

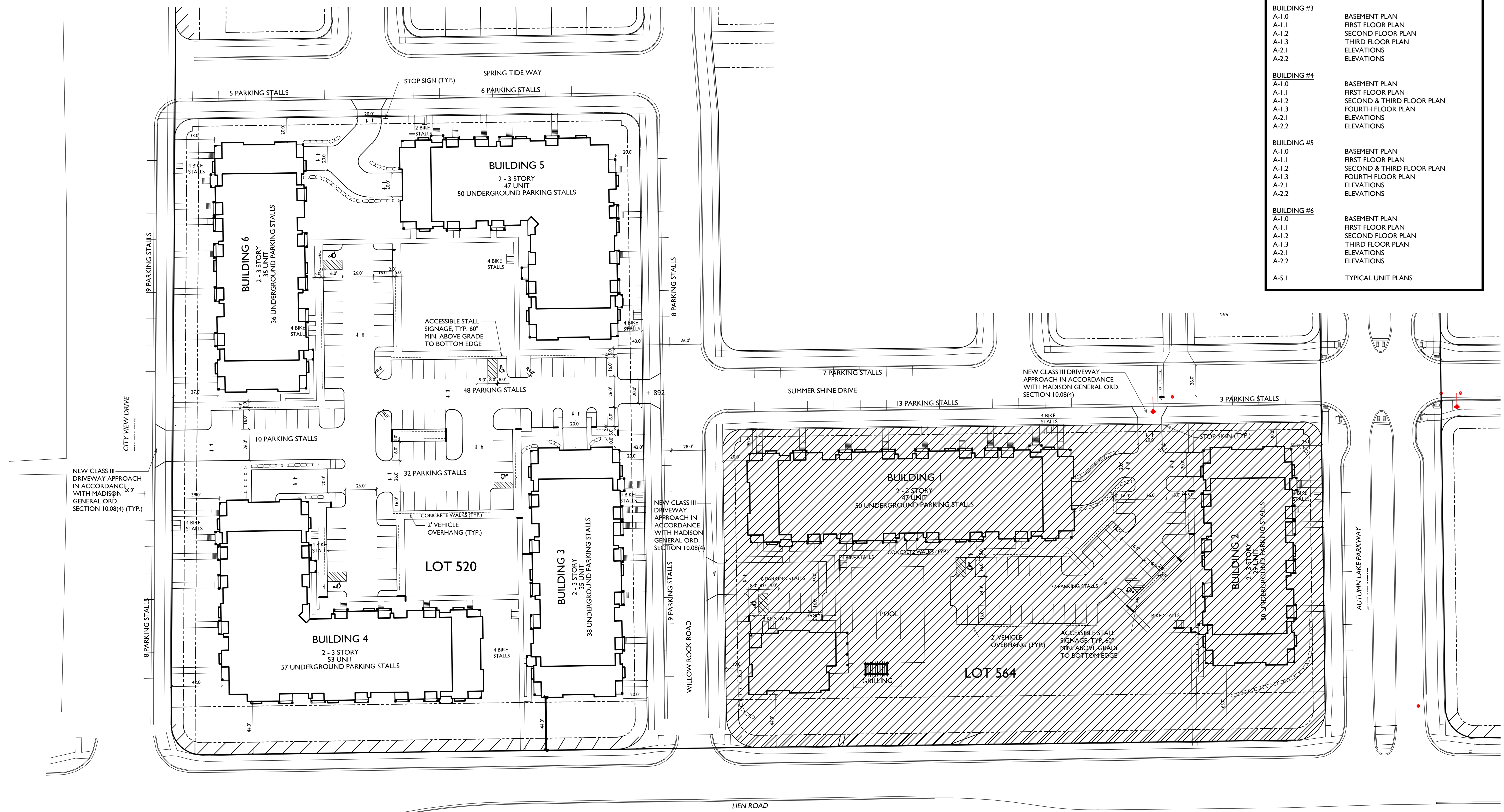


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ARCHITECTS

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SHEET INDEX	
SITE	
C-1.0	OVERALL SITE PLAN
C-1.1	SITE PLAN
C-1.2	SITE LIGHTING PLAN
C-1.3	FIRE DEPARTMENT ACCESS PLAN
C-1.4	USABLE OPEN SPACE
C-1.5	LOT COVERAGE
C-2.0	
C-2.0	SITE GRADING PLAN
C-3.0	SITE UTILITY PLAN
L-1.0	
L-1.0	LANDSCAPE PLAN
ARCHITECTURAL	
BUILDING #3	
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS
BUILDING #4	
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND & THIRD FLOOR PLAN
A-1.3	FOURTH FLOOR PLAN
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS
BUILDING #5	
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND & THIRD FLOOR PLAN
A-1.3	FOURTH FLOOR PLAN
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS
BUILDING #6	
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS
A-5.1	TYPICAL UNIT PLANS

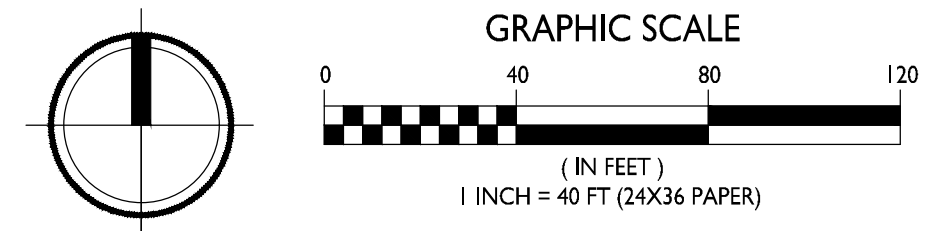
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Issued for Land Use & UDC -Jan. 18, 2017



PROJECT TITLE
Village at Autumn Lake

Lot 520
5501 Spring Tide Way
SHEET TITLE
Overall Site Plan

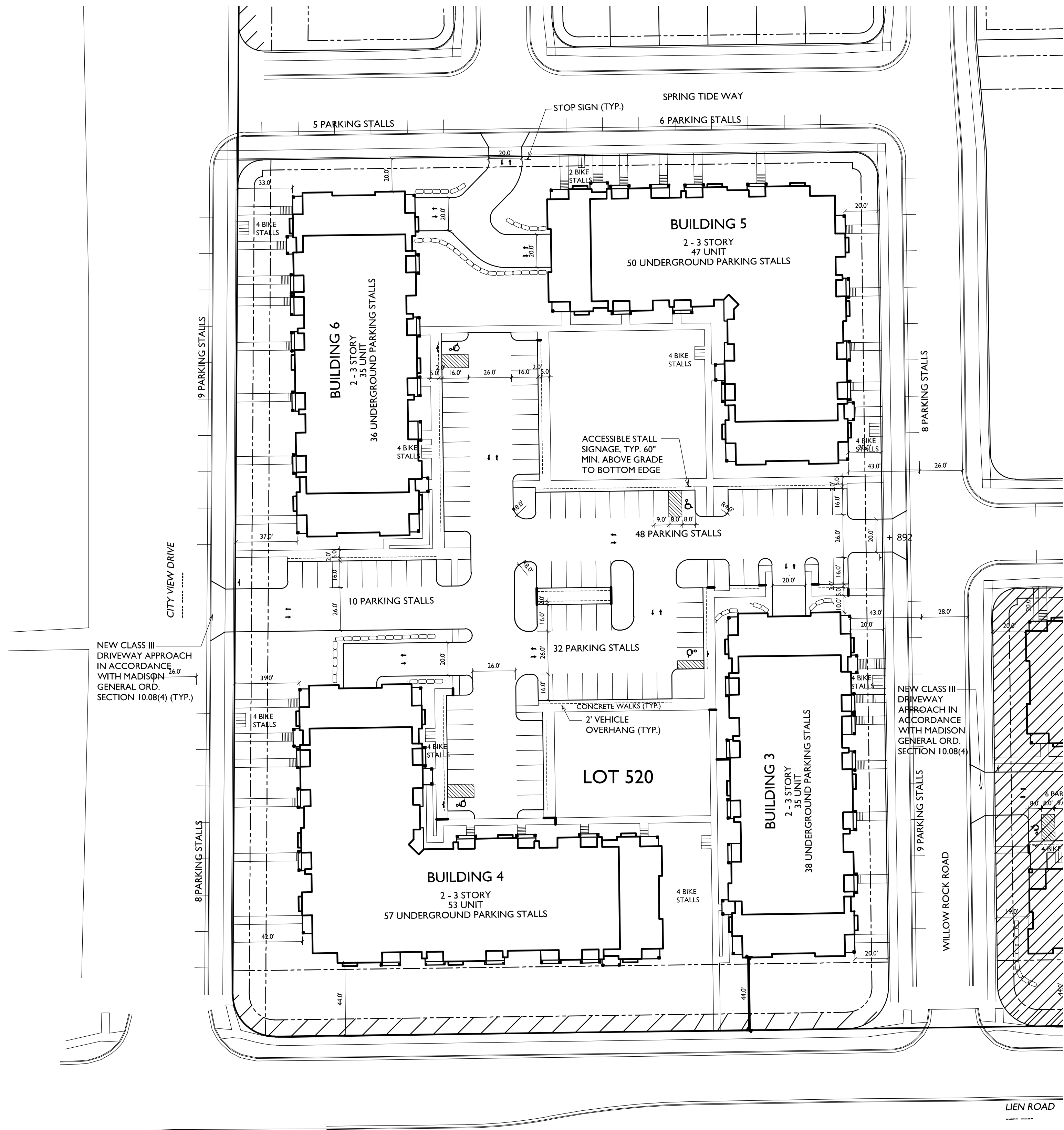
OVERALL SITE PLAN
C-1.0 1" = 40'-0"



SHEET NUMBER

C-1.0

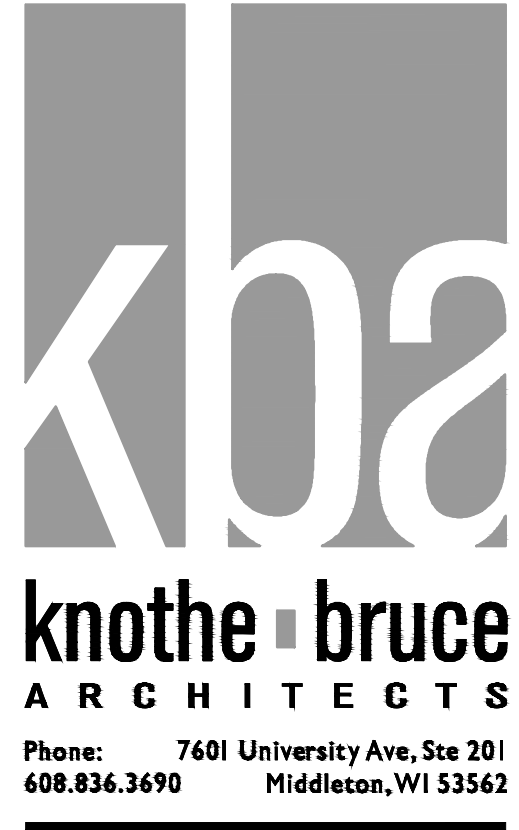
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LOT 520 SITE DEVELOPMENT DATA

DENSITIES	
LOT AREA	207,365 S.F./4.9 ACRES
DWELLING UNITS	170 DU
LOT AREA/ D.U.	1,220 S.F./D.U.
DENSITY	35 UNITS/ACRE
BUILDING HEIGHT	
	2-3 STORIES
LOT COVERAGE	
USABLE OPEN SPACE	120,808 S.F. = 58% (75% MAX)
USABLE OPEN SPACE / D.U.	86,557 S.F. / 509 S.F./D.U.
DWELLING UNIT MIX:	
EFFICIENCY	14
ONE BEDROOM	78
TWO BEDROOM	78
TOTAL UNITS	170 UNITS
VEHICLE PARKING STALLS:	
SURFACE	80
UNDERGROUND	181
TOTAL	261 VEHICLE STALLS
RATIO	1.5 STALLS/UNIT
BICYCLE PARKING STALLS	
SURFACE	17
SURFACE GUEST	17
UNDERGROUND GARAGE-WALL HUNG	38
UNDERGROUND GARAGE STD. 2'X6'	116
TOTAL	188 BICYCLE STALLS

- GENERAL NOTES:**
- THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
 - ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
 - ALL DAMAGE TO THE PAVEMENT, ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
 - APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER, 266-4816.
 - EASEMENT LINES SHOWN ON THIS SHEET ARE FOR GENERAL REFERENCE ONLY - SEE CSM AND CIVIL SHEETS FOR ADDITIONAL AND MORE COMPLETE EASEMENT INFORMATION



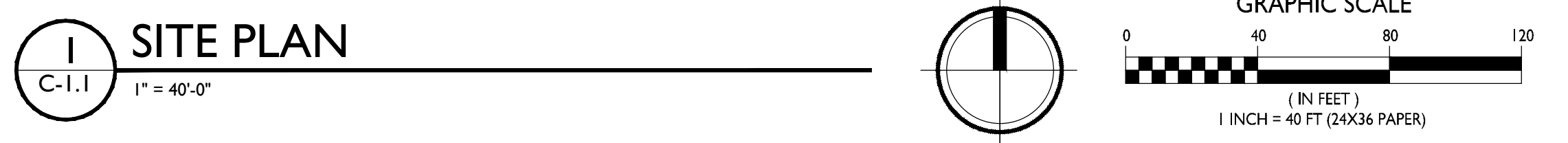
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PROJECT TITLE
Village at Autumn Lake

Lot 520
5501 Spring Tide Way
SHEET TITLE
Site Plan

SHEET NUMBER

C-1.1
PROJECT NO. **1644**
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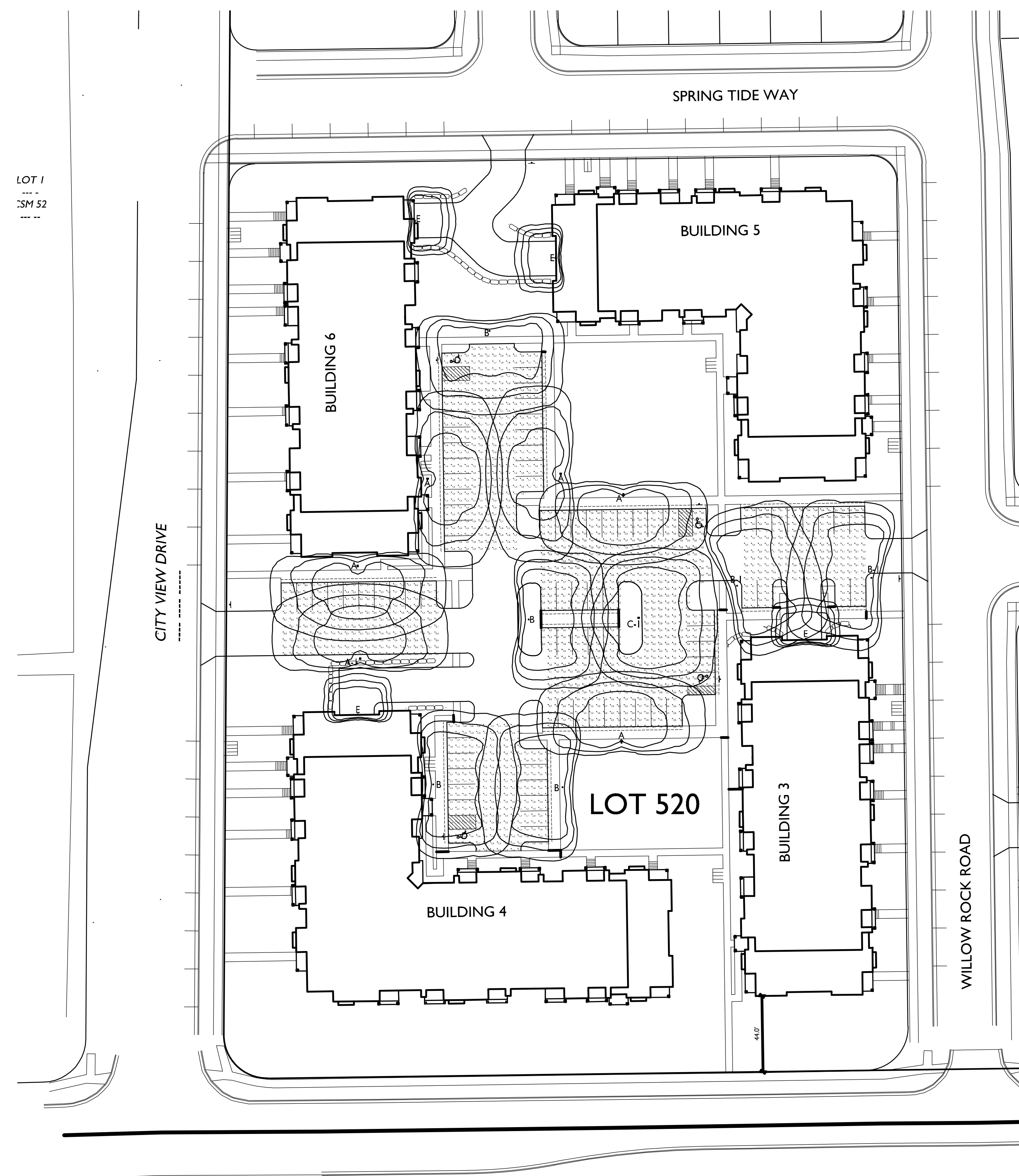
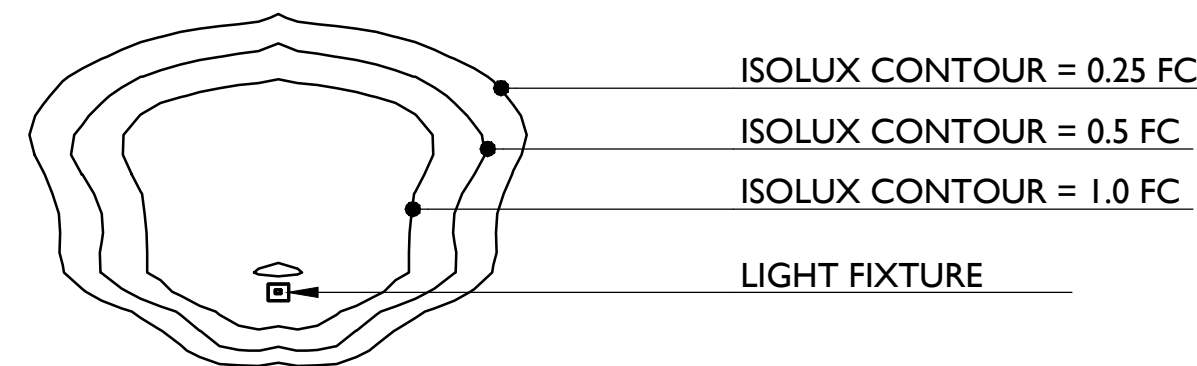


