



City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506
 Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 4606 Hammersley Rd.

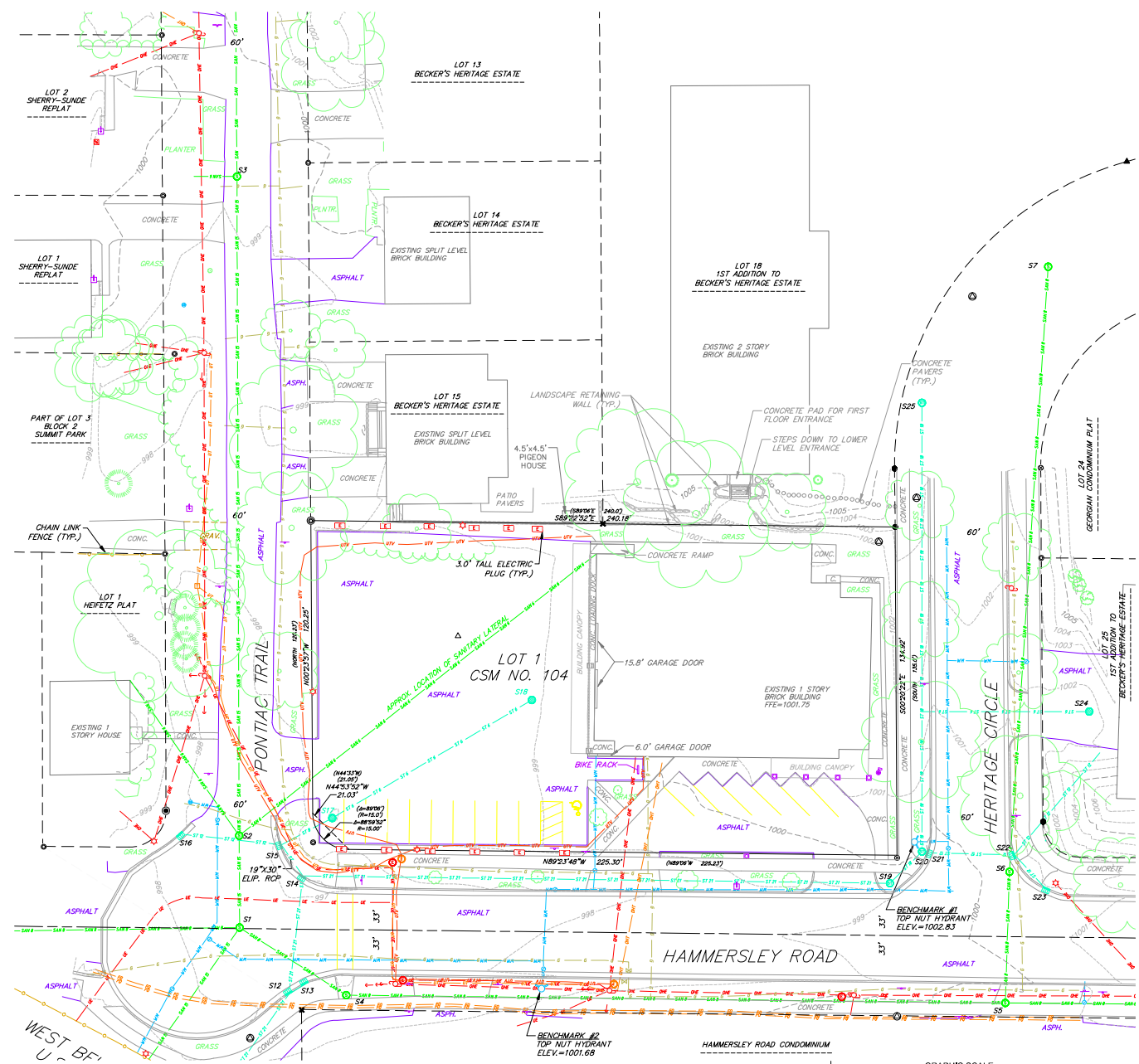
Contact Name & Phone #: Duane Johnson 608-836-3690

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? see sheet C-1.3 b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? see sheet C-1.3 f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.



EXISTING SANITARY STRUCTURE TABLE					
NAME	TYPE	RIM	INVERT	DIRECTION	
S1	SMH	997.60	984.61	N	
			985.15	SE	
			984.60	S	
			985.34	W	
S2	SMH	997.31	984.53	N	
			989.78	NE	
			984.55	S	
			980.38	NW	
S3	SMH	999.57	984.15	N	
			984.25	S	
			-	W	
S4	SMH	998.30	988.74	E	
			987.34	NW	
S5	SMH	1000.08	992.78	N	
			990.88	E	
			992.88	SE	
			990.68	W	
S6	SMH	1000.38	991.81	N	
			991.71	S	
S7	SMH	1003.37	994.93	NE	
			994.87	S	

EXISTING STORM STRUCTURE TABLE					
NAME	TYPE	RIM/TC	INVERT	DIRECTION	
S11	FIN	998.98	992.13	NE	
			992.13	SE	
			992.13	NW	
S12	CIN	998.06	992.86	N	
			993.00	NE	
			992.76	SW	
S13	CIN	998.05	993.05	SW	
S14	CIN	997.20	993.20	E	
			993.00	S	
			993.20	NW	
S15	CIN	997.38	994.68	NE	
			993.18	SE	
			993.28	W	
S16	CIN	998.29	993.40	N	
S17	FIN	997.95	994.95	NE	
			994.85	SW	
S18	FIN	998.92	995.32	SW	
S19	STMH	997.70	996.10	NE	
			996.08	W	
S20	STMH	1000.08	996.56	N	
			996.56	E	
			996.53	SW	
S21	CIN	1000.08	997.58	E	
			996.58	S	
S22	CIN	1000.54	997.94	NE	
			997.84	SE	
			997.79	W	
S23	CIN	1000.97	998.77	NE	
S24	FIN	1001.74	999.34	W	
S25	FIN	1003.58	998.46	NE	
			998.46	S	

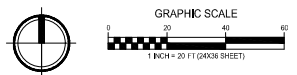
- SURVEY LEGEND**
- ⊕ BENCHMARK
 - ⊗ FOUND CHISELED "X"
 - ⊙ FOUND 1" ⌀ IRON PIPE
 - ⊙ FOUND 2" ⌀ IRON PIPE
 - ⊙ FOUND P.K. NAIL
 - ⊙ FOUND 1 1/4" ⌀ IRON ROD
 - ⊙ FOUND 3/4" ⌀ IRON ROD
 - ⊙ SET NAIL
 - ⊙ SET P.K. NAIL

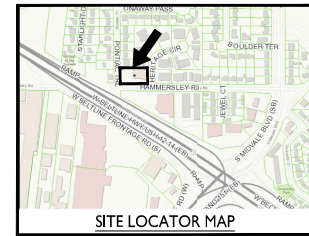
- TOPOGRAPHIC SYMBOL LEGEND**
- ⊕ EXISTING FLAG POLE
 - ⊕ EXISTING MAILBOX
 - ⊕ EXISTING POST
 - ⊕ EXISTING SIGN (TYPE NOTED)
 - ⊕ EXISTING CURB INLET
 - ⊕ EXISTING FIELD INLET RECTANGULAR
 - ⊕ EXISTING FIELD INLET
 - ⊕ EXISTING STORM MANHOLE
 - ⊕ EXISTING SANITARY MANHOLE
 - ⊕ EXISTING FIRE HYDRANT
 - ⊕ EXISTING WATER MAIN VALVE
 - ⊕ EXISTING CURB STOP
 - ⊕ EXISTING GAS VALVE
 - ⊕ EXISTING GAS METER
 - ⊕ EXISTING AIR CONDITIONING PEDESTAL
 - ⊕ EXISTING DOWN GUY
 - ⊕ EXISTING ELECTRIC MANHOLE
 - ⊕ EXISTING ELECTRIC PLUG
 - ⊕ EXISTING LIGHT POLE
 - ⊕ EXISTING UTILITY POLE
 - ⊕ EXISTING TELEPHONE MANHOLE
 - ⊕ EXISTING TELEPHONE PEDESTAL
 - ⊕ EXISTING HANDICAP PARKING
 - ⊕ EXISTING SHRUB
 - ⊕ EXISTING CONIFEROUS TREE
 - ⊕ EXISTING DECIDUOUS TREE

- TOPOGRAPHIC LINENWORK LEGEND**
- 6" — 6" EXISTING UNDERGROUND CABLE TV
 - 6" — 6" EXISTING FIBER OPTIC LINE
 - 6" — 6" EXISTING OVERHEAD TELEPHONE LINE
 - 6" — 6" EXISTING UNDERGROUND TELEPHONE
 - ⊕ EXISTING RETAINING WALL
 - ⊕ EXISTING CHAIN LINK FENCE
 - 6" — 6" EXISTING GAS LINE
 - 6" — 6" EXISTING UNDERGROUND ELECTRIC LINE
 - 6" — 6" EXISTING OVERHEAD ELECTRIC LINE
 - 6" — 6" EXISTING EDGE OF TREES
 - 6" — 6" EXISTING WATER MAIN
 - 6" — 6" EXISTING MAJOR CONTOUR
 - 6" — 6" EXISTING MINOR CONTOUR
 - 6" — 6" EXISTING 6" SANITARY SEWER LINE
 - 6" — 6" EXISTING 8" SANITARY SEWER LINE
 - 6" — 6" EXISTING 15" SANITARY SEWER LINE
 - 6" — 6" EXISTING 6" STORM SEWER LINE
 - 6" — 6" EXISTING 8" STORM SEWER LINE
 - 6" — 6" EXISTING 12" STORM SEWER LINE
 - 6" — 6" EXISTING 18" STORM SEWER LINE
 - 6" — 6" EXISTING 21" STORM SEWER LINE

- NOTES:**
- All underground utilities have been located per markings placed on the ground or maps provided by the utilities (owner) and/or their authorized representatives. Markings are per Digger's Hotline Tickets # 20203204631, 20203204661, 20203204693, 20203204716 and 20203209710. Vierbicher does not warrant the locations marked or mapped by others.
 - Field work for this map was completed on 8-7-2020. Any physical changes after this date on the site within the survey limits are not reflected on this map.
 - There were no assessments of record per the Knight Barry Title Commitment File #1107351, dated 3-13-2020.
 - This map is referenced to the Wisconsin County Coordinate System, Dane Zone NAD 83 (2011). Elevations are referenced to NAVD 83 datum per Center of Section 32-7-8, elevation 1010.16. Field data was obtained using Robotic Total Station and GPS.
 - The property lines shown on this map are based on found property corners and surveys and plats of record.
 - This map was prepared at the request of Tam Ripple, Ripple Trust, 3801 Regent Street, Madison, WI.

