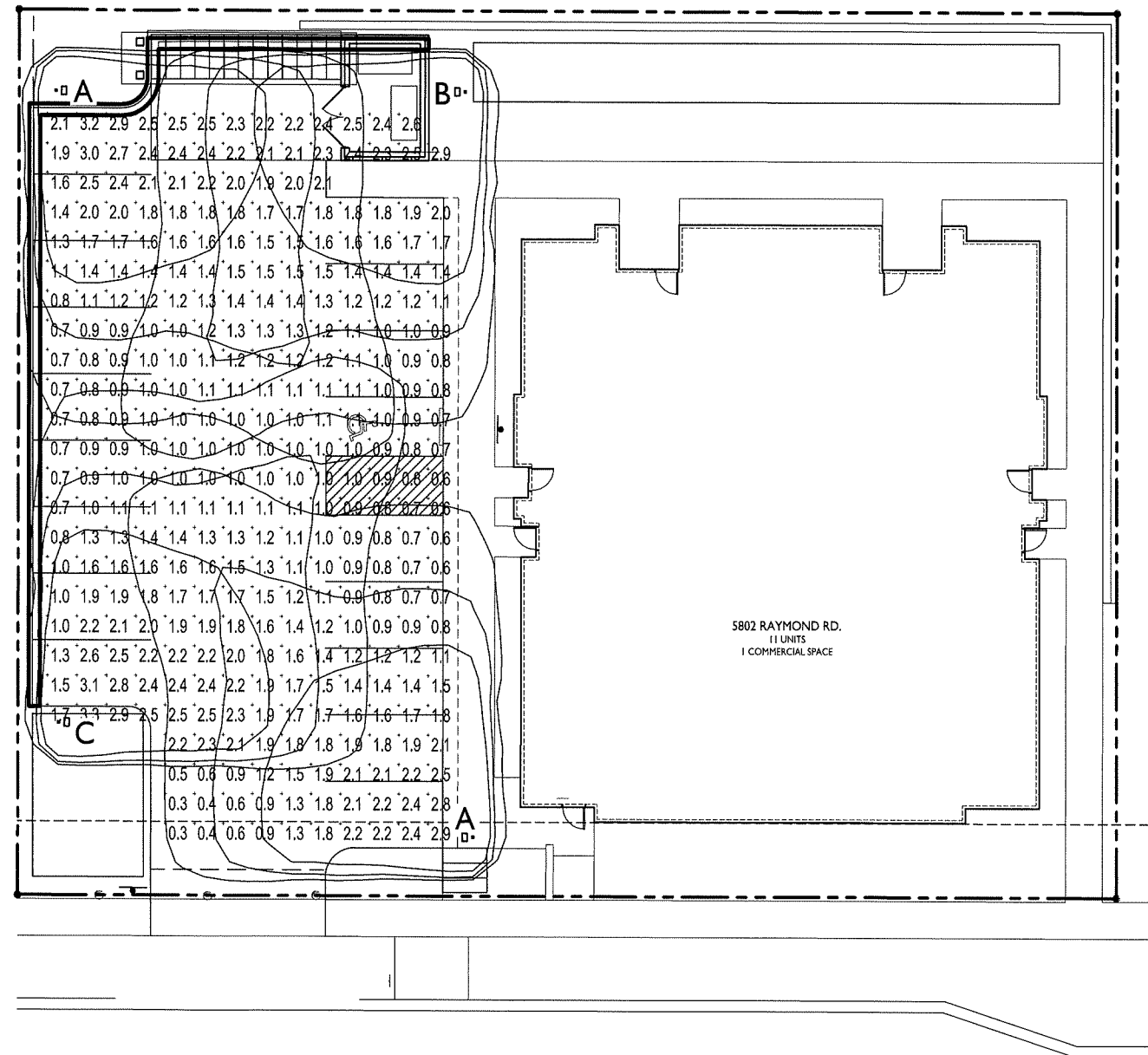
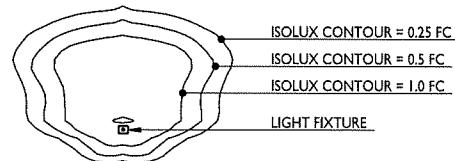


STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
Parking Area Lighting	+	1.5 fc	3.3 fc	0.3 fc	11.0:1	5.0:1

LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE	MOUNTING
□	A	2	LITHONIA LIGHTING	DSX0 LED P1 30K LCCO MVOLT	DSX0 LED P1 30K LCCO MVOLT	DSX0_LED_P1_30K_LCCO_MVOLT.jes	18'-0" POLE ON FLUSH CONC. BASE
□	B	1	LITHONIA LIGHTING	DSX0 LED P1 30K RCCO MVOLT	DSX0 LED P1 30K RCCO MVOLT	DSX0_LED_P1_30K_RCCO_MVOLT.jes	18'-0" POLE ON FLUSH CONC. BASE
□	C	1	LITHONIA LIGHTING	DSX0 LED P1 30K RCCO MVOLT	DSX0 LED P1 30K RCCO MVOLT	DSX0_LED_P1_30K_RCCO_MVOLT.jes	16'-0" POLE ON 2'-0" TALL CONC. BASE

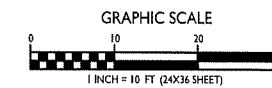
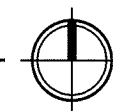
EXAMPLE LIGHT FIXTURE DISTRIBUTION



ISSUED
Issued for Land Use Submittal - Nov. 20, 2019

PROJECT TITLE
COMMON WEALTH DEVELOPMENT

SITE LIGHTING PLAN
C-1.2 1" = 10'-0"



5802 Raymond Road
Madison, Wisconsin
SHEET TITLE
Site Lighting Plan

SHEET NUMBER

C-1.2

PROJECT NO. **1932**
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ISSUED
 Issued for Land Use Submittal - Nov. 20, 2019

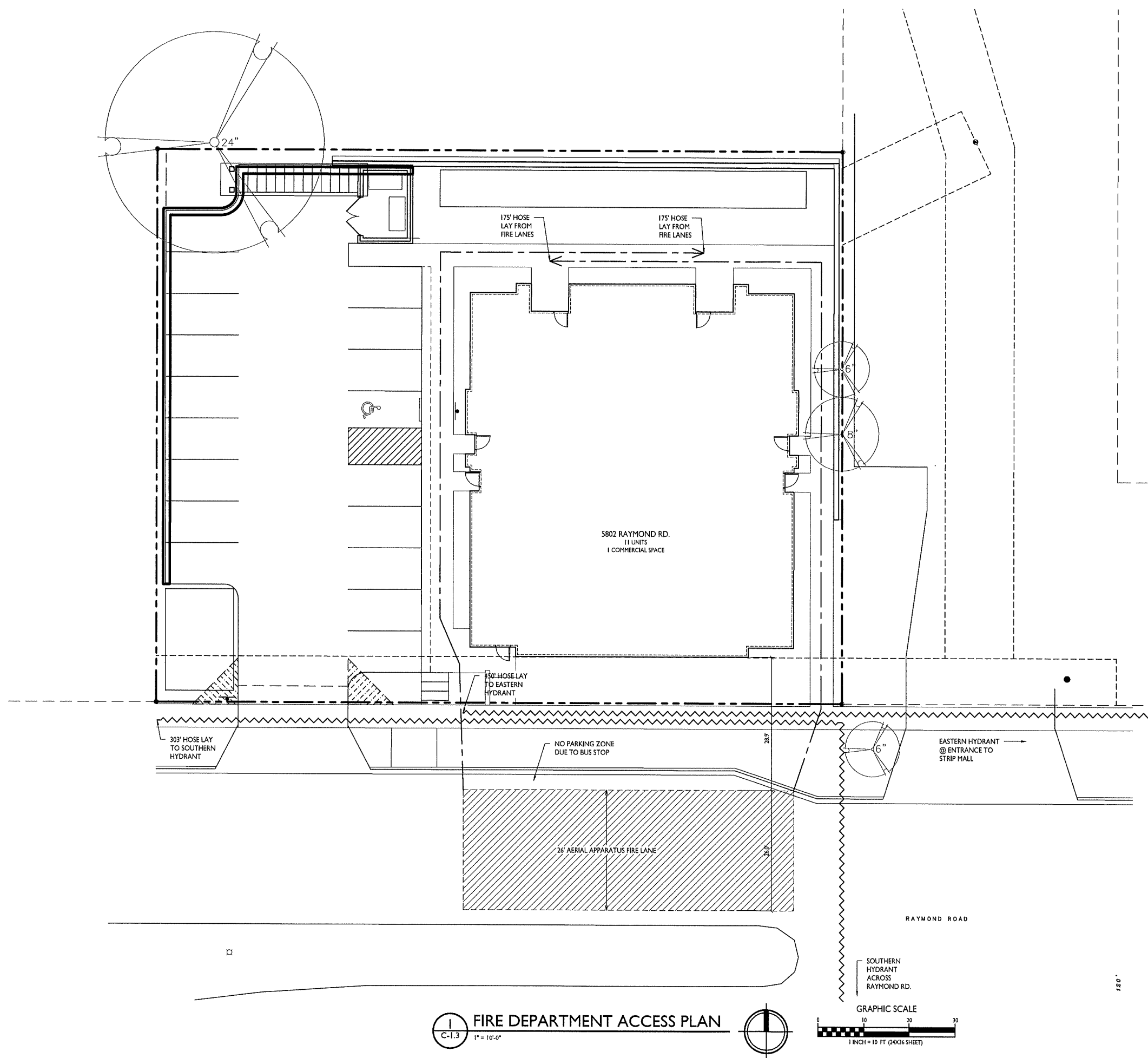
PROJECT TITLE
**COMMON
 WEALTH
 DEVELOPMENT**

