



# CITY OF MADISON ZONING BOARD OF APPEALS VARIANCE APPLICATION

**\$300 Filing Fee**

Ensure all information is **typed** or legibly **printed** using blue or black ink.

Address of Subject Property: 5201 Perfect Drive, Madison, WI 53704

Name of Owner: \_\_\_\_\_

Address of Owner (if different than above): \_\_\_\_\_

Daytime Phone: \_\_\_\_\_ Evening Phone: \_\_\_\_\_

Email Address: \_\_\_\_\_

Name of Applicant (Owner's Representative): William F. White

Address of Applicant: 33 East Main Street, Suite 300, P.O. Box 1379

Madison, WI 53701-1379

Daytime Phone: 608-234-6065 Evening Phone: 608-695-4946

Email Address: wfwhite930@gmail.com

Description of Requested Variance: Seeking to change the location of the driveway so as not to create a safety issue  
with the Cherokee Country Cub's driveway (commercial). No changes are anticipated for the setback of the garage or the  
entranceway to the home.

*(See reverse side for more instructions)*

### FOR OFFICE USE ONLY

Amount Paid: \$300  
Receipt: 093079-0001  
Filing Date: 2/16/19  
Received By: [Signature]  
Parcel Number: 0809-244-4801-5  
Zoning District: SR-C3  
Alder District: 18-Kemble

Hearing Date: 8/15/19  
Published Date: 8/8/19  
Appeal Number: LNOVAR-2619-00010  
GQ: \_\_\_\_\_  
Code Section(s): 28.031(3)

## Standards for Variance

**The Zoning Board of Appeals shall not grant a variance unless it finds that the applicant has shown the following standards are met:**

1. There are conditions unique to the property of the applicant that do not apply generally to other properties in the district.

Considering this is the corner lot of this subdivision, we want to keep it away from the commercial entrance to Cherokee Golf Course.

2. The variance is not contrary to the spirit, purpose, and intent of the regulations in the zoning district and is not contrary to the public interest.

This change will be a positive change to the public, (i.e. patrons of the Country Club; future neighbors).

3. For an area (setbacks, etc) variance, compliance with the strict letter of the ordinance would unreasonably prevent use of the property for a permitted purpose or would render compliance with the ordinance unnecessarily burdensome.

N/A

4. The alleged difficulty or hardship is created by the terms of the ordinance rather than by a person who has a present interest in the property.

Keeping the driveway location the same as it is now creates a safety issue. Moving the driveway to the other side of the garage will be safer.

5. The proposed variance shall not create substantial detriment to adjacent property.

Presently, there are no adjacent houses. Future, neighboring house would not be negatively affected by this change.

6. The proposed variance shall be compatible with the character of the immediate neighborhood.

Future homes in this subdivision will also have relatively small lots. It's important that each driveway is positioned in a safe manner for everyone.

## Application Requirements

**Please provide the following information: Incomplete applications could result in referral or denial by the Zoning Board of Appeals.** (Maximum size for all drawings is 11" x 17".)