1 EXISTING CONDITIONS PLAN
1" = 20'-0"





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ISSUED
Issued for Land Use Submittal - October 7, 2020

SITE DEVELOPMENT DATA:

ZONING: CC-T COMMERCIAL CORRIDOR TRANSITIONAL DISTRICT

DENSITIES	PROVIDED	ZONING REQUIREMENTS
LOT AREA	32,354 S.F./74 ACRES	
DWELLING UNITS	53 UNITS	
LOT AREA / UNIT	610 S.F./UNIT	
DENSITY	72 UNITS/ACRE	
COMMERCIAL AREA	1,757 S.F.	
FRONT YARD SETBACK	13'4" @ 0'	25' MAX.
REAR YARD SETBACK	12'5" @ 8' & 9'7" @ 0'	6' MIN.
REAR YARD SETBACK	31'8" @ 20'	20' MIN.
LOT COVERAGE	24,584 S.F. (76%)	27,501 S.F. (85% MAX)
USABLE OPEN SPACE	12,200 S.F.	9,760 S.F. MIN.
BUILDING HEIGHT	2-3 STOREYS/24'-4"	5 STOREYS/68'
DWELLING UNIT MIX:		
STUDIO	16	
ONE BED	23	
ONE BED + DEN	4	
TWO BED	4	
TOTAL	53 UNITS	
VEHICLE PARKING:		
UNDERGROUND GARAGE	64	
SURFACE GARAGE	9	
TOTAL	73 VEHICLE STALLS	
PARKING RATIO	1.3 STALLS/UNIT	
BICYCLE PARKING:		
GARAGE FLOOR MOUNT	53	53
SURFACE COMMERCIAL	1	1 (11,000 S.F.)
SURFACE-GUEST	5	5 (10K OF UNITS)
TOTAL	59 BIKE STALLS	59 BIKE STALLS/MIN.

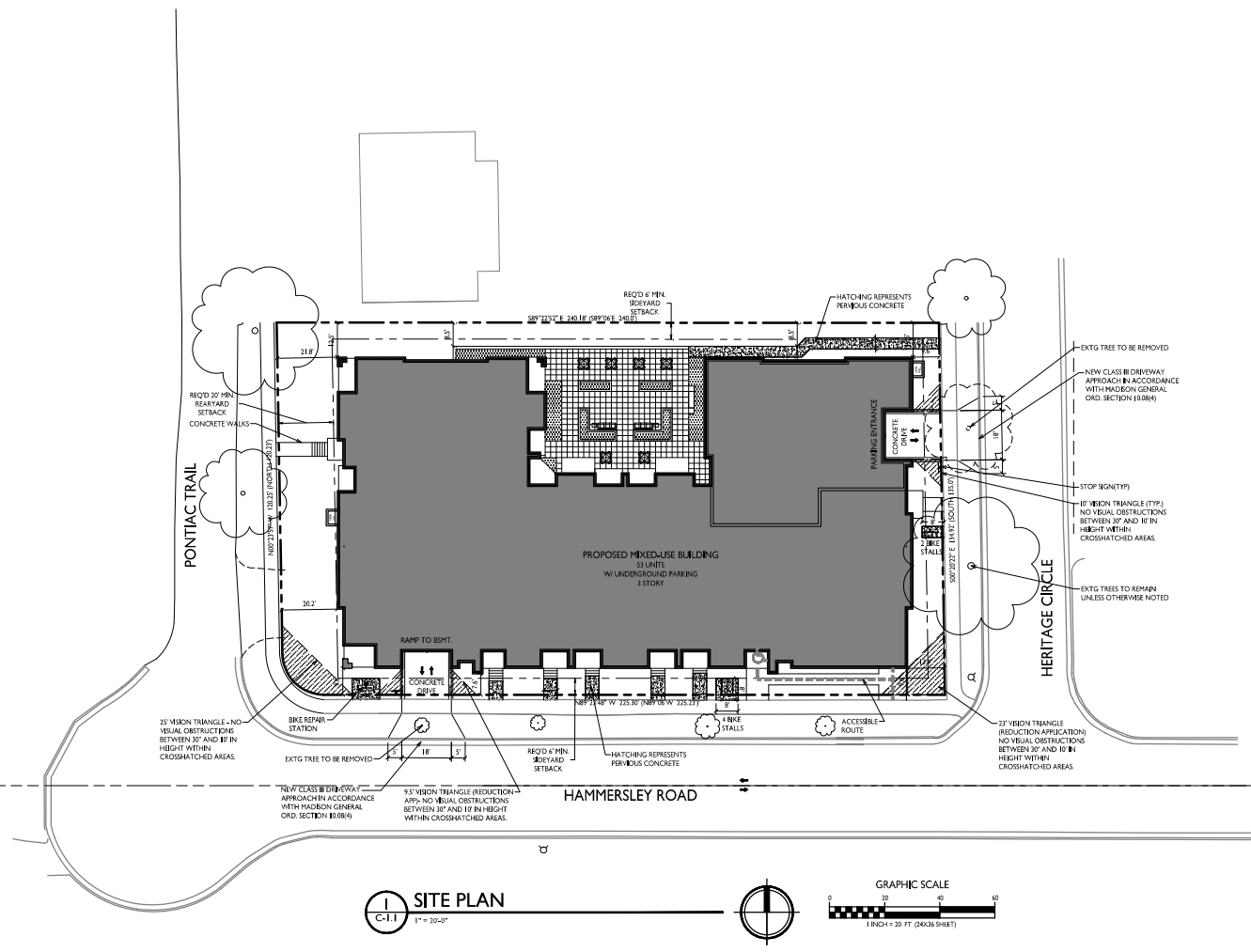
PROJECT TITLE
Hammersley Rd.

4606 Hammersley Rd.
Madison, WI
SHEET TITLE
Site Plan

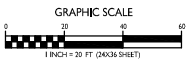
SHEET NUMBER

C-1.0

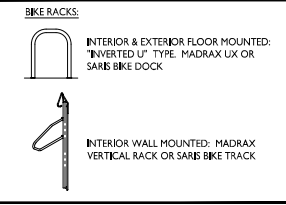
PROJECT NO. **2014**
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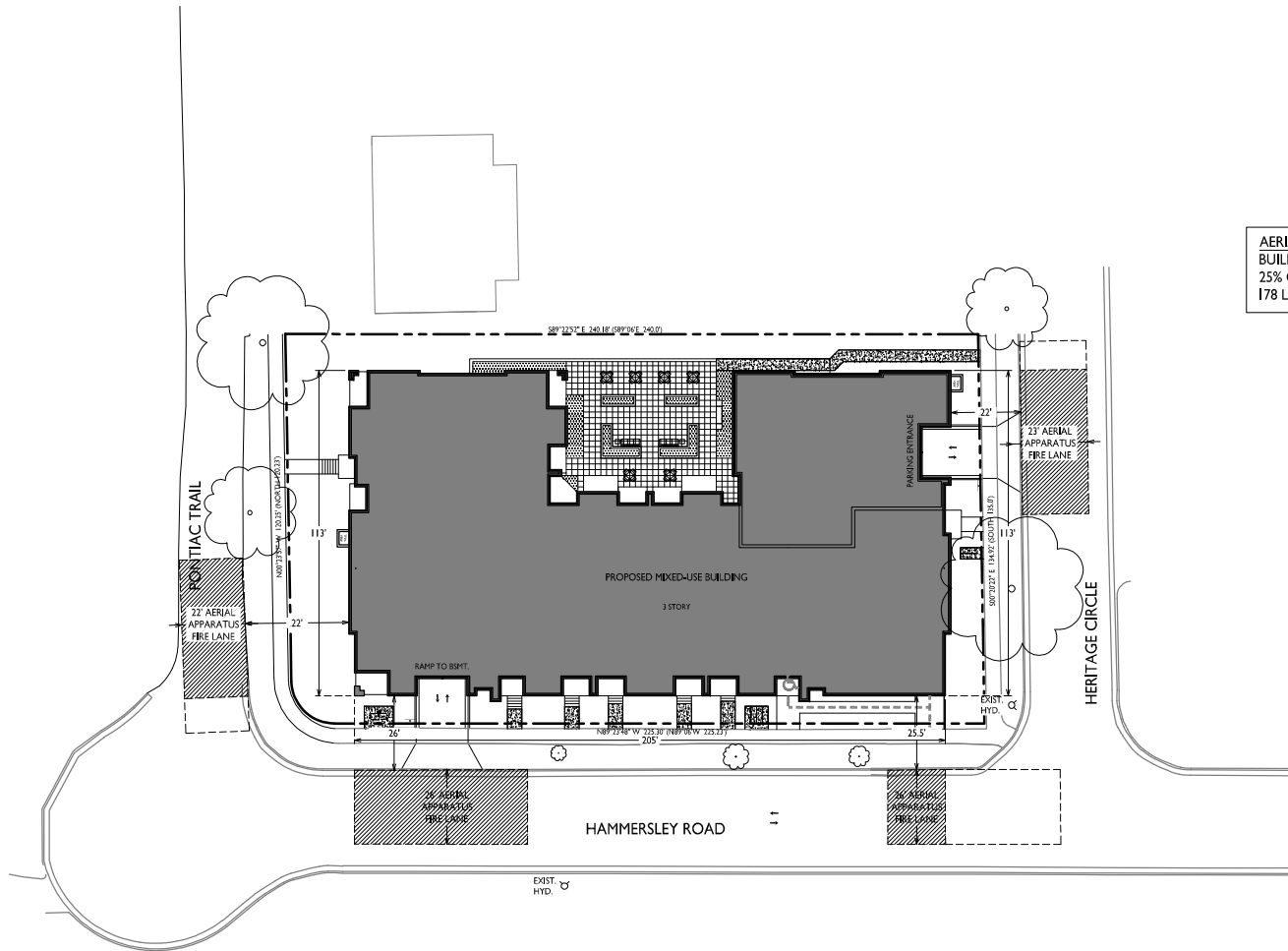
SITE PLAN
C-1.1
1" = 20'-0"



- GENERAL NOTES:**
- THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ADJUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
 - ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
 - ALL DAMAGE TO THE PAVEMENT ON CITY STREETS, AND ADJACENT TO THE DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
 - ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVALS PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
 - CITY FORESTRY WILL ISSUE A STREET TREE REMOVAL PERMIT FOR (X) TREES (DBH) DIAMETER (VARIETY) TREE DUE TO REASON AT LOCATION. PLEASE CONTACT WAYNE BUCKLEY, WBUCKLEY@CITYOFMADISON.COM OR 608.264.4616 TO OBTAIN THE STREET TREE REMOVAL PERMIT.
 - AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (264-4884) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS](https://www.cityofmadison.com/business/pw/specs)
 - CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DAMAGE SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREES. THE MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 264-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
 - SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL PROTECTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE CONTRACTOR SHALL PROTECT THE TRUNKS OF STREET TREES WITH A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 264-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
 9. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERRECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERACE AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
 - STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300-PART 1 STANDARDS FOR PRUNING.
 - APPROVAL OF PLANS FOR THE PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTRY (264-4816).
 - THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO ITEMS SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANT'S EXPENSE UPON NOTIFICATION BY THE CITY.