5802 Raymond Road
 Madison, Wisconsin
 SHEET TITLE
**Fire Department
 Access Plan**

SHEET NUMBER

C-1.3

PROJECT NO. **1932**
 © Knothe & Bruce Architects, LLC



FIRE DEPARTMENT ACCESS PLAN
 1" = 10'-0"

GRAPHIC SCALE
 1 INCH = 10 FT (24X36 SHEET)

ISSUED
 Issued for Land Use Submittal - Nov. 20, 2019

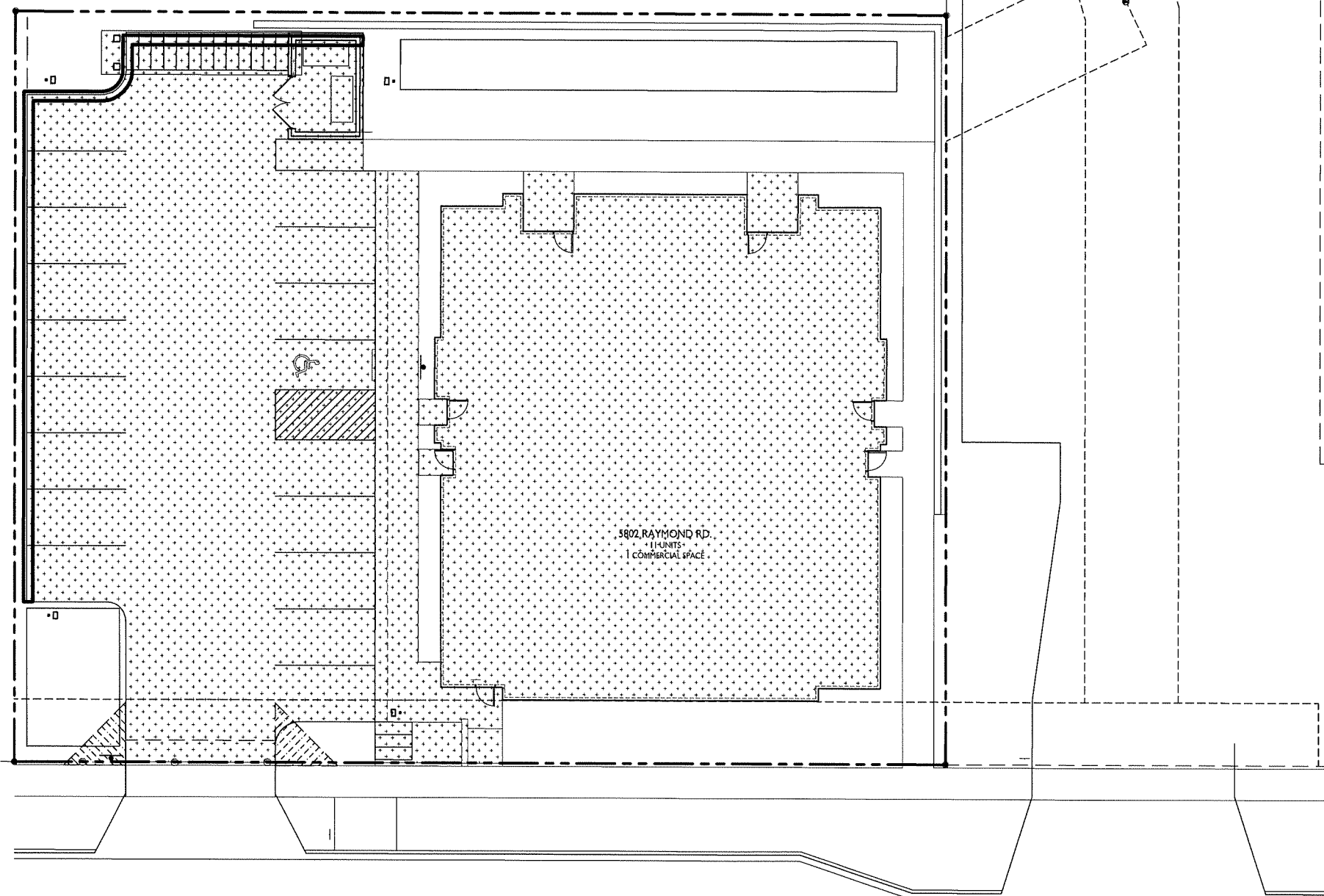
PROJECT TITLE
**COMMON
 WEALTH
 DEVELOPMENT**

5802 Raymond Road
 Madison, Wisconsin
 SHEET TITLE
Lot Coverage

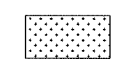
SHEET NUMBER

C-1.4

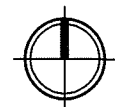
PROJECT NO. **1932**
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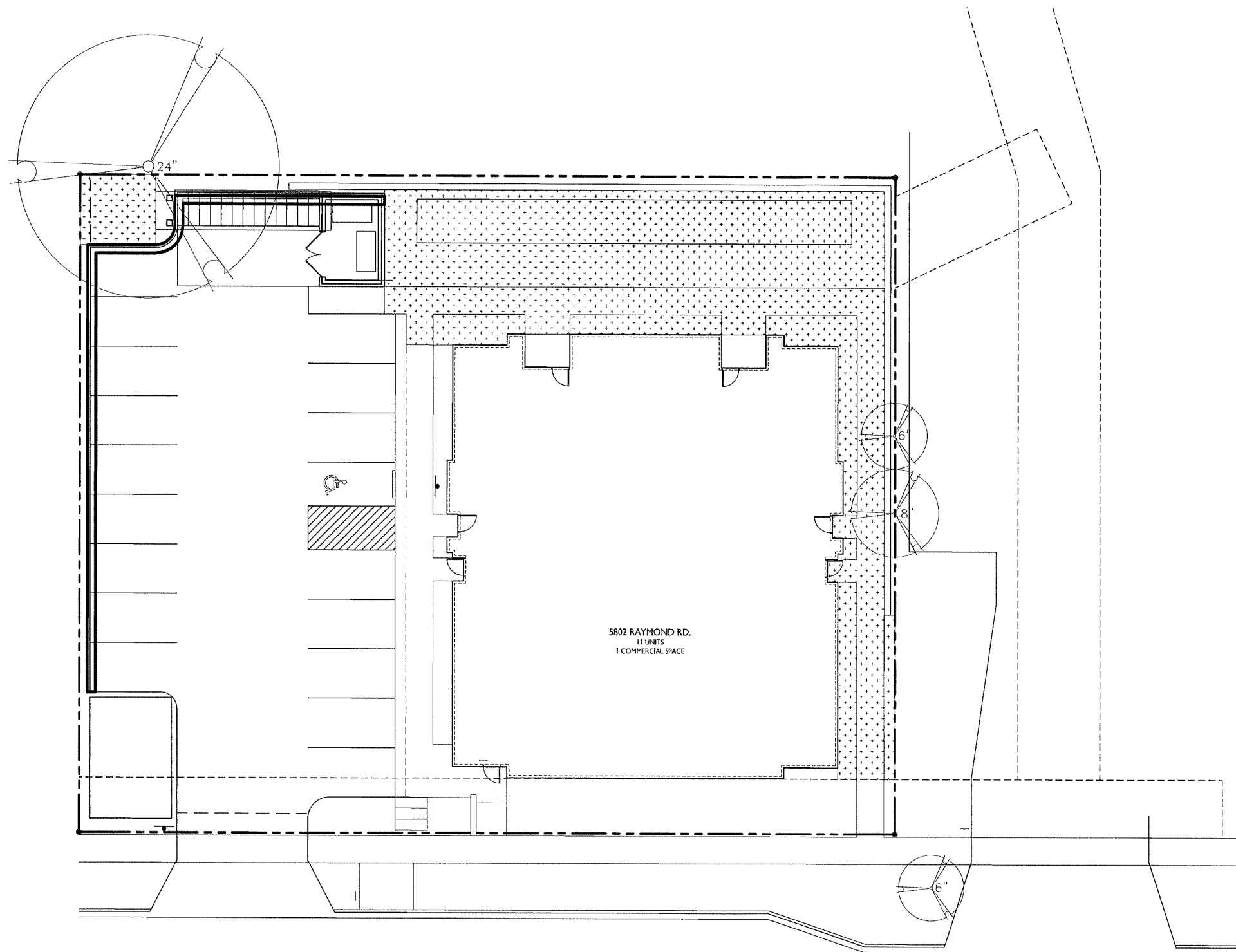
LOT COVERAGE
 ZONING: NMX
 MAXIMUM LOT COVERAGE: 75%
 LOT AREA: 17,949 S.F.
 PROPOSED COVERAGE: 12,438 S.F. / 69%



LOT COVERAGE
 C-1.4 1" = 10'-0"



GRAPHIC SCALE
 0 10 20 30
 1 INCH = 10 FT (24X36 SHEET)



USABLE OPEN SPACE

ZONING: NMX
 REQUIRED OPEN SPACE: 320 -OR- 160 S.F. / D.U.
 DWELLING UNITS: 11
 160 X 4 = 640 S.F.
 320 X 7 = 2240 S.F.
 TOT. 2,880 S.F. OPEN SPACE REQUIRED
 OPEN SPACE PROVIDED:
 SURFACE: 3,394 S.F.