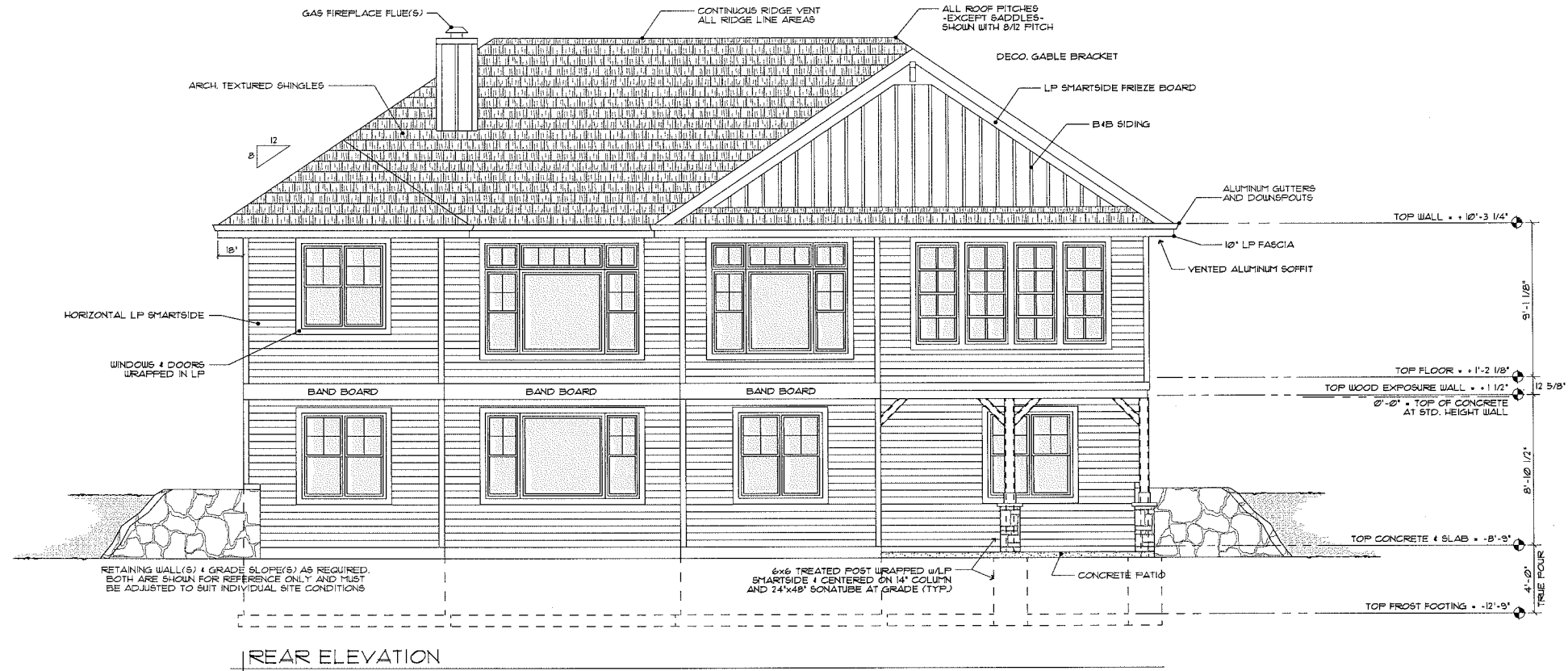
<input checked="" type="checkbox"/>	<b>Pre-application meeting with staff:</b> Prior to submittal of this application, the applicant has met to discuss the proposed project and submittal material with the Zoning Administrator. <span style="float: right; font-size: small;">Met with Trent Schultz 6/28/19, Matt Tucker 6/28/19</span>
<input checked="" type="checkbox"/>	<b>Site plan</b> , drawn to scale. A registered survey is recommended, but not required. Show the following: <ul style="list-style-type: none"> <li><input type="checkbox"/> Lot lines</li> <li><input type="checkbox"/> Existing and proposed structures, with dimensions and setback distances to all property lines</li> <li><input type="checkbox"/> Approximate location of structures on neighboring properties adjacent to variance</li> <li><input type="checkbox"/> Major landscape elements, fencing, retaining walls or other relevant site features</li> <li><input type="checkbox"/> Scale (1" = 20' or 1' = 30' preferred)</li> <li><input type="checkbox"/> North arrow</li> </ul>
<input type="checkbox"/>	<b>Elevations</b> from all relevant directions showing existing and proposed views, with notation showing the existing structure and proposed addition(s).
<input checked="" type="checkbox"/>	<b>Interior floor plan of existing and proposed structure</b> , when relevant to the variance request and required by Zoning Staff (Most additions and expansions will require floor plans).
<input type="checkbox"/>	<b>Front yard variance requests only.</b> Show the building location (front setback) of adjacent properties on each side of the subject property to determine front setback average.
<input checked="" type="checkbox"/>	<b>Lakefront setback variance requests only.</b> Provide a survey prepared by a registered land surveyor showing existing setbacks of buildings on adjacent lots, per MGO 28.138.
<input type="checkbox"/>	<b>Variance requests specifically involving slope, grade, or trees.</b> Approximate location and amount of slope, direction of drainage, location, species and size of trees.
<input checked="" type="checkbox"/>	<b>Digital</b> copies of all plans and drawings should be emailed to: zoning@cityofmadison.com
<input checked="" type="checkbox"/>	<b>CHECK HERE.</b> I understand that in order to process my variance application, City Staff will need access to my property so that they can take photographs and conduct a pre-hearing inspection of the property. I therefore give City Staff my permission to enter my property for the purpose of conducting a pre-hearing inspection and taking photographs.
<input checked="" type="checkbox"/>	<b>CHECK HERE.</b> I acknowledge any statements implied as fact require supporting evidence.
<input checked="" type="checkbox"/>	<b>CHECK HERE.</b> I have been given a copy of and have reviewed the standards that the Zoning Board of Appeals will use when reviewing applications for variances.

