

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____
Project # _____
02374

DATE SUBMITTED: <u>DECEMBER 14, 2005</u>	Action Requested
UDC MEETING DATE: <u>DECEMBER 21, 2005</u> <input checked="" type="checkbox"/>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 1402 WINGRA CREEK PARKWAY
ALDERMANIC DISTRICT: 13

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:
CITY OF MADISON BRAY ASSOCIATES ARCHITECTS
PARKS DIVISION RM 120 1468 N. HIGH POINT RD SUITE 100
MADISON MUNICIPAL BLDG MIDDLETON, WI 53562

CONTACT PERSON: RICHARD C. LUNDEEN
Address: 1468 N. HIGH POINT RD SUITE 100
MIDDLETON, WI 53562
Phone: 608-831-5775
Fax: 608-831-2619
E-mail address: rich@brayarch.com

- TYPE OF PROJECT:
(See Section A for:)
- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
 - Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
 - Planned Residential Development (PRD)
 - New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
 - School, Public Building or Space (Fee may be required)
 - New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 50,000 Sq. Ft.
 - Planned Commercial Site

(See Section B for:)
 New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)
 R.P.S.M. Parking Variance (Fee required)

(See Section D for:)
 Comprehensive Design Review* (Fee required)
 Street Graphics Variance* (Fee required)

Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)



CITY OF
MADISON
PARKS DIVISION

GOODMAN PARK MAINTENANCE FACILITY

1402 WINGRA CREEK PARKWAY

URBAN DESIGN COMMISSION / FINAL APPROVAL

DECEMBER 21, 2005

PRESENTED BY:

BrayAssociates
ARCHITECTS, INC.

1468 NORTH HIGH POINT ROAD • MIDDLETON, WI 53562

URBAN DESIGN COMMISSION
 Response to Wednesday, November 16, 2005 Review Meeting

The following narrative is our response to the comments made during the initial approval process.

REVIEW COMMENTS:

8. **02374** 1402 Wingra Creek Parkway – Parks Division Administration and Workshop Building Expansion 13th Ald. Dist.
- The motion for initial approval required that the project provide for LEEDS certification at either a silver level or better with the parking lot included within the scope of the project to provide for tree islands at an interval of one tree island per 12 stalls as well as to meet current code and landscape requirements.*

Grant Initial Approval

The addition of tree islands to the public parking lot adjacent to the parks maintenance facility has been approved, provided that there is no regrading of the pavement or change in the current storm water drainage patterns. The addition of tree islands to the public parking lot is depicted on the current plans.

The LEED certification of this project to a silver level or better is problematic due to limited funding for third party design professionals to be contracted, to provide building system commissioning and LEED certification process. The contracting for additional services will also delay the project an estimated three months.

As this project is on a tight timeframe and has been re-scoped to meet the current budget constraints, any additional fees associated with the LEED process or building system revisions will result in a reduced building program.

We wish to have the Urban Design Commission's understanding in accepting our project constraints and the direction needed to accomplish the proposed building program.

We are in support of a green building however, and have evaluated the current proposed building in a pre-certification estimate utilizing the LEED-NC Version 2.2 registered project checklist. The following listing details our findings for the green construction portion of the project.



LEED-NC Version 2.2 Registered Project Checklist

Goodman Park Maintenance Facility
 Madison, WI (preliminary analysis)

Yes ? No

Sustainable Sites 14 Points

Y	Yes	?	No	Prereq 1	Construction Activity Pollution Prevention	Required
				Credit 1	Site Selection	1
				Credit 2	Development Density & Community Connectivity	1
				Credit 3	Brownfield Redevelopment	1
Y				Credit 4.1	Alternative Transportation, Public Transportation Access	1
Y				Credit 4.2	Alternative Transportation, Bicycle Storage & Changing Rooms	1
				Credit 4.3	Alternative Transportation, Low-Emitting and Fuel-Efficient Vehicles	1
				Credit 4.4	Alternative Transportation, Parking Capacity	1
				Credit 5.1	Site Development, Protect or Restore Habitat	1
				Credit 5.2	Site Development, Maximize Open Space	1
		?		Credit 6.1	Stormwater Design, Quantity Control	1
Y				Credit 6.2	Stormwater Design, Quality Control	1
				Credit 7.1	Heat Island Effect, Non-Roof	1
Y				Credit 7.2	Heat Island Effect, Roof	1
Y				Credit 8	Light Pollution Reduction	1

Yes ? No

Water Efficiency 5 Points

Y				Credit 1.1	Water Efficient Landscaping, Reduce by 50%	1
Y				Credit 1.2	Water Efficient Landscaping, No Potable Use or No Irrigation	1
				Credit 2	Innovative Wastewater Technologies	1
				Credit 3.1	Water Use Reduction, 20% Reduction	1
				Credit 3.2	Water Use Reduction, 30% Reduction	1

continued...

Yes ? No

Energy & Atmosphere 17 Points

Y	Prereq 1	Fundamental Commissioning of the Building Energy Systems	Required
Y	Prereq 2	Minimum Energy Performance	Required
Y	Prereq 3	Fundamental Refrigerant Management	Required
3	Credit 1	Optimize Energy Performance	1 to 10
	Credit 2.1	On-Site Renewable Energy	1 to 3
	Credit 3	Enhanced Commissioning	1
	Credit 4	Enhanced Refrigerant Management	1
Y	Credit 5	Measurement & Verification	1
	Credit 6	Green Power	1

Yes ? No

Materials & Resources 13 Points

Y	Prereq 1	Storage & Collection of Recyclables	Required
Y	Credit 1.1	Building Reuse, Maintain 75% of Existing Walls, Floors & Roof	1
	Credit 1.2	Building Reuse, Maintain 100% of Existing Walls, Floors & Roof	1
	Credit 1.3	Building Reuse, Maintain 50% of Interior Non-Structural Elements	1
Y	Credit 2.1	Construction Waste Management, Divert 50% from Disposal	1
	Credit 2.2	Construction Waste Management, Divert 75% from Disposal	1
	Credit 3.1	Materials Reuse, 5%	1
	Credit 3.2	Materials Reuse, 10%	1
Y	Credit 4.1	Recycled Content, 10% (post-consumer + ½ pre-consumer)	1
	Credit 4.2	Recycled Content, 20% (post-consumer + ½ pre-consumer)	1
Y	Credit 5.1	Regional Materials, 10% Extracted, Processed & Manufactured Regionally	1
Y	Credit 5.2	Regional Materials, 20% Extracted, Processed & Manufactured Regionally	1
	Credit 6	Rapidly Renewable Materials	1
Y	Credit 7	Certified Wood	1

continued...

Yes ? No

Indoor Environmental Quality 15 Points

Y	Prereq 1	Minimum IAQ Performance	Required
Y	Prereq 2	Environmental Tobacco Smoke (ETS) Control	Required
Y	Credit 1	Outdoor Air Delivery Monitoring	1
Y	Credit 2	Increased Ventilation	1
	Credit 3.1	Construction IAQ Management Plan, During Construction	1
Y	Credit 3.2	Construction IAQ Management Plan, Before Occupancy	1
Y	Credit 4.1	Low-Emitting Materials, Adhesives & Sealants	1
Y	Credit 4.2	Low-Emitting Materials, Paints & Coatings	1
Y	Credit 4.3	Low-Emitting Materials, Carpet Systems	1
	Credit 4.4	Low-Emitting Materials, Composite Wood & Agrifiber Products	1
	Credit 5	Indoor Chemical & Pollutant Source Control	1
Y	Credit 6.1	Controllability of Systems, Lighting	1
Y	Credit 6.2	Controllability of Systems, Thermal Comfort	1
	Credit 7.1	Thermal Comfort, Design	1
	Credit 7.2	Thermal Comfort, Verification	1
Y	Credit 8.1	Daylight & Views, Daylight 75% of Spaces	1
?	Credit 8.2	Daylight & Views, Views for 90% of Spaces	1

Yes ? No

Innovation & Design Process 5 Points

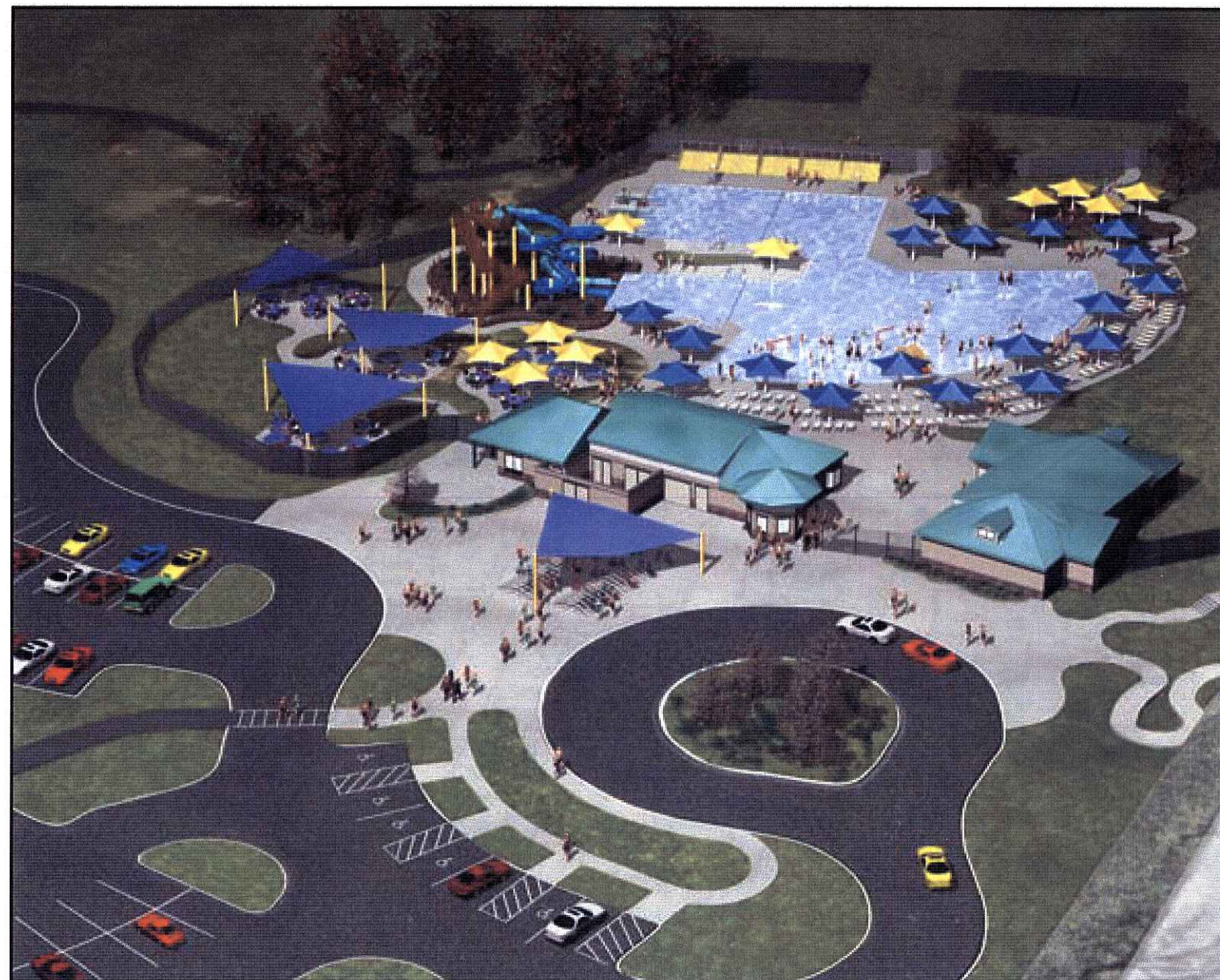
	Credit 1.1	Innovation in Design: Provide Specific Title	1
	Credit 1.2	Innovation in Design: Provide Specific Title	1
	Credit 1.3	Innovation in Design: Provide Specific Title	1
	Credit 1.4	Innovation in Design: Provide Specific Title	1
	Credit 2	LEED® Accredited Professional	1

Yes ? No

Project Totals (pre-certification estimates) 69 Points

26 2 Certified 26-32 points Silver 33-38 points Gold 39-51 points Platinum 52-69 points

Based on our pre-certification estimates, this project can qualify as a LEED certified project.