AERIAL APPARATUS SUMMARY
 BUILDING PERIMETER = 637 L.F.
 25% OF PERIMETER = 160 L.F.
 178 L.F. OF AERIAL APPARATUS PROVIDED



ISSUED
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PROJECT TITLE
 Hammersley Rd.

4606 Hammersley Rd.
 Madison, WI
 SHEET TITLE
 Fire Department Access Plan

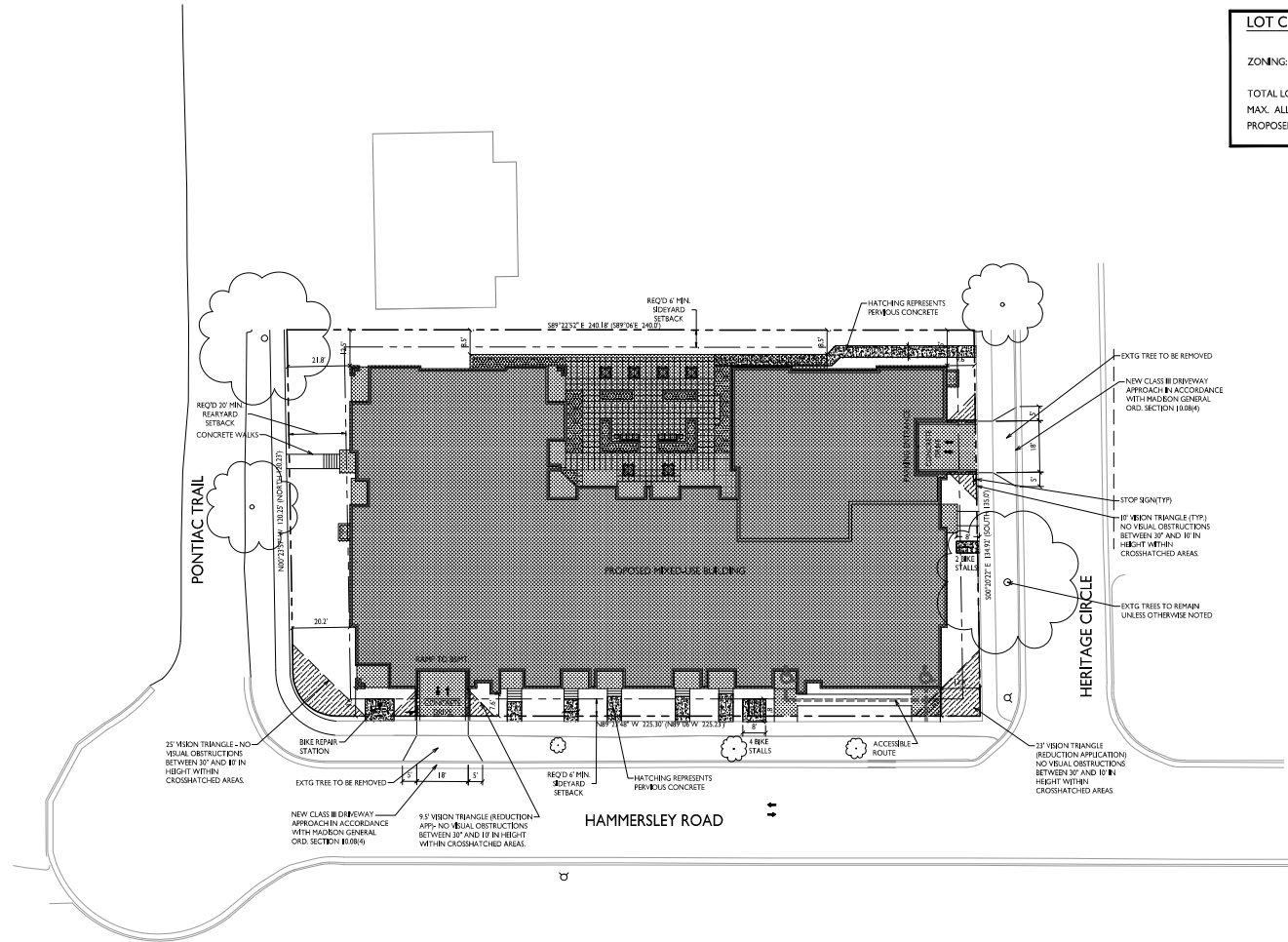
SHEET NUMBER

C-1.3
 PROJECT NO. 2014
 © Knothe & Bruce Architects, LLC

FIRE DEPARTMENT ACCESS PLAN
 C-1.3 1" = 20'-0"



LOT COVERAGE	
ZONING: CC-T / COMMERCIAL CORRIDOR TRANSITIONAL DISTRICT	
TOTAL LOT AREA	32,354 S.F.
MAX. ALLOWED COVERAGE	27,501 S.F. (85%)
PROPOSED LOT COVERAGE	24,561 S.F. (76%)



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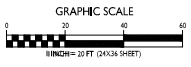
PROJECT TITLE
 Hammersley Rd.

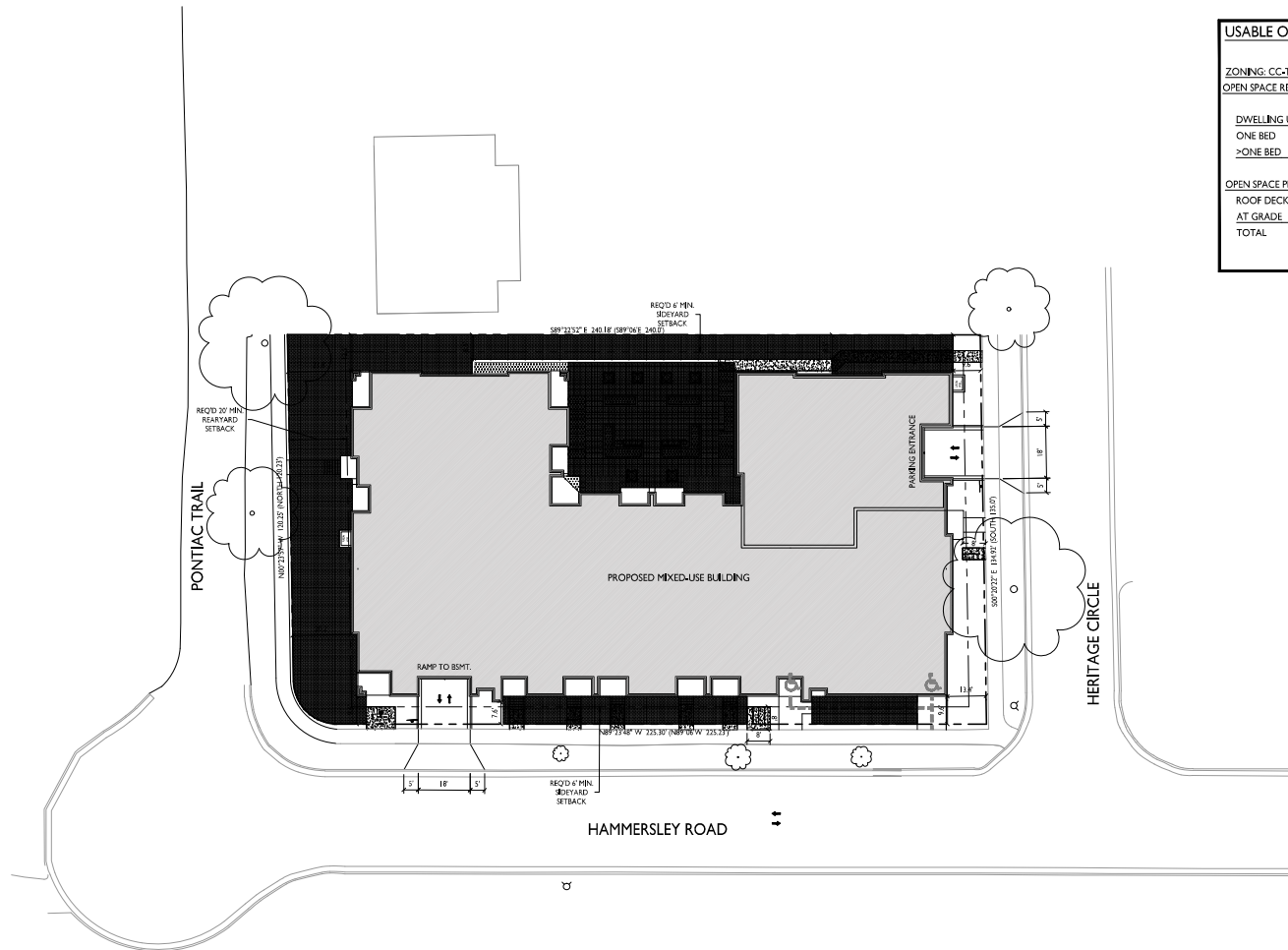
4606 Hammersley Rd.
 Madison, WI
 SHEET TITLE
 Lot Coverage

SHEET NUMBER

C-1.4
 PROJECT NO. 2014
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LOT COVERAGE
 1" = 40'-0"





USABLE OPEN SPACE		
ZONING: CC-T-COMMERCIAL CORRIDOR TRANSITIONAL DISTRICT		
OPEN SPACE REQUIREMENT	160 S.F./LODGING RM OR 1 BED UNIT	320 S.F. FOR > 1 BED UNIT
DWELLING UNITS		
ONE BED	45 (160 S.F.)	7,200 S.F.
>ONE BED	8 (320 S.F.)	2,560 S.F.
	53	9,760 S.F. REQUIRED
OPEN SPACE PROVIDED		
ROOF DECKS, PORCHES, BALCONIES		6,176 S.F.
AT GRADE		6,114 S.F.
TOTAL		12,290 S.F. PROVIDED



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PROJECT TITLE
Hammersley Rd.