SEE SHEETS C-1.2a THRU C-1.2c FOR ENLARGED SITE LIGHTING PLANS

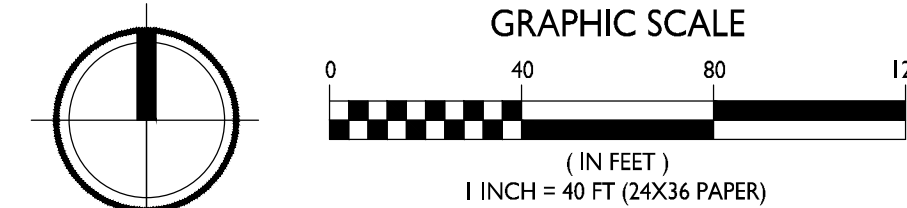
LOT #520 - STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Lot #520 - North	+	1.1 fc	2.4 fc	0.5 fc	4.8:1	2.2:1
Lot #520 - South	+	1.3 fc	2.3 fc	0.5 fc	4.6:1	2.6:1
Lot #520 - East	+	1.3 fc	2.4 fc	0.4 fc	6.0:1	3.3:1
Lot #520 - West	+	1.4 fc	2.8 fc	0.5 fc	5.6:1	2.8:1
Lot #520 - Central	+	1.2 fc	3.0 fc	0.3 fc	10.0:1	4.0:1

LOT #520 - LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY	CATALOG	DESCRIPTION	LAMP	FILE	MOUNTING
□	A	5	ARE-EDG-3MB-**-06-E-UL-350-40K (350mA)	LED TYPE III MEDIUM OPTIC W/ FULL BACKLIGHT 700MA 4000K LEDWAY STREETLIGHT	60 WHITE LED, VERTICAL BASE-UP	ARE-EDG-3MB-_-06-E-UL-350-40K-CONFIGURED. IES	A 20'-0" POLE ON FLUSH CONC. BASE A-1 18'-0" POLE ON 2'-0" TALL CONC. BASE
○	B	4	ARE-EDG-4MB-**-06-E-UL-350-40K (350mA)	CREE EDGE AREA, TYPE IV MEDIUM W- FULL BLS, 120 LEDS, 525MA, 4000K	120 WHITE LED, VERTICAL BASE-UP	ARE-EDG-4MB-_-06-E-UL-350-40K-CONFIGURED. IES	B 20'-0" POLE ON FLUSH CONC. BASE B-1 18'-0" POLE ON 2'-0" TALL CONC. BASE
□	C-1	1	ARE-EDG-4M-**-06-E-UL-350-40K (350mA)	CREE EDGE AREA, TYPE IV MEDIUM, 60 LEDS, 700MA, 4000K	120 WHITE LED, VERTICAL BASE-UP	ARE-EDG-4M-_-06-E-UL-350-40K-CONFIGURED. IES	18'-0" POLE ON 2'-0" TALL CONC. BASE
D (NOT USED ON LOT #520)							
○	E	4	SEC-EDG-4MB-**-02-E-UL-350-40K (350mA)	CREE EDGE AREA, TYPE IV MEDIUM W- FULL BLS, 120 LEDS, 525mA, 4000K	120 WHITE LED, VERTICAL BASE-UP	SEC-EDG-4MB-_-02-E-UL-350-40K-CONFIGURED. IES	8'-0" ABOVE GRADE ON SIDE OF BUILDING

EXAMPLE LIGHT FIXTURE DISTRIBUTION



1 OVERALL SITE LIGHTING PLAN
 C-1.2 1" = 40'-0"



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PROJECT TITLE
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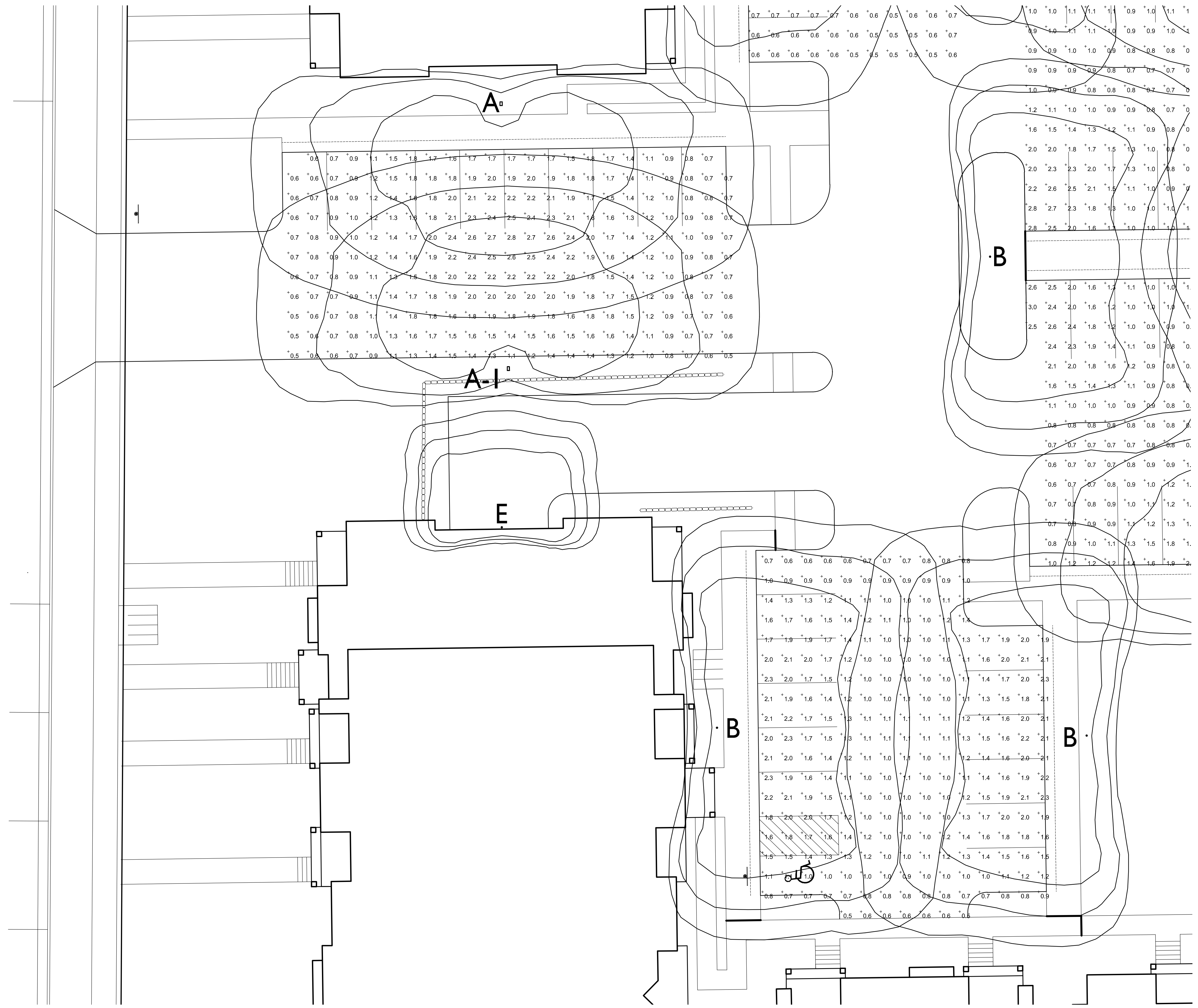
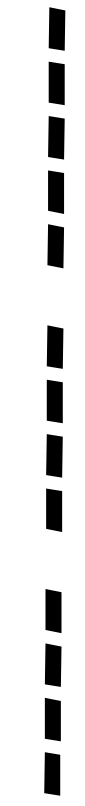
Lot 520
 5501 Spring Tide Way
 SHEET TITLE
Overall Site Lighting Plan

SHEET NUMBER

C-1.2

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CITY VIEW DRIV



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PROJECT TITLE
Village at Autumn
Lake

Lot 520
5501 Spring Tide Way
SHEET TITLE
Site Lighting Plan

SHEET NUMBER

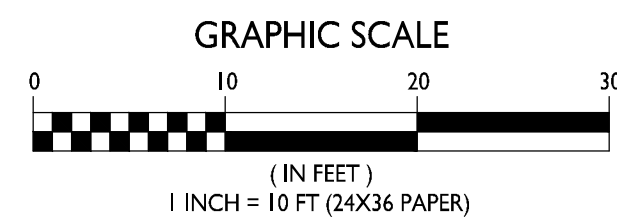
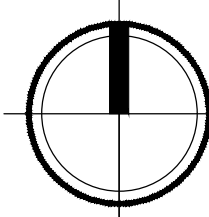
C-1.2a

PROJECT NO. 1644

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1 SITE LIGHTING PLAN

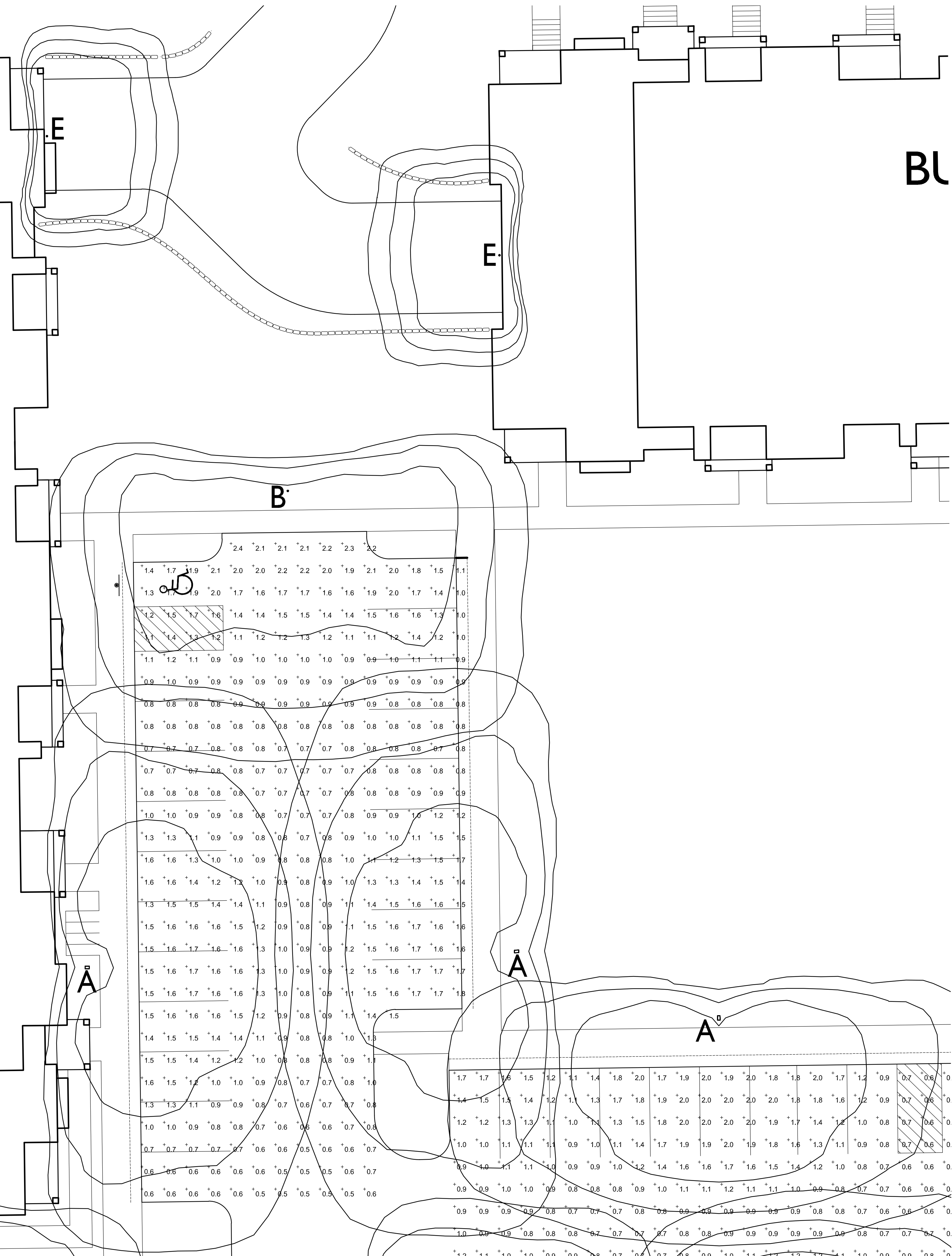
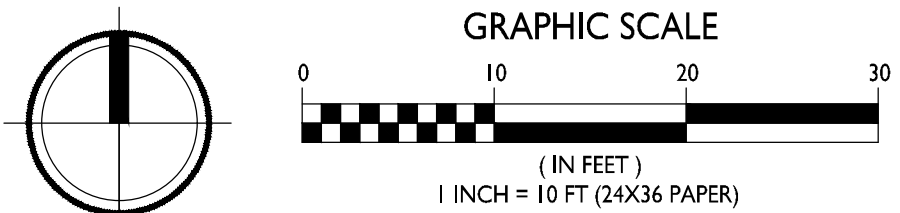
C-1.2a 1" = 10'-0"



DRIVE

C-1.2b
SITE LIGHTING PLAN
1" = 10'-0"

BUILDING 6

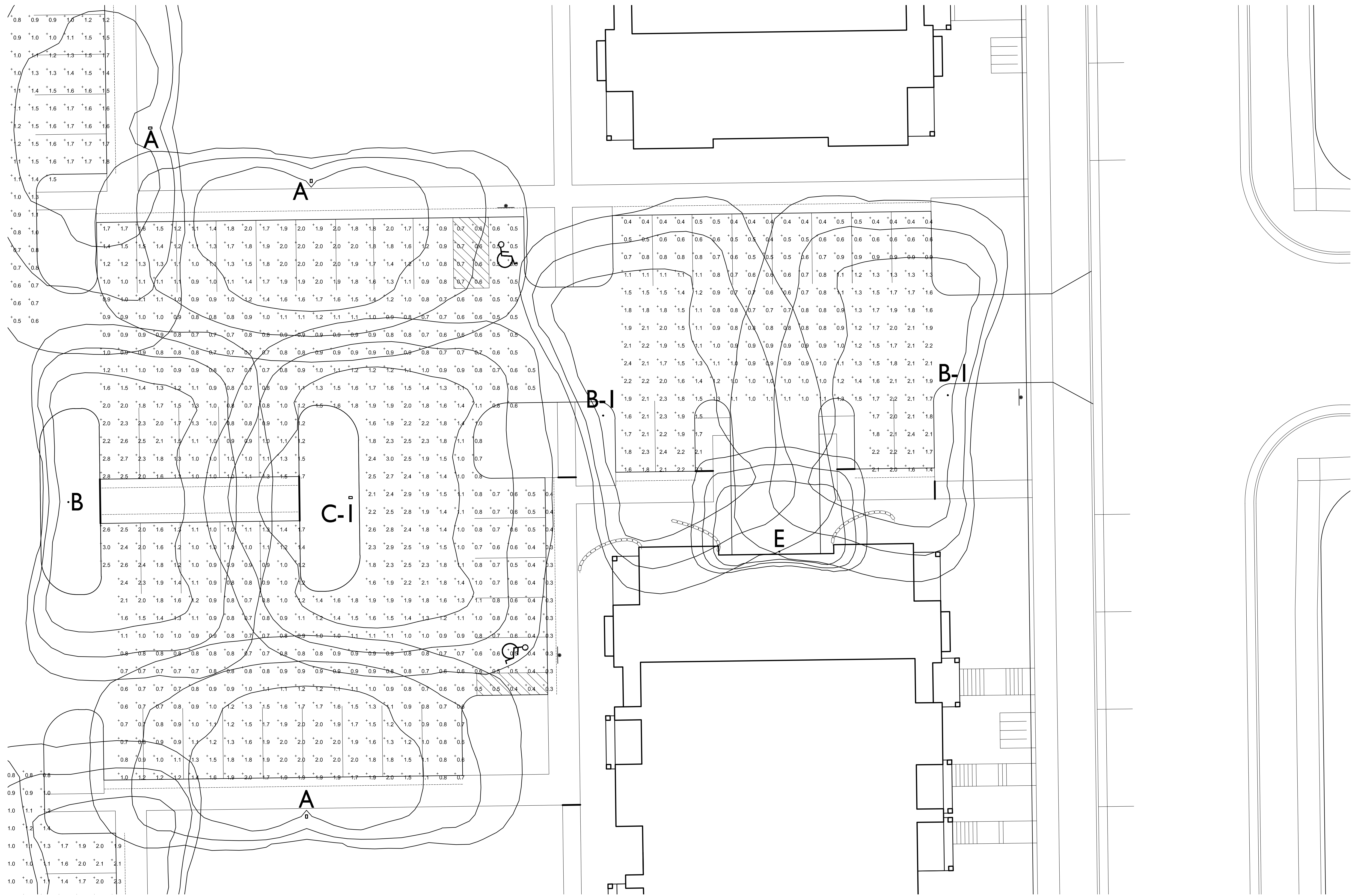


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PROJECT TITLE
Village at Autumn
Lake

Lot 520
5501 Spring Tide Way
SHEET TITLE
Site Lighting Plan

SHEET NUMBER
C-1.2b
PROJECT NO. 1644
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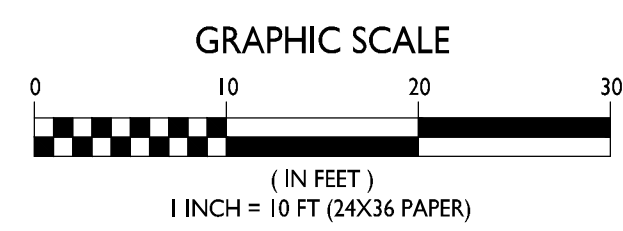
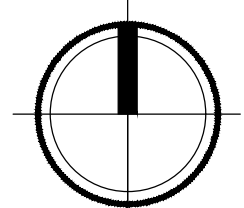


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PROJECT TITLE
Village at Autumn Lake

Lot 520
5501 Spring Tide Way
SHEET TITLE
Site Lighting Plan

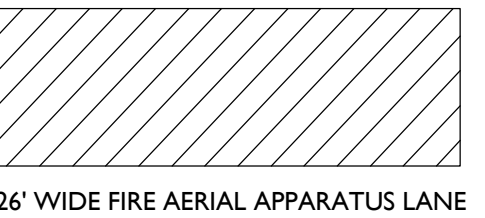
1 SITE LIGHTING PLAN
C-1.2c 1" = 10'-0"



SHEET NUMBER

C-1.2c

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26' WIDE FIRE AERIAL APPARATUS LANE