POOL CONCEPT AT GOODMAN PARK

The City of Madison Parks Division plans to renovate portions of their maintenance facility at Goodman Park, formerly known as Franklin Field.

Currently, the Maintenance Facility site is comprised of five buildings. Four of these structures are storage buildings for vehicles and equipment, and are constructed as steel or wood structures with metal panel siding and sloped metal roofs. (These buildings were built from 1940 to 1991.)

The predominant building on the site is the Administration and Workshop Building, which is constructed of single width painted concrete block.

The proposed project addresses the Administration / Workshop Building by remodeling and additions.

The design of the maintenance building site and structures will be influenced by current development at Goodman Park, specifically, the new public swimming pool.

The overall use of the park ranges from structured recreational uses and informal gatherings, to a highly developed and potentially intensive usage.

The goals for developing the maintenance facility site and structures is to take elements of the architecture and site design and integrate them into the vocabulary for the park's facility with elements of the pool design being adapted into the maintenance imagery. It is preferable to have the maintenance site visually recede from the activity, expressive pool structures and site development. The intent is to have the Goodman Pool be the imagery and development statement for Goodman Park while the Maintenance Facility is an integrated component.

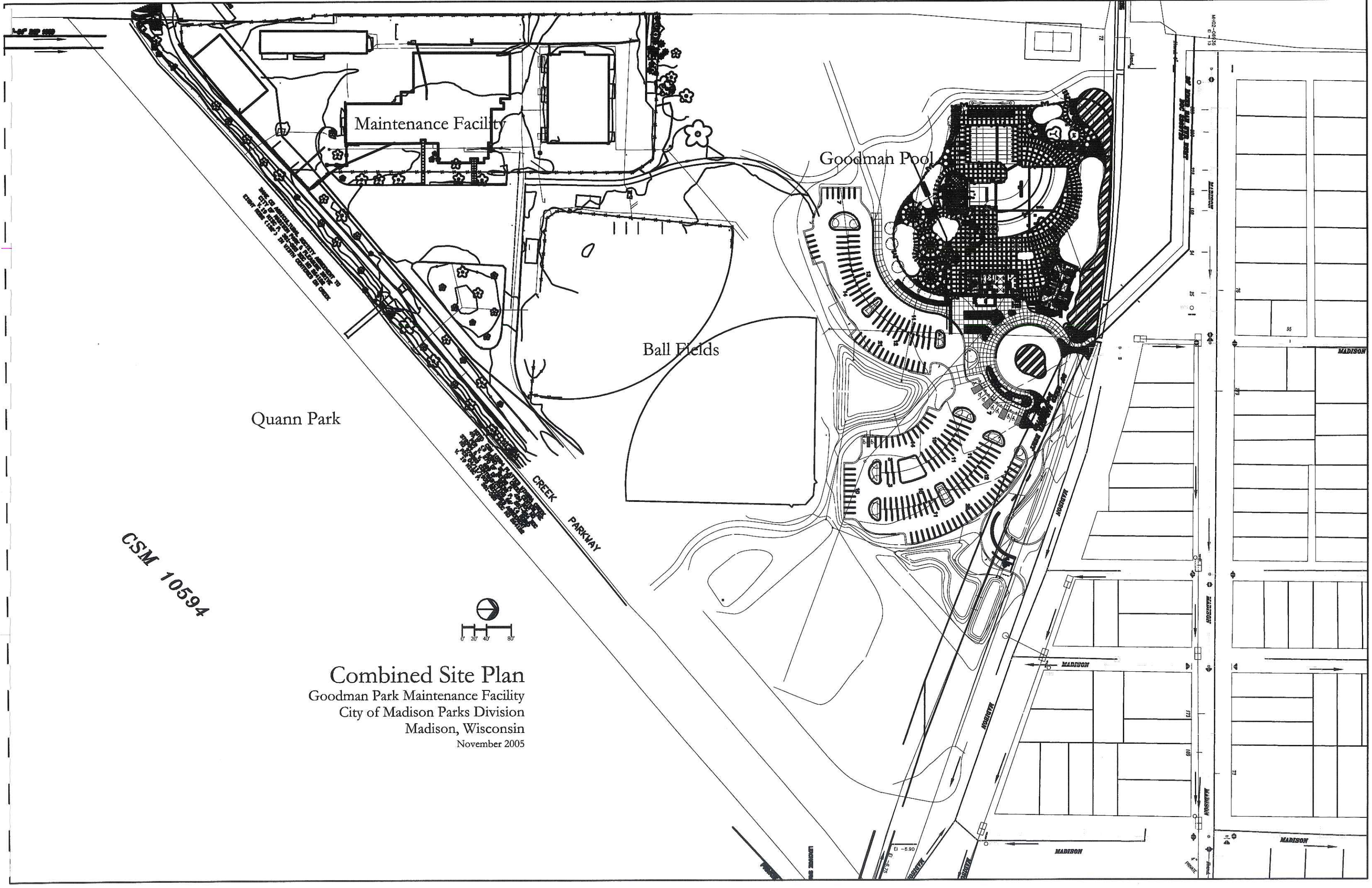
To that end, the design vocabulary of architectural faced concrete block, sloped metal roofing where applicable, and other architectural concrete products allude to the pool structures. The site edge development fencing and lighting schemes integrate with the pool details.

The maintenance site and Administration / Workshop Building take on a tone-on-tone color palette and will be the quiet contrast to the pool's vibrant imagery.

DECEMBER 21, 2005

GOODMAN PARK - NARRATIVE

MADISON PARKS DIVISION



Maintenance Facility

Goodman Pool

Ball Fields

Quann Park

CSM 10594

Combined Site Plan
Goodman Park Maintenance Facility
City of Madison Parks Division
Madison, Wisconsin
November 2005



M-02-0835
E-13

MADISON

MADISON

MADISON

MADISON

MADISON

MADISON

MADISON

MADISON

MADISON

95

78

79

73

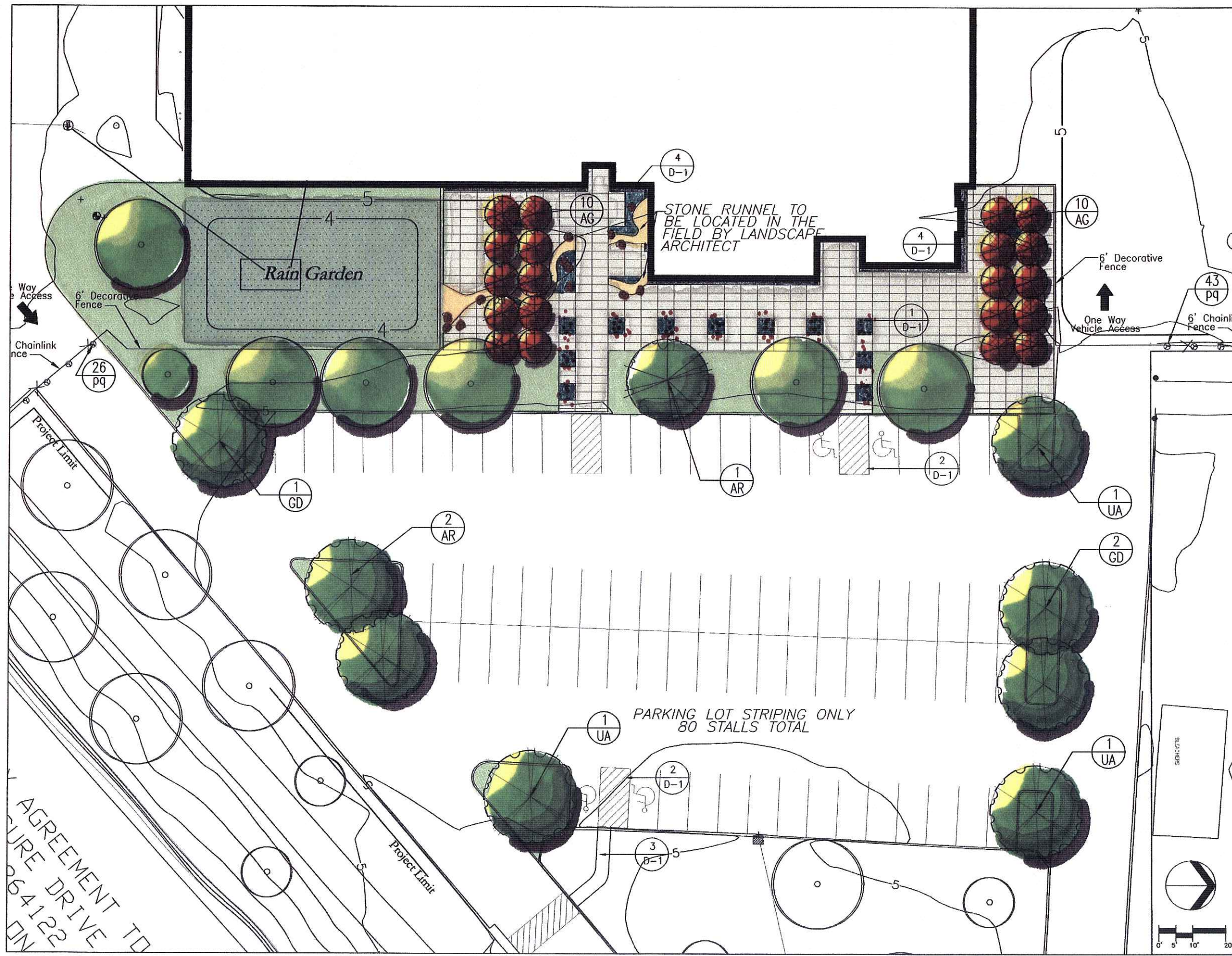
100

72

E1 -5.50

E1 -8.25

Point



BrayAssociates ARCHITECTS, INC.
 1648 NORTH HIGH POINT ROAD
 MIDDLETON, WI 53562
 PHONE (608) 831-5775
 FAX (608) 831-2619

RPR
 rpr corporation
 8500 GREENWAY BLVD. SUITE 101
 MIDDLETON, WI 53562
 PHONE (608) 833-5400
 FAX (608) 833-5401

GOODMAN PARK MAINTENANCE FACILITY
 ADDITION & REMODELING
 1402 WINGRA PARKWAY, MADISON, WI 53715
 CITY OF MADISON - PARKS DEPT.

Sheet Title:
PLANTING PLAN

Revisions:

No.	Date	Description	By:

Project Number: **2733** Drawn By: **PJH**
 Date Issued: **12.07.05** Reviewed By: **RLS**

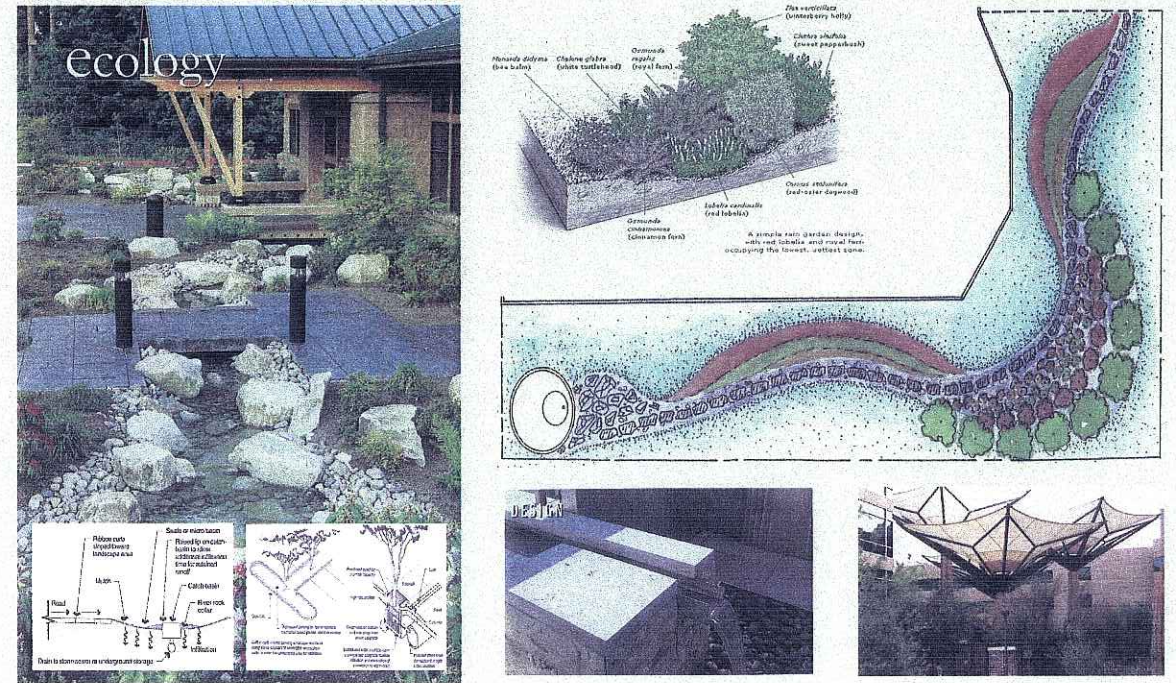
Sheet Number: **L-5**

AGREEMENT TO
 SURE DRIVE TO
 064122
 DN

Site Furnishing



Storm Water



Shade Structures



Plant Material



Rettler Corporation
Middleton, Wisconsin



Materials Board

Goodman Park Maintenance Facility
City of Madison Parks Division
Madison, Wisconsin