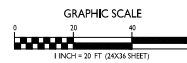
4606 Hammersley Rd.
Madison, WI
SHEET TITLE
Usable Open
Space

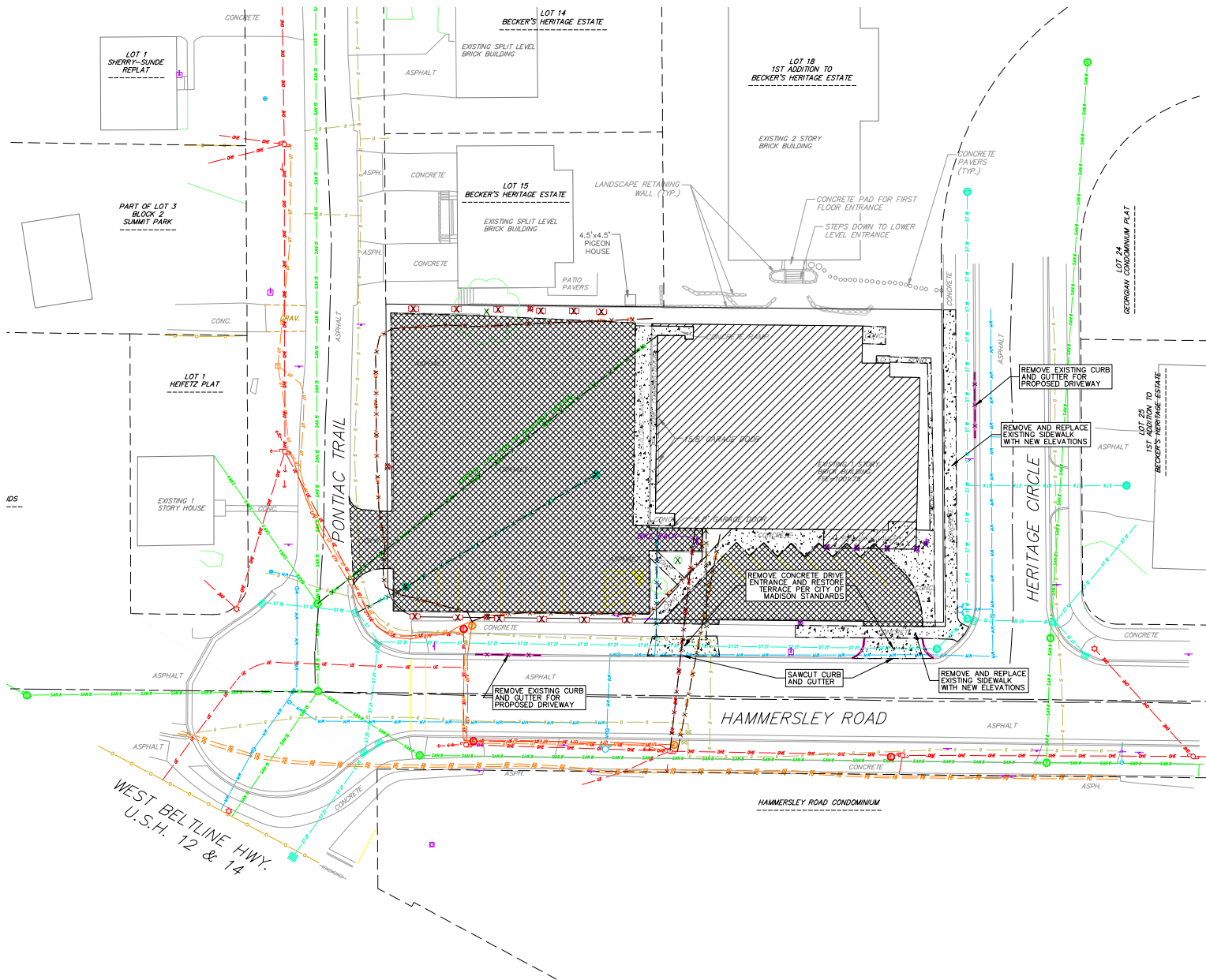
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C-1.5

PROJECT NO. 2014
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1 USABLE OPEN SPACE
C-1.5 1" = 20'-0"



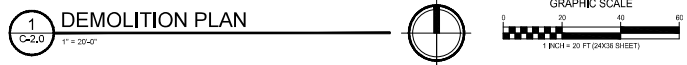


DEMOLITION PLAN LEGEND

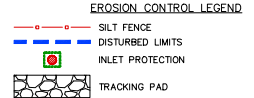
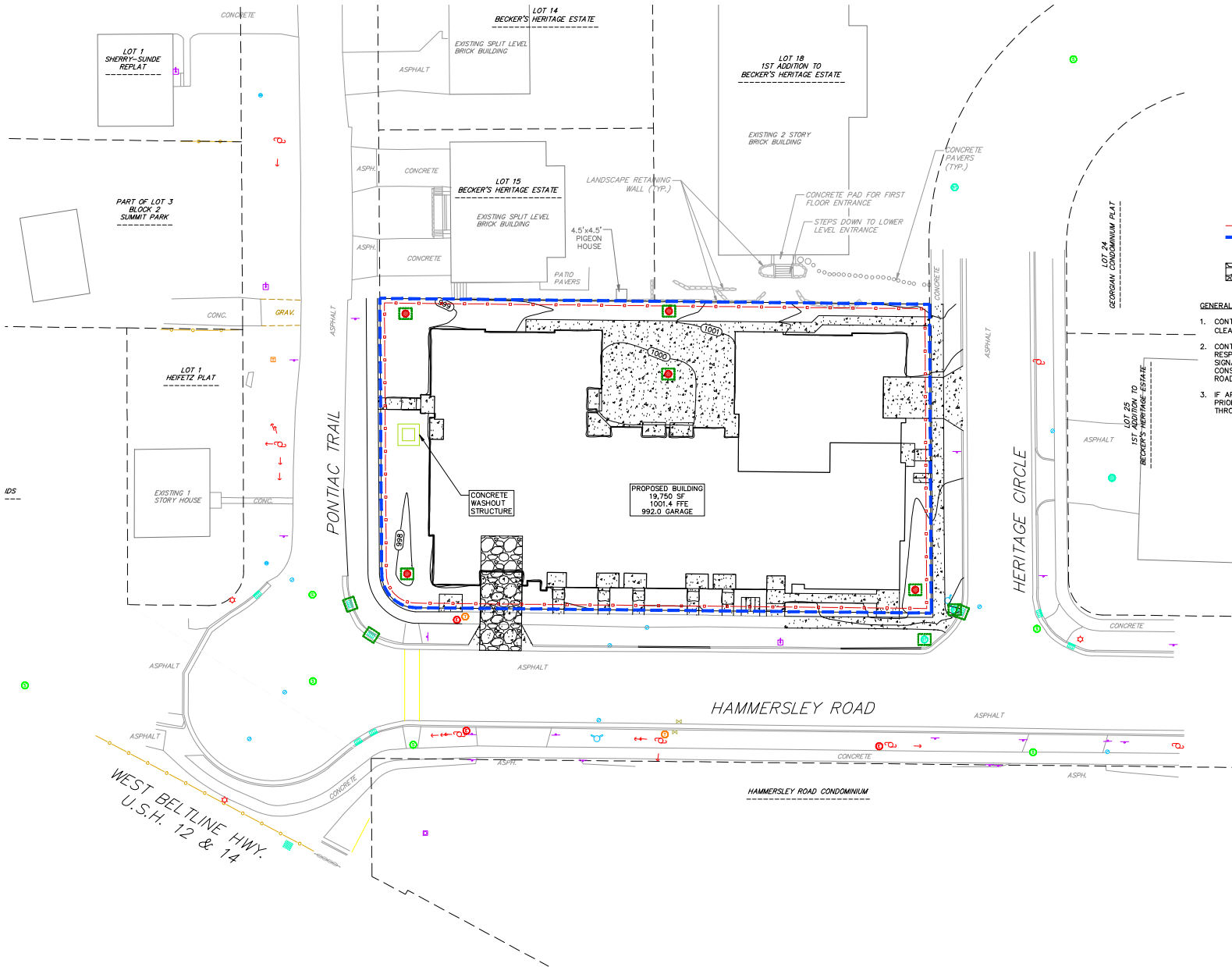
	ASPHALT REMOVAL
	CONCRETE REMOVAL
	BUILDING REMOVAL
	TREE REMOVAL
	SAWCUT
	UTILITY STRUCTURE REMOVAL
	UTILITY LINE REMOVAL

GENERAL NOTES:

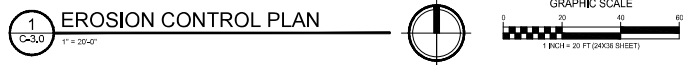
1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL, SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE. ALL BRUSH SHALL BE CLEARED/REMOVED WITHIN DISTURBANCE LIMITS.
6. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER OF SAID UTILITY PRIOR TO DEMOLITION.
7. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
8. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY ABANDONMENT/PLUGGING PERMITS FROM THE LOCAL MUNICIPALITY/UTILITY AGENCY.
9. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PAVEMENT PATCHING CRITERIA.
10. ALL WORK IN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF MADISON ISSUED PLANS.