ISSUED
 Issued for Land Use Submittal - Nov. 20, 2019

PROJECT TITLE
**COMMON
 WEALTH
 DEVELOPMENT**

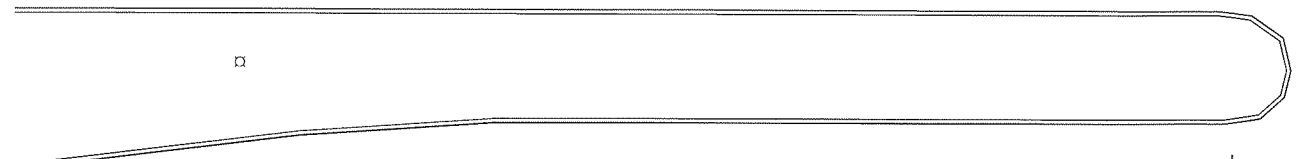
5802 Raymond Road
 Madison, Wisconsin
 SHEET TITLE
**Usable Open
 Space**

SHEET NUMBER

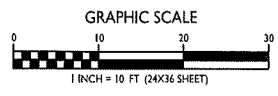
C-1.5

PROJECT NO. **1932**

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USABLE OPEN SPACE
 C-1.5 1" = 10'-0"



NOT FOR CONSTRUCTION

GENERAL NOTES:

- ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
- CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
- ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE CITY.
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION <http://www.ci.madison.wi.us/documents/standards/2018/part1.pdf>. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.

DEMOLITION NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY FORCING ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE DEVELOPER IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUDED IF UNDER BUILDINGS.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
- CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, COVERED WALKWAYS, ETC. CONTRACTOR SHALL SUBMIT THEIR STREET OCCUPANCY PLAN TO TRAFFIC ENGINEERING FOR APPROVAL.
- PRIOR TO DEMOLITION OCCURRING, ALL APPLICABLE EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- THE CONTRACTOR MAY LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR IN KIND.
- DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.

EROSION CONTROL NOTES/SPECIFICATIONS:

- EROSION CONTROL DEVICES AND/OR STRUCTURES SHALL BE INSTALLED PRIOR TO CLEARING AND GRUBBING OPERATIONS. THESE SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS RE-ESTABLISHED.
 - EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE THE RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
 - ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN IS PRODUCED. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS. INSPECTION SCHEDULE AND RECORD KEEPING SHALL COMPLY WITH NR 216.46(9), WIS. ADM. CODE AND CITY OF MADISON REPORTING REQUIREMENTS.
 - CONSTRUCTION ENTRANCES - PROVIDE A STONE TRACKING PAD AT EACH POINT OF ACCESS. INSTALL ACCORDING TO WDMR STANDARD 1057. REFER TO WDMR'S STORMWATER WEB PAGE OF TECHNICAL STANDARDS AT: [HTTP://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML](http://dnr.wi.gov/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML). THE TRACKING PAD MUST BE MAINTAINED IN A CONDITION THAT PREVENTS THE TRACKING OF MATERIAL ONTO THE PUBLIC STREET.
 - TEMPORARY STABILIZATION USING ANIONIC POLYMER. AFTER NOVEMBER 1, 2020, ANIONIC POLYACRYLAMIDE WILL BE APPLIED TO ALL DISTURBED AREAS WHERE THE MUNICIPALITY'S ENGINEER OR WDMR REPRESENTATIVES DEEM STABILIZATION AND/OR EROSION TO BE PROBLEMATIC. APPLICATION OF POLYACRYLAMIDE WILL BE ACCORDING TO WDMR CONSERVATION PRACTICE STANDARD 1050. EROSION CONTROL LAMID APPLICATION OF ANIONIC POLYACRYLAMIDE. REFER TO WDMR'S STORMWATER WEB PAGE OF TECHNICAL STANDARDS AT: [HTTP://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML](http://dnr.wi.gov/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML)
 - SOIL STOCKPILES - A ROW OF SILT FENCE PLACED DOWNSLOPE AND AT LEAST 10 FEET AWAY FROM THE STOCKPILE SHALL PROTECT ALL STOCKPILES. SOIL STOCKPILES THAT ARE INACTIVE FOR MORE THAN 14 CONSECUTIVE DAYS SHALL BE STABILIZED WITH SEED & MULCH, EROSION MAT, POLYMER, OR COVERED WITH TARPS OR SIMILAR MATERIAL. NO STOCKPILE SHALL BE PLACED WITHIN 20 FEET OF A DRAINAGE WAY.
 - DEWATERING - WATER PUMPED FROM THE SITE SHALL BE TREATED BY USING A TEMPORARY SEDIMENTATION BASIN, PORTABLE DEWATERING BASIN, GEOTEXTILE BAG, OR AN EQUIVALENT DEVICE. SHOW ON THE PLAN THE ANTICIPATED LOCATIONS OF DEWATERING ACTIVITY, AND PROVIDE AN ENGINEERING DETAIL OF THE DEWATERING SYSTEM. DEVICES SHALL COMPLY WITH WDMR TECHNICAL STANDARD 1061 FOUND AT: [HTTP://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML](http://dnr.wi.gov/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML). THIS WATER SHALL BE DISCHARGED IN A MANNER THAT DOES NOT INDUCE EROSION OF THE SITE OR ADJACENT PROPERTY.
- | PUMP SIZE (MAX GPM) | TYPE I BAG SIZE (SQ-FT) |
|---------------------|-------------------------|
| 50 | 25 |
| 100 | 50 |
| 150 | 75 |
- STORM SEWER INLETS - PROVIDE WDOT TYPE D "CATCHALL" INLET PROTECTION OR EQUIVALENT. REFER TO WDOT PRODUCT ACCEPTABILITY LIST AT: [HTTP://WWW.DOT.WISCONSIN.GOV/BUSINESS/ENGRSERV/PAL.HTM](http://www.dot.wiscdot.gov/business/engrserv/pal.htm). INLET PROTECTION SHALL BE INSTALLED PRIOR TO THE STORM SEWER SYSTEM RECEIVING SITE RUNOFF. OTHER THAN FOR PERFORMING MAINTENANCE, THESE DEVICES SHALL NOT BE REMOVED UNTIL SITE STABILIZATION IS COMPLETE.
 - BUILDING AND WASTE MATERIALS SHALL BE PREVENTED FROM RUNNING-OFF THE SITE AND ENTERING WATERS OF THE STATE IN CONFORMANCE WITH NR151.12(6M).
 - NO SOLID MATERIAL SHALL BE DISCHARGED OR DEPOSITED INTO WATERS OF THE STATE IN VIOLATION OF CH. 30 OR 31 OF THE WISCONSIN STATE STATUTES OR 33 USC 1344 PERMITS.
 - EROSION CONTROL DEVICES SHALL ADHERE TO THE TECHNICAL STANDARDS FOUND AT: [HTTP://DNR.WI.GOV/RUNOFF/STORMWATER/TECHSTDS.HTM](http://dnr.wi.gov/runoff/stormwater/techstds.htm) AND COMPLY WITH ALL CITY OF MADISON ORDINANCES.
 - ALL DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE SWEEPED OR SCRAPPED CLEAN BY THE END OF EACH WORKDAY.
 - ALL BUILDING AND WASTE MATERIAL SHALL BE HANDLED PROPERLY TO PREVENT RUNOFF OF THESE MATERIALS OFF OF THE SITE.
 - ALL DISTURBED AREAS, EXCEPT PAVED AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED, AND MULCH. SEED MIXTURES SHALL BE SELECTED APPROPRIATE TO THE INTENDED FUNCTION. A QUALIFIED LANDSCAPING CONTRACTOR, LANDSCAPE ARCHITECT OR NURSERY CAN BE CONSULTED FOR RECOMMENDATIONS. SEEDING RATES SHALL BE BASED ON POUNDS OR OUNCES OF PURE LIVE SEED PER ACRE AND SHALL BE PROVIDED BY THE SEED SUPPLIER. FERTILIZER CAN BE APPLIED TO HELP PROMOTE GROWTH, BUT A SOIL TEST IS RECOMMENDED TO DETERMINE THE TYPE AND AMOUNT OF FERTILIZER TO BE APPLIED. ALL SEEDING AND RESTORATION SHALL BE IN CONFORMANCE TO WDMR TECHNICAL STANDARD 1059 FOUND AT [HTTP://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML](http://dnr.wi.gov/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML). SEEDING AND SODDING MAY ONLY BE USED FROM MAY 1ST TO SEPTEMBER 15TH OF ANY YEAR. TEMPORARY SEED SHALL BE USED AFTER SEPTEMBER 15. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
 - FOR THE FIRST SIX (6) WEEKS AFTER THE INITIAL STABILIZATION OF A DISTURBED AREA, WATERING SHALL BE PERFORMED WHENEVER MORE THAN SEVEN (7) DAYS OF DRY WEATHER ELAPSE.