GENERAL NOTES

1. CONTACT EXISTING UTILITY HOTLINE 5 WORKING DAYS PRIOR TO START OF CONSTRUCTION.
2. CONTACT THE OWNER TO AID IN PRIVATE UTILITY LOCATION 15 WORKING DAYS PRIOR TO THE START OF DEMOLITION.
3. COORDINATE AND PAY FOR THE DISCONNECTION, ABANDONMENT, AND/OR RELOCATION OF ALL UTILITIES WITHIN THE PROJECT LIMITS AS NOTED ON THIS DOCUMENT.
4. PLACE A 4" SNOW FENCE AS SHOWN ON THIS DOCUMENT FOR SITE SECURITY PRIOR TO THE START OF CONSTRUCTION/ DEMOLITION IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS. UTILIZE EXISTING FENCING AS DEEMED NECESSARY.
5. STRIP TOPSOIL WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
6. REMOVE ONLY THE EXISTING TREES AND VEGETATION WITHIN THE PROJECT LIMITS WHICH INHIBIT CONSTRUCTION. VERIFY ALL REMOVAL WITH THE OWNER.
7. REMOVE ALL SIGNS WITHIN THE PROJECT LIMITS WHICH INHIBIT CONSTRUCTION. VERIFY ALL REMOVAL ITEMS WITH OWNER PRIOR TO DISPOSAL.
8. ALL CONTRACTORS PLANNING ON BEING ON THE PROJECT SHALL VISIT THE SITE AND REVIEW THE EXISTING CONDITIONS PRIOR TO THE BID DATE. ANY DISCREPANCIES FOUND SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT FOR REVIEW IMMEDIATELY UPON DISCOVERY.
9. ALL REMOVED MATERIALS SHALL BE TAKEN FROM SITE AND DISPOSED OF IN A LEGAL MANNER, EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED AND TURNED OVER TO THE OWNER.
10. ALL SITE UTILITIES OUTSIDE THE PROJECT LIMITS LINE SHALL NOT BE DISTURBED.
11. SAWCUT ALL CONCRETE WALKS AND CONCRETE CURBS AT THE CLOSEST JOINT OUTSIDE OF THE LIMITS SHOWN ON THIS DOCUMENT.
12. OBTAIN THE PROPER PERMITS TO PERFORM WORK WITHIN THE RIGHT OF WAY FROM THE CITY OF MADISON PRIOR TO THE START OF CONSTRUCTION.
13. UPON COMPLETION OF WORK WITHIN THE CITY OF MADISON'S R.O.W. REPAIR ALL DISTURBED ITEMS BACK TO THE ORIGINAL CONDITIONS AND IN ACCORDANCE WITH THE TOWN'S SPECIFICATIONS.

DEMOLITION HATCH PATTERNS

-  PHASE 2 DEMOLITION: REMOVAL AND DISPOSAL OF BITUMINOUS PAVEMENT
-  BUILDING DEMOLITION

BrayAssociates
ARCHITECTS, INC.

1468 NORTH HIGH POINT ROAD
MIDDLETON, WI 53562
PHONE (608) 831-5775
FAX (608) 831-2619



8500 GREENWAY BLVD. SUITE 101
MIDDLETON, WI 53562
PHONE (608) 833-5400
FAX (608) 833-5401

GOODMAN PARK MAINTENANCE FACILITY

ADDITION & REMODELING
1402 WINGRA PARKWAY, MADISON, WI 53715
CITY OF MADISON - PARKS DEPT.

Sheet Title:

DEMOLITION PLAN

Revisions:

No.	Date	Description	By

Project Number:

2733

Date Issued:

12.07.05

Drawn By:

PJH

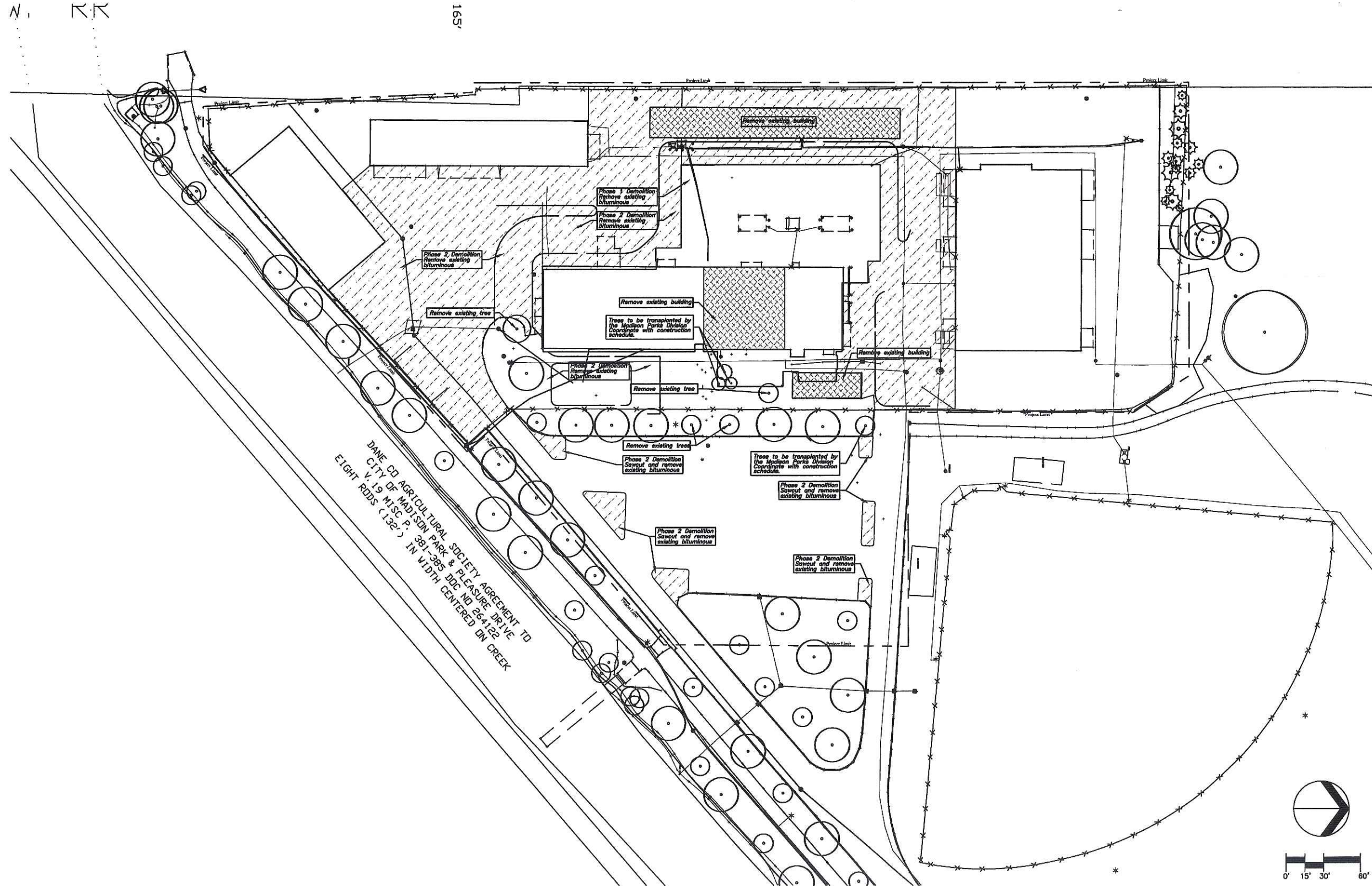
Reviewed By:

RLS

Sheet Number:

L-1

Copyright © 2005 Bray Associates Architects, Inc.



DANE CO AGRICULTURAL SOCIETY AGREEMENT TO
CITY OF MADISON PARK & PLEASURE DRIVE
EIGHT (8) R.O.D.S. (132') IN WIDTH CENTERED ON CREEK

CONSTRUCTION SEQUENCE

1. INSTALL PERIMETER SILT FENCE. ALL EROSION CONTROL MEASURES TO REMAIN UNTIL CONSTRUCTION IS COMPLETE AND SITE HAS STABILIZED.
2. CONSTRUCT WET DETENTION POND TO SERVE AS SEDIMENT BASIN DURING CONSTRUCTION
3. DIVERT STORM RUN OFF DURING CONSTRUCTION TO SEDIMENTATION BASIN
4. PROVIDE SILT FENCE AROUND TEMPORARY TOPSOIL STOCKPILE.
5. SEED/MULCH FINISHED AREAS. ALL AREAS MUST HAVE E-WAT WITHIN 7 DAYS OF COMPLETION.
6. REMOVE SEDIMENT FROM SEDIMENTATION BASIN UPON ESTABLISHMENT OF PERMANENT VEGETATION. RESTORE BASINS TO ORIGINAL DESIGN VOLUME.
7. ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
8. ALL SEDIMENT LADEN WATER PUMPED FROM THE SITE SHALL BE TREATED BY A TEMPORARY SEDIMENT BASIN OR BE FILTERED BY OTHER APPROVED MEANS. WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS.
9. DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREA, INCLUDING SOIL STOCKPILES LEFT INACTIVE FOR MORE THAN 10 DAYS, SHALL AT A MINIMUM BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHER METHODS.
10. IN THE CASE OF LATE SEASON AND WINTER CONSTRUCTION, RESTORATION/LANDSCAPING OF THE SITE SHALL OCCUR NO LATER THAN JUNE 1ST OF THE NEXT CONSTRUCTION SEASON. EROSION CONTROL MEASURES SHALL REMAIN INTACT UNTIL FINAL RESTORATION OF THE SITE IS COMPLETE. FABRIC INSIDE THE INLET AND CATCH BASIN GRATING SHALL BE REMOVED AS SOON AS FREEZING WEATHER OCCURS SO DRAINAGE IS NOT IMPAIRED THROUGHOUT THE WINTER MONTHS. ALL EROSION CONTROL PRACTICES REMOVED OR DAMAGED DUE TO WINTER WEATHER SHALL BE REPLACED IN THE SPRING IMMEDIATELY AFTER THE THAW.
11. EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF THE WORK DAY.
12. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AT THE CONCLUSION OF CONSTRUCTION AFTER STABILIZATION OF DISTURBED SOIL HAS OCCURRED.
13. GEOTEXTILE FILTER FABRIC USED AS A SEDIMENT BARRIER IN STORM DRAIN INLETS AND CATCH BASINS SHALL BE 6TF 403 AS MANUFACTURED BY LINO INDUSTRIAL FABRICS, OR FILTERWEAVE 401, AS MANUFACTURED BY TC MIRAFL. FABRIC SHALL BE PLACED UNDER THE GRATE, WITH A MINIMUM OF 8 INCHES OF FABRIC EXTENDING BEYOND THE GRATING TO PROVIDE A HAND HOLD WHEN REMOVING. SILT FENCE MATERIAL IS NOT APPROVED FOR USE IN INLETS AS FLOW RATES ARE INSUFFICIENT AND EXCESSIVE PONDING/FLOODING MAY OCCUR. FABRIC SHALL NOT BE RIPPED OR CUT TO PREVENT PONDING. IF FABRIC IS RIPPED IT SHALL BE REPLACED IMMEDIATELY. ALTERNATE PROTECTION SHALL BE USED IF PONDING MAY CAUSE DAMAGE TO ADJACENT BUILDINGS AND/OR PROPERTIES.