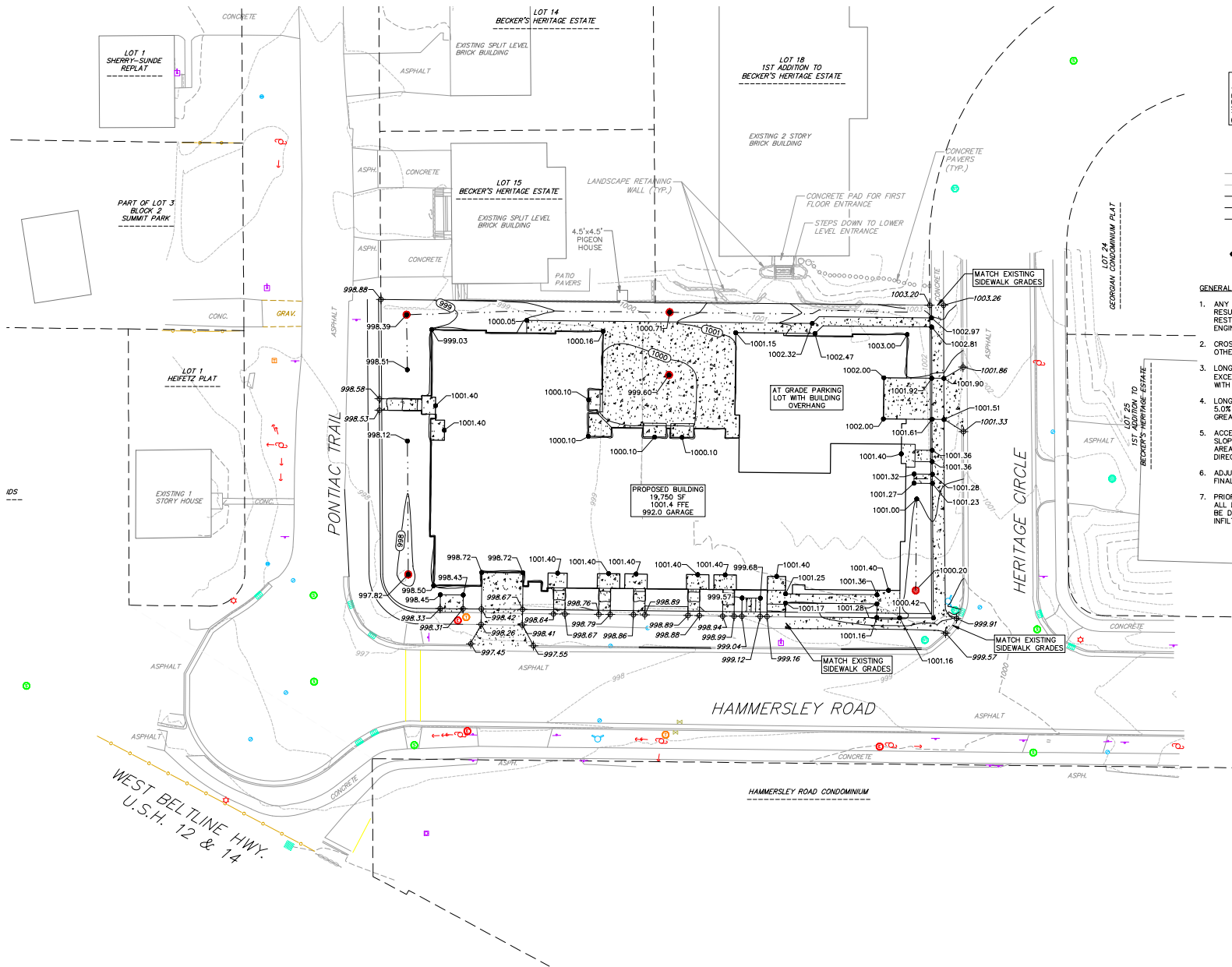


425



- GENERAL NOTES:**
1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
 2. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
 3. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.



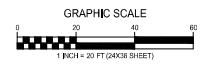


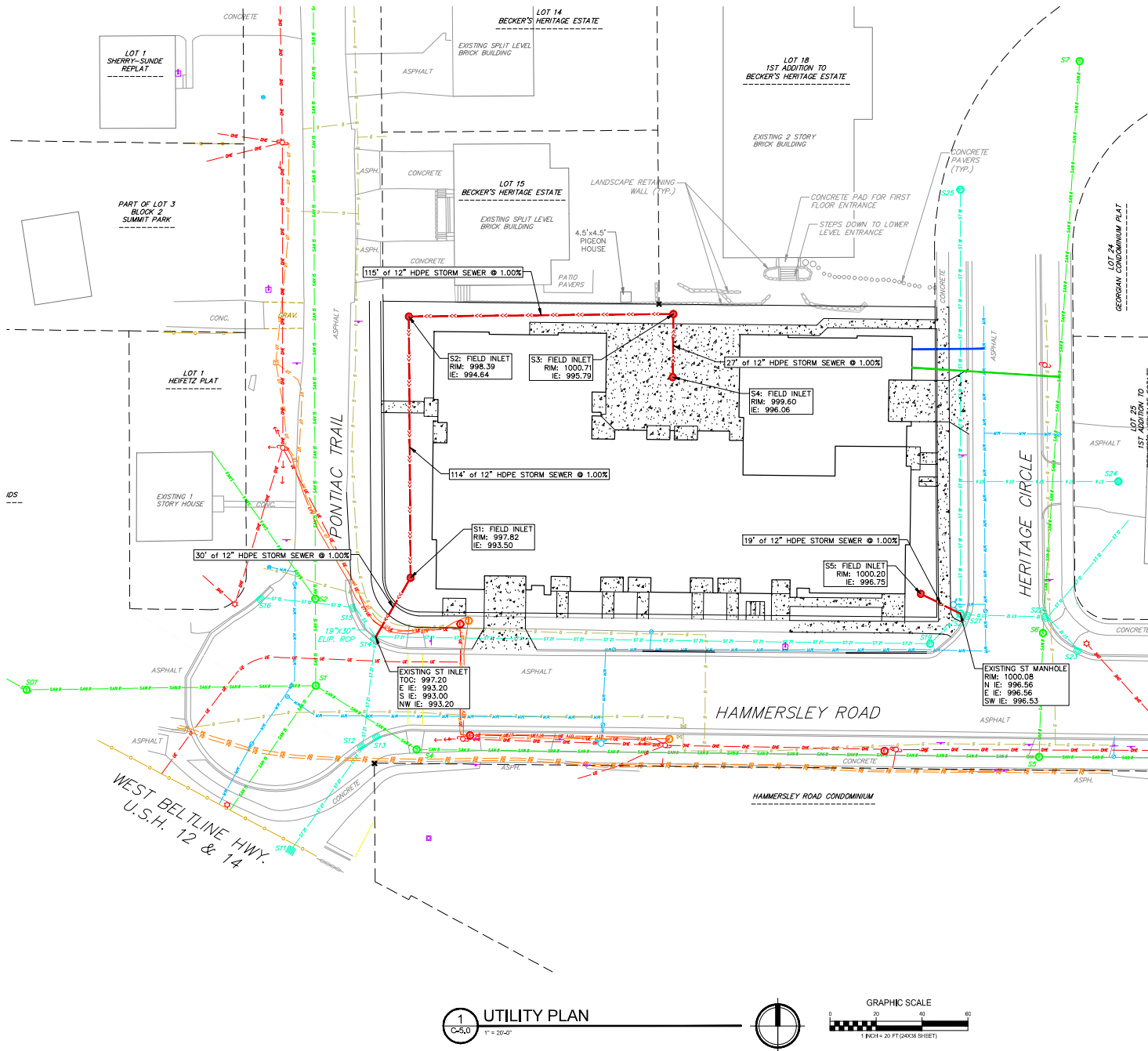
ABBREVIATIONS	
TC	TOP OF CURB
FF	FINISHED FLOOR
FL	FLOW LINE
SW	TOP OF WALK
TW	TOP OF WALL
BW	BOTTOM OF WALL

GRADING LEGEND		
---	8.20	EXISTING MAJOR CONTOURS
---	8.18	EXISTING MINOR CONTOURS
---	8.20	PROPOSED MAJOR CONTOURS
---	8.18	PROPOSED MINOR CONTOURS
---		DITCH CENTERLINE
+	1048.61	EXISTING SPOT ELEVATIONS
+	1048.61	PROPOSED SPOT ELEVATIONS

- GENERAL NOTES:**
1. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.
 2. CROSS-SLOPE OF SIDEWALKS SHALL BE 1.5% UNLESS OTHERWISE NOTED.
 3. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
 4. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
 5. ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
 6. ADJUST ALL EXISTING MANHOLE AND VALVE BOX RIMS TO FINAL GRADE.
 7. PRIOR TO TOPSOIL RESPREAD AND FINAL RESTORATION, ALL DISTURBED AREAS THAT ARE TO BE SEEDED SHALL BE DEEP CHISEL PLOWED TO MAINTAIN EXISTING SOIL INFILTRATION CHARACTERISTICS.

1 GRADING PLAN
C-4.0
1" = 20'-0"

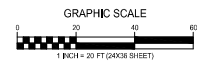


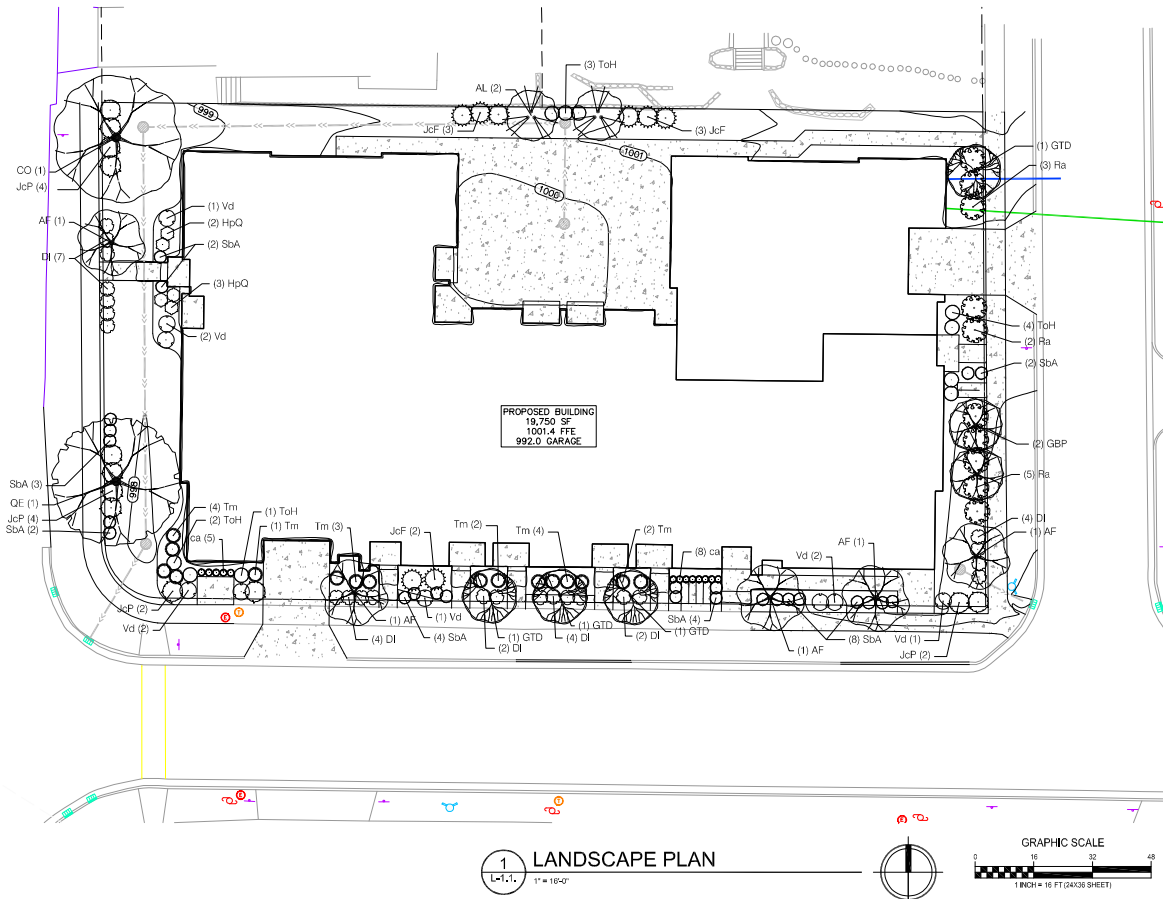


- PROPOSED UTILITY LEGEND**
- STORM SEWER PIPE
 - STORM SEWER FIELD INLET
 - SANITARY SEWER LATERAL PIPE
 - WATER SERVICE LATERAL PIPE