EMERGENCY CONTACT

JUSTICE CASTANEDA COMMON WEALTH 1501 WILLIAMSON STREET MADISON, WI 53703 608-256-3527	SCHEDULE:	
	MAY 1, 2020	SILT FENCE AND CONSTRUCTION ENTRANCE INSTALLED.
	MAY 1, 2020	BEGN DISTURBANCE OF SITE GROUND COVER.
	OCTOBER 1, 2020	WINTER STABILIZATION COMPLETE.
	MAY 1, 2021	SITE RESTORATION COMPLETE.
	JULY 1, 2021	VEGETATION ESTABLISHED.
	JULY 15, 2021	BIORETENTION BASIN AND RAIN GARDEN CONSTRUCTION AND PLANTING COMPLETE.

SITE PLAN NOTES:

- PAVEMENT MARKINGS AND SIGNAGE PERTAINING TO ACCESSIBLE PARKING STALLS AND ROUTES SHALL CONFORM TO CURRENT ADA REGULATIONS.
- PAVEMENT DESIGN SHALL BE PER THE RECOMMENDATION OF THE SOILS CONSULTANT.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
- ALL CURB DIMENSIONS ARE MEASURED FROM THE FACE OF CURB.
- ALL CONCRETE CURB ARE 18" IN WIDTH (EITHER ACCEPT OR REJECT) AND SHALL CONFORM TO THE CITY OF MADISON STANDARD SPECIFICATIONS AND DRAWINGS.
- CURB TAPERS SHALL TRANSITION THE CURB HEAD TO THE FLOW LINE IN 1'.
- 16 BICYCLE PARKING STALLS
- TOTAL PARKING STALLS
1 ACCESSIBLE
17 STANDARD
- TRAFFIC CONTROL SIGNAGE SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, COUNTY, CITY, AND LOCAL CODE, WHICHEVER HAS JURISDICTION.

CIVIL SHEET INDEX	
Sheet Number	Sheet Title
C001	Civil Details
C100	Existing Conditions
C200	Site Plan
C300	Erosion Control
C400	Grading Plan
C500	Utility Plan

GRADING PLAN NOTES:

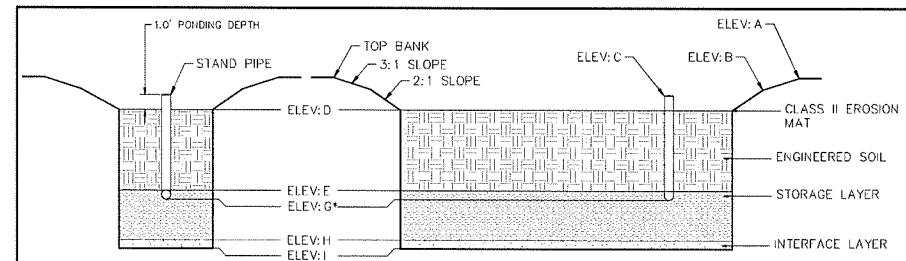
- ALL GRADES ARE FINISH ELEVATION UNLESS NOTED OTHERWISE.

UTILITY PLAN NOTES:

- ALL WORK WITHIN THE RAYMOND ROAD RIGHT OF WAY AND EASEMENTS SHALL BE COMPLIANT WITH THE CITY OF MADISON STANDARD SPECIFICATIONS CURRENT AT THE TIME OF CONSTRUCTION.

LEGEND

---	ACCESSIBLE ROUTE
- - - -	EXISTING EASEMENT
---	PROPERTY BOUNDARY
⊠	PARKING STALL COUNT
⊠	LANDSCAPE
BIT.	BITUMINOUS PAVEMENT
CONC.	CONCRETE PAVEMENT
1041.02	SPOT GRADE
FG	FINISH GRADE
SW	SIDEWALK
EP	EDGE OF PAVEMENT
FL	FLOW LINE
LP	LOW POINT
HP	HIGH POINT
TC	TOP OF CURB
TW	TOP OF WALL
BW	BOTTOM OF WALL
BOW	BACK OF WALK
FOW	FRONT OF WALK
EXP	EXPOSURE
SAN	PROPOSED SANITARY SEWER
ST	PROPOSED STORM SEWER
WM	PROPOSED WATER LATERAL
IP	INLET PROTECTION
⊠	SILT FENCE
⊠	CONSTRUCTION ENTRANCE
⊠	UTILITY DEMOLITION
⊠	TREE REMOVAL
- - - -	EXISTING MINOR CONTOUR
- - - -	EXISTING MAJOR CONTOUR
1041	PROPOSED MINOR CONTOUR
1040	PROPOSED MAJOR CONTOUR
- - - -	PROPOSED RIDGE LINE
- - - -	PROPOSED SWALE/DITCH
⊠	ACCESSIBLE PARKING SIGN
⊠	VISION TRIANGLE (NO VISUAL OBSTRUCTIONS BETWEEN HEIGHTS OF 30' AND 10')
⊠	RIP RAP



* 6" WRAPPED PERFORATED UNDERDRAIN PIPE IN 6" PEA GRAVEL LAYER INVERT ELEVATION = ELEV:G

ENGINEERED SOIL SHALL CONSIST OF THE FOLLOWING: 70% SILICA SAND; 30% COMPOST W/ PH 5.5-6.5 COMPOST SHALL MEET WDMR SPECIFICATION S100. (SEE DNR TECHNICAL STANDARD 1004)

BASIN SHALL BE VEGETATED IN NATIVE PRAIRIE SPECIES, SALT TOLERANT, ABLE TO WITHSTAND PERIODS OF SATURATION, BE OF ROOT-STOCK (NOT SEED) AND BE SPACED 1' ON-CENTER.

RAIN GARDEN CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE WISCONSIN DNR TECHNICAL STANDARD 1009 AND BIORETENTION BASIN CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE WISCONSIN DNR STANDARD 1004.

BASIN SIZING		
ELEV	BIO RETENTION	RAIN GARDEN
A	1039.35	1039.82
B	1038.85	N/A
C	1038.85	1039.48
D	1038.10	1038.82
E	1036.10	1037.82
F	1035.60	1037.32
G	1035.60	1037.32
H	1034.60	1034.32
I	1034.35	1034.07
Spillway	1039.43	1040.48

BIORETENTION/RAIN GARDEN DETAILS



2801 International Lane, Suite 101
Madison, WI 53704
Phone: 608-250-9263
Fax: 608-250-9266
e-mail: Mlurse@BSE-INC.net
www.bursesurveying.com

APPROVALS	PROJECT TITLE	PROJECT NO.	DATE
DESIGNED BY	DATE	DATE	DATE
CHECKED BY	DATE	DATE	DATE
DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE