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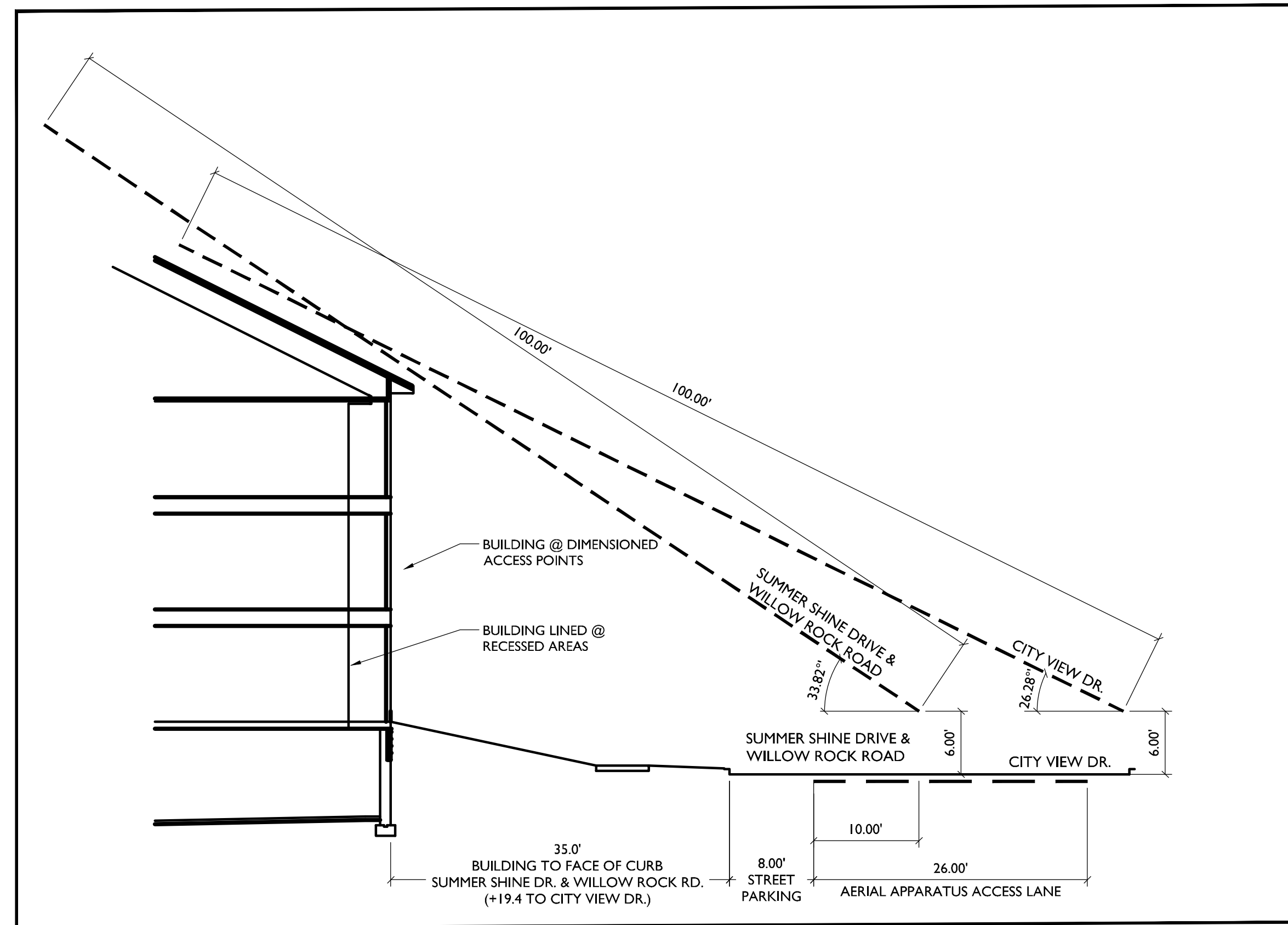
Lot 520
5501 Spring Tide Way
SHEET TITLE
Fire Department Access Plan

SHEET NUMBER

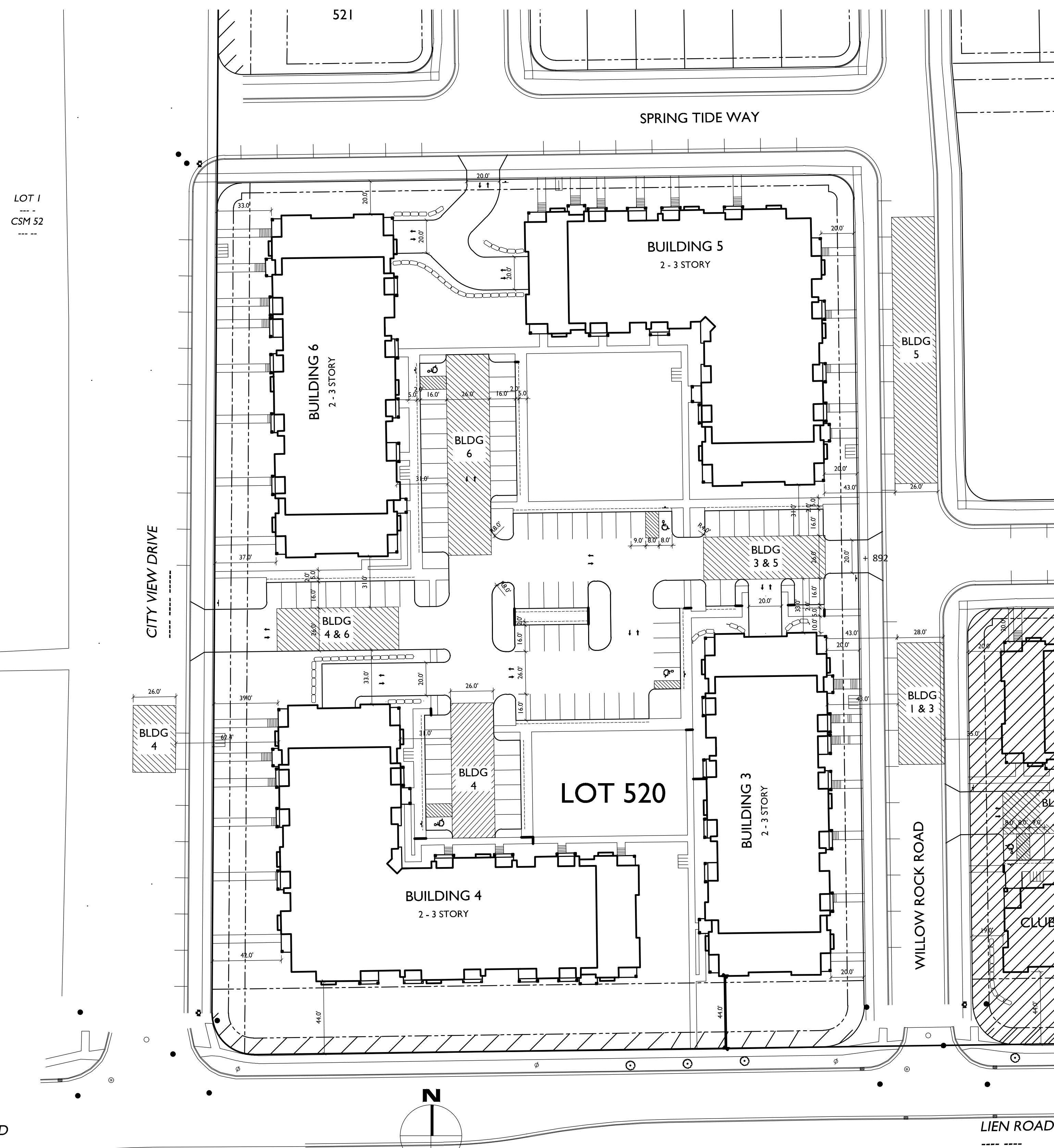
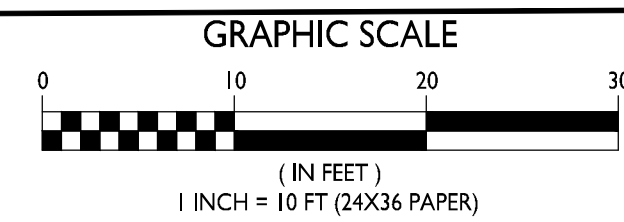
C-1.3

PROJECT NO. **1644**

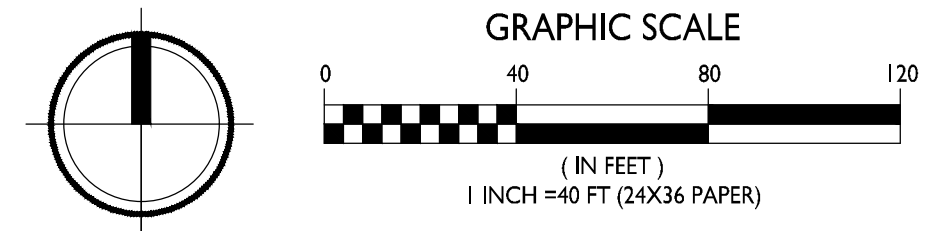
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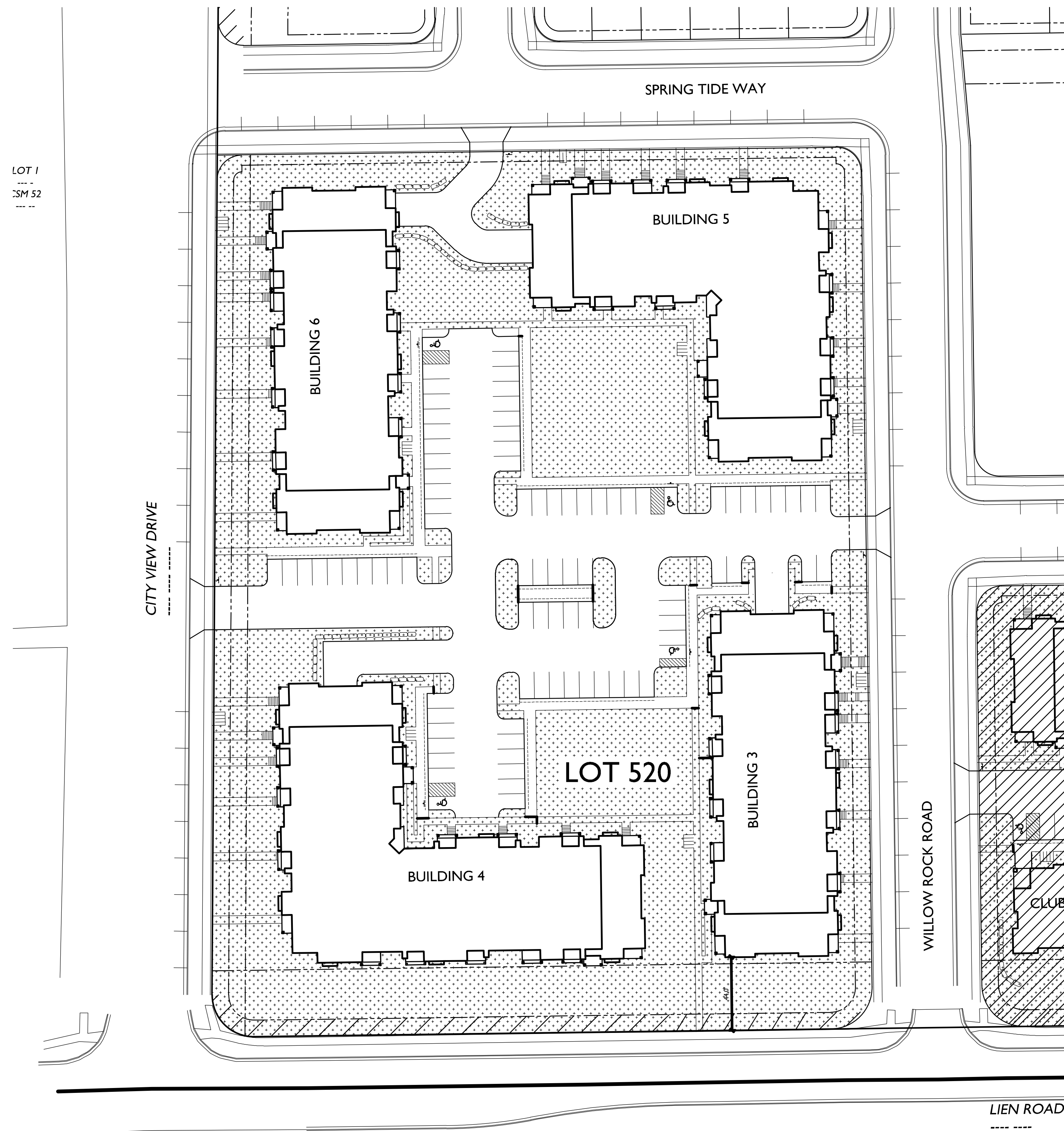
2 AERIAL ACCESS FROM STREETS
C-1.2 1" = 10'-0"

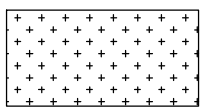


1 FIRE DEPARTMENT ACCESS PLAN
C-1.3 1" = 40'-0"



ROAD



 **USABLE OPEN SPACE**
GROUND SPACE = 86,557 SF

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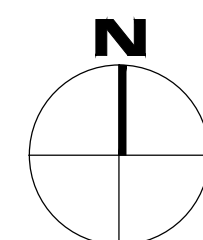
PROJECT TITLE
Village at Autumn Lake

Lot 520
5501 Spring Tide Way
SHEET TITLE
Open Space

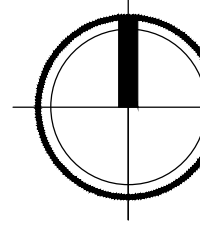
SHEET NUMBER

C-1.4

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C-1.4
OPEN SPACE
1" = 40'-0"



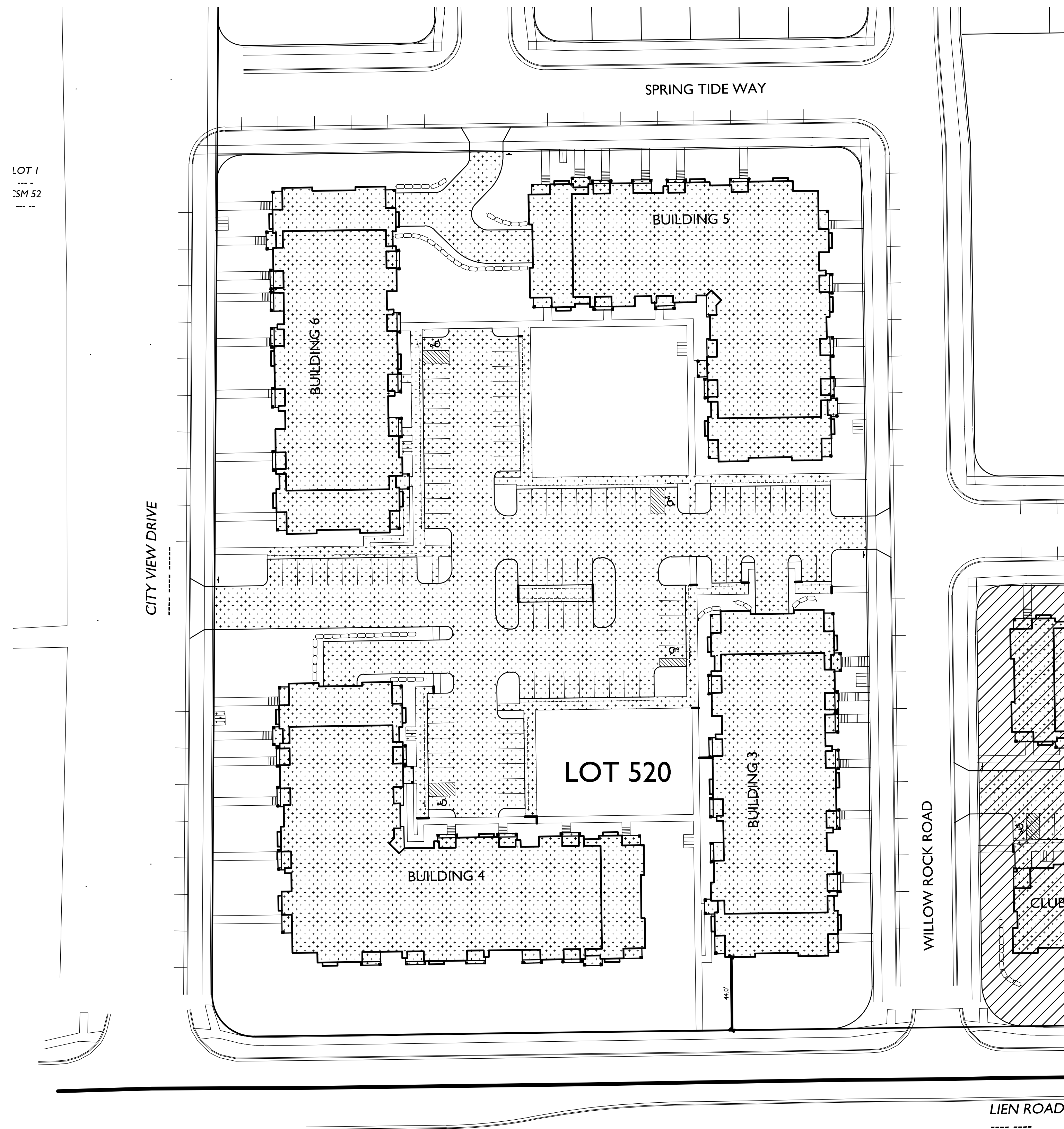
GRAPHIC SCALE
0 40 80 120
(IN FEET)
1 INCH = 40 FT (24X36 PAPER)



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LOT COVERAGE	
TOTAL LOT AREA	= 207,447 SF
LOT COVERAGE	= 120,808 SF
	= 58 %
ALLOWED	75 %



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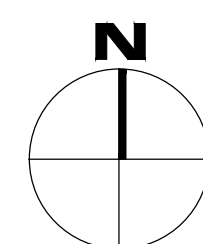
Lot 520
5501 Spring Tide Way
SHEET TITLE
Lot Coverage

SHEET NUMBER

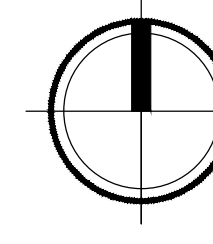
C-1.5

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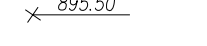


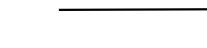



C-1.5
LOT COVERAGE
1" = 40'-0"



GRAPHIC SCALE
0 40 80 120
(IN FEET)
1 INCH = 40 FT (24X36 PAPER)

LEGEND

-  PROPOSED CONTOUR
-  EXISTING CONTOUR
-  SPOT ELEVATION
- EP - EDGE OF PAVEMENT
- FFE - FINISHED FLOOR ELEVATION
- TC - TOP OF CURB
- TW - TOP OF WALL (GROUND ELEVATION)
- BW - BOTTOM OF WALL (GROUND ELEVATION)
- HP - HIGHPPOINT
-  LIMITS OF DISTURBANCE
-  SILT FENCE/SILT SOCK
-  FLOW ARROW
-  RETAINING WALL (DESIGN BY OTHERS)

GENERAL NOTES

1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARDSPECIFICATIONS
2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
4. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION
6. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED
7. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR
8. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB & GUTTER WHICH ABUTS THE PROPERTY AND IS DAMAGED BY CONSTRUCTION.
10. ALL DAMAGE TO THE PAVEMENT OF ADJACENT PUBLIC STREETS SHALL BE RESOTRED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA

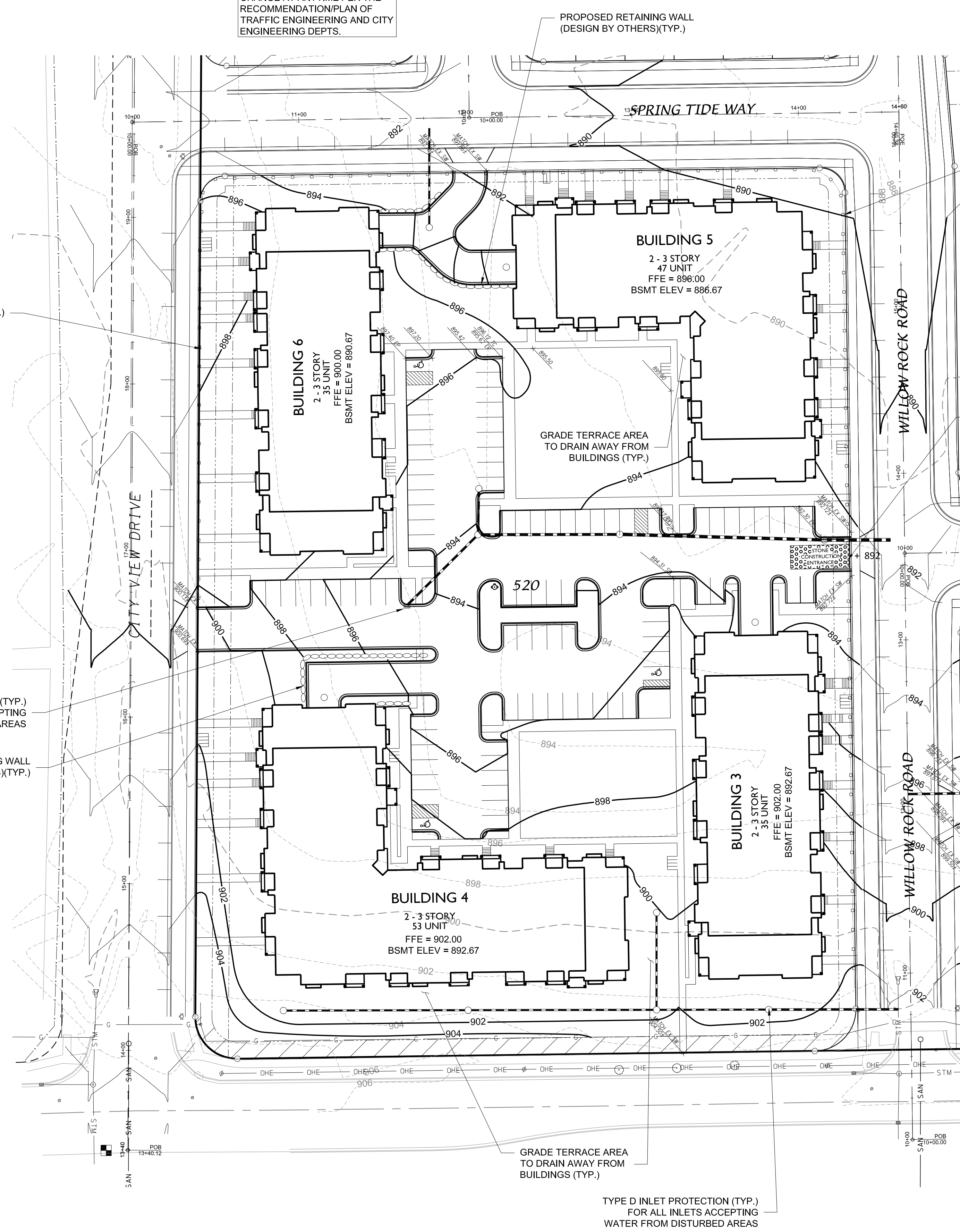
GRADING AND EROSION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
3. EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
4. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
5. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
6. NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER
8. INSTALL TYPE D INLET PROTECTION IN ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS
9. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1
10. SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
11. ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
12. ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION METHODS SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH
13. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
14. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
15. AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQFT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1 1/2 POUNDS PER 1000 SQFT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST. SEE LANDSCAPE PLAN FOR A MORE DETAILED PLANTING PLAN AND LANDSCAPE DETAILS.
16. DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.