**Owner's Signature:** Dennis Tiziani **Date:** 7/11/2019

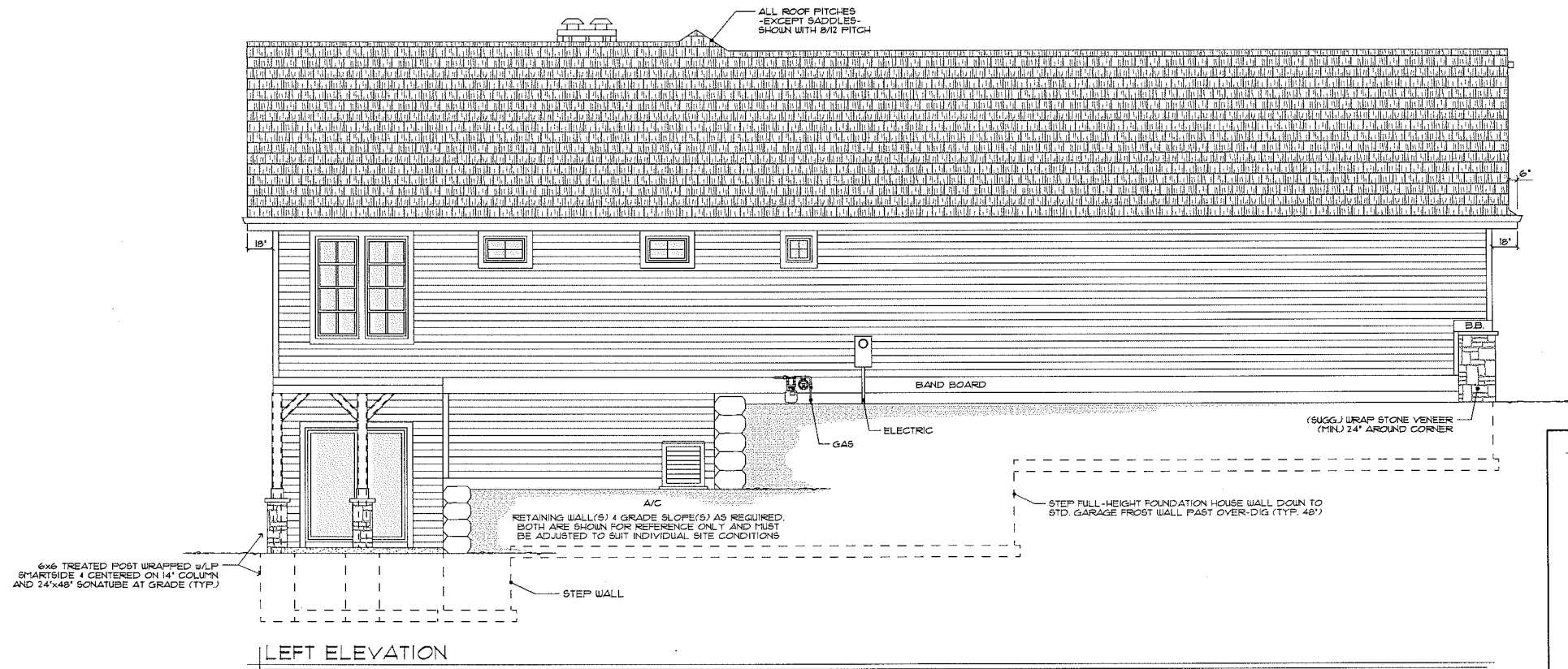
----- (For Office Use Only) -----

<b><u>DECISION</u></b>	
The Board, in accordance with its findings of fact, hereby determines that the requested variance for _____ <b>(is) (is not)</b> in compliance with all of the standards for a variance.	
Further findings of fact are stated in the minutes of this public hearing.	
The Zoning Board of Appeals: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> Conditionally Approved	
Zoning Board of Appeals Chair:	Date:





REAR ELEVATION



LEFT ELEVATION

- BASIC LIST OF CHANGES AFTER FINAL PLAN RELEASE:**
- MOVED OVERHEAD GARAGE DOOR FROM SIDE TO FRONT
  - MOVED 60x60 WINDOW IN GARAGE FROM FRONT TO SIDE
  - CHANGE SCREENED PORCH TO 3-SEASON ROOM
  - CHANGE LP SHAKE SIDING TO B&B
  - ADD FLOWER BOX BELOW BEDROOM 2 WINDOW IN FRONT
  - ADD (2) GOOSENECK LIGHTS TO FRONT
  - ADD DECO. GABLE BRACKET TO REAR GABLE
  - CHANGE OVERHEAD GARAGE DOOR STYLE
  - ADD 14" SQUARE STONE COLUMNS BELOW 3-SEASON POSTS
  - WIDEN FIREPLACE CHASE & ADD SECOND GAS FLUE
  - CHANGE 24x48 WINDOW TO 30x30 ALIING IN MAIN LEVEL BATH
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN MAIN LEVEL DINETTE
  - CHANGE 24x18 WINDOW TO 18x18 FIXED IN MASTER BATH
  - REMOVE GABLE WINDOW IN GARAGE
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN LOWER SUN ROOM
  - REMOVE 30x48 WINDOW FROM LOWER 'FUTURE' BEDROOM
  - WINDOW SIZES & TYPES LABELED PER PELLA LIST
  - PLANS & WALL LOCATIONS UPDATED PER CABINET PLANS
  - FLIP BAR CABINETS & FIREPLACE/CABINETS END-TO-END IN LOWER
  - ADDED WALL BY FRIDGE TO RECESS ARCH TO MUD ROOM
  - ADDED 60" WALL BRACING TO GARAGE/HOUSE SHARED WALL
  - MOVED PORTAL FRAME AT FRONT DOOR TO STAIR WINDOW
  - ADJUSTED WALL BRACING AS REQ'D DUE TO 3-SEASON & GARAGE

DB#2: PRELIM. PLANS / STARTER PLAN SET □ DB#3/4: EXT. ELEVATIONS & LOWER LEVEL □ DB#6: BID SET □ DB#7: FINAL CONSTRUCTION PLANS FOR BID, BUILD & PERMITS ■ REVISIONS TO FINAL PLAN SET w/CHANGES LISTED

DRAWINGS BY: **MSM DESIGN GROUP, LLC**  
www.msmdesigngroup.com  
msm@msmdesigngroup.com

THIS DOCUMENT CONTAINS CONFIDENTIAL OR PROPRIETARY INFORMATION OF MSM DESIGN (MSM). NEITHER THIS DOCUMENT NOR THE INFORMATION HEREIN IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MSM DESIGN. THE PURCHASER OF THIS PLAN IS TO HAVE BUILT OR CONTRACTOR VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE PLANS ARE TO BE TAKEN IN FULL CARE HAS BEEN TAKEN BY MSM TO MAKE PLANS ACCURATE. PLANS ARE FOR LOCATIONS AND REFERENCE ONLY. BUILDER OR CONTRACTOR RESPONSIBLE FOR ANY ENGINEERING AND REVISIONS TO PLAN. ALL ENGINEERING TO INCORPORATE ACTUAL SITE CONDITIONS.

