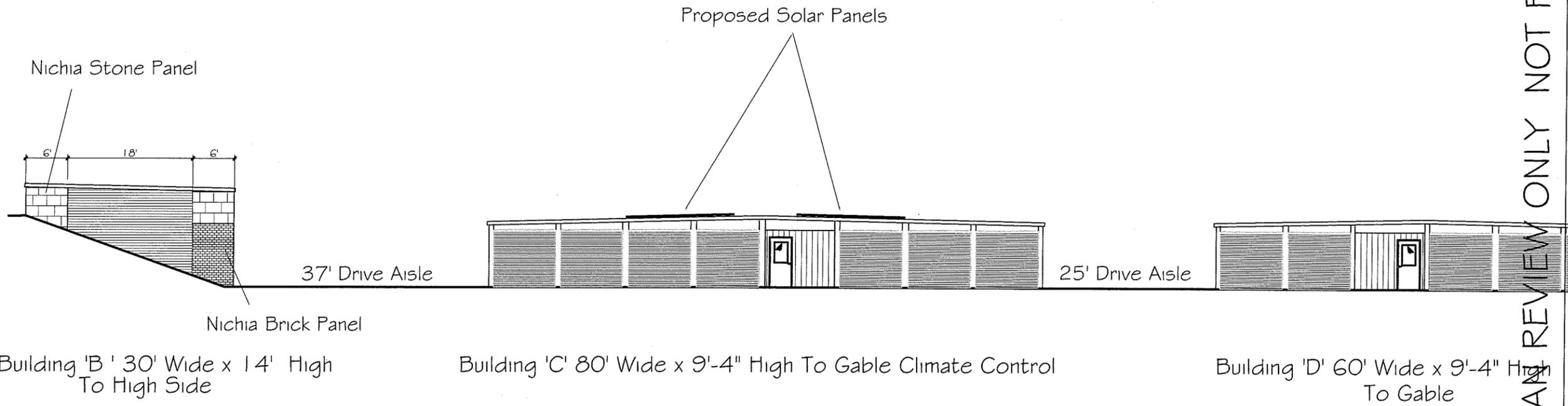
REVISIONS:
 Submitted For Review
 3-16-2016

3 March 2016
 2016-13 KVV

8.1



View From Marsh Road Building 'B' West Side Overall Looking East



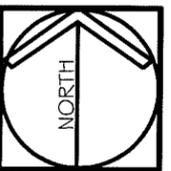
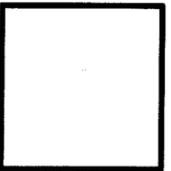
View From Tradesman Road South Side Looking North

PLAN REVIEW ONLY NOT FOR CONSTRUCTION

New Storage Facility For:
AppleWood Self Storage, LLC
 Project Location:
 4019 Marsh Road
 Madison, WI

American Structures General Inc.
 Madison, WI 53704
 608-246-9191

Transcend
 Architects & Engineers
 193 Dewey Street
 Sun Prairie, WI 53580
 (608) 825-2222 voice
 kvliand@gmail.com



Elevations
 Scale: 1/8" = 1'-0"

REVISIONS:
 Submitted For Review
 3-16-2016
 8 March 2016
 2016-13 KVV

8.2

Elevations

NO REPRODUCTION OF THESE PLANS OR THE DESIGN CONTAINED HEREIN SHALL BE MADE WITHOUT EXPRESS WRITTEN CONSENT OF TRANSCEND ARCHITECTS AND ENGINEERS