IMPROVEMENTS IN PUBLIC RIGHT OF WAY TO BE APPROVED BY BOARD OF PUBLIC WORKS. THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

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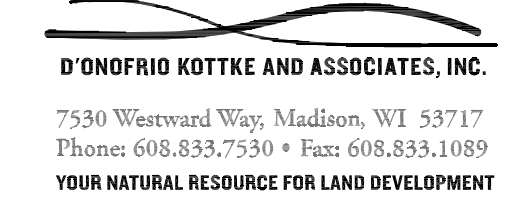
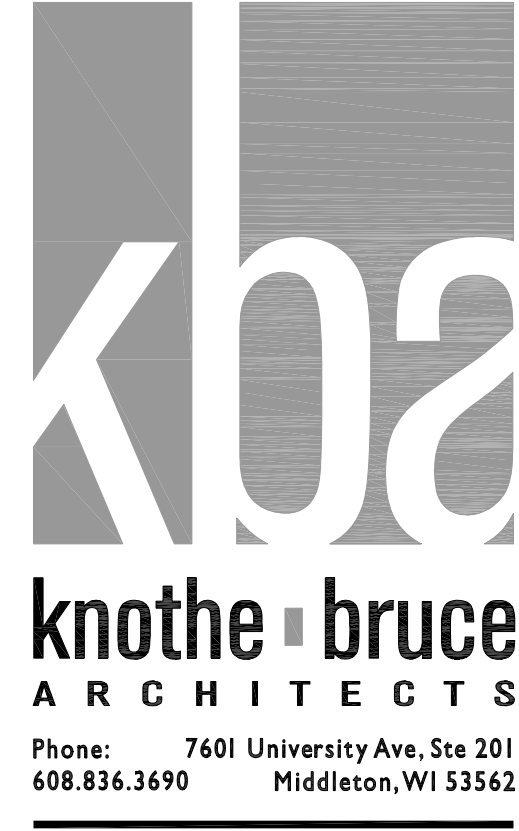
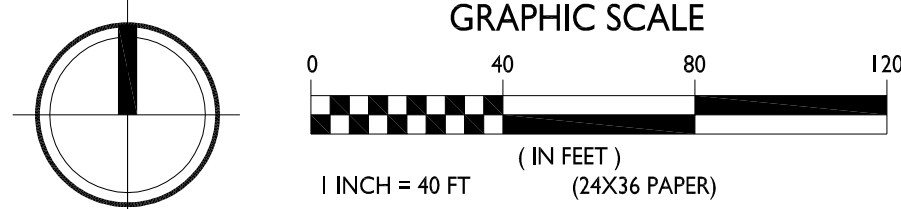


SEQUENCE/ ANTICIPATED TIME SCHEDULE

1. INSTALL EROSION CONTROL
2. ROUGH SITE GRADING, BEGIN BUILDING CONSTRUCTION
3. FINE GRADING, CONCRETE CURB AND GUTTER, ASPHALT, CONCRETE, UTILITIES, RETAINING WALL, AND BUILDING CONSTRUCTION.
4. RESPREAD TOPSOIL AND FINAL RESTORATION
5. REMOVE EROSION CONTROL WHEN SITE HAS BECOME STABILIZED.



GRADING PLAN
1" = 40'-0"



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PROJECT TITLE
Village at Autumn Lake

Lot 520
5501 Spring Tide Way

SHEET TITLE
Grading Plan

SHEET NUMBER

C-2.0

PRELIMINARY - NOT FOR CONSTRUCTION

PROJECT NO.

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ARCHITECTS
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YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

ISSUED
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PROJECT TITLE
Village at Autumn Lake

Lot 520
5501 Spring Tide Way

SHEET TITLE
Utility Plan

SHEET NUMBER

C-3.0

PROJECT NO.

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GENERAL NOTES

1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARDSPECIFICATIONS
2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
4. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION
6. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED
7. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR
8. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB & GUTTER WHICH ABUTS THE PROPERTY AND IS DAMAGED BY CONSTRUCTION.
10. ALL DAMAGE TO THE PAVEMENT OF ADJACENT PUBLIC STREETS SHALL BE RESOTRED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA

SITE UTILITY NOTES

1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
2. CONTRACTOR TO VERIFY LOCATION, DEPTH & SIZE OF EXISTING WATER, STORM AND SEWER PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO VERIFY AND COORDINATE SANITARY, STORM AND WATER BUILDING SERVICE CONNECTION LOCATION, SIZES, & DEPTHS WITH ARCHITECTURAL PLUMBING PLAN PRIOR TO CONSTRUCTION.
4. CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE & CABLE INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
5. ALL WATER SERVICES AND HYDRANTS SHALL BE INSTALLED WITH A VALVE.
6. ALL STORM CATCHBASINS TO BE 48" DIAMETER WITH NEENAH R-2501 INLET FRAME, GRATE WITH TYPE G LID UNLESS NOTED AS SOLID LID ON PLAN
7. ALL STORM CURB INLETS TO BE 2'X3' INLET BOXES WITH NEENAH R-3067 COMBINATION INLET FRAME, GRATE, CURB BOX WITH TYPE C LID
8. PLACE 8' X 4' X 2" WATERMAIN INSULATION AT ALL STORM SEWER CROSSINGS

IMPROVEMENTS IN PUBLIC RIGHT OF WAY TO BE APPROVED BY BOARD OF PUBLIC WORKS. THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

CONNECT TO EXISTING WATER MAIN. CONTRACTOR TO VERIFY LOCATION, DEPTH & SIZE OF EXISTING WATERMAIN PRIOR TO CONSTRUCTION & COORDINATE ROUTING, SIZE & BUILDING CONNECTION WITH PLUMBING PLAN

IMPROVEMENTS IN PUBLIC RIGHT OF WAY TO BE APPROVED BY BOARD OF PUBLIC WORKS. THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

8" SANITARY SEWER LATERAL. CONTRACTOR TO COORDINATE ROUTING, SIZE & BUILDING CONNECTION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION.

INL 1
TC = 894.74
18" RCP
STORM SEWER

CONNECT TO EXISTING STORM SEWER CONTRACTOR TO VERIFY LOCATION, DEPTH, & SIZE OF STORMSEWER PRIOR TO CONSTRUCTION

CONNECT 8" WATERMAIN TO 8" WATERMAIN IN THE STREET

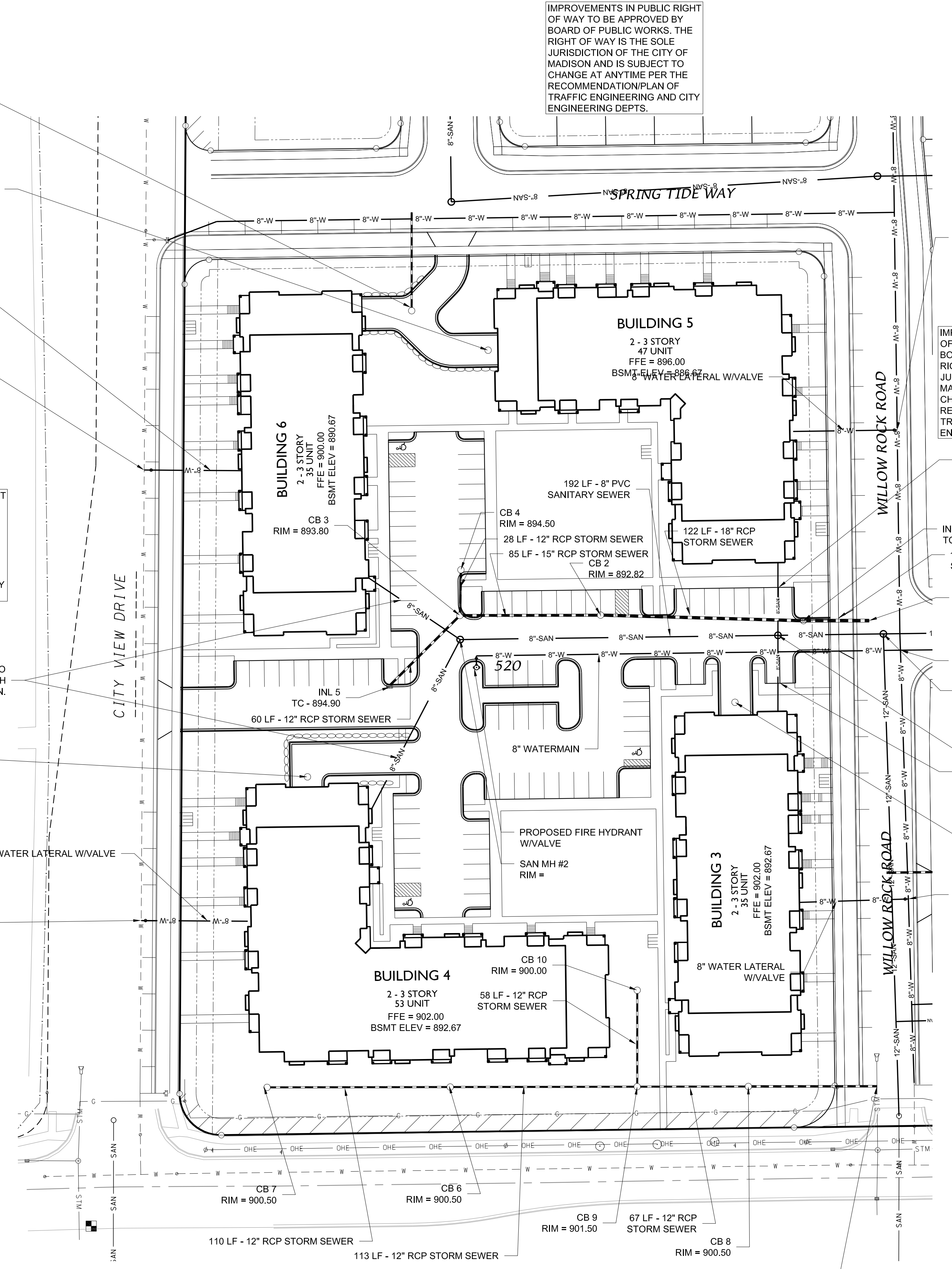
CONNECT TO EXISTING SANITARY SEWER CONTRACTOR TO VERIFY LOCATION, DEPTH, & SIZE OF STORMSEWER PRIOR TO CONSTRUCTION

SAN MH #1
8" SANITARY SEWER LATERAL. CONTRACTOR TO COORDINATE ROUTING, SIZE & BUILDING CONNECTION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION.

DRAIN INLET TO SUMP IN GARAGE. PUMP TO CATCH BASIN. (REFER TO ARCHITECTURAL PLUMBING PLAN FOR DESIGN)

CONNECT TO EXISTING WATER MAIN. CONTRACTOR TO VERIFY LOCATION, DEPTH & SIZE OF EXISTING WATERMAIN PRIOR TO CONSTRUCTION & COORDINATE ROUTING, SIZE & BUILDING CONNECTION WITH PLUMBING PLAN

CONNECT TO EXISTING STORM SEWER CONTRACTOR TO VERIFY LOCATION, DEPTH, & SIZE OF STORMSEWER PRIOR TO CONSTRUCTION



DRAIN INLET TO STORM IN STREET. SEWER CONTRACTOR TO VERIFY LOCATION, DEPTH, & SIZE OF STORMSEWER PRIOR TO CONSTRUCTION

DRAIN INLET TO SUMP IN GARAGE. PUMP TO CATCH BASIN. (REFER TO ARCHITECTURAL PLUMBING PLAN FOR DESIGN)

8" WATER LATERAL W/VALVE

CONNECT TO EXISTING WATER MAIN. CONTRACTOR TO VERIFY LOCATION, DEPTH & SIZE OF EXISTING WATERMAIN PRIOR TO CONSTRUCTION & COORDINATE ROUTING, SIZE & BUILDING CONNECTION WITH PLUMBING PLAN

IMPROVEMENTS IN PUBLIC RIGHT OF WAY TO BE APPROVED BY BOARD OF PUBLIC WORKS. THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

8" SANITARY SEWER LATERAL. CONTRACTOR TO COORDINATE ROUTING, SIZE & BUILDING CONNECTION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION.

DRAIN INLET TO SUMP IN GARAGE. PUMP TO CATCH BASIN. (REFER TO ARCHITECTURAL PLUMBING PLAN FOR DESIGN)

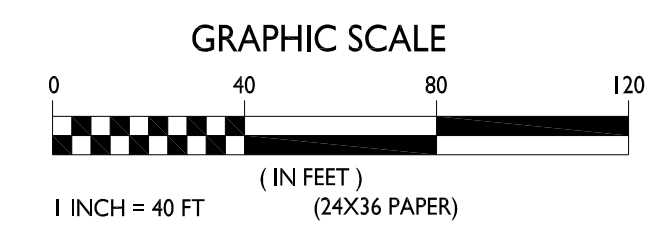
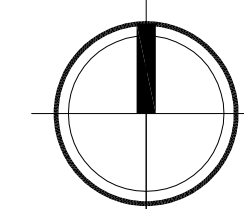
8" WATER LATERAL W/VALVE

CONNECT TO EXISTING WATER MAIN. CONTRACTOR TO VERIFY LOCATION, DEPTH & SIZE OF EXISTING WATERMAIN PRIOR TO CONSTRUCTION & COORDINATE ROUTING, SIZE & BUILDING CONNECTION WITH PLUMBING PLAN

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



UTILITY PLAN
C-2.0 1" = 40'-0"



PRELIMINARY - NOT FOR CONSTRUCTION

PLANT LIST

KEY	SCIENTIFIC NAME	QTY	PLANTING SIZE	ROOT CONDITION
DECIDUOUS TREES				
AF	Acer x freemanii 'Jeffersred'	11	2 1/2"	B&B
CO	Cotinus occidentalis	11	2 1/2"	B&B
GB	Ginkgo biloba 'Autumn Gold'	4	2 1/2"	B&B
GT	Gleditsia triacanthos var. inermis 'Skyline'	10	2 1/2"	B&B
ORNAMENTAL TREES				
AG	Amelanchier x grandiflora 'Autumn Brilliance'	9	2"	B&B
CC	Carpinus caroliniana	5	2"	B&B
MC	Malus 'Carmelot'	12	2"	B&B
PC	Pyrus Calleryana 'Chanticleer'	5	2"	B&B
EVERGREEN TREES				
PG	Picea glauca var. densata	5	6"	B&B
TO	Thuja occidentalis 'Techny'	11	6"	B&B
EVERGREEN SHRUBS				
TM	Taxus x media 'Tauntoni'	66	24"	B&B
DECIDUOUS SHRUBS				
HA	Hydrangea arborescens 'Annabelle'	22	#3	Cont.
RP	Rhododendron 'PJM'	29	#3	Cont.
RR	Rosa 'Radrazz'	57	#3	Cont.
SP	Syringa pubescens subsp. patula 'Miss Kim'	9	#5	Cont.
VD	Viburnum dentatum 'Synesvedt'	39	#5	Cont.
WF	Weigela florida 'Alexandra'	34	#5	Cont.
ORNAMENTAL GRASSES / PERENNIALS				
CA	Calamagrostis x acutiflora 'Karl Foerster'	82	#1	Cont.
HH	Hosta 'Halcyon'	5	#1	Cont.