EROSION CONTROL LEGEND



BrayAssociates
 ARCHITECTS, INC.
 1468 NORTH HIGH POINT ROAD
 MIDDLETON, WI 53562
 PHONE (608) 831-5775
 FAX (608) 831-2619

SR
 restier corporation
 8500 GREENWAY BLVD. SUITE 101
 MIDDLETON, WI 53562
 PHONE (608) 833-5400
 FAX (608) 833-5401

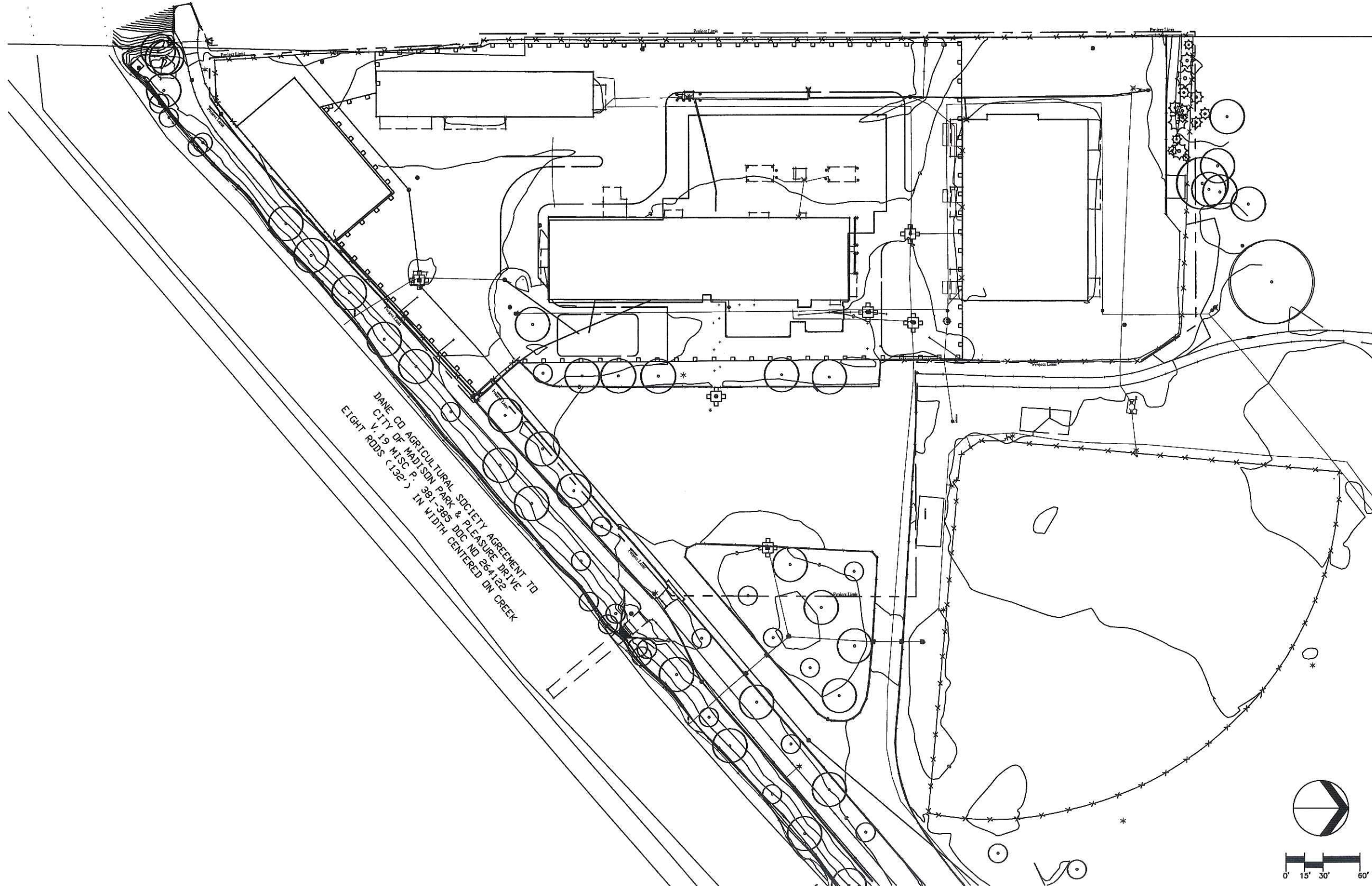
GOODMAN PARK MAINTENANCE FACILITY
 ADDITION & REMODELING
 1402 WINGRA PARKWAY, MADISON, WI 53715
 CITY OF MADISON - PARKS DEPT.

Sheet Title:
EROSION CONTROL PLAN

Revision:	No.	Date:	Description:	By:

Project Number: 2733
 Date Issued: 12.07.05
 Drawn By: PJH
 Reviewed By: RLS

Sheet Number:
L-2



DANE CO AGRICULTURAL SOCIETY AGREEMENT TO
 CITY OF MADISON PARK & PLEASURE DRIVE
 EIGHT V. 19 MISC P. 381-385 DDC NO 264122
 IN WIDTH CENTERED ON CREEK

BrayAssociates
ARCHITECTS, INC.

1468 NORTH HIGH POINT ROAD
MIDDLETON, WI 53562
PHONE (608) 831-5775
FAX (608) 831-2619



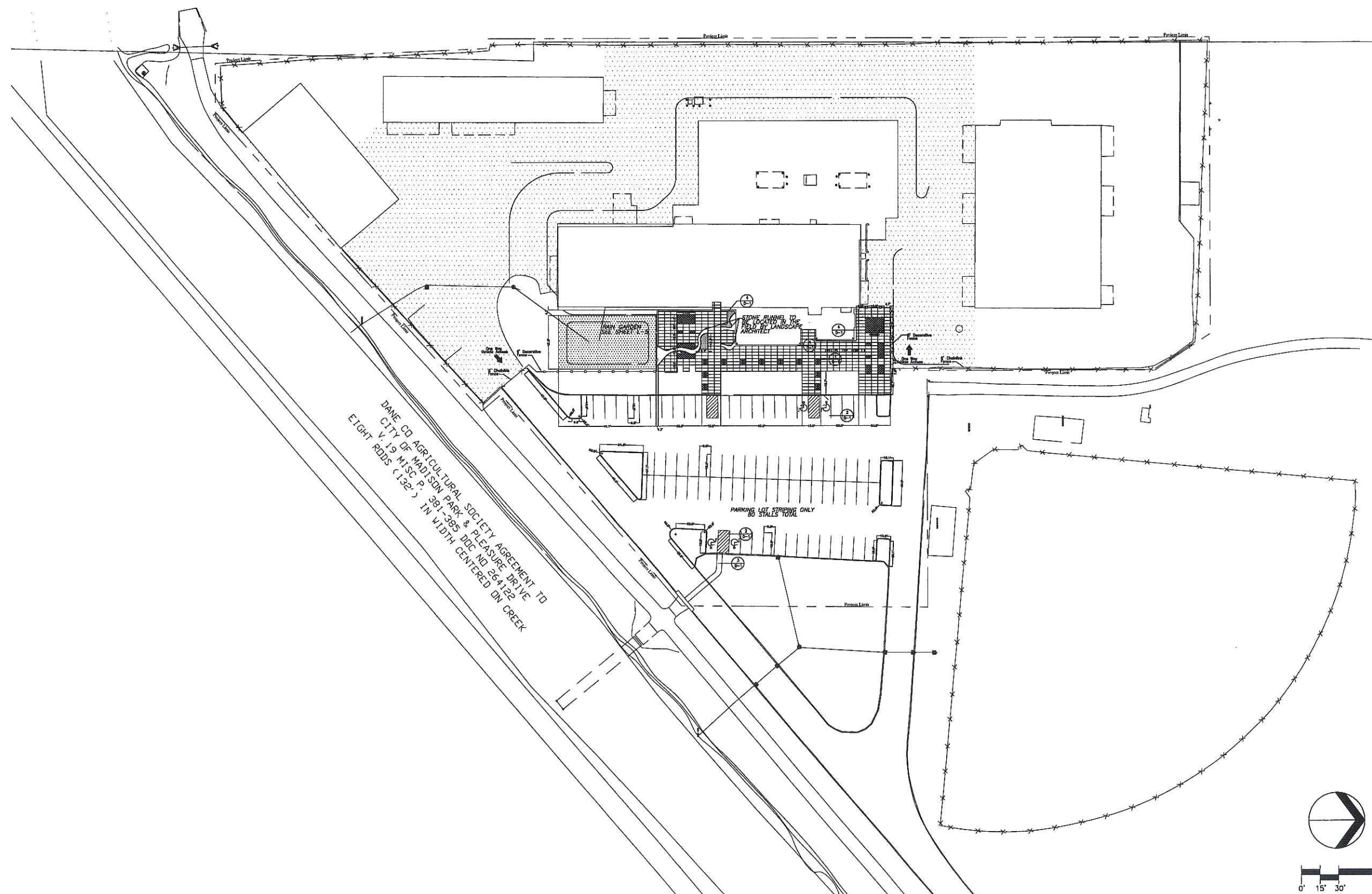
8500 GREENWAY BLVD. SUITE 101
MIDDLETON, WI 53562
PHONE (608) 833-5400
FAX (608) 833-5401

GOODMAN PARK MAINTENANCE FACILITY

ADDITION & REMODELING

1402 WINGRA PARKWAY, MADISON, WI 53715

CITY OF MADISON - PARKS DEPT.



Sheet Title:
GRADING AND
DRAINAGE PLAN

Revisions:

No.	Date	Description	By

Project Number:	Drawn By:
2733	RLS
Date Issued:	Reviewed By:
12.07.05	RLS

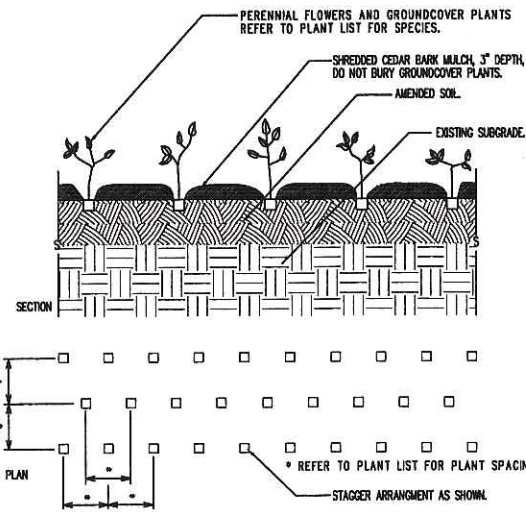
Sheet Number:
L-4



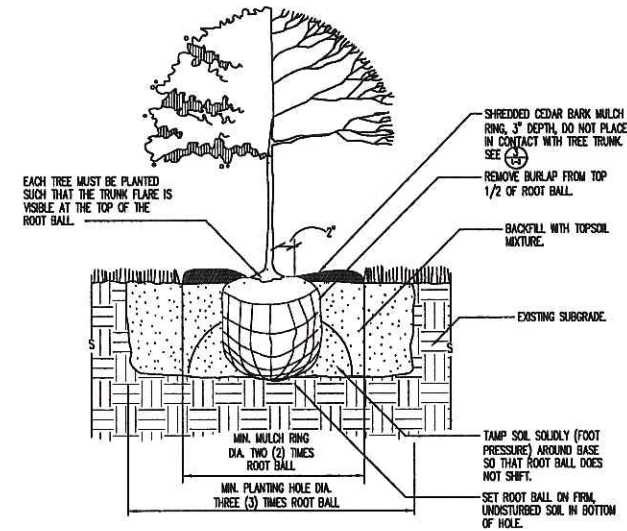
GOODMAN PARK MAINTENANCE FACILITY
ADDITION & REMODELING

1402 WINGRA PARKWAY, MADISON, WI 53715

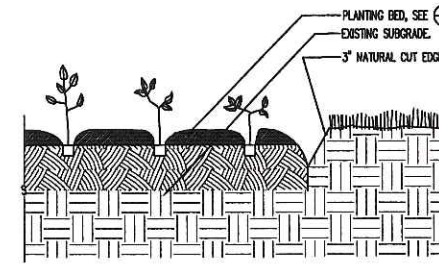
CITY OF MADISON - PARKS DEPT.