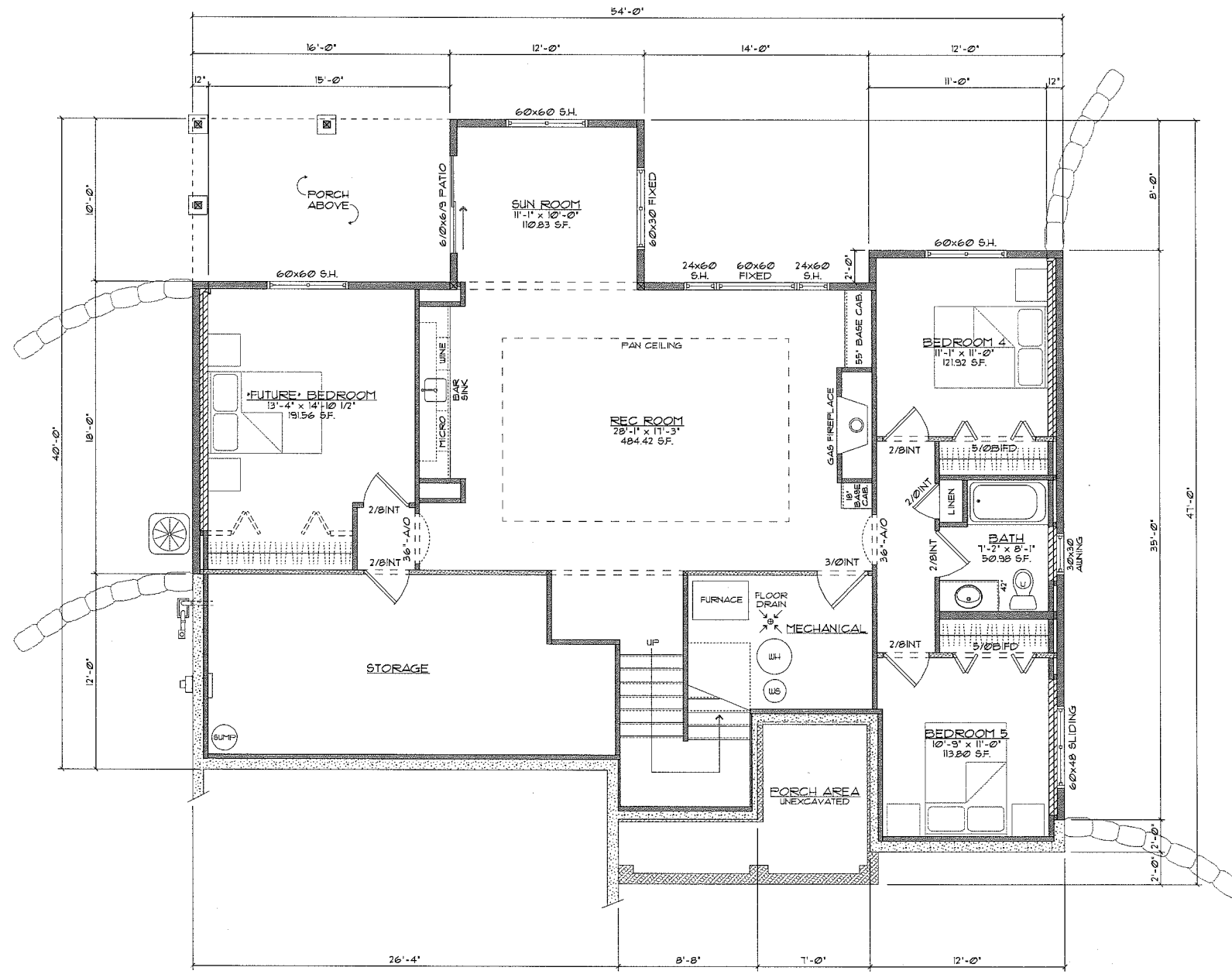
REVISIONS:
11-21-18
7-3-19

DATE: 11-14-18

JOB NAME: MARSH VIEW

SCALE: 1/4" = 1'-0"