△ BM Bark Mulch / Trench Cut Edge

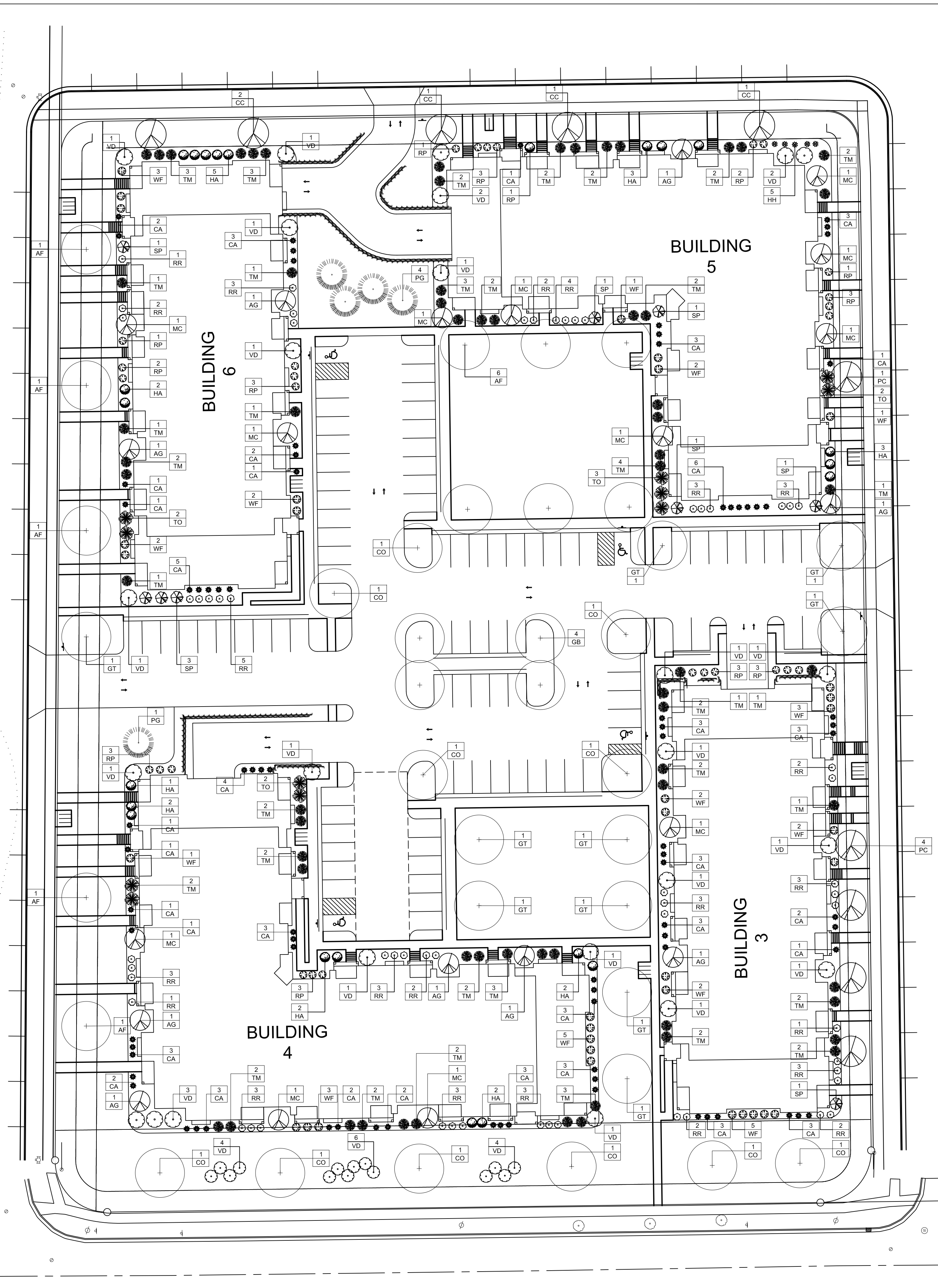
○ SEED

GENERAL NOTES:

- BARK MULCH TO BE BROWN DYED, RECYCLED HARDWOOD, WITH PRE-EMERGENT HERBICIDE.
- WASHED STONE TO BE 1.5" CAPITOL WASHED WITH WEED BARRIER FABRIC.
- BED EDGING TO BE DIMEX EDGEPRO OR EQUIVALENT
- ALL CONCRETE AREAS, STEPS AND RAMPS TO BE UN-COLORED CONCRETE, BRUSH FINISHED.
- SEE ASP-100 FOR SITE MATERIAL IMAGES.

BIKE PARKING AND AMENITIES NOTES:

- SEE SITE PLAN FOR DETAILED LAYOUT
- ALL SEATING SHOWN WILL BE SUPPLIED BY TENANT AND NON-PERMANENT FIXTURES.



3570 Pioneer Road
Verona, WI 53593
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WEB: www.olsontoon.com

AUTUMN LAKE - LOT 520

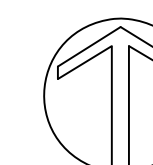
5501 Spring Tide Way
Madison, Wisconsin

L-1.0

Date: 1/19/17
Scale: 1" = 30'-0"
Designer: rc/mm
Job # 6758

Seal:
To protect against legal liability,
the plans presented herein are
"schematic," and should not be
outsourced as "biddable" or
"construction documents" unless
approved by the Landscape
Designer. This is not an original
document unless stamped in
red, as ORIGINAL.

Revisions:



Reference Name:
DSI - Autumn Lake



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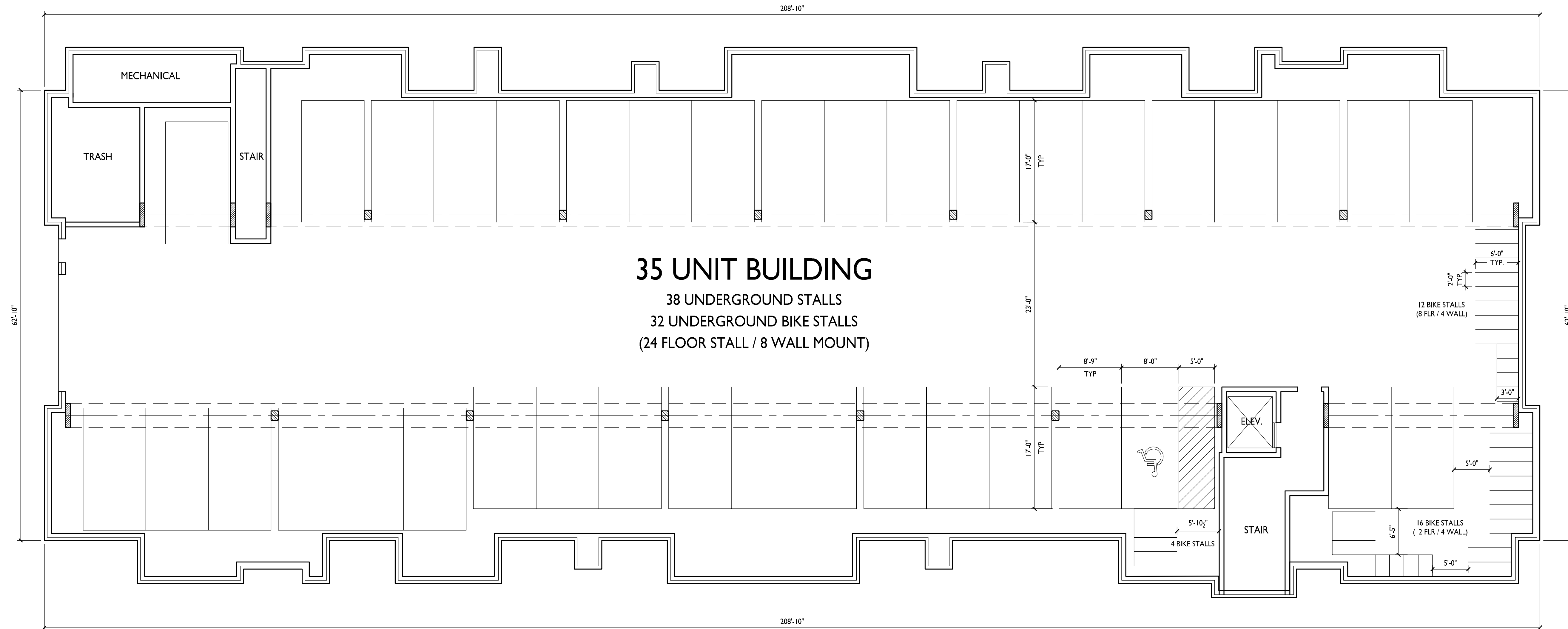
PROJECT TITLE
Village at Autumn
Lake

Lot 520
5501 Spring Tide Way
SHEET TITLE
Basement Floor Plan
Building 3

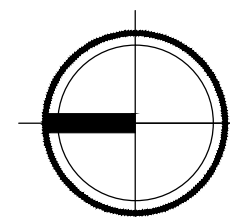
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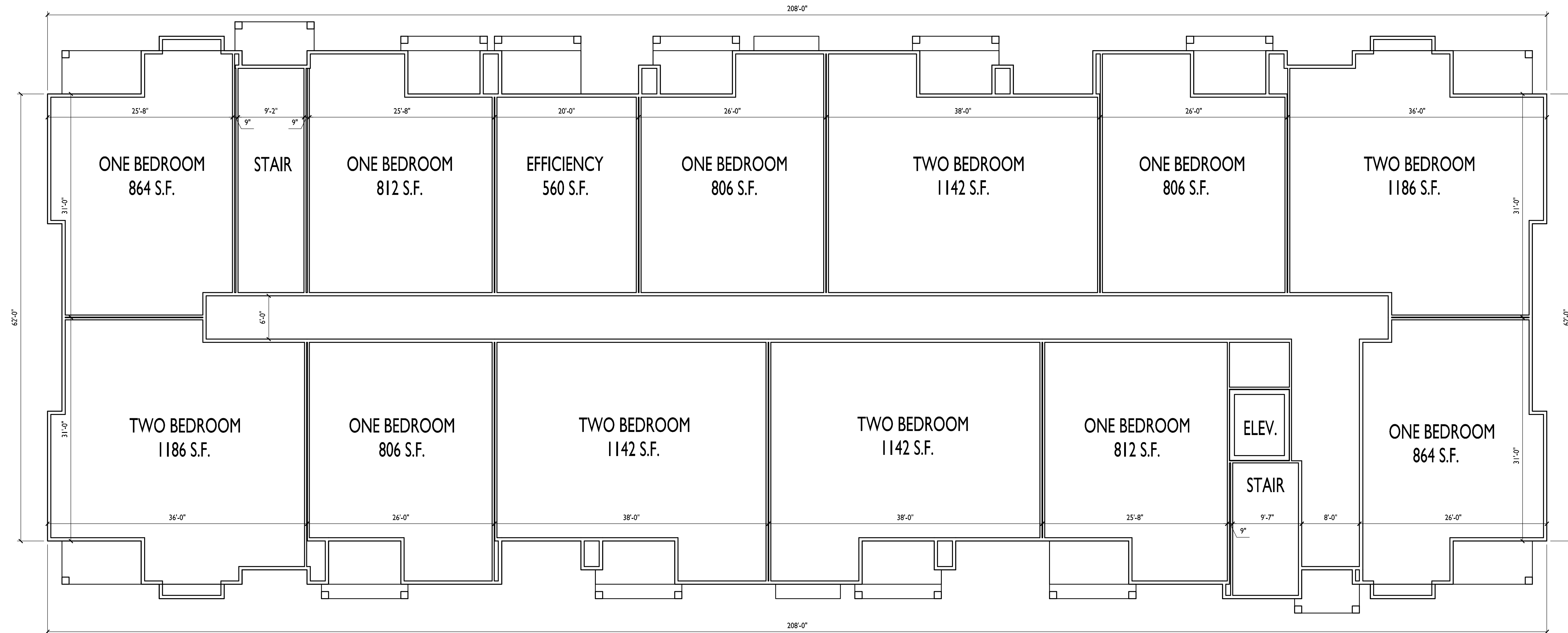
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A-1.0 BASEMENT FLOOR PLAN
1/8" = 1'-0"





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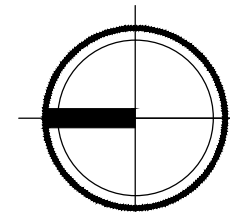
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PROJECT TITLE
Village at Autumn
Lake

1 FIRST FLOOR PLAN
A-1.1 1/8" = 1'-0"



Lot 520
5501 Spring Tide Way
SHEET TITLE
First Floor Plan
Building 3

SHEET NUMBER

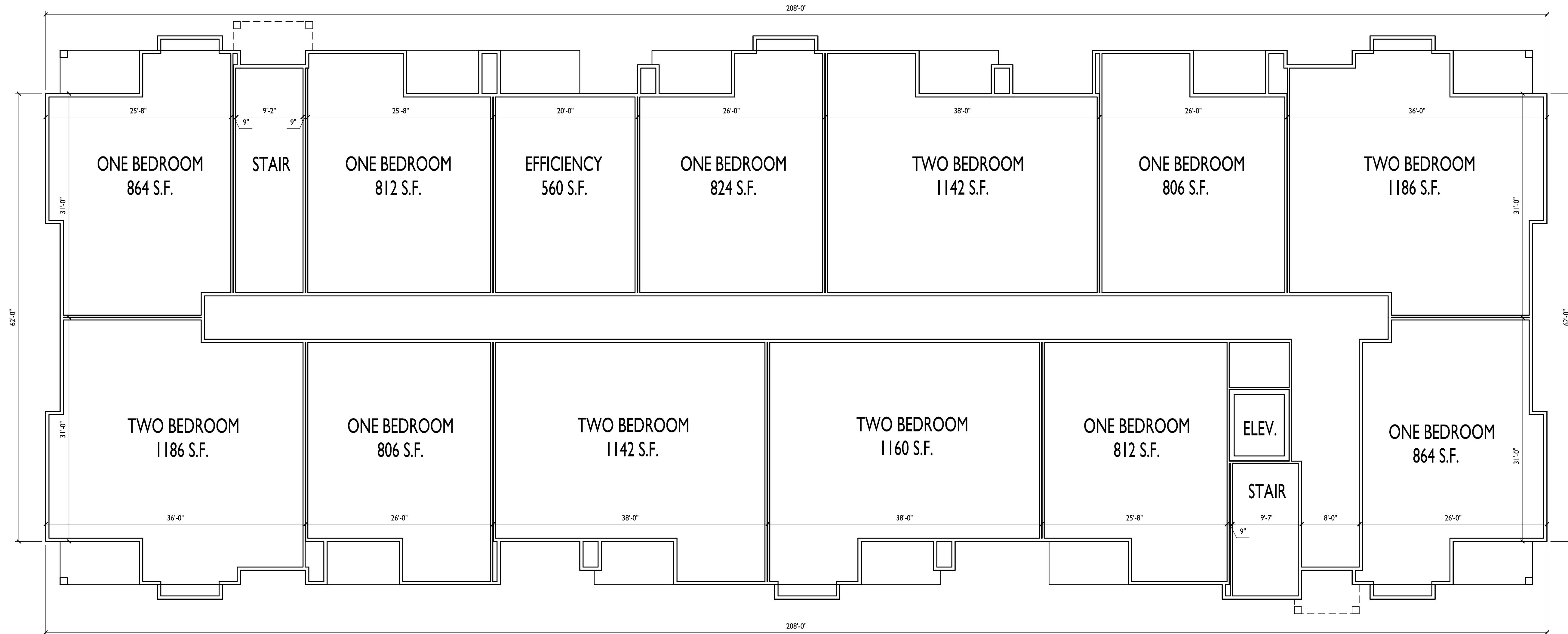
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Lake

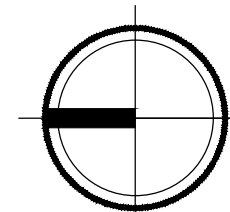
Lot 520
5501 Spring Tide Way
SHEET TITLE
Second Floor Plan
Building 3

SHEET NUMBER

A-1.2

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1 SECOND FLOOR PLAN
A-1.2 1/8" = 1'-0"





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PROJECT TITLE
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Lake

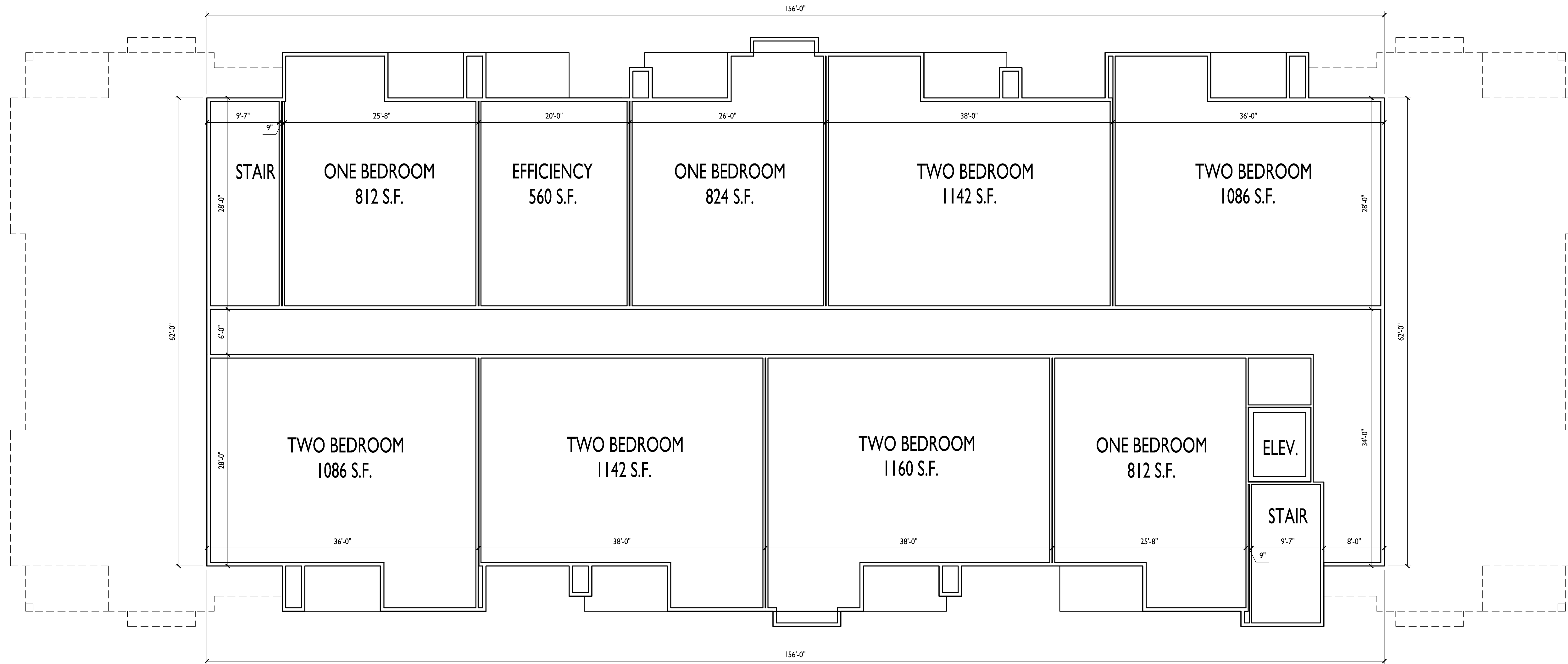
Lot 520
5501 Spring Tide Way
SHEET TITLE
Third Floor Plan
Building 3

SHEET NUMBER

A-1.3

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1 THIRD FLOOR PLAN
A-1.3 1/8" = 1'-0"





1 WEST ELEVATION
A-2.1 1/8"=1'-0"



**2 EAST ELEVATION
(ALONG WILLOW ROCK RD.)**
A-2.1 1/8"=1'-0"

TYPICAL MATERIALS

- ASPHALT SHINGLES
- FASCIA
- VINYL WINDOWS
- HORIZONTAL SIDING
- TRIM
- SHAKES
- ALUMINUM RAILINGS
- CAST STONE SILLS & BANDS
- STONE VENEER



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PROJECT TITLE
Village at Autumn
Lake

Lot 520
5501 Spring Tide Way
SHEET TITLE
Exterior Elevations
Building 3

SHEET NUMBER

A-2.2

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1 NORTH ELEVATION
A-2.2 1/8"=1'-0"