Common Wealth
5802 Raymond Road
Madison, WI 53711

Common Wealth Development, Inc.
1501 Williamson Street
Madison, WI 53703

PROJECT #: BSE2205
PLOT DATE: 11/20/2019

REVISION DATES:
11/20/2019

ISSUE DATES:
11/20/2019

CIVIL DETAILS

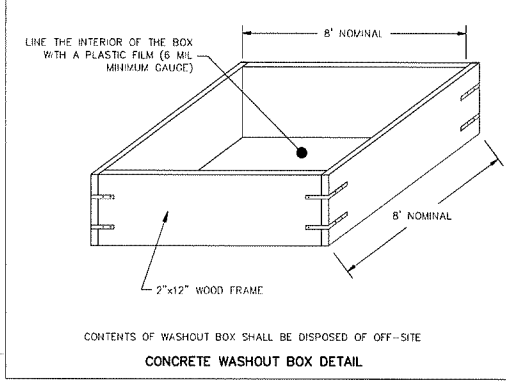
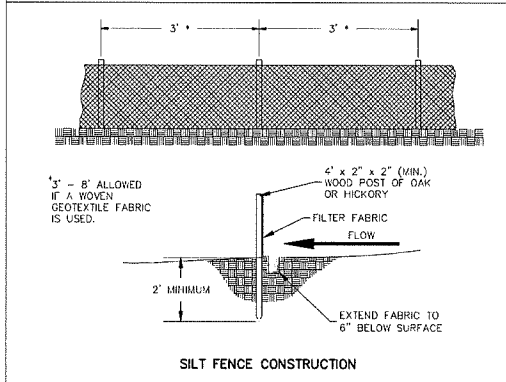
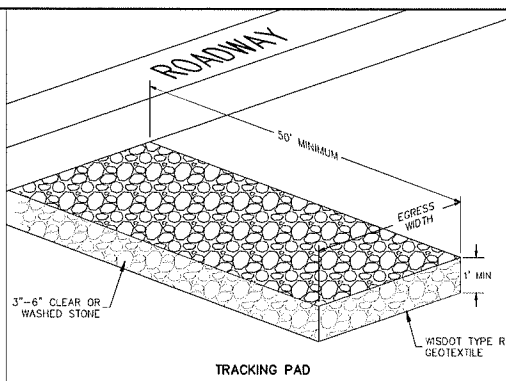
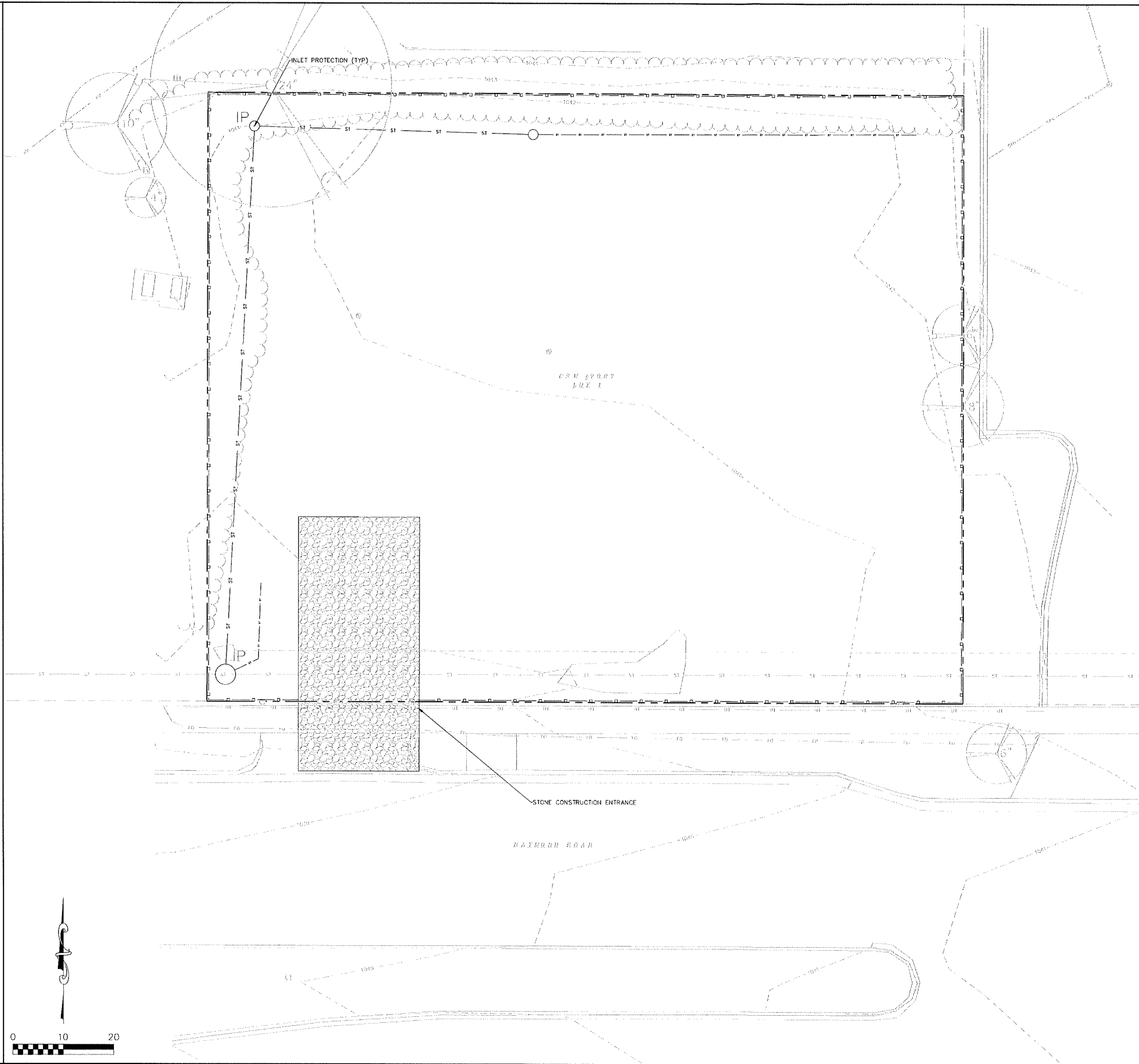


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DRAWING NUMBER

C001

NOT FOR CONSTRUCTION



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www.bursesurveyengr.com

APPROVALS:	PROJECT:	DATE:	SCALE:	DATE:	SCALE:
PROJECT:	DATE:	SCALE:	DATE:	SCALE:	DATE:

Common Wealth
5802 Raymond Road
Madison, WI 53711
Common Wealth Development, Inc.
1501 Williamson Street
Madison, WI, 53703

PROJECT #:	BSE2205
PLOT DATE:	11/20/2019
REVISION DATES:	11/20/2019

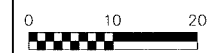
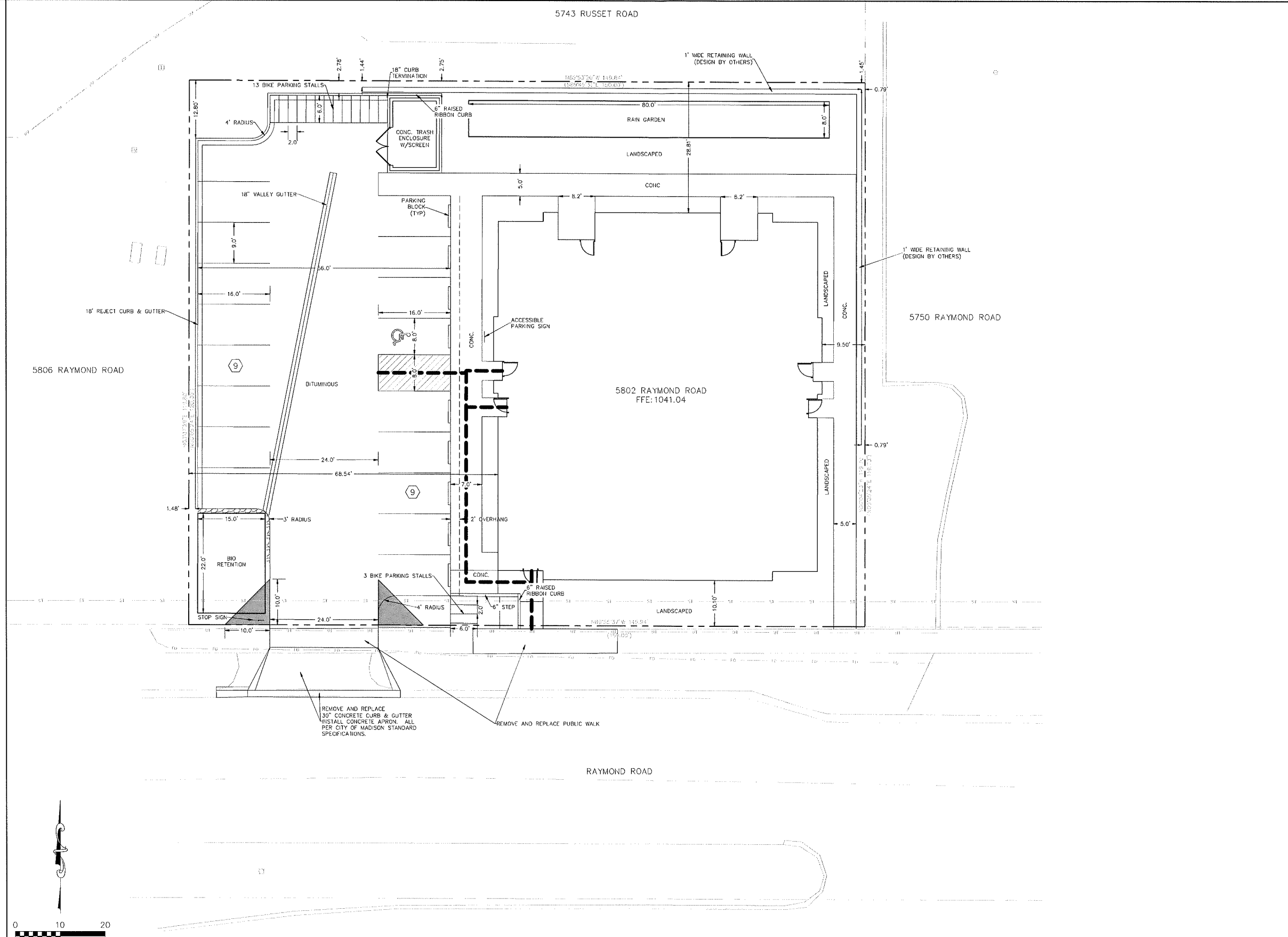
ISSUE DATES:	11/20/2019
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e-mail: Mlborse@BSE-INC.net
www.bursesurveyeng.com