SHEET: **E2**



LOWER LEVEL FLOOR PLAN 1,112 SQ. FT. FINISHED LIVING SPACE

\* DOES NOT INCLUDE STAIRS, STORAGE, 'FUTURE FINISH' OR MECHANICALS \*

- 'FUTURE' WOOD-FRAMED INTERIOR WALLS
- 1/2-WALLS & FIRRED 1/2-WALLS BY CONCRETE BELOW KNEE-WALLS FOR 1/2-EXPOSURE
- TYPICAL WOOD-FRAMED WALLS
- LOAD-BEARING INTERIOR WOOD-FRAMED WALLS OVER CONTINUOUS CONCRETE FOOTINGS
- CONCRETE (TYP.) DIFFERENT CONCRETE FILL STYLES DENOTES CHANGES IN T.O.W. HEIGHTS.

**GENERAL PLAN NOTES:**

- \* ALL DOORS & OPENINGS ALONG INTERIOR LOAD-BEARING WALLS REQUIRE HEADERS ENGINEERED PER CODE.
- \* BUILDER/CONTRACTORS RESPONSIBLE FOR ALL CONSTRUCTION CODES & CONDITIONS.
- \* DRAWING IS SHOWN FOR OWNER'S REFERENCE ONLY. ALL CARE HAS BEEN TAKEN BY MSM TO MAKE PLANS AS ACCURATE AS POSSIBLE.
- \* ALL DIMENSIONS TO BE FIELD VERIFIED BY BUILDER/CONTRACTORS BEFORE CONSTRUCTION.
- \* INTERIOR WALLS ON PLAN DIMENSIONED TO INSIDE STUD FACE - UNLESS NOTED.
- \* OUTSIDE OF EXTERIOR WALLS DIMENSIONED TO OUTSIDE STUD FACE OR CONCRETE - UNLESS NOTED.
- \* INTERIOR HEATED ROOM S.F. AMOUNTS & DIMENSIONS FIGURED TO INTERIOR OF ROOM WALLS.
- \* UNHEATED SPACES & OVERALL PLANS S.F. AMOUNTS & DIMENSIONS FIGURED TO EXTERIOR OF ROOM WALLS.
- \* TYPICAL WALL CHARACTERISTICS AS FOLLOWS:
  - CONCRETE WALL HEIGHT FIGURED AS TRUE 9'-0"
  - WINDOW HEADER HEIGHT FIGURED W/ KNEE-WALL WINDOWS INSTALLED ATOP 2x SILL PLATE ABOVE TRUE 4'-0" FOUNDATION FROST WALL.
  - INTERIOR WALLS FIGURED USING 2x4 STUDS w/ 1/2" DRYWALL EA. SIDE (4 1/2" FINISH UNLESS NOTED).
  - ALL EXTERIOR WOOD WALLS FULLY SHEATHED.
  - EXTERIOR WOOD WALLS FIGURED USING 2x6 STUDS w/ 1/2" DRYWALL IN & 7/16" SHEATHING OUT.
  - UNLESS ENGINEERED TALL WALL OR AS NOTED.
  - 2x6 WALLS SHOWN AS TYPICAL BEHIND TOILETS, WASHERS, MISC. PLUMBING & FOR POCKET DOORS.
  - 1x1 STUDS TYPICAL FOR CABINET, C.TOP, SHELVING, BUILT-INS, MANTLES & TILE WALL (etc.) AREAS.
  - ANY ADDITIONAL PLUMB WALLS, SHIMMED WALLS, AND/OR CUSTOM WALLS AS NOTED OR T.B.D.
  - 11 7/8" T.I.L. FLOOR JOISTS AT 16" O.C. TYPICAL.
  - SUPPLIER TO CONFIRM ALL SIZES/SPANS.
  - \* TYPICAL INTERIOR DOOR RETURNS = 4 1/2" UNLESS SPACE REQUIREMENTS DO NOT ALLOW.
  - \* TYPICAL HALL WIDTH = 3'-7"
  - \* TYPICAL HALL WIDTH WITH 30 DOORS = 3'-11"
  - \* FOUNDATION WALL BETWEEN HOUSE & FRONT STOOP 2" THICKER OR SHIFTED 2" FOR SLAB SUPPORT.
  - \* TREATED 2x LEDGE BELOW ALL CULT. STONE AREAS.