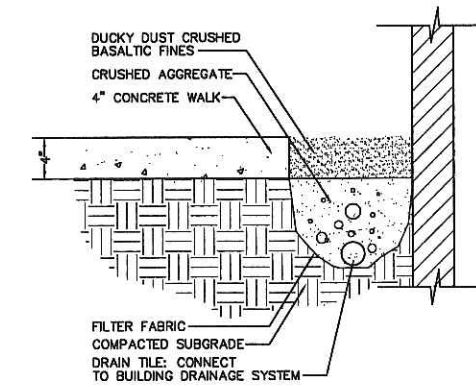
1 PERENNIAL/GROUNDCOVER PLANTING DETAIL
L-6 NOT TO SCALE



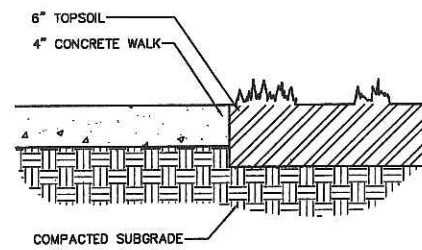
2 DECIDUOUS TREE DETAIL
L-6 NOT TO SCALE



3 CUT EDGE - LANDSCAPE BEDS DETAIL
L-6 NOT TO SCALE

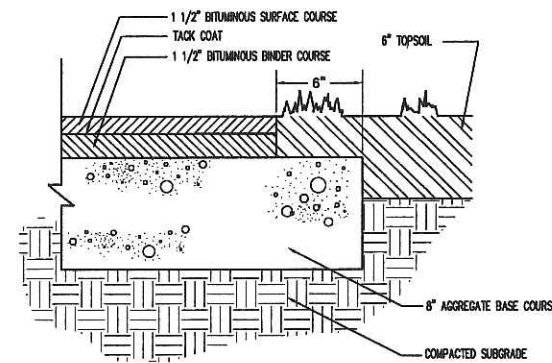


4 STONE BUFFER STRIP DETAIL
L-6 NOT TO SCALE

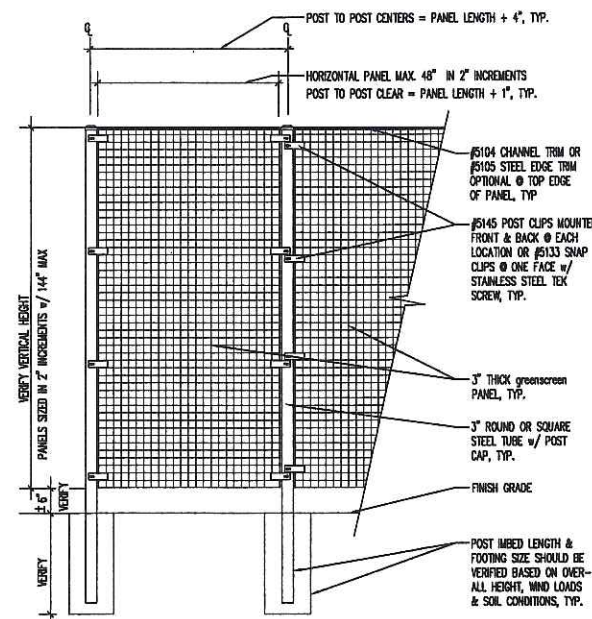


NOTE: CONSTRUCTION JOINTS SHALL BE SPACED NO MORE THAN 10'-0" O.C. SURFACE: MEDIUM BROOM FINISH EAST-WEST DIRECTION.

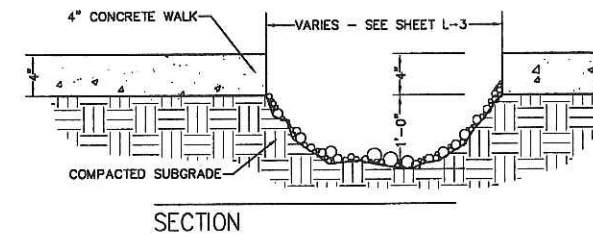
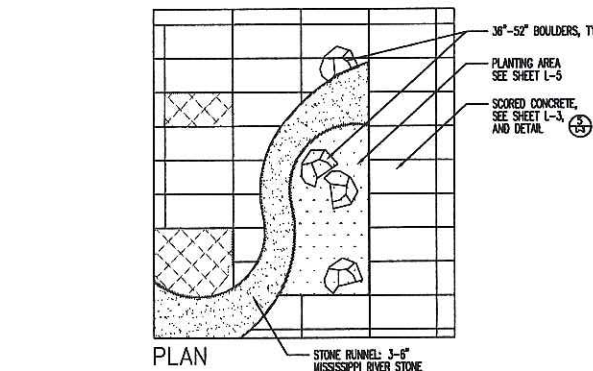
5 4" CONCRETE DETAIL
L-6 NOT TO SCALE



6 3" BITUMINOUS PAVEMENT DETAIL
L-6 NOT TO SCALE



7 FREESTANDING FENCE/SCREEN DETAIL
L-6 NOT TO SCALE



8 STONE RUNNEL DETAIL
L-6 NOT TO SCALE

Sheet Title:

DETAIL SHEET

Revisions:

No.	Date	Description	By

Project Number:

2733

Date Issued:

08/08/05

Drawn By:

Y.H.

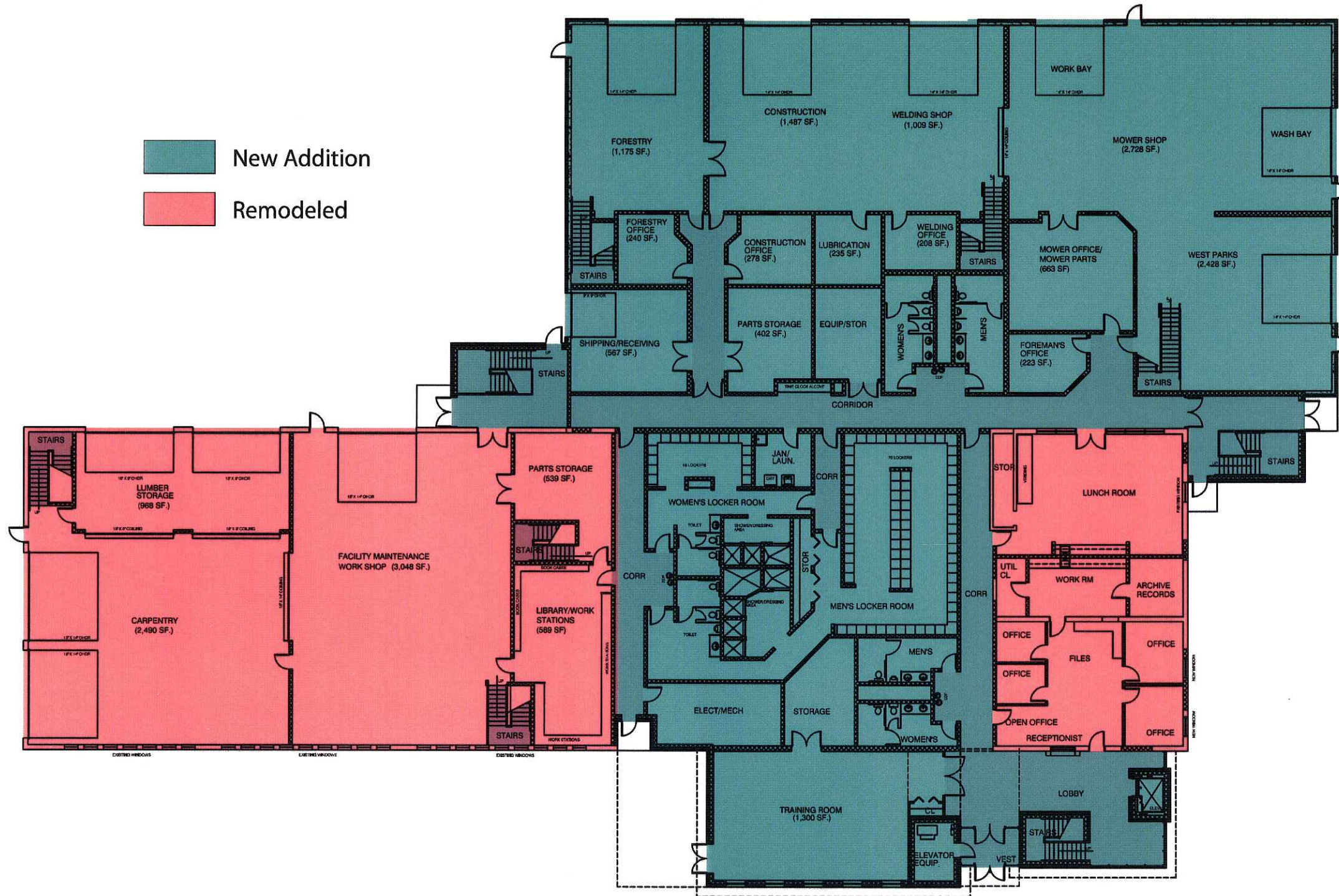
Reviewed By:

RICH LUNDEEN

Sheet Number:

L-6

- New Addition
- Remodeled

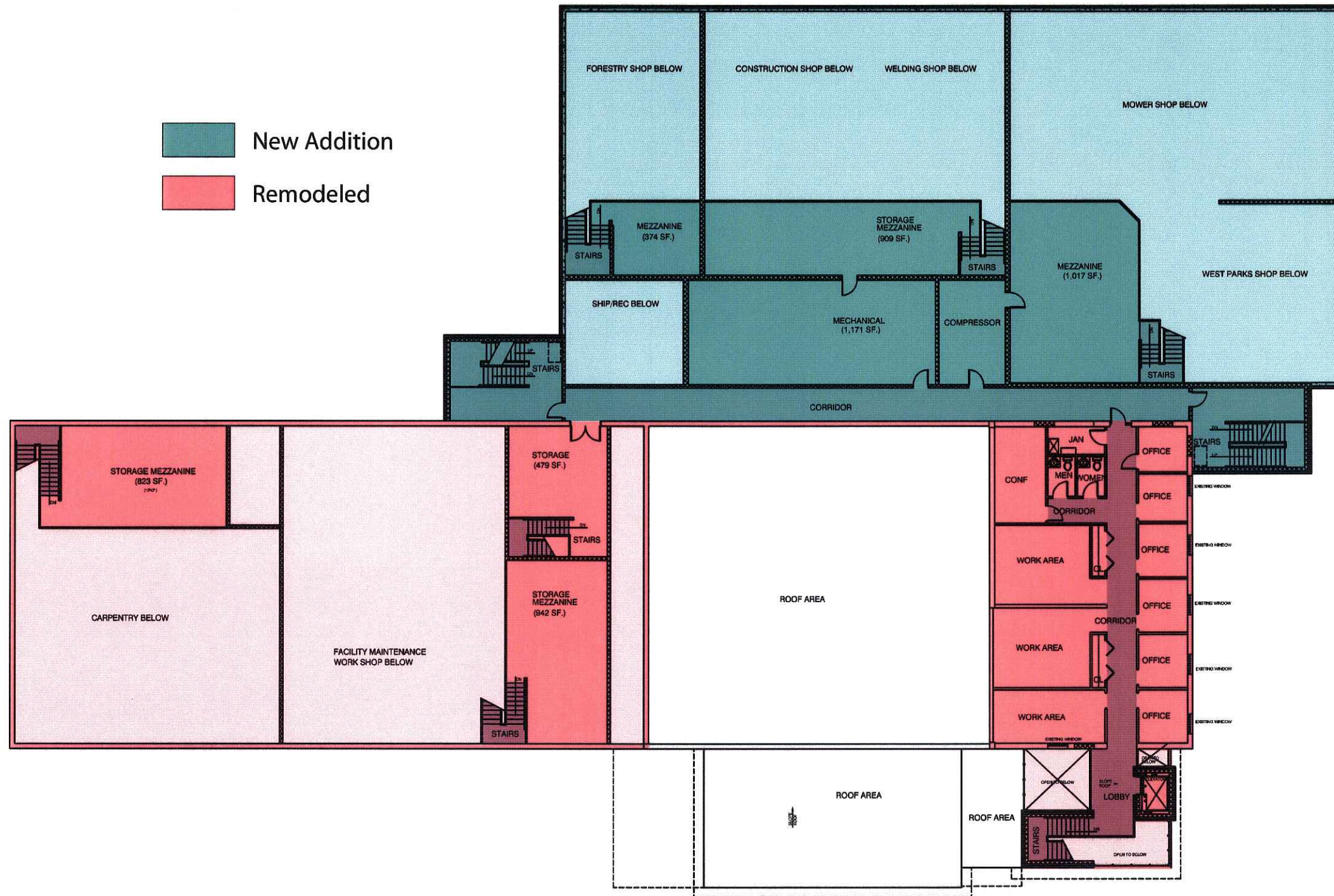


DECEMBER 21, 2005

GOODMAN PARK - FIRST FLOOR PLAN

MADISON PARKS DIVISION

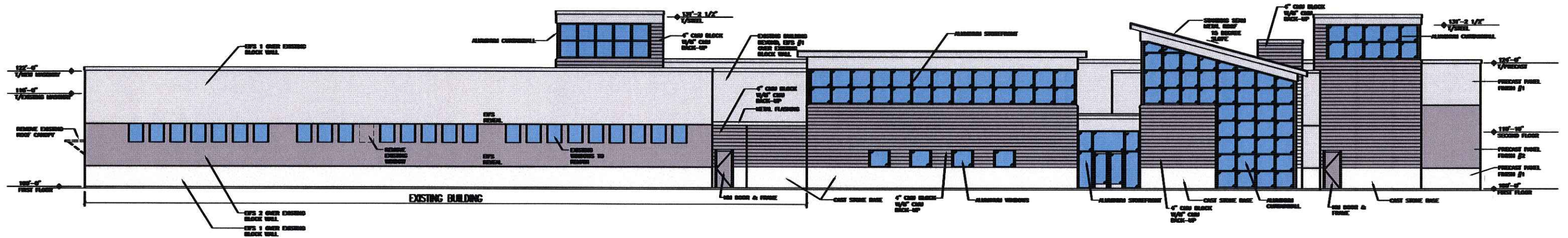
- New Addition
- Remodeled



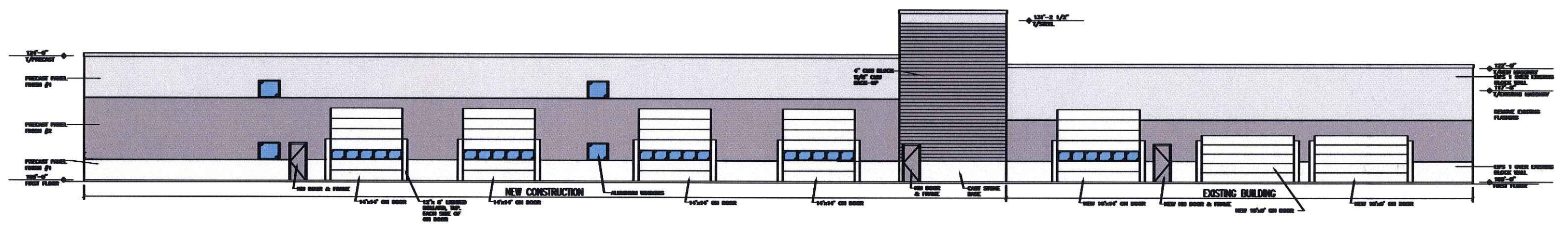
DECEMBER 21, 2005

GOODMAN PARK - SECOND FLOOR PLAN

MADISON PARKS DIVISION



EAST ELEVATION



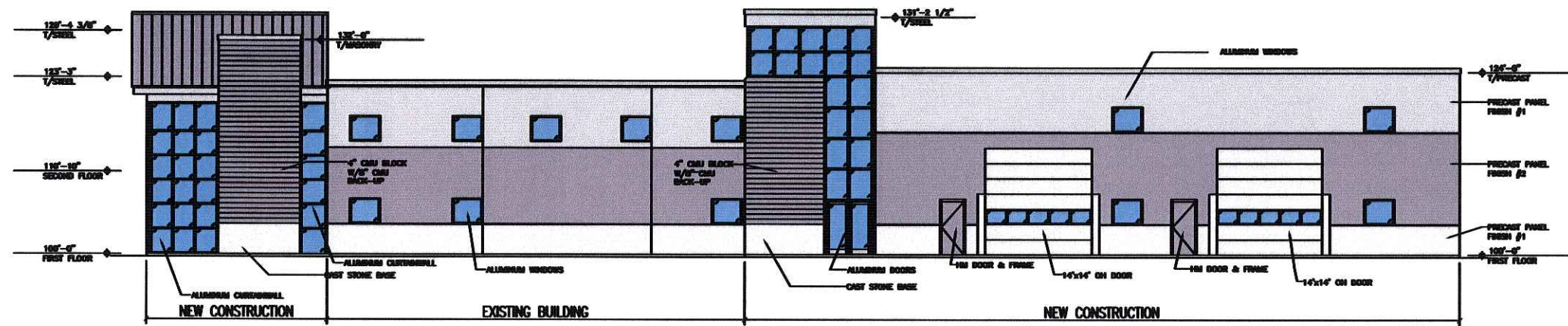
WEST ELEVATION

DECEMBER 21, 2005

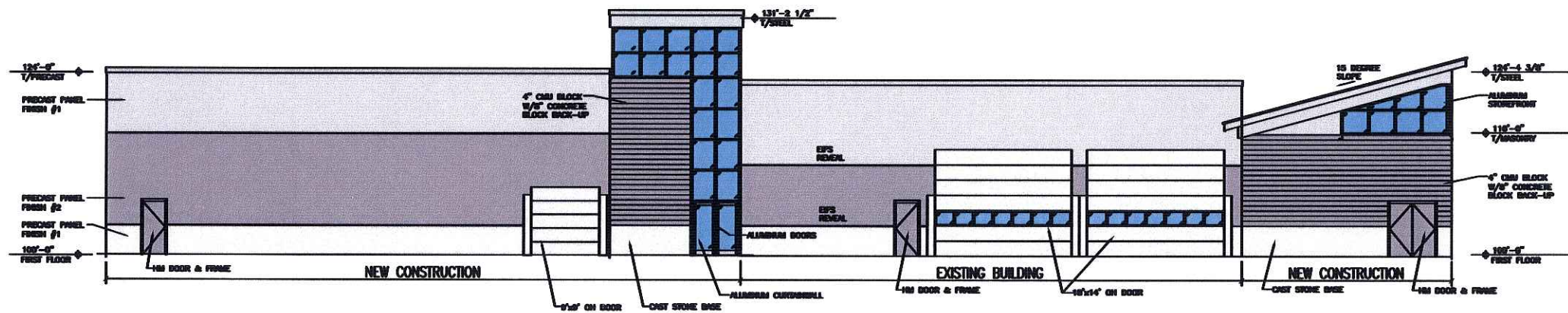
GOODMAN PARK - MATERIAL & COLOR CONCEPTS

MADISON PARKS DIVISION

BrayAssociates
ARCHITECTS, INC.



NORTH ELEVATION



SOUTH ELEVATION

DECEMBER 21, 2005

GOODMAN PARK - MATERIAL & COLOR CONCEPTS

MADISON PARKS DIVISION



PARK ENTRANCE SIGN



VIEW OF NEIGHBORHOOD - LOOKING NORTH



VIEW OF WINGRA CREEK PARKWAY



VIEW OF PARKING AREA & MAINTENANCE FACILITY

DECEMBER 21, 2005

GOODMAN PARK - SITE PHOTOS

BrayAssociates
ARCHITECTS, INC.