- UTILITY NOTES:**
- CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RISIS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
 - CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
 - FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
 - IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
 - A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
 - PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
 - PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
 - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(1)(a) AND SPS 382.40(6)(a).
 - EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.43(8)(a).
 - NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
 - SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
 - CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
 - PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
 - ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
 - CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
 - THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURING PROPER CLEARANCE OF NEW UTILITIES.
 - THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MIDDLETON AND IS SUBJECT CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

1 UTILITY PLAN
C-5.0 1" = 20'-0"





1 LANDSCAPE PLAN
L-1.1 1" = 16'-0"

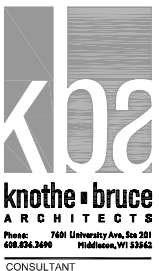
PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
AF	Acer x freemanii 'Armstrong' / Armstrong Freeman Maple	B & B	2.5" Cal		5
CO	Coffea occidentalis / Common Hackberry	B & B	2.5" Cal		1
GBP	Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo	B & B	2.5" Cal		2
GTD	Quercus bicolor 'Droser' / Sheet Keeper-Honey Locust	B & B	2.5" Cal		4
QE	Quercus ellipsoidalis / Hills Oak	B & B	2.5" Cal		1
UNDERSTORY TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
AL	Aralia nudicaulis / Allegheny Serviceberry	B & B	7" ht.	Multi-Stem	2
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
DI	Diervilla lonicera / Dwarf Bush Honey-suckle	Cont.	3 Gal.		23
HpQ	Hydrangea paniculata 'Little-Quick Fire' / Little-Quick Fire Hydrangea	Cont.	5 Gal.		5
Ra	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	Cont.	3 Gal.		10
SbA	Spiraea x bumalda 'Anthony Waterer' / Anthony Waterer Spiraea	Cont.	3 Gal.		25
Vd	Viburnum dentatum 'Little Joe' / Little Joe Viburnum	Cont.	5 Gal.		9
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
JcP	Juniperus chinensis 'Fairview' / Fairview Juniper	B & B	5" ht.		8
JcP	Juniperus horizontalis 'Humosa Compacta' / Creeping Juniper	Cont.	5 Gal.		12
Tm	Taxus x media 'Everlow' / Everlow Yew	Cont.	5 Gal.		16
ToH	Thuja occidentalis 'Holmstrup' / Holmstrup Cedar	B & B	5" ht.		10
PERENNIALS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
ca	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	Cont.	1 Gal.		13

GENERAL NOTES:

- All plantings shall conform to quality requirements as per ANSI Z60.1.
- All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climactic conditions similar to those of the project site.
- Contact Landscape Architect, in writing, to request any plant material substitutions due to availability issues.
- All disturbed areas, unless otherwise noted, to be seeded with WJ DOT Seed Mix #40 or equivalent, per manufacturer's specified application rates. All seeded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply 1/2" water twice weekly until final acceptance.
- All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
- Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/soaked.
- Landscape beds to be mulched with undyed shredded hardwood bark mulch to 3" depth min, and edged with commercial grade aluminum landscape edging, Permatoc CleanLine 2" x 4" or equal, color black anodized.

City of Madison Landscape Worksheet						
Address:	4606 Hammersley	Date:	10.07.2020			
Total Square Footage of Developed Area:	32,354 (Site Area)	(Building Footprint at Grade)	15,882	=	16,472	sf
Total Landscape Points Required (<5 ac):	16,472	/ 300 =	55	x 5 =	275	
Landscape Points Required >5 ac:	0	/ 100 =	0	x 1 =	-	
		Credits / Existing Landscaping	New / Proposed Landscaping			
Plant Type/ Element	Min. Size at Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2.5" cal	35	0	13	455	
Tall Evergreen Tree	5-6 feet tall	35	0	0	0	
Ornamental tree	1.5" cal	15	0	2	30	
Upright evergreen shrub	3-4 feet tall	10	0	18	180	
Shrub, deciduous	#3 gallon container size, Min. 12-24"	3	0	72	216	
Shrub, evergreen	#3 gallon container size, Min. 12-24"	4	0	28	112	
Ornamental grasses/perennials	#1 gallon container size, Min. 8-18"	2	0	13	26	
Ornamenta/Decorative fencing or wall	n/a	4 per 10 LF	0	0	0	
Existing significant specimen tree	Min. Size 2.5" cal. Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch. Max. points per tree: 200	0	0	0	
Landscape Furniture for public seating and/or transit connections	Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"	0	0	0	
Sub Totals			0		1019	
			Total Points Provided:	1019		



ISSUED

PROJECT TITLE
Hammersley Road Development

4606 Hammersley Rd.
Madison, WI
SHEET TITLE
Landscape Plan

SHEET NUMBER

L-1.1
PROJECT NO. **2014**
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ARCHITECTS
Architects, LLC 100.013.3100
7631 University Ave. • Suite 201 • Middleton, WI 53562

KEY PLAN

ISSUED
Issued for LU & UDC - October 07, 2020

PROJECT TITLE
**HAMMERSLEY
RD**

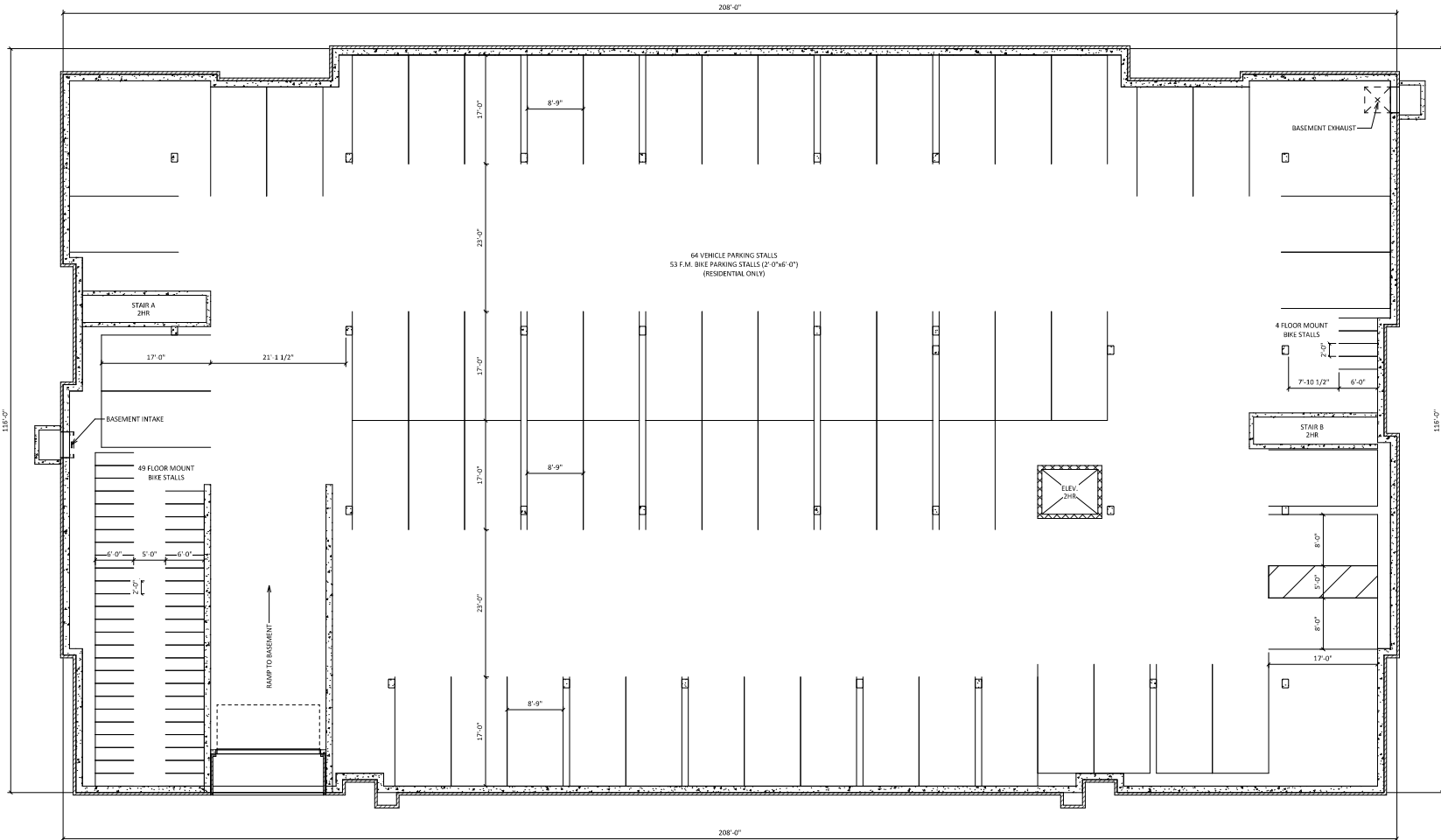
4606 HAMMERSLEY
RD.
MADISON, WI

SHEET TITLE
**BASEMENT
FLOOR PLAN**

SHEET NUMBER

A-1.0

PROJECT NUMBER 2014
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1 BASEMENT FLOOR PLAN
A-1.0 1/8" = 1'-0"