APPROVALS	PROJECT TITLE	DATE
MLB		
MLB		
MLB		
MLB		
MLB		

Common Wealth
5802 Raymond Road
Madison, WI 53711

Common Wealth Development, Inc.
1501 Williamson Street
Madison, WI 53703

PROJECT #:	BSE2205
PLOT DATE:	11/20/2019
REVISION DATES:	11/20/2019

ISSUE DATES:	11/20/2019

SITE PLAN

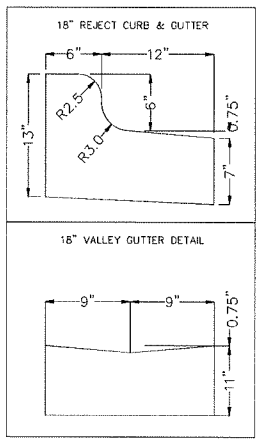
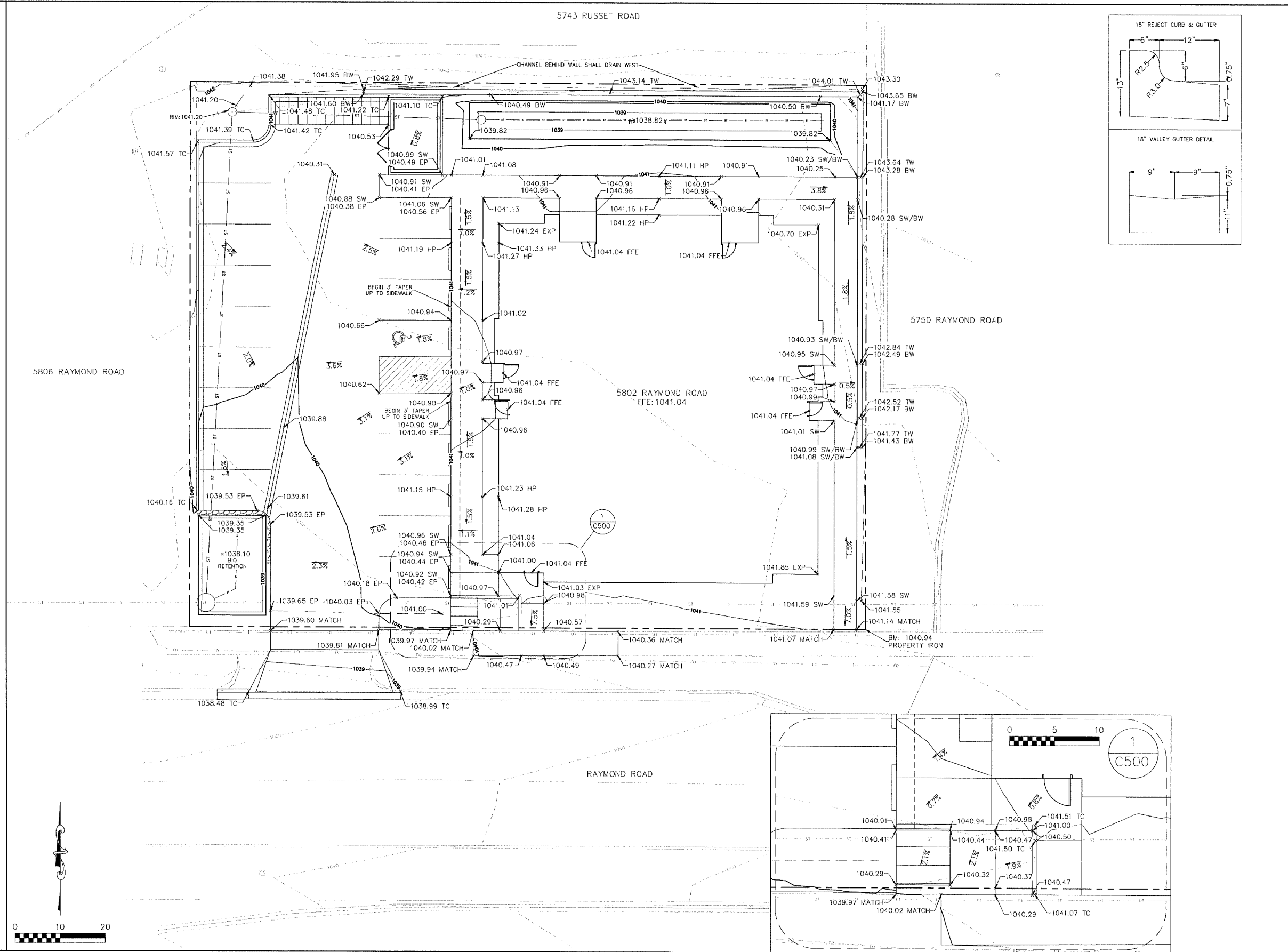
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APPROVALS:	MLB	MLB	MLB	MLB
PROJECT:	SECTION:	DATE:	CHECKED BY:	DATE:
PROJECT:	SECTION:	DATE:	CHECKED BY:	DATE:

Common Wealth
5802 Raymond Road
Madison, WI 53711

Common Wealth Development, Inc.
1501 Williamson Street
Madison, WI, 53703

PROJECT #:	BSE2205
PLOT DATE:	11/20/2019
REVISION DATES:	11/20/2019

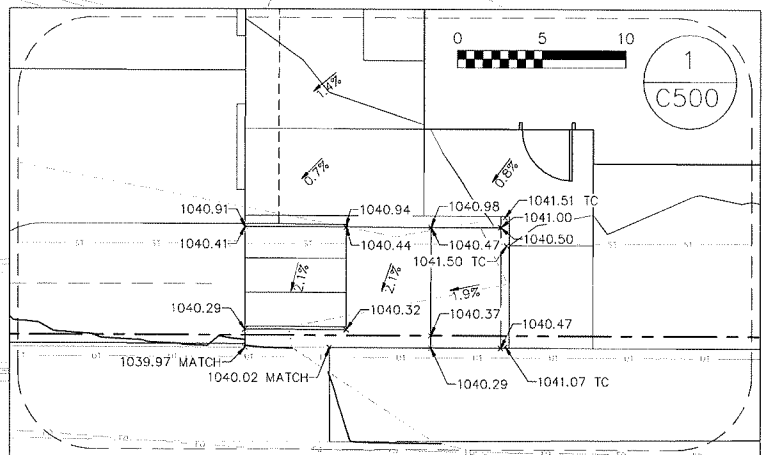
ISSUE DATES:	11/20/2019

GRADING PLAN

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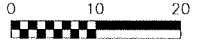
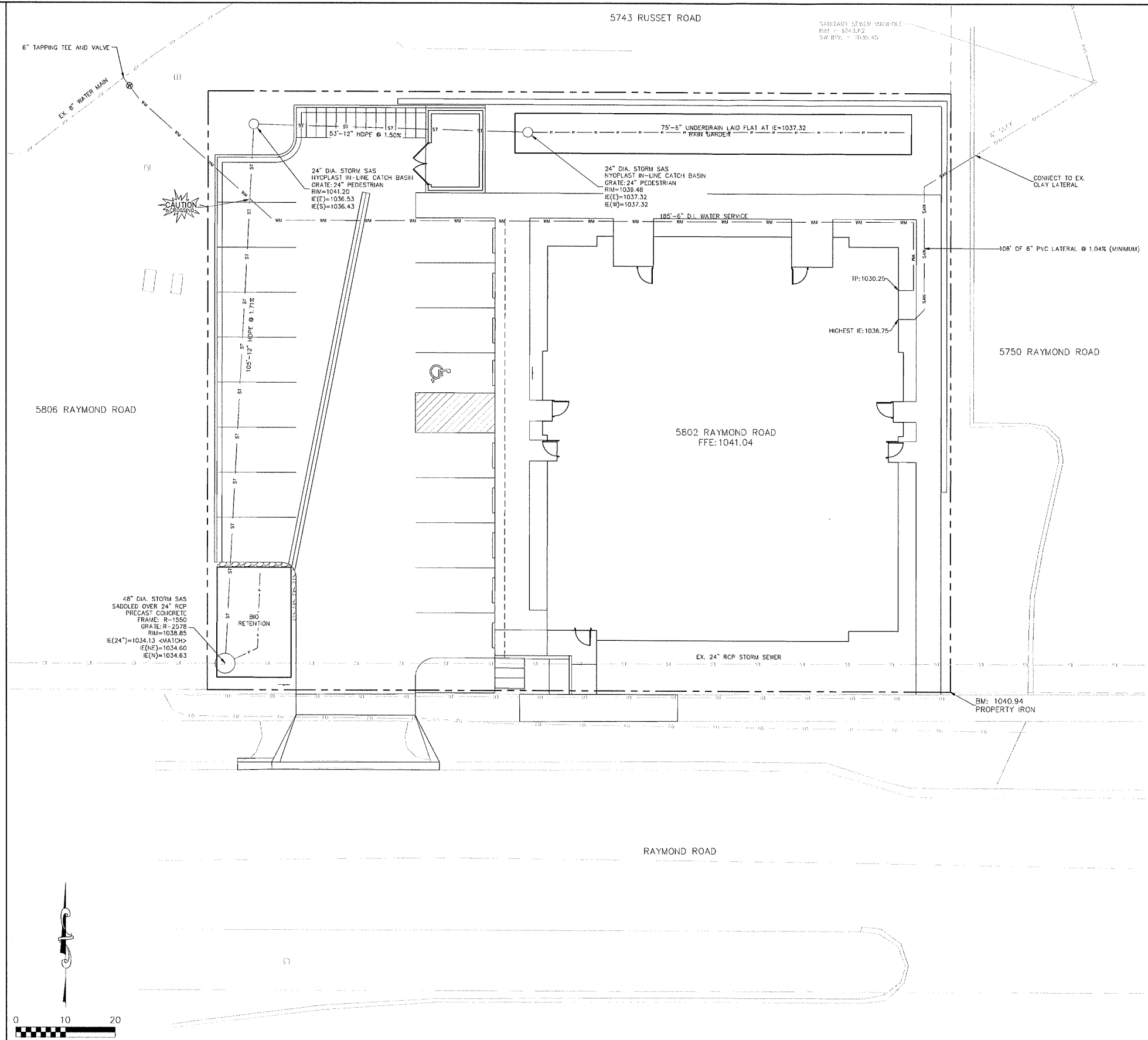
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C500