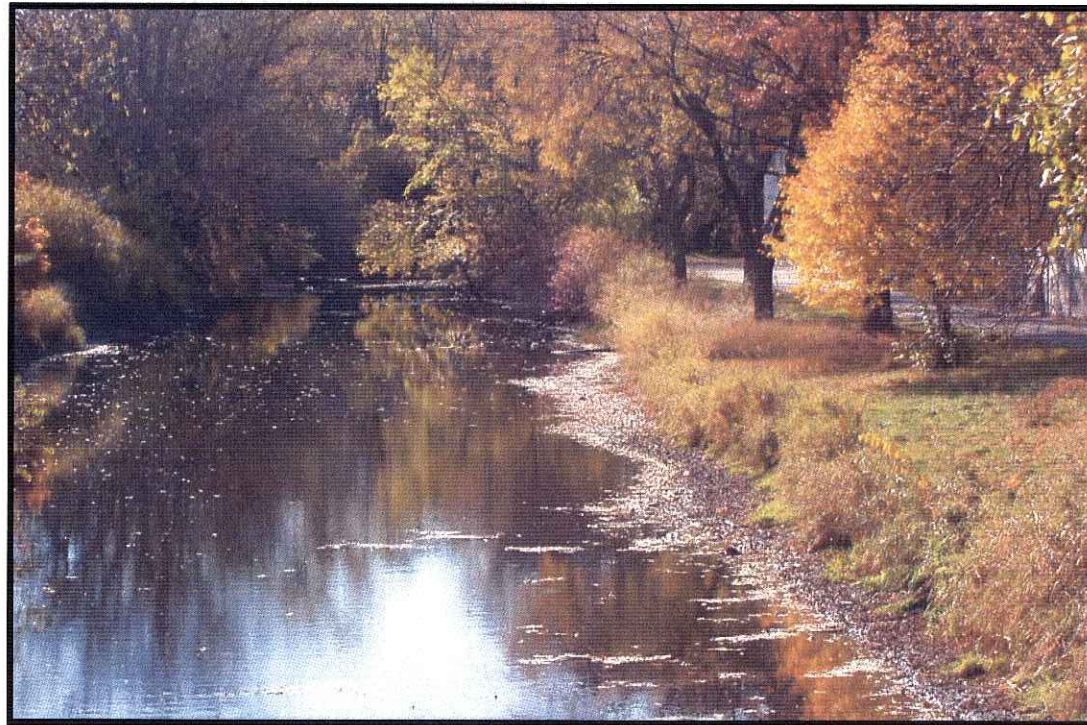
MADISON PARKS DIVISION



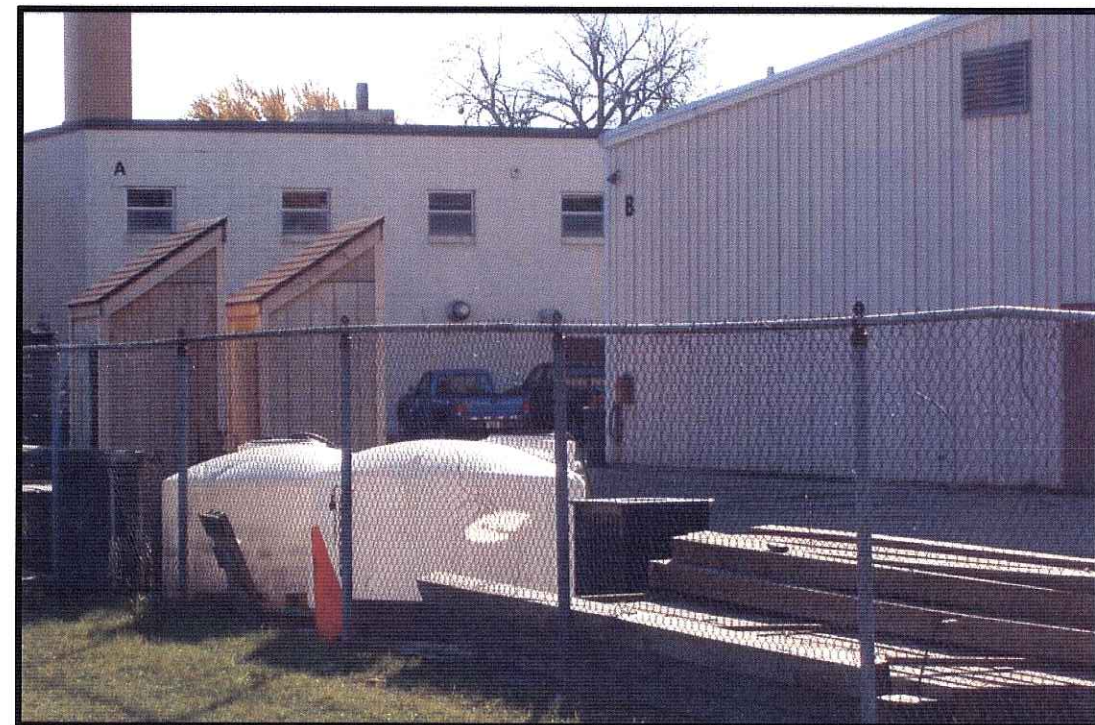
ENTRANCE TO MAINTENANCE SITE



BRIDGE TO DOG PARK



WINGRA CREEK EDGE TO MAINTENANCE FACILITY



VIEW FROM BALL DIAMOND TOWARD MAINTENANCE FACILITY

DECEMBER 21, 2005

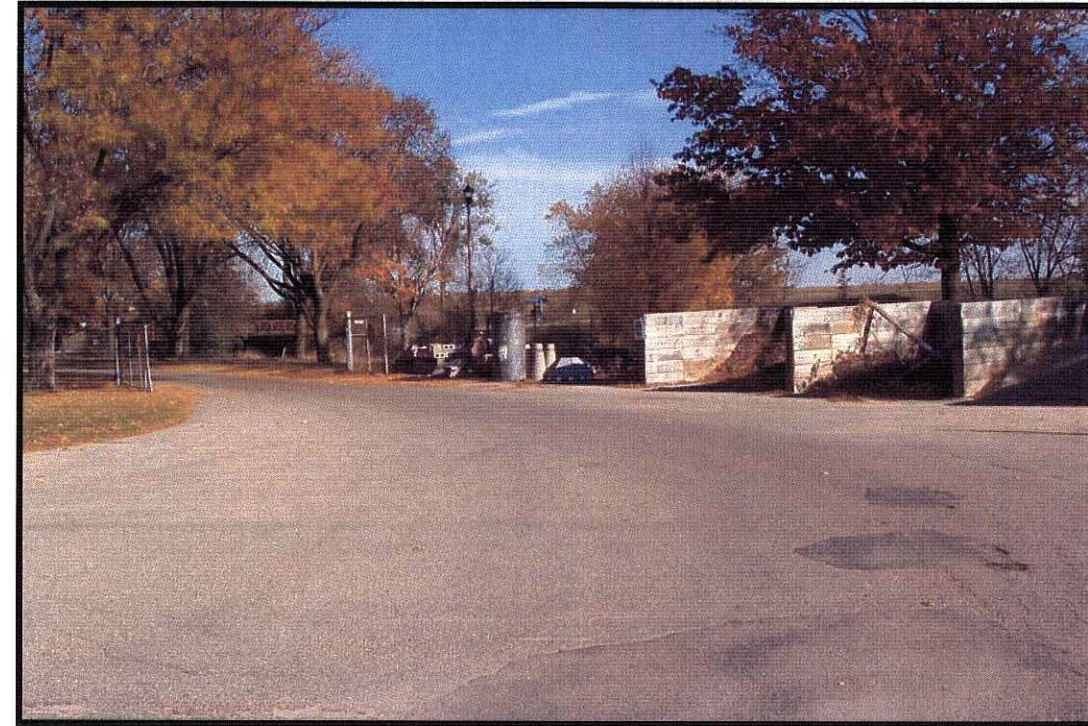
GOODMAN PARK - SITE PHOTOS

BrayAssociates
ARCHITECTS, INC.

MADISON PARKS DIVISION



ENTRANCE TO MAINTENANCE FACILITY



BORDER WITH WINGRA CREEK



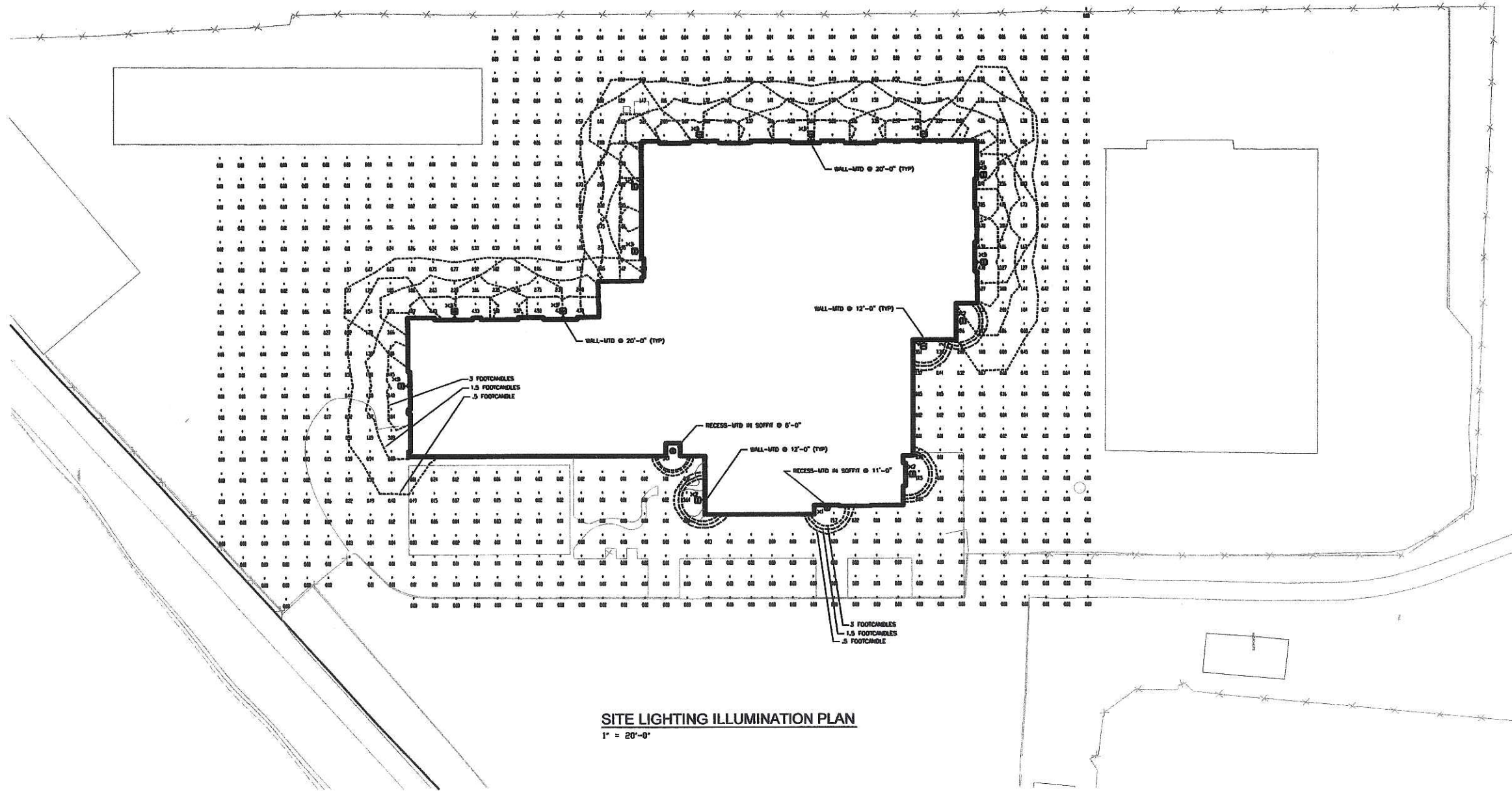
VIEW OF EXISTING MAINTENANCE FACILITY

DECEMBER 21, 2005

GOODMAN PARK - SITE PHOTOS

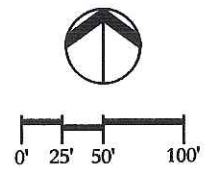
BrayAssociates
ARCHITECTS, INC.

MADISON PARKS DIVISION



SITE LIGHTING ILLUMINATION PLAN
1" = 20'-0"

GOODMAN PARK MAINTENANCE FACILITY LUMINAIRE SCHEDULE						
SYM	SYMBOL	DESCRIPTION	LAMP	LUMENS	HANGING/CAST	FILE
X1	⊙	RECESSIBLE SURFACE LIGHT - 70W HPS	⊙ L1070	5950	VARIES - REFER TO DWG	050 2
X2	⊓	WALL-MOUNTED LIGHT - 100W HPS	⊓ L1000	8000	WALL-MTD @ 12'-0"	050 4
X3	⊓	WALL-MOUNTED LIGHT - 150W HPS	⊓ L1050	15000	WALL-MTD @ 20'-0"	050 10



Drawing name: W:\PROJECTS\GPM\Goodman Park\SL1-12-6-05.dwg Plotter set: Dec 06, 2005 - 3:46pm

X2 WALL BRACKET SOFT SQUARE



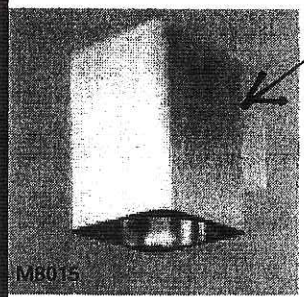
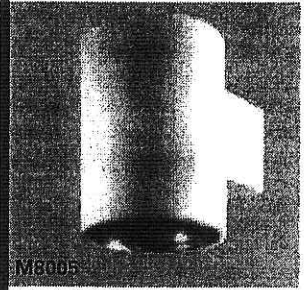
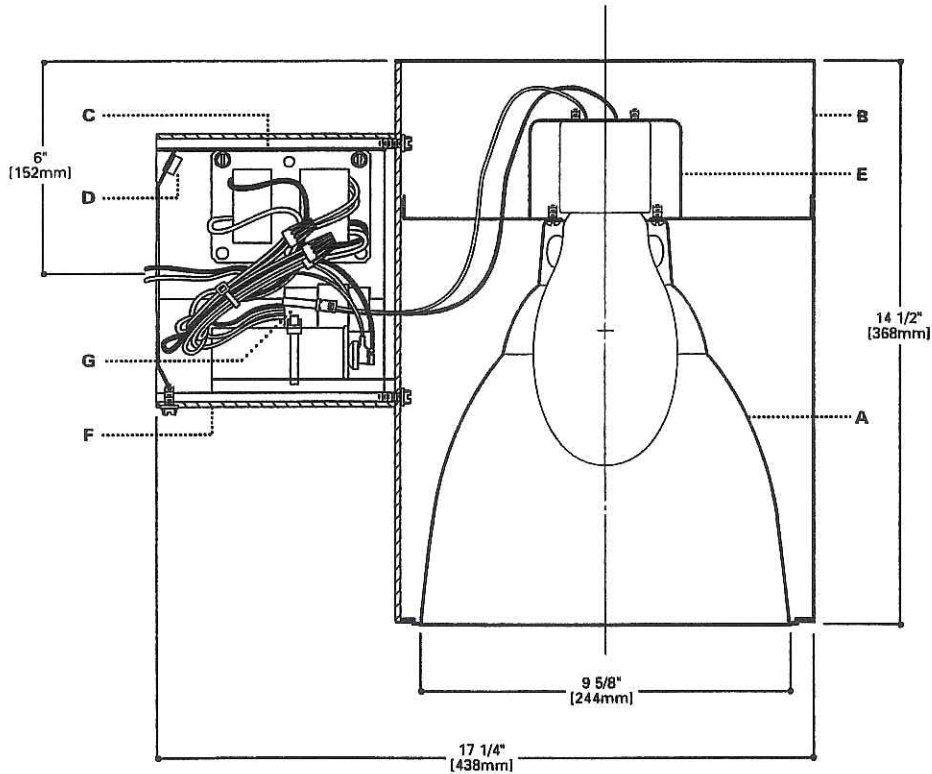
PORTFOLIO

DESCRIPTION

Round cylinder or soft square wall mount fixture in choice of white or bronze finish. Can be used to blend with or accent varying architectural styles. Reflector provides 45° cutoff to lamp. Optically, the batwing light distribution provides even illumination with high efficiency.

SPECIFICATION FEATURES

- A...Reflector**
Specular clear or gold Alzak® reflector, .040 thick aluminum with a spun parabolic contour. Positive reflector mounting via keyed holes and screws. Baffle is seamless black grooved aluminum.
- B...Housing**
Round or soft square fabricated .062 thick aluminum housings available in white or bronze finish.
- C...Mounting Frame**
Stamped pregalvanized steel #16 GA, .060 thick.
- D...Mounting**
Wall mounting bracket installs to wall mounted junction box.
- E...Socket**
Mogul base porcelain socket with nickel plated brass screw shell.
- F...Mounting Arm**
Extruded aluminum for better heat dissipation.
- G...Wiring Harness**
From ballast assembly, plugs into fixture. No tools required.
- Electrical**
Multi-tap ballast for use with 120, 208, 240 and 277V.
- Labels**
U.L. listed, C.S.A. certified, standard wet label, IBEW union made.