2 SOUTH ELEVATION
(ALONG LIEN RD.)
A-2.2 1/8"=1'-0"

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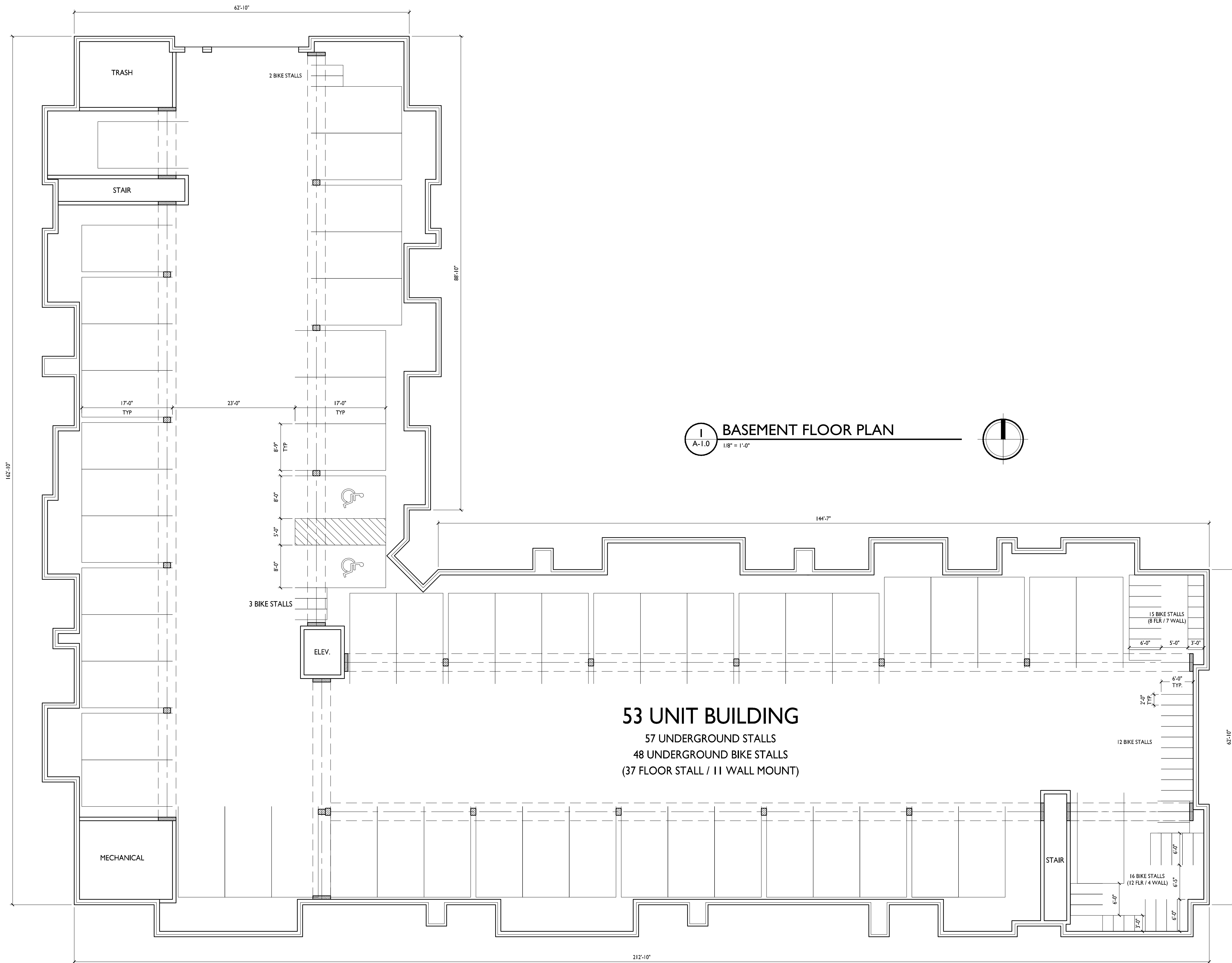
PROJECT TITLE
Village at Autumn Lake

Lot 520
 5501 Spring Tide Way
 SHEET TITLE
Basement Floor Plan Building 4

SHEET NUMBER

A-1.0

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53 UNIT BUILDING
 57 UNDERGROUND STALLS
 48 UNDERGROUND BIKE STALLS
 (37 FLOOR STALL / 11 WALL MOUNT)



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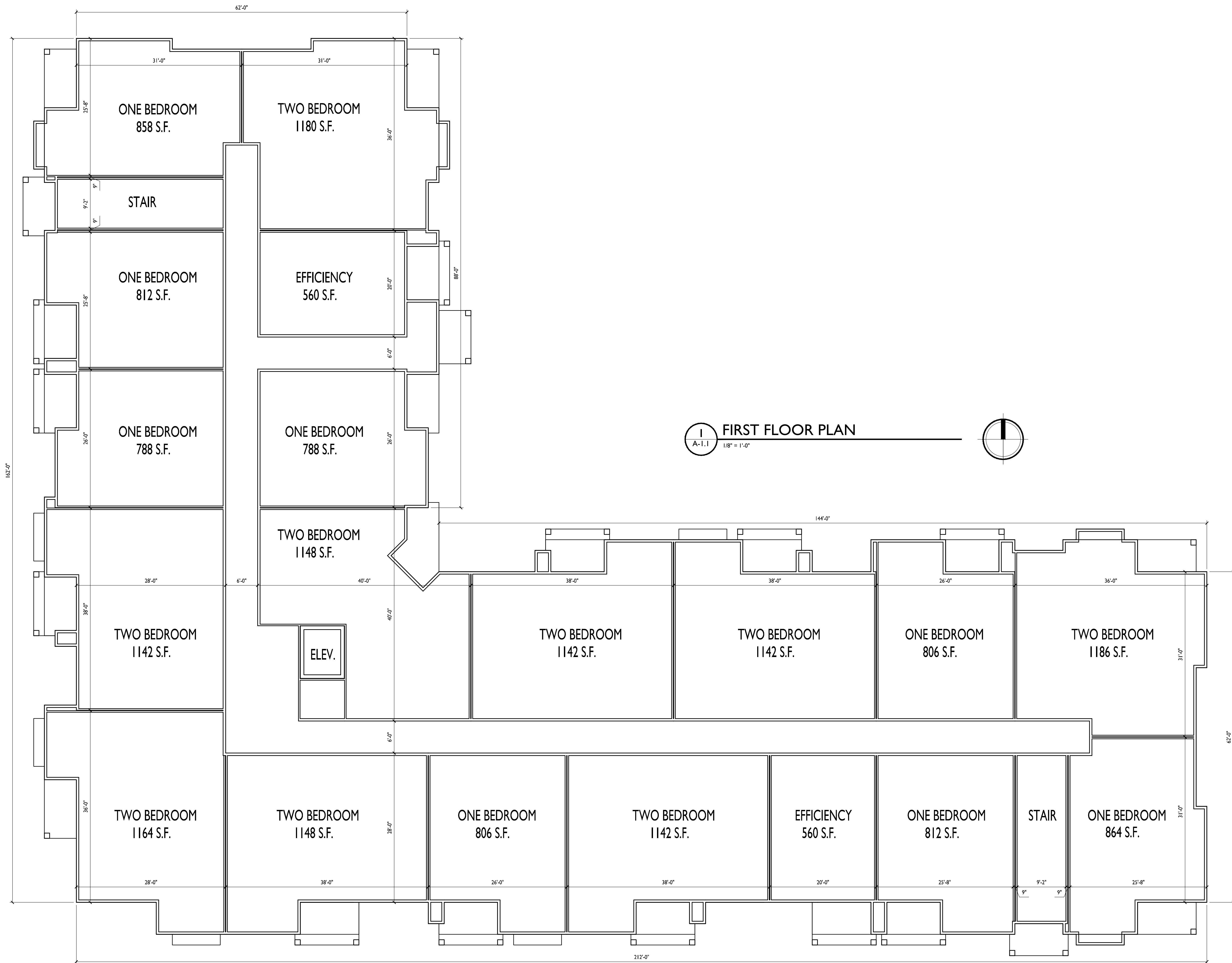
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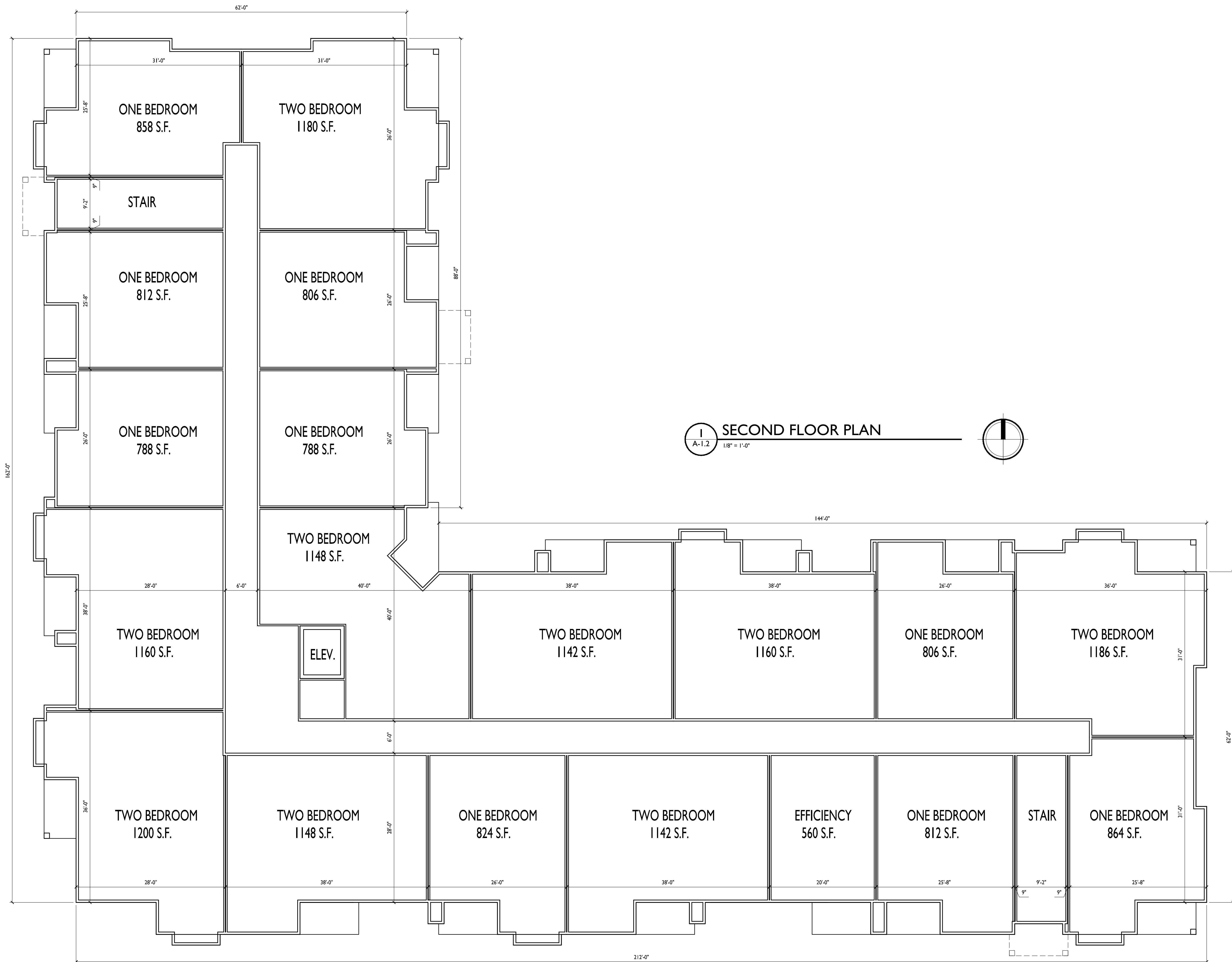
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5501 Spring Tide Way
SHEET TITLE
**First Floor Plan
Building 4**

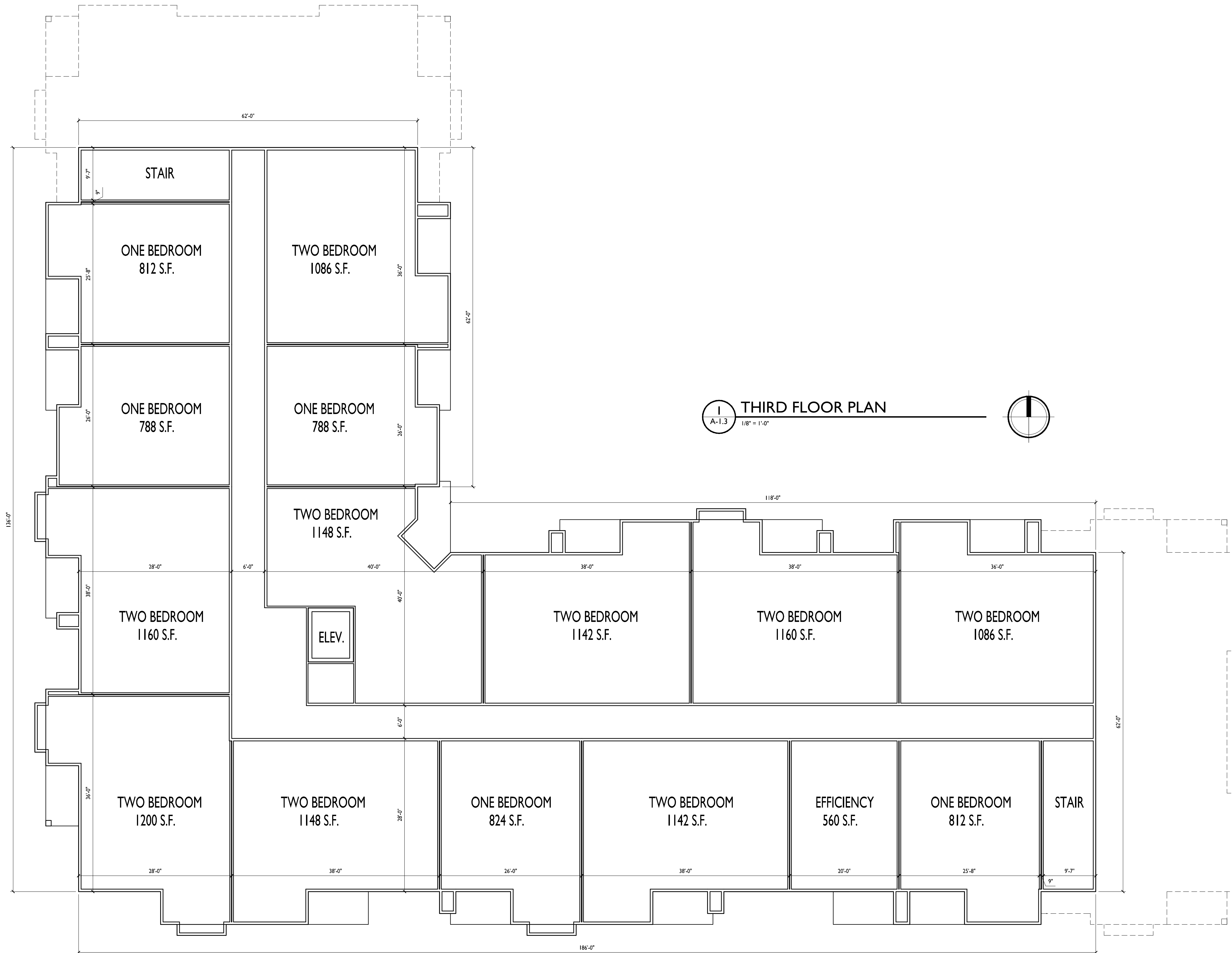
SHEET NUMBER

A-1.1

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1
A-2.1
WEST ELEVATION
(ALONG CITY VIEW DR.)
1/8"=1'-0"

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PROJECT TITLE
**Village at Autumn
Lake**

TYPICAL MATERIALS

- ASPHALT SHINGLES
- FASCIA
- VINYL WINDOWS
- HORIZONTAL SIDING
- TRIM
- SHAKES
- ALUMINUM RAILINGS
- CAST STONE SILLS & BANDS
- STONE VENEER

Lot 520
5501 Spring Tide Way
SHEET TITLE
**Exterior Elevations
Building 4**

SHEET NUMBER

A-2.1

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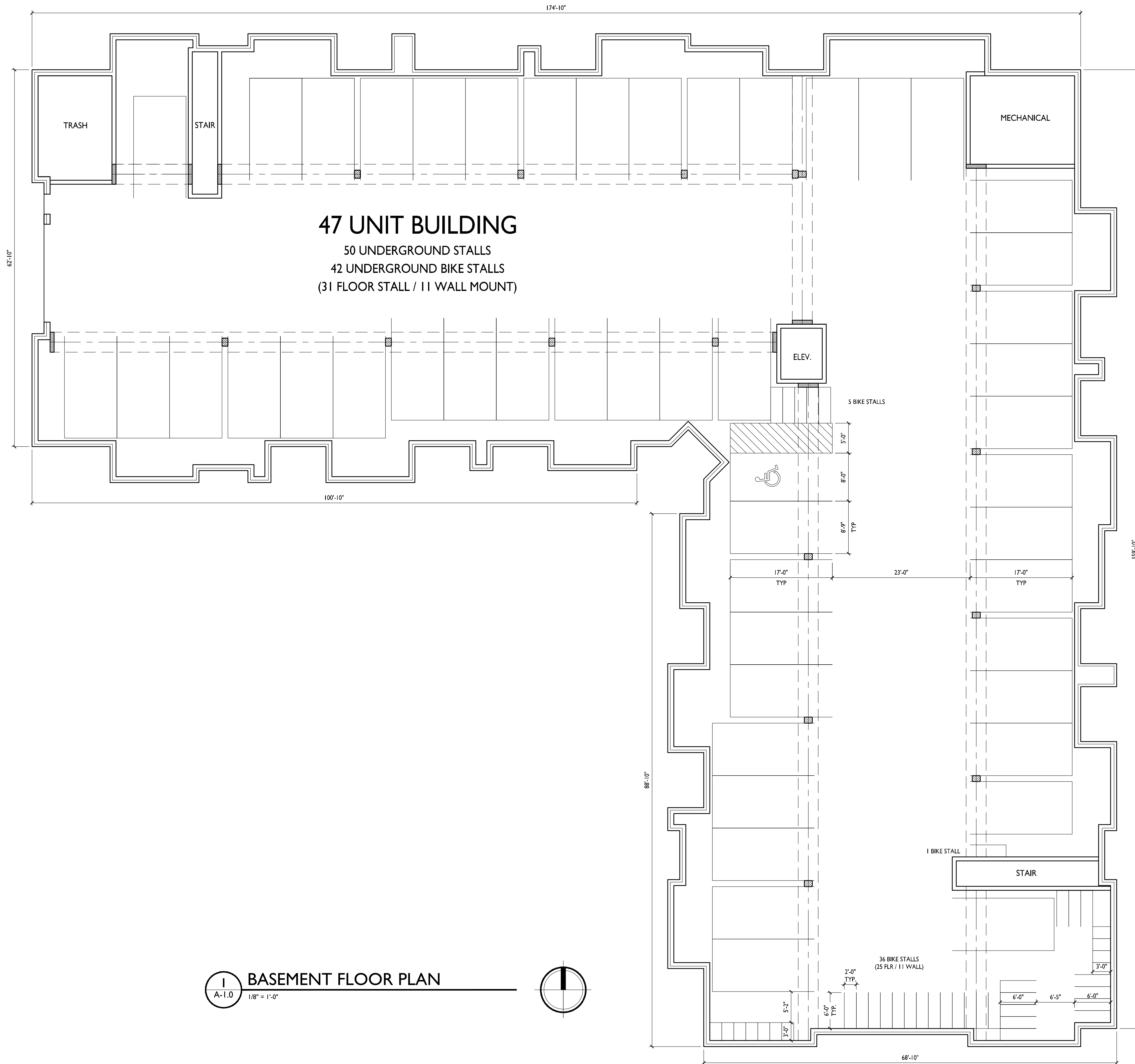
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A-2.1
SOUTH ELEVATION
(ALONG LIEN RD.)
1/8"=1'-0"