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MA_BSE2205.dwg Engineering GRADING PLAN.dwg

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APPROVALS	DATE
PROJECT:	
MLB:	
DESIGN:	
CHECK:	
DATE:	
DATE:	
DATE:	

Common Wealth
 5802 Raymond Road
 Madison, WI 53711
Common Wealth Development, Inc.
 1501 Williamson Street
 Madison, WI 53703

PROJECT #: BSE2205
 PLOT DATE: 11/20/2019

REVISION DATES:
11/20/2019

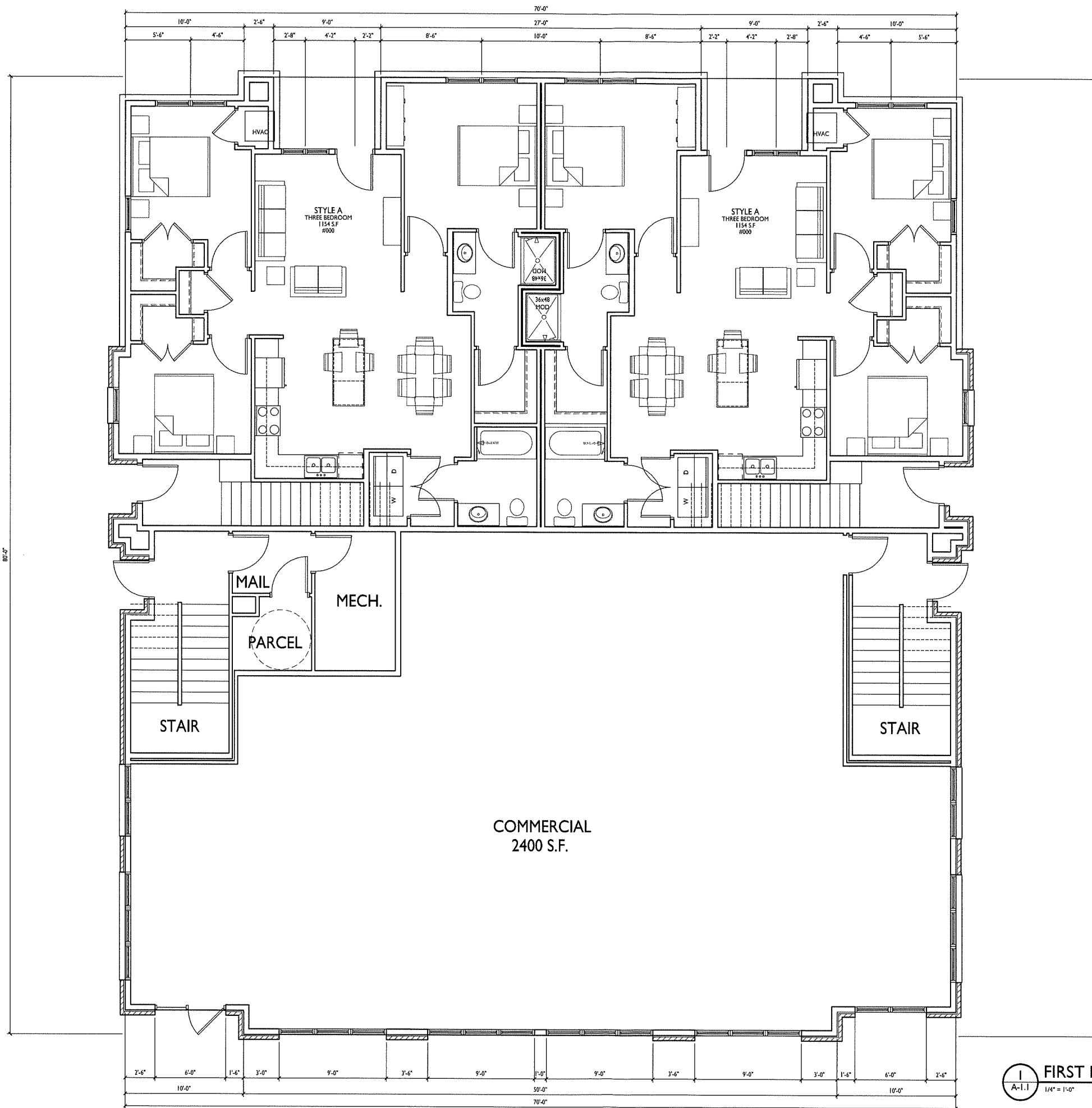
ISSUE DATES:
11/20/2019

UTILITY PLAN

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C600



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PROJECT TITLE
**COMMON
 WEALTH
 DEVELOPMENT**

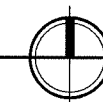
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 Madison, Wisconsin
 SHEET TITLE
First Floor Plan

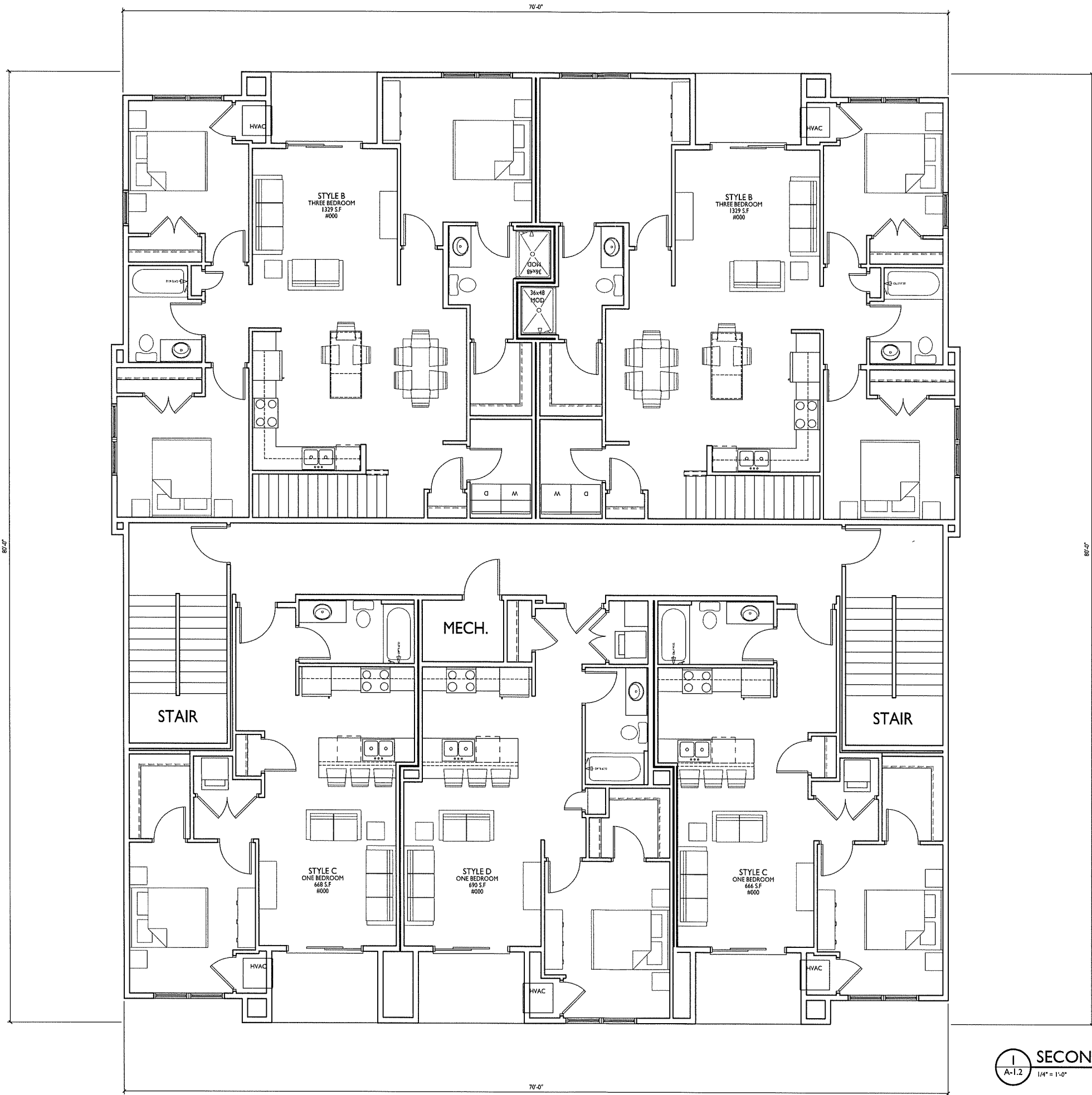
SHEET NUMBER

A-1.1

PROJECT NO. **1932**
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FIRST FLOOR PLAN
 A-1.1 1/4" = 1'-0"





ISSUED
 LAND USE SUBMITTAL - NOV. 20, 2019

PROJECT TITLE
**COMMON
 WEALTH
 DEVELOPMENT**

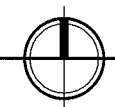
5802 Raymond Road
 Madison, Wisconsin
 SHEET TITLE
Second Floor Plan