M8005/15-637
M8005/15-647
M8005/15-657

70W - 150W HPS

10" ROUND/
SOFT SQUARE

WALL MOUNT

ENERGY DATA

70W HPS
Input Watts: 94
Operating/Starting Current:
120V=0.82/0.90
208V=0.48/0.50
240V=0.41/0.44
277V=0.36/0.35
Power Factor: 90%

100W HPS
Input Watts: 128
Operating/Starting Current:
120V=1.14/0.80
208V=0.66/0.55
240V=0.57/0.41
277V=0.49/0.35
Power Factor: 90%

150W HPS
Input Watts: 188
Operating/Starting Current:
120V=1.66/3.00
208V=0.96/1.10
240V=0.83/0.95
277V=0.72/0.88
Power Factor: 90%

NOTES: Accessories should be ordered separately. For additional options please consult your Cooper Lighting Representative. Alzak is a registered trademark of Aluminum Company of America.

ORDERING INFORMATION

SAMPLE NUMBER: M8005P-657-75000C

Complete unit consists of housing, ballast and trim.

Unit	Finishes	Ballast	Trims
M8005-Regular M8015-Soft Square	Powder Coat Finishes P=White BZ=Bronze	637-70W HPS (120, 208, 240, 277V) 647-100W HPS (120, 208, 240, 277V)	Specular Reflectors 63800C=Clear for 70W 63800G=Gold for 70W 74000C=Clear for 100W 74000G=Gold for 100W 75000C=Clear for 150W 75000G=Gold for 150W Baffle 73000BA=Black Baffle (for 70W) 74000BA=Black Baffle (for 100W) 75000BA=Black Baffle (for 150W)

COOPER LIGHTING

ADV985174

X1 RECESSED CAN



PORTFOLIO

DESCRIPTION

A low brightness 8" aperture recessed downlight for use with 70W High Pressure Sodium lamps. The precisely formed specular Alzak® parabolic reflector minimizes aperture brightness and provides a 45° visual cutoff to lamp. The socket cap adjusts for high or low settings. The snap lock assures proper source and reflector focus that will not be disturbed by normal maintenance. Optically, the resulting batwing light distribution provides even illumination with high efficiency.

SPECIFICATION FEATURES

A...Reflector
Specular clear or gold Alzak® reflector, .050 thick aluminum with a spun parabolic contour. Positive reflector mounting via keyed holes and screws. Baffle is black seamless aluminum.

SPECIFICATION FEATURES

- B...Trim Ring Options**
High impact polymer with satin white finish, metal trim ring, rimless trim ring or self flanged reflector.
- C...Socket Cap**
Heat dissipating die-cast aluminum, .080 wall thickness. Adjusts and locks without tools for two beam distributions.
- D...Housing/Mounting Frame**
Precision die-cast aluminum 1 1/2" deep collar accommodates varying dimensions of ceiling materials. Stamped steel mounting frame (#16GA, .060).
- E...Universal Mounting Bracket**
Exclusive universal mounting bracket accepts 1/2" EMT, C channel, T bar fasteners, and bar hangers. Adjusts 5" vertically from above or below ceiling.
- F...Conduit Fittings**
Die-cast screw tight

connectors.

G...Junction Box
U.L. listed for four in, four out #12 at 90°C pull through branch wiring. Positioned on ballast mounting bracket to allow straight conduit runs. Knockouts for six 1/2" and three 3/4" conduits. Access to junction box by removing reflector.

H...Ballast

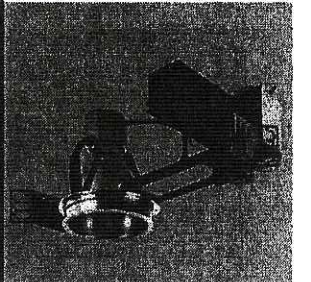
Quick mount plug-in thermally protected ballast with dual tap for 120/277V. Ballast secures to mounting frame with spring lock.

Insulation Detector

Provides protection against improper use of ceiling insulation.

Labels

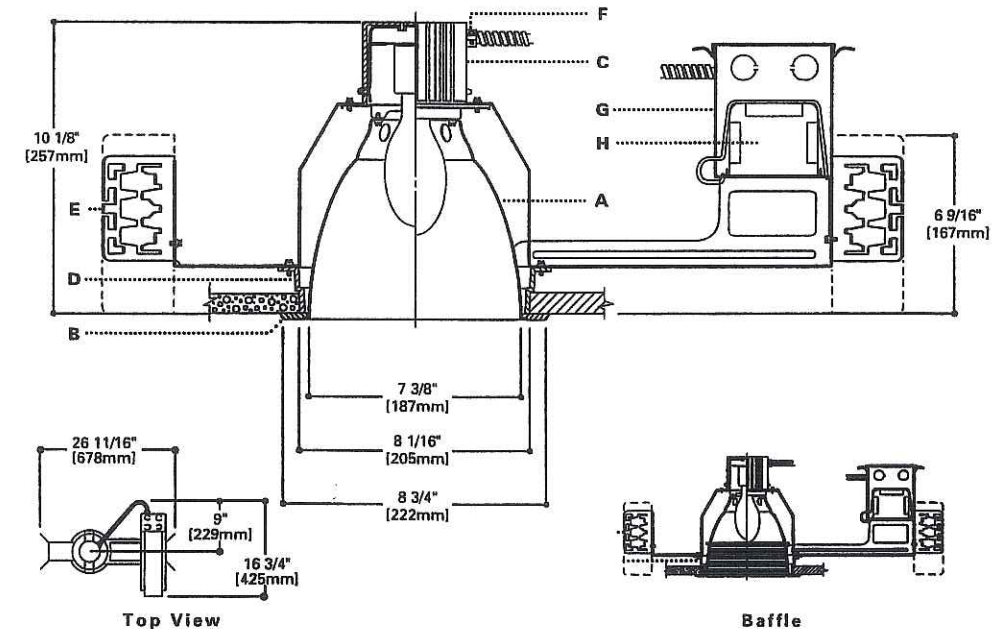
U.L. Listed, CSA Certified, standard damp label, IBEW union made.



M7800T-630

70W
HPS

7 3/8" REFLECTOR



ORDERING INFORMATION

SAMPLE NUMBER: M7800T-630-63800C

Complete unit consists of housing, ballast and trim.

Housing	Ballast	Options	Trims	Accessories
M7800T	630-70W HPS (120/277V)	F=Fuse Q=Quartz (Consult Factory) X=Quartz (Socket Only)	Specular Reflectors 63800C=Clear 63800G=Gold Self Flanged Specular Reflectors 63800C=Clear 63800G=Gold Baffle 63800BA=Black	Metal Trim Rings TRM8-P=White TRM8-MB=Black Rimless Trim Ring TRR8 Sloped Ceiling Adapter HSA-5 Specify Slope 1 1/2" C Channel Bar Hangers HB26-26" Long HB50-50" Long

COOPER LIGHTING

ENERGY DATA

70W HPS
Input Watts: 90
Operating/Starting Current:
120V=.82/1.00
277V=.36/.50
Power Factor: 90%

NOTES: Accessories should be ordered separately. For additional options please consult your Cooper Lighting Representative. Alzak is a registered trademark of Aluminum Company of America.

ADV985131

FEATURES & SPECIFICATIONS

INTENDED USE— For building- and wall-mounted applications.

CONSTRUCTION — Rugged, die-cast, single-piece aluminum housing. Die-cast door frame has a 1/8" thick tempered glass lens. Door frame is fully gasketed with one-piece solid silicone.

FINISH — Standard finish is new textured dark bronze (DDBT) corrosion-resistant polyester powder finish, with other architectural colors available.

OPTICAL SYSTEM — Segmented reflectors for superior uniformity and control. Reflectors are interchangeable. Three full cutoff distributions available: FT (forward throw), MD (medium throw) and WT (wide throw).

ELECTRICAL SYSTEM — 50W-150W utilizes a high reactance, high power factor ballast. 35S utilizes a reactance high power factor ballast. 175W utilizes a constant-wattage autotransformer ballast. Quick disconnect plug easily disconnects reflector from ballast. Ballasts are copper-wound and 100% factory-tested. Porcelain, medium-base socket with copper alloy, nickel-plated screw shell and center contact. UL listed 660W, 600V 4KV pulse rated.

INSTALLATION — Universal mounting mechanism with integral mounting support allows fixture to hinge down. Bubble level provides correct alignment with each installation.

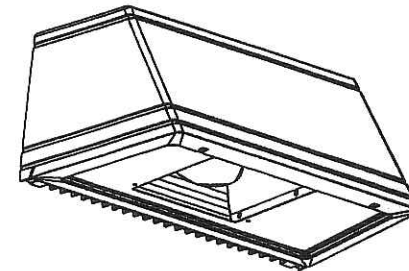
LISTING — UL Listed (standard). CSA Certified (see Options). Suitable for wet locations (damp location listed in lens-up orientation). WLU option offers wet location listing in up orientation (see Options). IP rated.

Catalog Number	
Notes	Type
WALL BRACKET	X3

Decorative Wall-Mounted Lighting

WST

METAL HALIDE
50W-175W
HIGH PRESSURE SODIUM
35W-150W



Standard dimensions - WST

Length: 16.25 (41.2)
Depth: 9.13 (23.2)
Overall Height: 7.25 (18.4)
Max. Weight: 30 lbs (13.6 kg)

All dimensions are inches (centimeters) unless otherwise specified.

ORDERING INFORMATION

Example: WST 175M FT 120 SF LPI DNAT

Choose the boldface catalog nomenclature that best suits your needs and write it on the appropriate line.

WST				Options	
Series	Wattage/Source	Distribution	Voltage		
WST	Metal Halide	FT Forward throw	120	Shipped Installed in Fixture	
	50M	MD Medium throw	208 ²	SF Single fuse (120,277,347V, n/a TB)	Architectural Colors⁸
	70M	(coated lamp std.)	240 ²	DF Double fuse (208,240V, n/a TB or TBV)	Standard Textured Colors
	100M	WT Wide throw	277	EC Emergency circuit (25W max 120V, incandescent lamp included)	DDBT Dark bronze (std.)
	150M		347	DC12 Emergency circuit 12 volt (35W lamp included std.) ⁵	DSST Sandstone
	175M		TB³	QRS Quartz restrike system (100W max 120V, quartz lamp not included)	DNAT Natural aluminum
	High Pressure Sodium		TBV⁴	CR Corrosion-resistant finish (epoxy clear coat over paint)	DWHG White
	35S ¹			CRT Corrosion-resistant (Teflon, black only)	DBLB Black
	50S			PE Photoelectric cell-button type (n/a TB/TBV) ⁶	Optional Textured Colors
	70S			WLU Wet location door for up orientation	DBNH Bronze
	100S			IBS Internal backlight shield ⁷	DSPD Dark gray
	150S			DFL Diffusing lens	DSPJ Light gray
				LPI Lamp included (std)	DSPE Green
				L/LP Less lamp	DSPG Dark red
				CSA CSA Certified	DSPF Rust
					DSPH Red
					Striping
					SDBB Dark bronze
					SDWH White
					SDBL Black
					SDNA Natural aluminum
					SDSS Sandstone
					SDTG Tennis green
					SDBR Bright red
					SDBUA Dark blue
					SDGYM Gray
					SDYLB Yellow
				Shipped Separately	
				WSBBW Surface-mounted back box	
				UT5 Uptilt 5 degrees	
				WSTWG Wire guard ⁸	
				WSTVG Vandal guard ⁸	

- NOTES:
- 120V only.
 - Consult factory for availability in Canada.
 - Optional multi-tap ballast (120, 208, 240, 277V); (120, 277, 347V in Canada).
 - Optional penta-tap ballast (120, 208, 240, 277, 480V; not available in Canada). 175W metal halide only.
 - Not available with SF, DF or QRS.
 - Must be ordered with fixture; cannot be field installed.
 - Not available with medium throw (MD) distribution.
 - Additional architectural colors available; see www.lithonia.com for more information.