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608.833.3600

KEY PLAN

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PROJECT TITLE
**HAMMERSLEY
RD**

4606 HAMMERSLEY
RD.
MADISON, WI

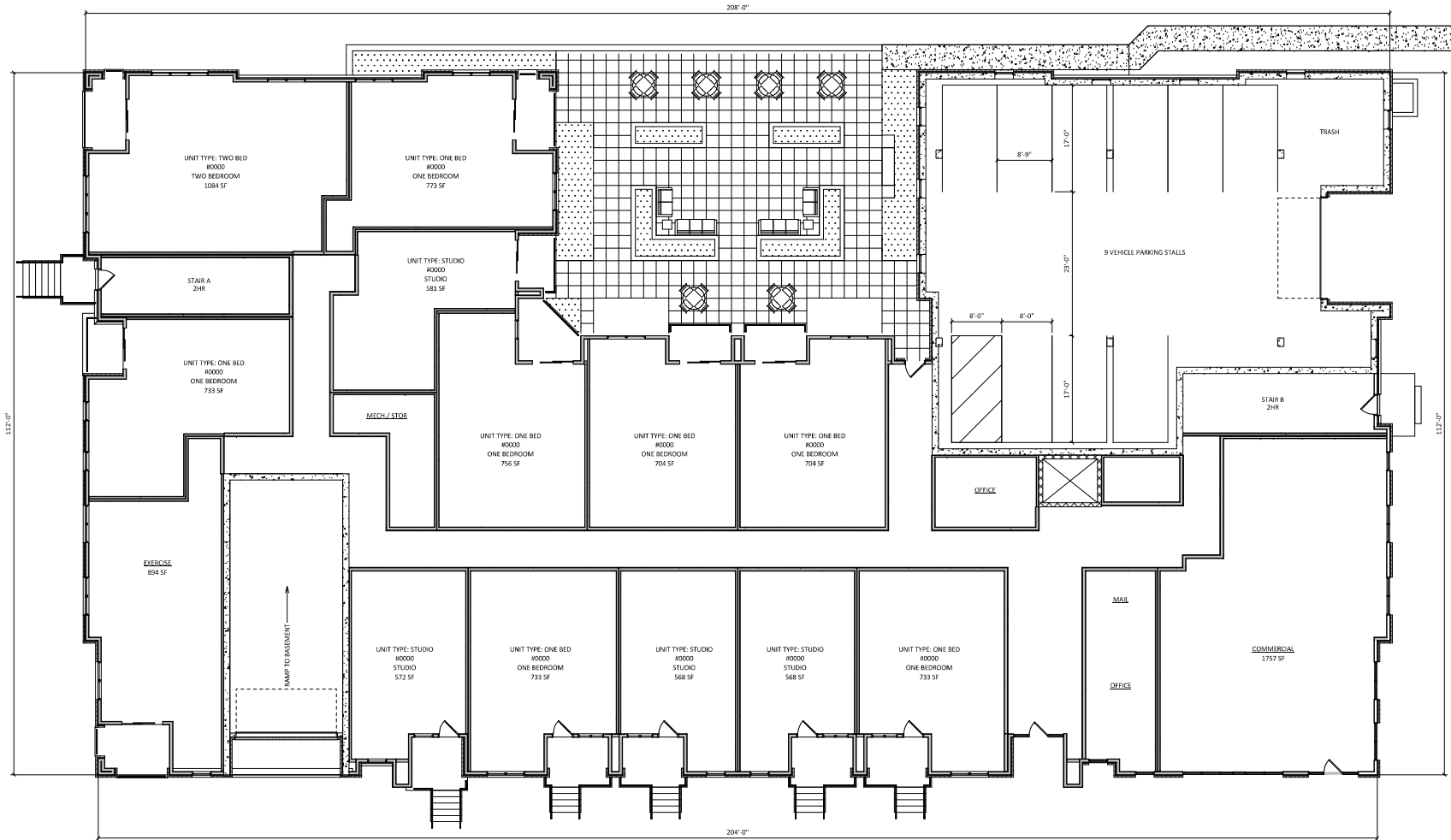
SHEET TITLE
**FIRST FLOOR
PLAN**

SHEET NUMBER

A-1.1

PROJECT NUMBER **2014**

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UNIT MIX

- UNIT TYPE: ONE BED 23
- UNIT TYPE: ONE BED + DEN 4
- UNIT TYPE: STUDIO 18
- UNIT TYPE: TWO BED 8
- Grand total: 53

1 FIRST FLOOR PLAN
A-1.1 1/8" = 1'-0"



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PROJECT TITLE
**HAMMERSLEY
RD**

4606 HAMMERSLEY
RD.
MADISON, WI

SHEET TITLE
**SECOND FLOOR
PLAN**

SHEET NUMBER

A-1.2

PROJECT NUMBER **2014**
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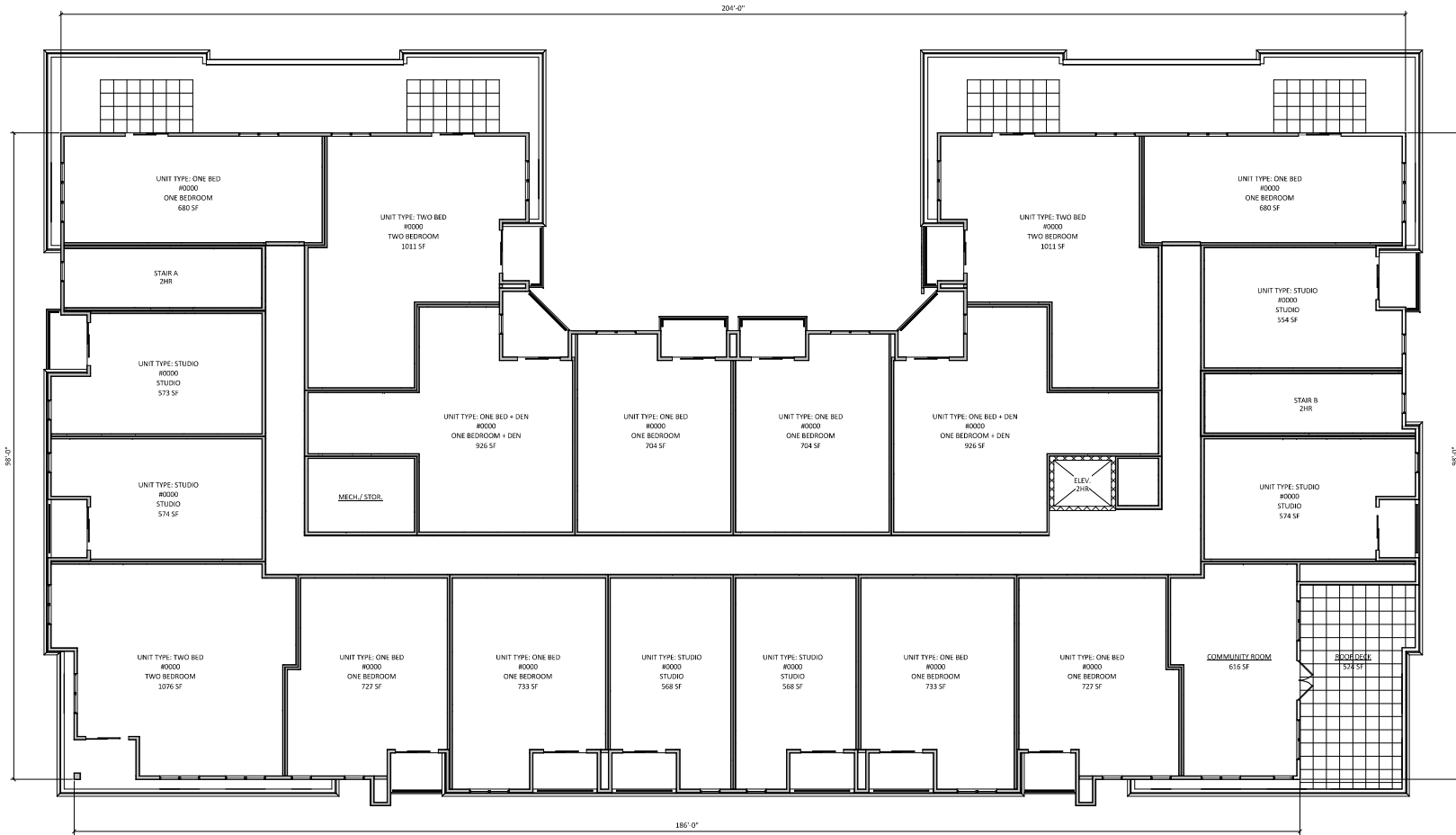