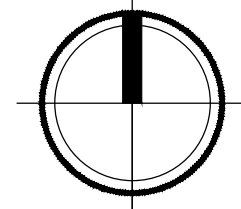
1 NORTH ELEVATION
A-2.2 1/8"=1'-0"



2 EAST ELEVATION
A-2.2 1/8"=1'-0"



1 BASEMENT FLOOR PLAN
 A-1.0 1/8" = 1'-0"



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PROJECT TITLE
Village at Autumn Lake

Lot 520
 5501 Spring Tide Way
 SHEET TITLE
Basement Floor Plan Building 5

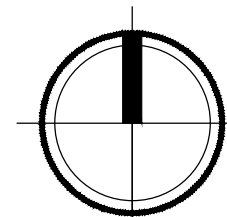
SHEET NUMBER

A-1.0

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1 FIRST FLOOR PLAN
A-1.1 1/8" = 1'-0"



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PROJECT TITLE
Village at Autumn
Lake

Lot 520
5501 Spring Tide Way
SHEET TITLE
First Floor Plan
Building 5

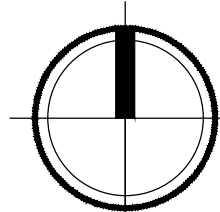
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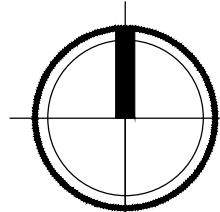


1 SECOND FLOOR PLAN
A-1.2 1/8" = 1'-0"





1 THIRD FLOOR PLAN
A-1.3 1/8" = 1'-0"





1
A-2.1
1/8"=1'-0"

**EAST ELEVATION
(ALONG WILLOW ROCK RD.)**

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2
A-2.1
1/8"=1'-0"

**NORTH ELEVATION
(ALONG SPRING TIDE WAY)**

TYPICAL MATERIALS

- ASPHALT SHINGLES
- FASCIA
- VINYL WINDOWS
- HORIZONTAL SIDING
- TRIM
- SHAKES
- ALUMINUM RAILINGS
- CAST STONE SILLS & BANDS
- STONE VENEER

PROJECT TITLE
**Village at Autumn
Lake**

Lot 520
5501 Spring Tide Way
SHEET TITLE
**Exterior Elevations
Building 5**

SHEET NUMBER

A-2.1

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1 SOUTH ELEVATION
A-2.2 1/8"=1'-0"

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2 WEST ELEVATION
A-2.2 1/8"=1'-0"

PROJECT TITLE
Village at Autumn Lake

Lot 520
5501 Spring Tide Way
SHEET TITLE
Exterior Elevations Building 5

SHEET NUMBER

A-2.2

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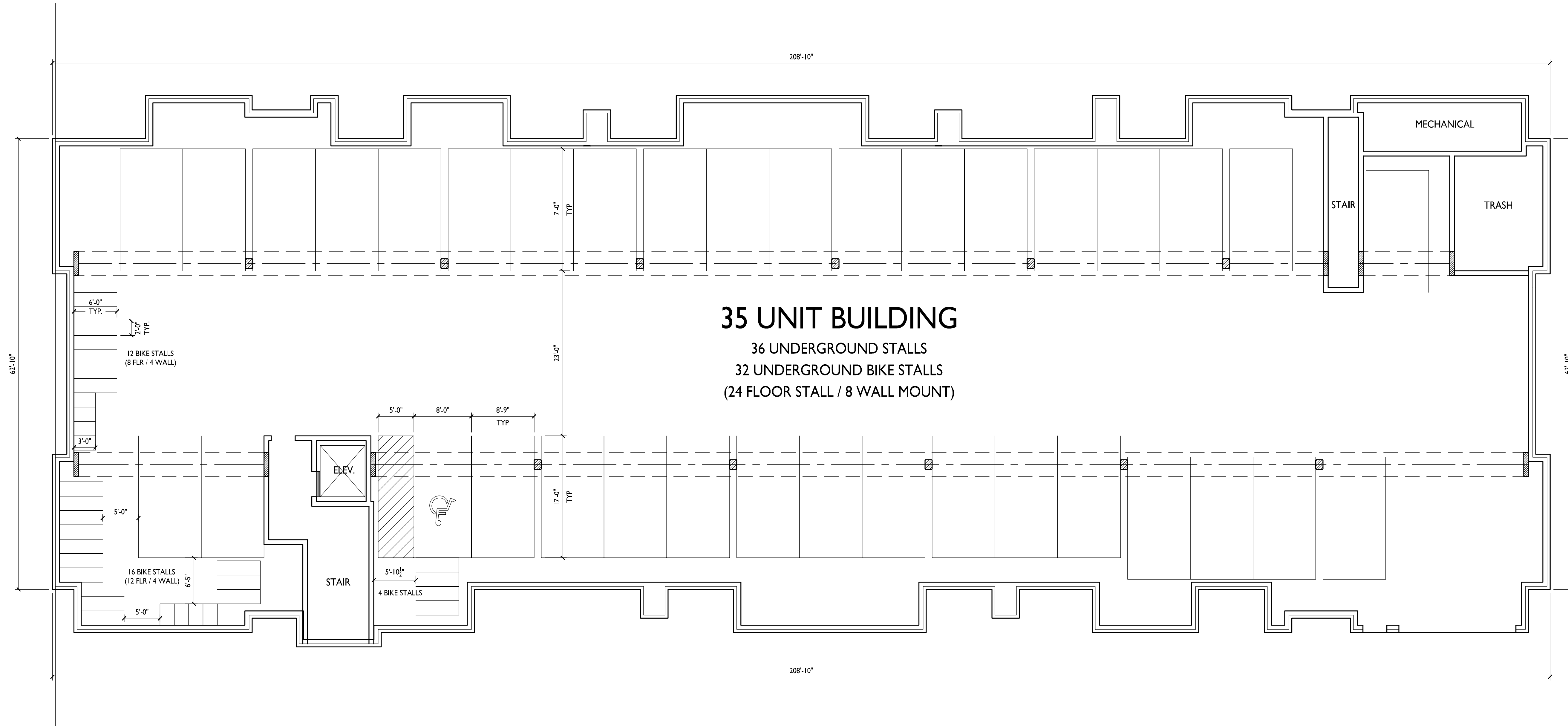
PROJECT TITLE
Village at Autumn
Lake

Lot 520
5501 Spring Tide Way
SHEET TITLE
Basement Floor Plan
Building 6

SHEET NUMBER

A-1.0

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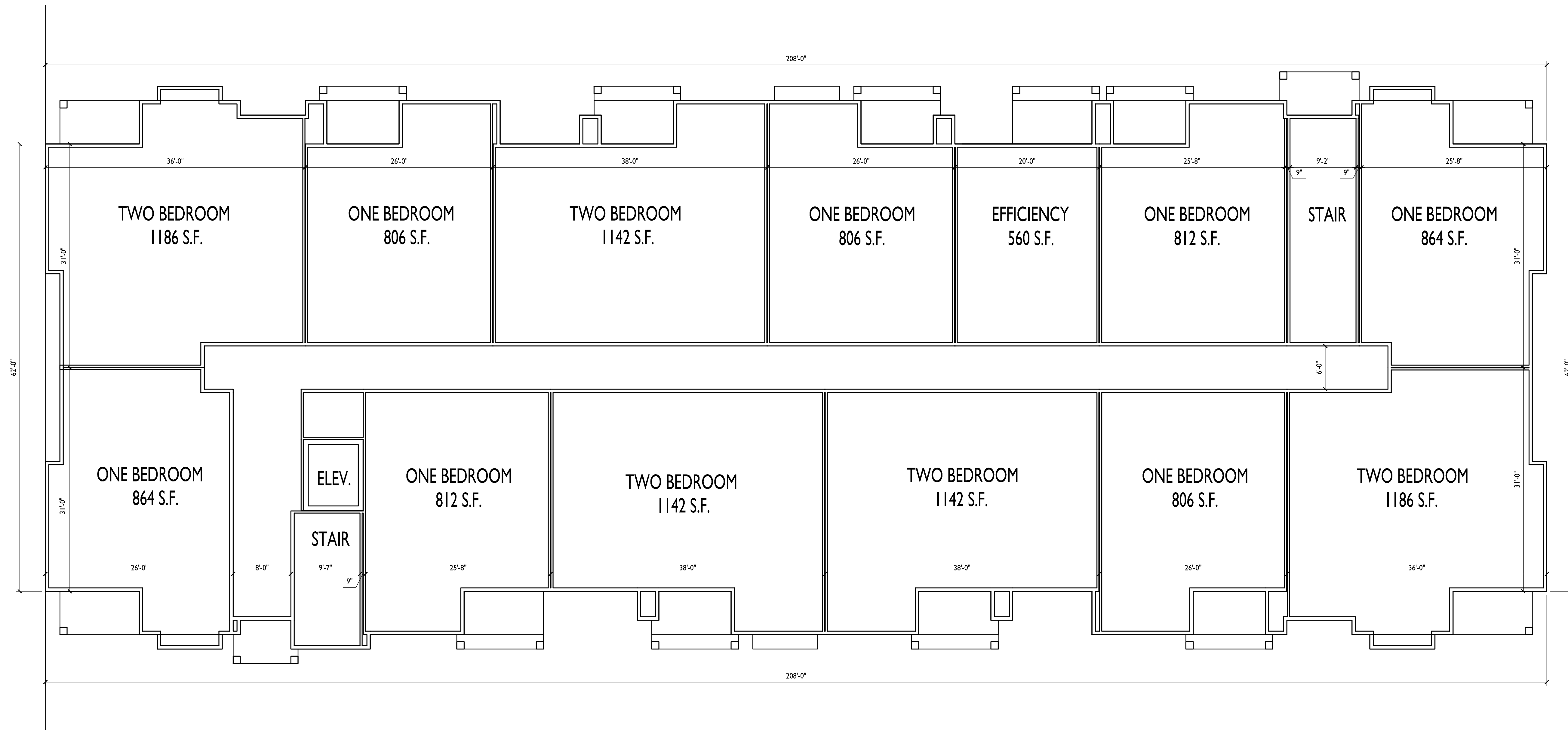
1 BASEMENT FLOOR PLAN
A-1.0 1/8" = 1'-0"





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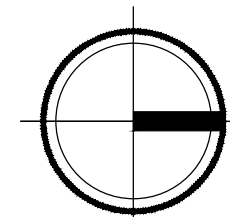


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PROJECT TITLE
**Village at Autumn
Lake**

Lot 520
5501 Spring Tide Way
SHEET TITLE
**First Floor Plan
Building 6**

FIRST FLOOR PLAN
A-1.1 1/8" = 1'-0"



SHEET NUMBER

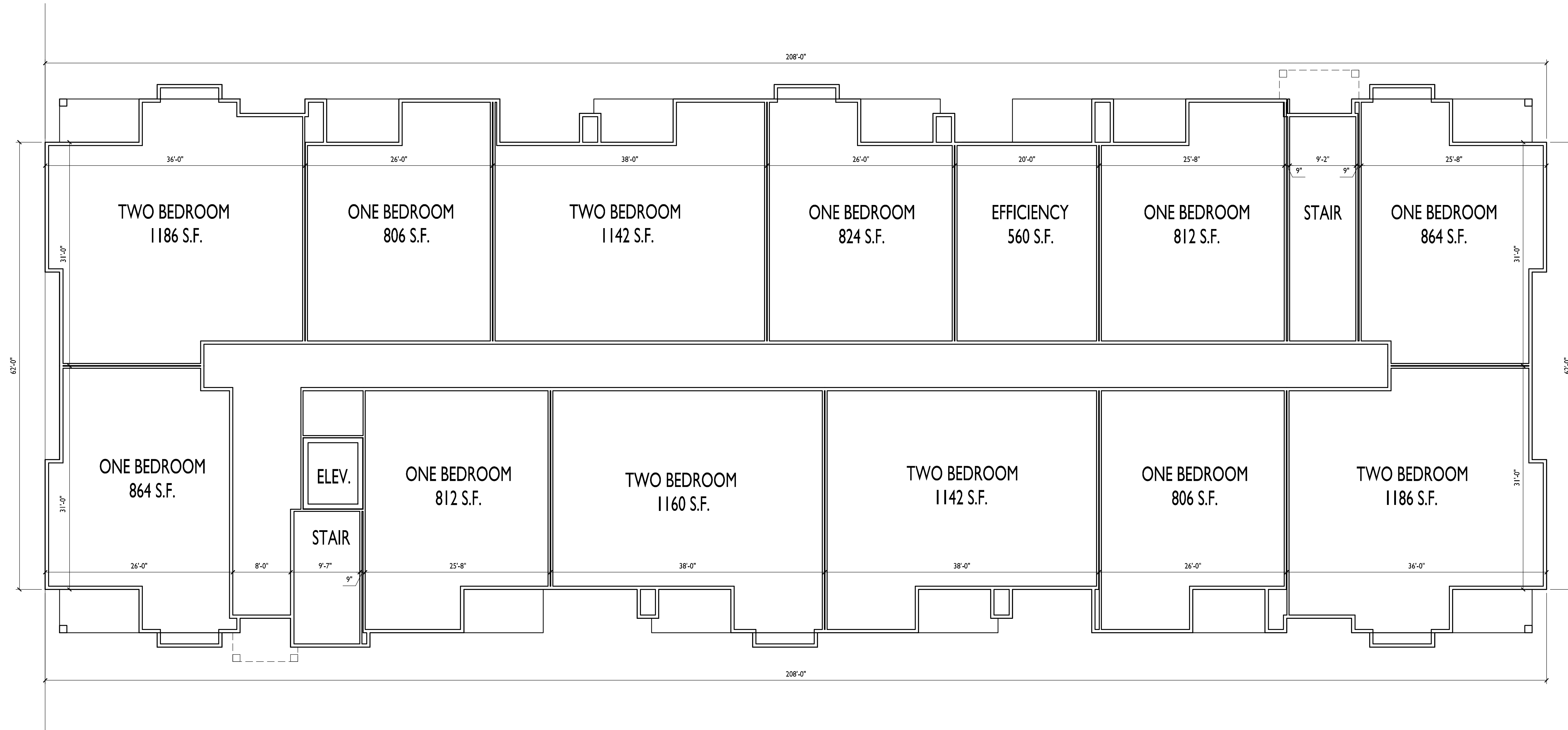
A-1.1

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Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562



ISSUED
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PROJECT TITLE
**Village at Autumn
Lake**

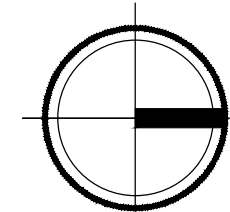
Lot 520
5501 Spring Tide Way
SHEET TITLE
**Second Floor Plan
Building 6**

SHEET NUMBER

A-1.2

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1 SECOND FLOOR PLAN
A-1.2 1/8" = 1'-0"



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PROJECT TITLE
**Village at Autumn
Lake**

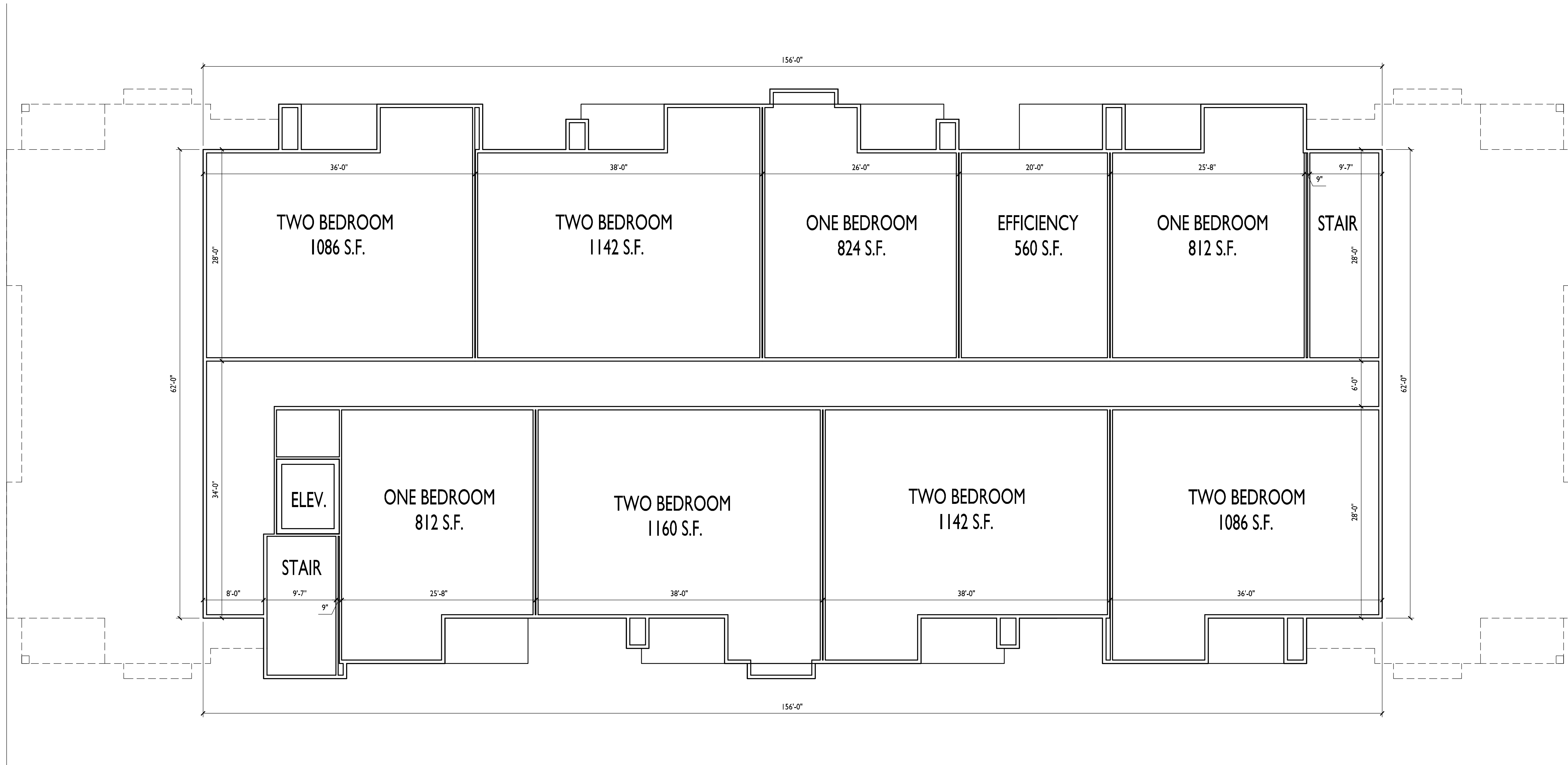
Lot 520
5501 Spring Tide Way
SHEET TITLE
**Third Floor Plan
Building 6**

SHEET NUMBER

A-1.3

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1 THIRD FLOOR PLAN
A-1.3 1/8" = 1'-0"



1 EAST ELEVATION
A-2.1 1/8"=1'-0"

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**2 WEST ELEVATION
(ALONG CITY VIEW DR.)**
A-2.1 1/8"=1'-0"