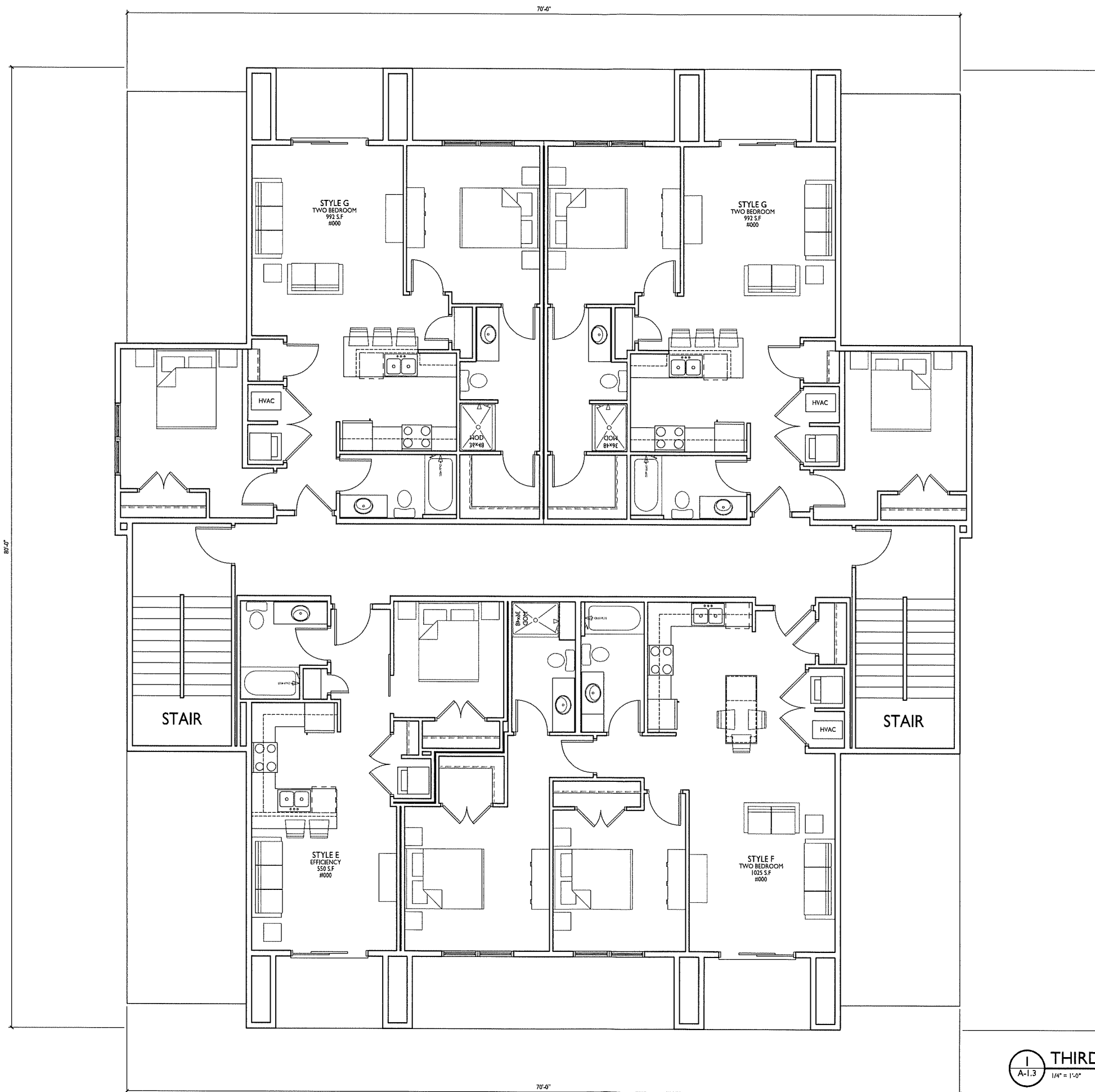
SHEET NUMBER

A-1.2

PROJECT NO. **1932**
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SECOND FLOOR PLAN
 A-1.2 1/4" = 1'-0"





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PROJECT TITLE
**COMMON
 WEALTH
 DEVELOPMENT**

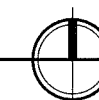
5802 Raymond Road
 Madison, Wisconsin
 SHEET TITLE
Third Floor Plan

SHEET NUMBER

A-1.3

PROJECT NO. **1932**
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1 THIRD FLOOR PLAN
 A-1.3 1/4" = 1'-0"





1 SOUTH ELEVATION
 A-2.1 1/4" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
COMPOSITE LAP SIDING - ALTERNATING WIDTHS 7" & 4" EXPOSURES	JAMES HARDIE	TORN GRAY
COMPOSITE TRIM	JAMES HARDIE	COBBLESTONE
METAL FLASHING @ COMPOSITE SIDING/TRIM	N/A	MATCH ADJACENT
BRICK VENEER	HEBRON	CHAMPAGNE - QUEEN - VELOUR
CAST STONE SILLS & BANDS	ARRISCRAFT	RENAISSANCE - BUFF
VINYL WINDOWS	VISIONS	TAN
ALUM. STOREFRONT	N/A	BLACK
STEEL CANOPY EDGE	N/A	BLACK
AL. GUARD RAILINGS	SUPERIOR	BLACK



EAST ELEVATION
 1
 A-2.2 1/4" = 1'-0"

BUILDING ELEMENT	MANUFACTURER	COLOR
COMPOSITE LAP SIDING - ALTERNATING WIDTHS 7" & 4" EXPOSURES	JAMES HARDIE	IORN GRAY
COMPOSITE TRIM	JAMES HARDIE	COBBLESTONE
METAL FLASHING @ COMPOSITE SIDING/TRIM	N/A	MATCH ADJACENT
BRICK VENEER	HEBRON	CHAMPAGNE - QUEEN - VELOUR
CAST STONE SILLS & BANDS	ARRISCRAFT	RENAISSANCE - BUFF
VINYL WINDOWS	VISIONS	TAN
ALUM. STOREFRONT	N/A	BLACK
STEEL CANOPY EDGE	N/A	BLACK
AL. GUARD RAILINGS	SUPERIOR	BLACK



1 WEST ELEVATION
 A-2.3 1/4" = 1'-0"

PROJECT TITLE
**COMMON
 WEALTH
 DEVELOPMENT**

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
COMPOSITE LAP SIDING - ALTERNATING WIDTHS 7" & 4" EXPOSURES	JAMES HARDIE	TORN GRAY
COMPOSITE TRIM	JAMES HARDIE	COBBLESTONE
METAL FLASHING @ COMPOSITE SIDING/TRIM	N/A	MATCH ADJACENT
BRICK VENEER	HEBRON	CHAMPAGNE - QUEEN - VELOUR
CAST STONE SILLS & BANDS	ARRISCRAFT	RENAISSANCE - BUFF
VINYL WINDOWS	VISIONS	TAN
ALUM. STOREFRONT	N/A	BLACK
STEEL CANOPY EDGE	N/A	BLACK
AL. GUARD RAILINGS	SUPERIOR	BLACK

5802 RAYMOND
 ROAD MADISON,
 WI
 SHEET TITLE
**EXTERIOR
 ELEVATIONS**

SHEET NUMBER

A-2.3



- ASPHALT SHINGLES
- COMPOSITE FASCIA & ALUMINUM GUTTER
- COMPOSITE FREIZE
- ALTERNATING WIDTH COMPOSITE LAP SIDING
- DOWNSPOUT
- VINYL WINDOWS
- AL. GAURD RAIL
- CAST STONE BAND
- BRICK SOLDIER COURSE
- STEEL EDGE CANOPY
- BRICK REVEAL COURSE
- CAST STONE BASE COURSE

- ROOF TRUSS BEARING 32'-4 7/8"
- 9'-1 1/8"
- THIRD FLOOR 23'-3 3/4"
- 43'-11 5/16"
- 11'-1 7/8"
- SECOND FLOOR 12'-1 7/8"
- 12'-1 7/8"
- FIRST FLOOR 0"

1 NORTH ELEVATION
 A-2.4 1/4" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
COMPOSITE LAP SIDING - ALTERNATING WIDTHS 7" & 4" EXPOSURES	JAMES HARDIE	IORN GRAY
COMPOSITE TRIM	JAMES HARDIE	COBBLESTONE
METAL FLASHING @ COMPOSITE SIDING/TRIM	N/A	MATCH ADJICENT
BRICK VENEER	HEBRON	CHAMPAGNE - QUEEN - VELOUR
CAST STONE SILLS & BANDS	ARRISCRAFT	RENAISSANCE - BUFF
VINYL WINDOWS	VISIONS	TAN
ALUM. STOREFRONT	N/A	BLACK
STEEL CANOPY EDGE	N/A	BLACK
AL. GUARD RAILINGS	SUPERIOR	BLACK

ISSUED
 LAND USE SUBMITTAL - NOV. 20, 2019

PROJECT TITLE
COMMON WEALTH DEVELOPMENT

5802 RAYMOND ROAD MADISON, WI

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER

A-2.4

PROJECT NUMBER 1932
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