1 SECOND FLOOR PLAN
A-1.2 1/8" = 1'-0"



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KEY PLAN



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PROJECT TITLE
HAMMERSLEY RD

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MADISON, WI

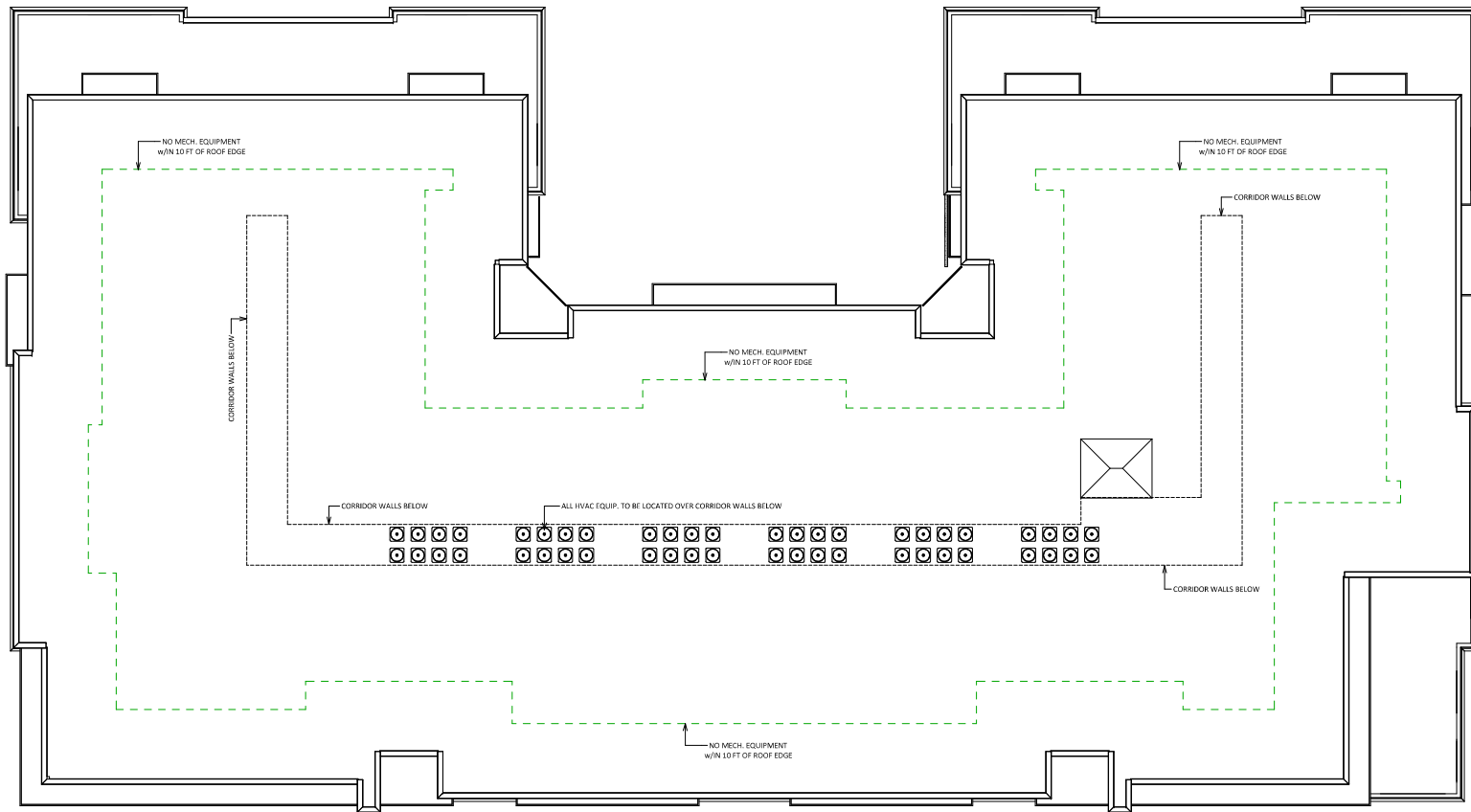
SHEET TITLE
THIRD FLOOR PLAN

SHEET NUMBER

A-1.3

PROJECT NUMBER 2014
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1 THIRD FLOOR PLAN
A-1.3 1/8" = 1'-0"





1 SOUTH ELEVATION
 A-2.1 1/8" = 1'-0"



2 NORTH ELEVATION
 A-2.1 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE			
BUILDING ELEMENT	TAG	MANUFACTURER	COLOR
ALT. WIDTH COMPOSITE LAP SIDING - (#1)	◇	JAMES HARDIE	IRON GRAY
4" COMPOSITE SIDING	◇	WOODTONE	OLD CHERRY - RUSTIC SERIES
METAL PANEL	◇	ALUPIC	SILVER METALLIC
COMPOSITE TRIM - (#1)		JAMES HARDIE	IRON GRAY
COMPOSITE TRIM - (#2)		JAMES HARDIE	MATCH - OLD CHERRY
BRICK VENEER		ACME BRICK COMPANY	CONFEDERATE BLEND - KING SIZE
VINYL WINDOWS	N/A		SANDTONE
ALUM. STOREFRONT	N/A		CHARCOAL
METAL DOORS/FRAMES	N/A		CHARCOAL
STONE SILLS & BANDS		EDWARDS	COLOR TO MATCH BRICK VENEER
SOFFITS & FASCIA	N/A		BLACK
RAILINGS		SUPERIOR	BLACK

PROJECT TITLE
**HAMMERSLEY
 RD**

4606 HAMMERSLEY
 RD.
 MADISON, WI
 SHEET TITLE
**EXTERIOR
 ELEVATIONS**

SHEET NUMBER

A-2.1

PROJECT NUMBER **2014**
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KEY PLAN

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Issued for LU & UDC - October 07, 2020

PROJECT TITLE
**HAMMERSLEY
RD**

4606 HAMMERSLEY
RD.
MADISON, WI

SHEET TITLE
**EXTERIOR
ELEVATIONS**

SHEET NUMBER

A-2.2

PROJECT NUMBER **2014**
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3 COURTYARD - EAST ELEVATION
A-2.2 1/8" = 1'-0"



1 EAST ELEVATION
A-2.2 1/8" = 1'-0"



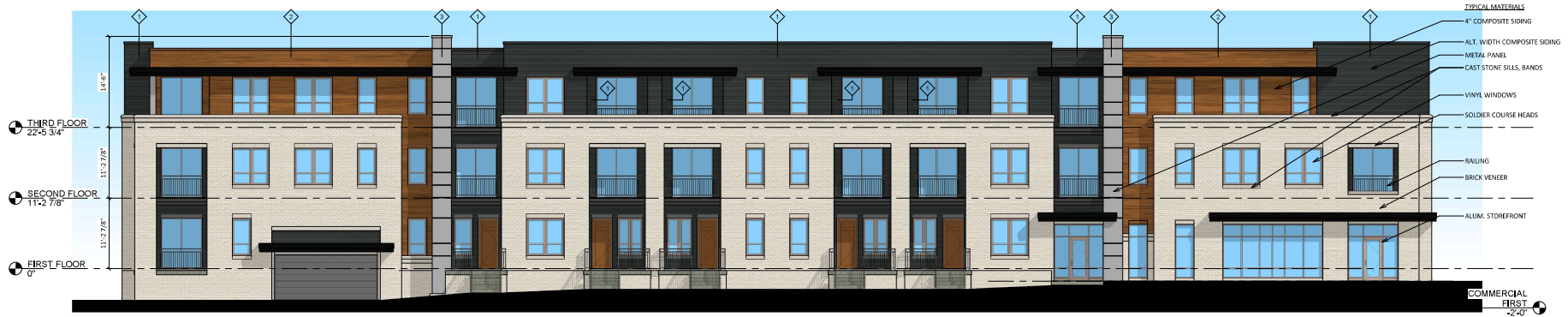
4 COURTYARD - WEST ELEVATION
A-2.2 1/8" = 1'-0"



2 WEST ELEVATION
A-2.2 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE

BUILDING ELEMENT	TAG	MANUFACTURER	COLOR
ALT. WIDTH COMPOSITE LAP SIDING - (#1)	◇	JAMES HARDIE	IRON GRAY
4" COMPOSITE SIDING	◇	WOODTONE	OLD CHERRY - RUSTIC SERIES
METAL PANEL	◇	ALUPIC	SILVER METALLIC
COMPOSITE TRIM - (#1)		JAMES HARDIE	IRON GRAY
COMPOSITE TRIM - (#2)		JAMES HARDIE	MATCH - OLD CHERRY
BRICK VENEER		ACME BRICK COMPANY	CONFEDERATE BLEND - KING SIZE
VINYL WINDOWS	N/A		SANDTONE
ALUM. STOREFRONT	N/A		CHARCOAL
METAL DOORS/FRAMES	N/A		CHARCOAL
STONE SILLS & BANDS		EDWARDS	COLOR TO MATCH BRICK VENEER
SOFFITS & FASCIA	N/A		BLACK
RAILINGS		SUPERIOR	BLACK



1 SOUTH ELEVATION COLOR
 A-2.3 1/8" = 1'-0"



2 NORTH ELEVATION COLOR
 A-2.3 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE

BUILDING ELEMENT	TAG	MANUFACTURER	COLOR
ALT. WIDTH COMPOSITE LAP SIDING - (R1)	◇	JAMES HARDIE	IRON GRAY
4" COMPOSITE SIDING	◇	WOODTONE	OLD CHERRY - RUSTIC SERIES
METAL PANEL	◇	ALUPIC	SILVER METALLIC
COMPOSITE TRIM - (R1)	◇	JAMES HARDIE	IRON GRAY
COMPOSITE TRIM - (R2)	◇	JAMES HARDIE	MATCH - OLD CHERRY
BRICK VENEER	◇	ACME BRICK COMPANY	CONFEDERATE BLEND - KING SIZE
VINYL WINDOWS	◇	N/A	SANDTONE
ALUM. STOREFRONT	◇	N/A	CHARCOAL
METAL DOORS/FRAMES	◇	N/A	CHARCOAL
STONE SILLS & BANDS	◇	EDWARDS	COLOR TO MATCH BRICK VENEER
SOFFITS & FASCIA	◇	N/A	BLACK
RAILINGS	◇	SUPERIOR	BLACK



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3 COURTYARD - EAST ELEVATION COLOR
A-2.4 1/8" = 1'-0"



1 EAST ELEVATION COLOR
A-2.4 1/8" = 1'-0"



4 COURTYARD - WEST ELEVATION COLOR
A-2.4 1/8" = 1'-0"



2 WEST ELEVATION COLOR
A-2.4 1/8" = 1'-0"

PROJECT TITLE
**HAMMERSLEY
RD**

4606 HAMMERSLEY
RD.
MADISON, WI

SHEET TITLE
**EXTERIOR
ELEVATIONS
COLOR**

SHEET NUMBER

A-2.4

PROJECT NUMBER 2014
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EXTERIOR MATERIAL SCHEDULE

BUILDING ELEMENT	TAG	MANUFACTURER	COLOR
ALT. WIDTH COMPOSITE LAP SIDING - (R1)	◇	JAMES HARDIE	IRON GRAY
4" COMPOSITE SIDING	◇	WOODSTONE	OLD CHERRY - RUSTIC SERIES
METAL PANEL	◇	ALUPIC	SILVER METALLIC
COMPOSITE TRIM - (R1)		JAMES HARDIE	IRON GRAY
COMPOSITE TRIM - (R2)		JAMES HARDIE	MATCH - OLD CHERRY
BRICK VENEER		ACME BRICK COMPANY	CONFEDERATE BLEND - KING SIZE
VINYL WINDOWS		N/A	SANDTONE
ALUM. STOREFRONT		N/A	CHARCOAL
METAL DOORS/FRAMES		N/A	CHARCOAL
STONE SILLS & BANDS		EDWARDS	COLOR TO MATCH BRICK VENEER
SOFFITS & FASCIA		N/A	BLACK
RAILINGS		SUPERIOR	BLACK



4606 HAMMERSLEY RD

MADISON, WI

RENDERED PERSPECTIVE





4606 HAMMERSLEY RD

MADISON, WI

RENDERED PERSPECTIVE





4606 HAMMERSLEY RD

MADISON, WI

RENDERED PERSPECTIVE





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