TYPICAL MATERIALS

- ASPHALT SHINGLES
- FASCIA
- VINYL WINDOWS
- HORIZONTAL SIDING
- TRIM
- SHAKES
- ALUMINUM RAILINGS
- CAST STONE SILLS & BANDS
- STONE VENEER

PROJECT TITLE
**Village at Autumn
Lake**

Lot 520
5501 Spring Tide Way
SHEET TITLE
**Exterior Elevations
Building 6**

SHEET NUMBER

A-2.1

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PROJECT TITLE
Village at Autumn
Lake

Lot 520
5501 Spring Tide Way
SHEET TITLE
Exterior Elevations
Building 6

SHEET NUMBER

A-2.2

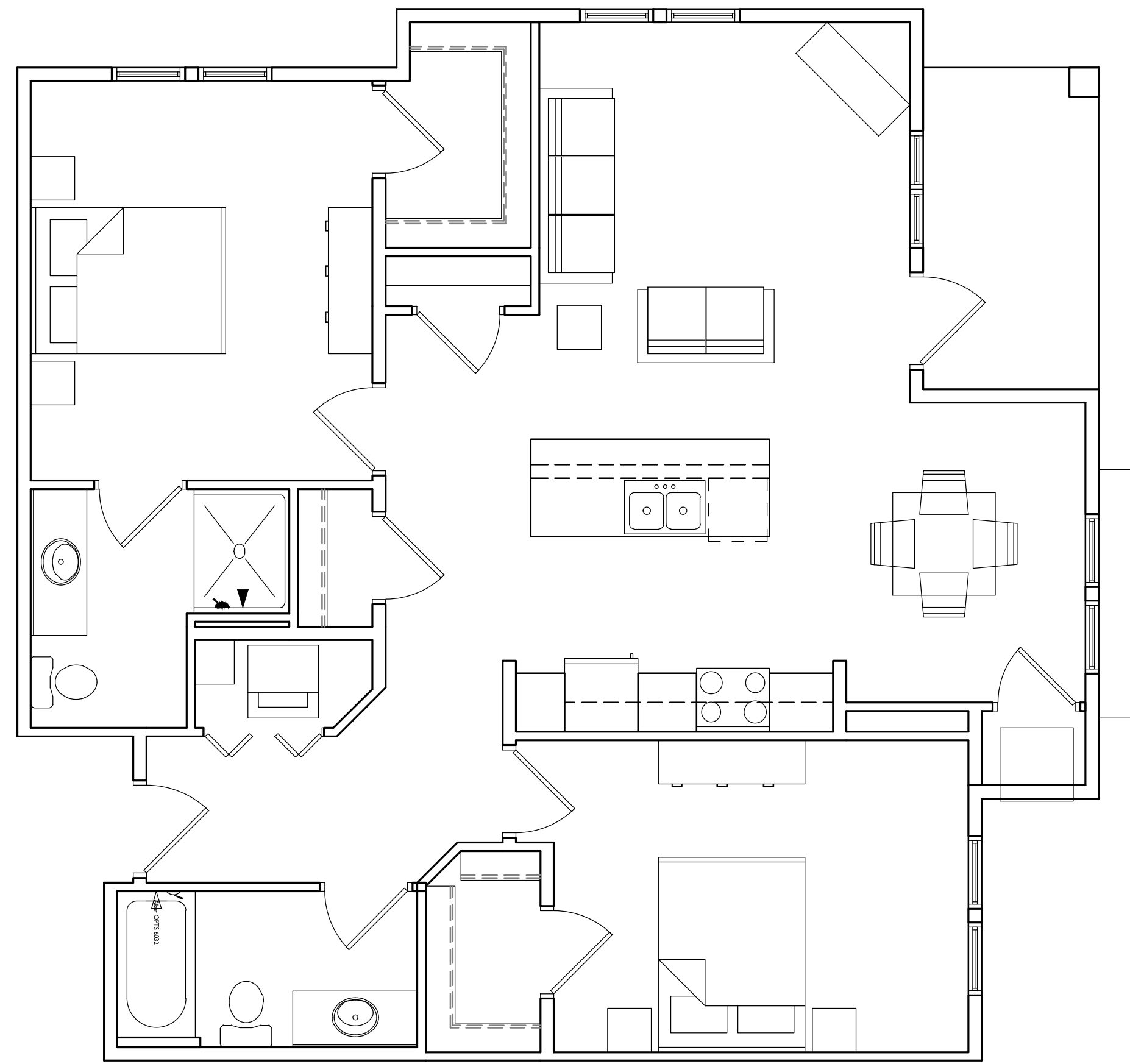
PROJECT NO. **1644**
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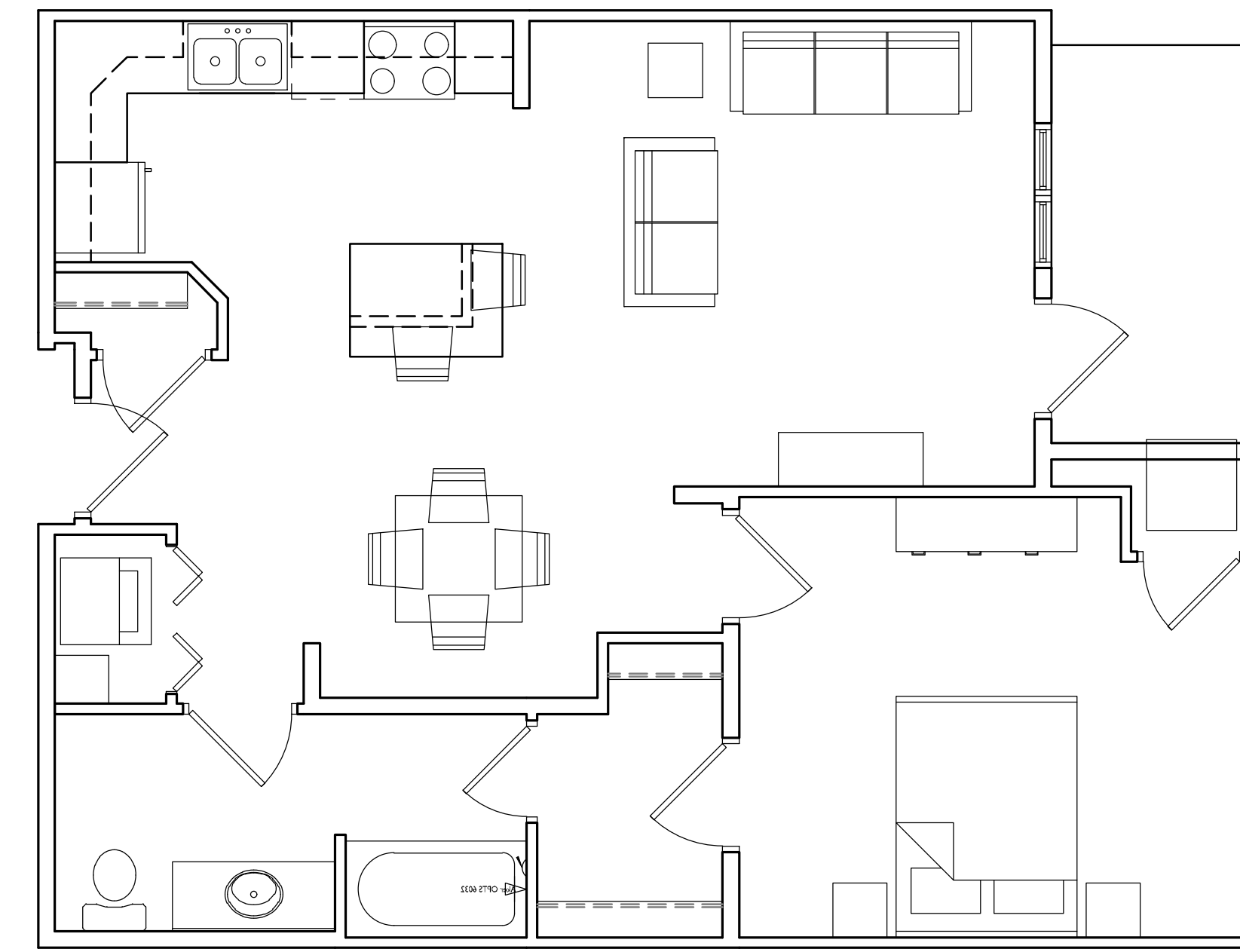
1 NORTH ELEVATION
A-2.2
1/8"=1'-0"



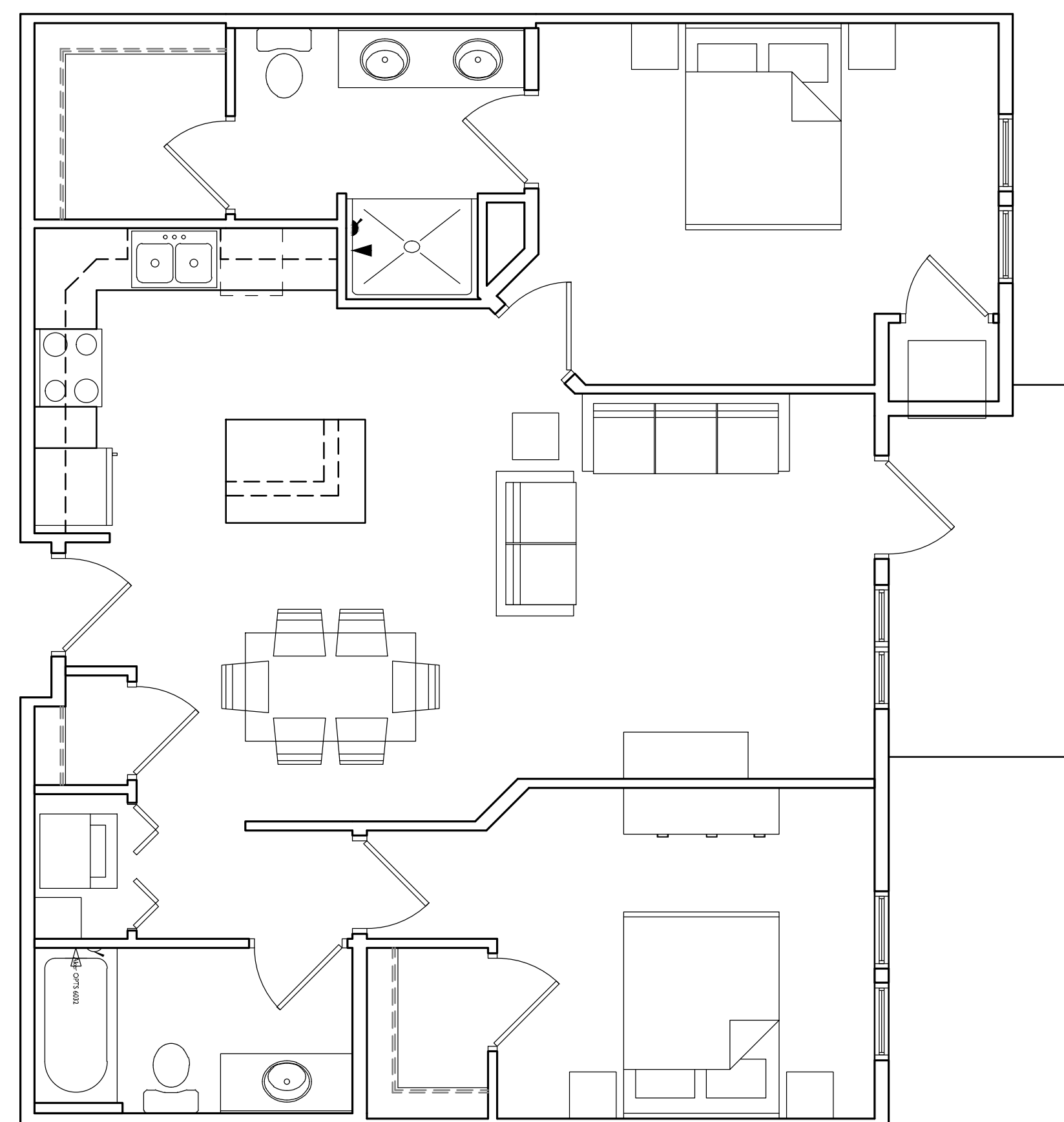
2 SOUTH ELEVATION
A-2.2
1/8"=1'-0"



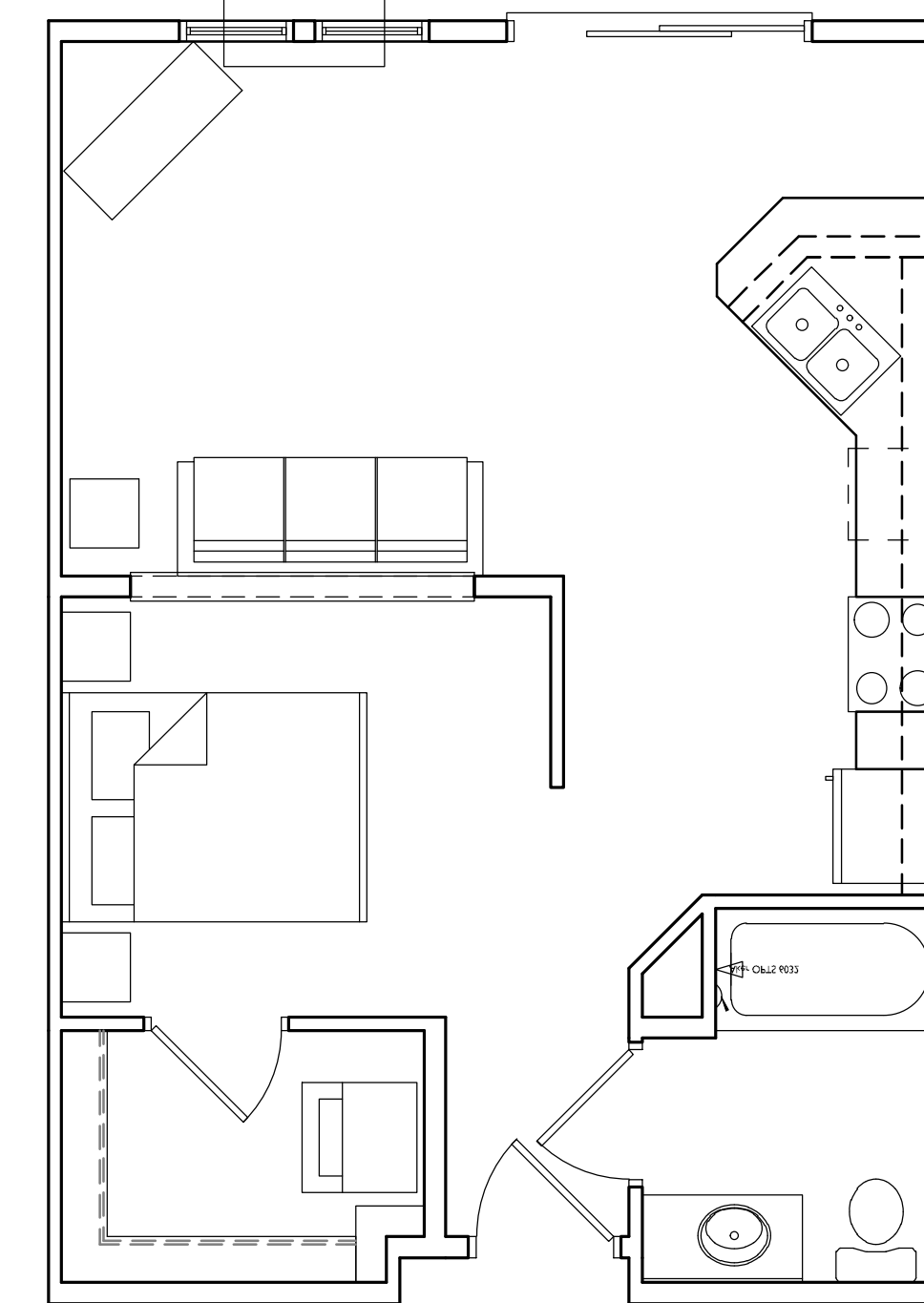
1 TYP. TWO BED 1156 S.F.
A-5.1 1/4" = 1'-0"



2 TYP. ONE BED 809 S.F.
A-5.1 1/4" = 1'-0"



3 TYP. TWO BED 1057 S.F.
A-5.1 1/4" = 1'-0"



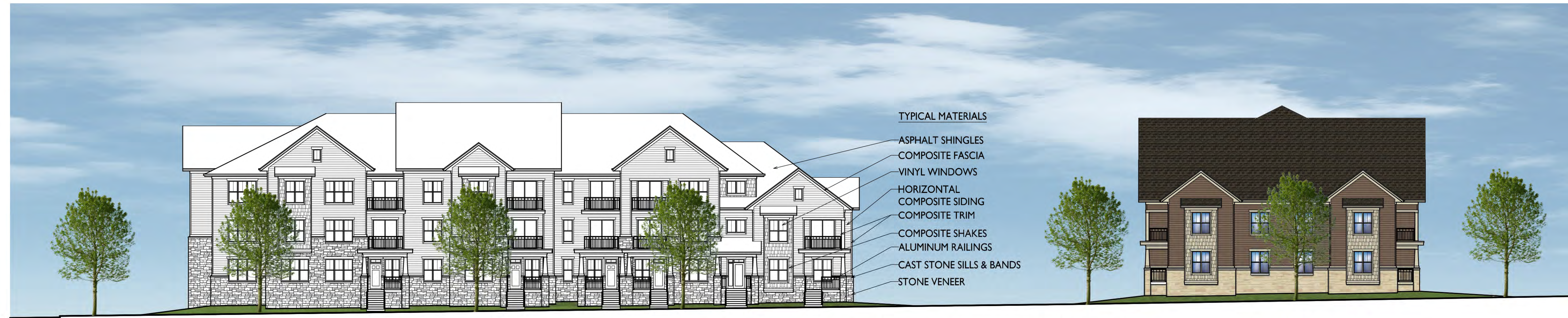
4 TYP. EFFICIENCY 560 S.F.
A-5.1 1/4" = 1'-0"



Building #3

Street Elevation along Willow Rock Road

Building #5



TYPICAL MATERIALS

- ASPHALT SHINGLES
- COMPOSITE FASCIA
- VINYL WINDOWS
- HORIZONTAL COMPOSITE SIDING
- COMPOSITE TRIM
- COMPOSITE SHAKES
- ALUMINUM RAILINGS
- CAST STONE SILLS & BANDS
- STONE VENEER

Building #5

Street Elevation along Spring Tide Way

Building #6

EXTERIOR MATERIAL SCHEDULE	
ROOF	GAF - WEATHERED WOOD
STONE MASONRY	MILL CREEK - CASTLE ROCK
STONE SILLS & BANDS	BUFF
HORIZONTAL SIDING	
BUILDING 3	COMPOSITE - IRON GRAY
BUILDING 4	COMPOSITE - RICH ESPRESSO
BUILDING 5	COMPOSITE - COUNTRYLANE RED
BUILDING 6	COMPOSITE - CHESTNUT BROWN
SHAKE SIDING	COMPOSITE - COBBLESTONE
FASCIA / SOFFIT / TRIM	COMPOSITE - COBBLESTONE
WINDOWS	WEATHER-SHIELD TAN
RAILING	ALUMINUM - BLACK
BUILDING ENTRANCES	ALUMINUM STOREFRONT -BLACK



Building #6

Street Elevation along City View Drive

Building #4

Elevations

Lot 520 Autumn Lake
5501 Spring Tide Way, Madison, WI
January 27, 2017