- BASIC LIST OF CHANGES AFTER FINAL PLAN RELEASE:**
- MOVED OVER-HEAD GARAGE DOOR FROM SIDE TO FRONT
  - MOVED 60x60 WINDOW IN GARAGE FROM FRONT TO SIDE
  - CHANGE SCREENED FRONT TO 3-SEASON ROOM
  - CHANGE LP SHAKE SIDING TO B4B
  - ADD FLOWER BOX BELOW BEDROOM 2 WINDOW IN FRONT
  - ADD (2) GOOSENECK LIGHTS TO FRONT
  - ADD DECO. GABLE BRACKET TO REAR GABLE
  - CHANGE OVER-HEAD GARAGE DOOR STYLE
  - ADD 14" SQUARE STONE COLUMNS BELOW 3-SEASON POSTS
  - WIDEN FIREPLACE CHASE & ADD SECOND GAS FLUE
  - CHANGE 24x48 WINDOW TO 30x30 AUNING IN MAIN LEVEL BATH
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN MAIN LEVEL DINETTE
  - CHANGE 24x18 WINDOW TO 18x18 FIXED IN MASTER BATH
  - REMOVE GABLE WINDOW IN GARAGE
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN LOWER SUN ROOM
  - REMOVE 30x48 WINDOW FROM LOWER 'FUTURE' BEDROOM
  - WINDOW SIZES & TYPES LABELED PER FELLA LIST
  - PLANS & WALL LOCATIONS UPDATED PER CABINET PLANS
  - FLIP BAR CABINETS & FIREPLACE/CABINETS END-TO-END IN LOWER
  - ADDED WALL BY FRIDGE TO RECESS ARCH TO MID ROOM
  - ADDED 60" WALL BRACING TO GARAGE/HOUSE SHARED WALL
  - MOVED PORTAL FRAME AT FRONT DOOR TO STAIR WINDOW
  - ADJUSTED WALL BRACING AS REQ'D DUE TO 3-SEASON & GARAGE

DB#2: PRELIM. PLANS / STARTER PLAN SET    DB#3/4: EXT. ELV'S & LOWER LEVEL    DB#6: BID SET    DB#7: FINAL CONSTRUCTION PLANS FOR BID, BUILD & PERMITS    REVISIONS TO FINAL PLAN SET w/CHANGES LISTED

THIS DOCUMENT CONTAINS CONFIDENTIAL OR PROPRIETARY INFORMATION OF MSM DESIGN (MSM). IT IS NOT TO BE REPRODUCED, COPIED, Duplicated, OR DISCLOSED EITHER IN WHOLE OR IN PART EXCEPT AS AUTHORIZED BY MSM. MSM ASSUMES NO LIABILITY FOR HOME CONSTRUCTION FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO HAVE BUILDER OR CONTRACTOR VERIFY ALL DIMENSIONS TO WITH ALL LOCAL CODES AND CONDITIONS. ALL CARE HAS BEEN TAKEN BY MSM TO MAKE PLANS ACCURATE. PLANS ARE FOR LOCATIONS AND REFERENCE ONLY. BUILDER OR CONTRACTOR RESPONSIBLE FOR ANY ENGINEERING AND REVISIONS TO PLAN. ALL ENGINEERING TO INCORPORATE ACTUAL SITE CONDITIONS.

DRAWINGS BY: **MSM DESIGN GROUP, LLC**  
 www.msmdesigngroup.com  
 man@msmdesigngroup.com

**SWH**  
 Silver Wood Homes

CUSTOM DESIGN AT 5201 PERFECT DRIVE FOR:

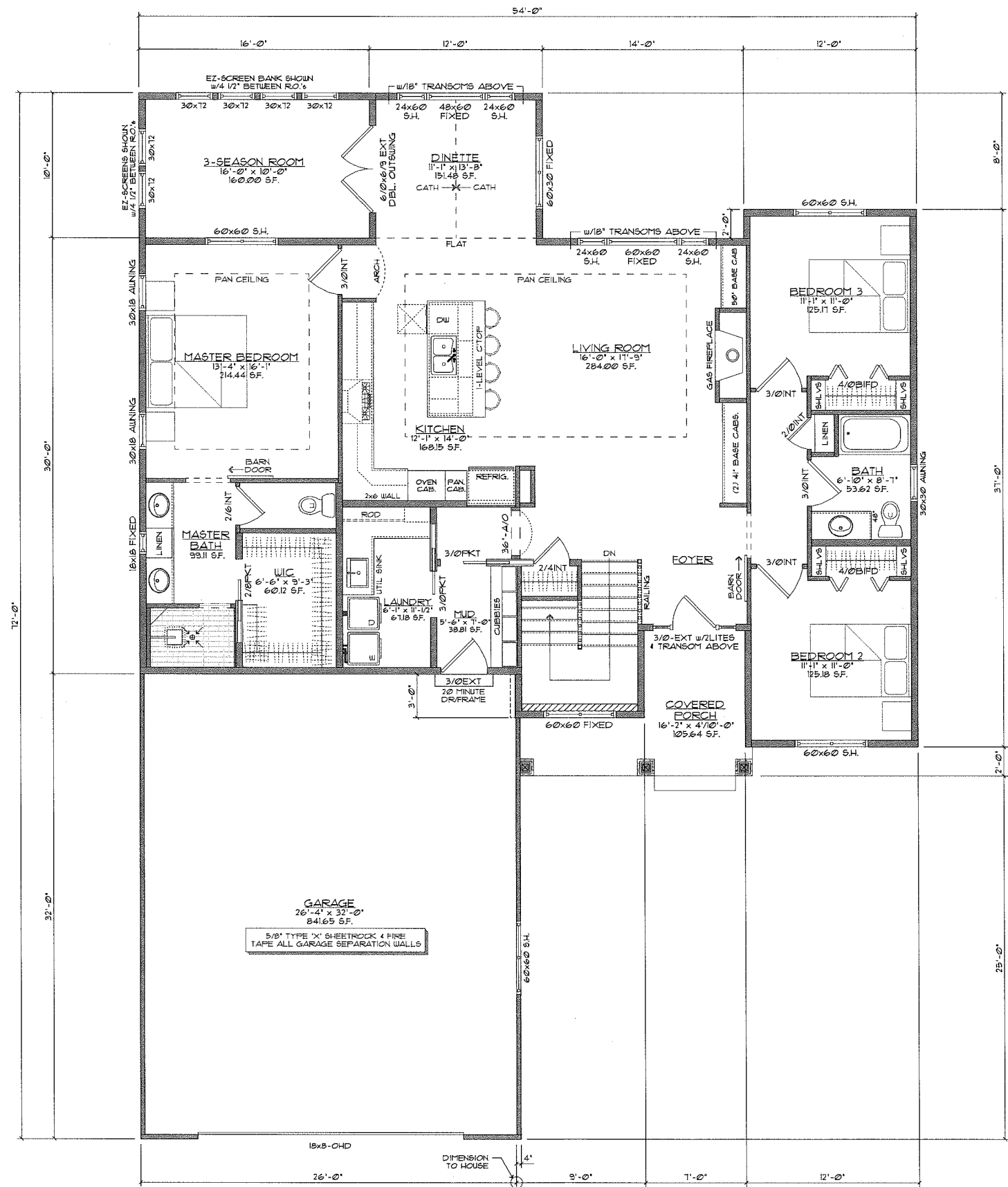
REVISIONS:	
11-21-18	
7-1-19	

DATE: 11-13-18

JOB NAME: MARSH VIEW

SCALE: 1/4" = 1'-0"

SHEET: **A1**



**MAIN LEVEL FLOOR PLAN**  
1,828 SQ. FT. HEATED LIVING SPACE

**GENERAL PLAN NOTES:**

- \* BUILDER/CONTRACTOR RESPONSIBLE FOR ALL CONSTRUCTION CODES & CONDITIONS.
- \* DRAWING IS SHOWN FOR OWNER'S REFERENCE ONLY. ALL CARE HAS BEEN TAKEN BY MSM TO MAKE PLANS AS ACCURATE AS POSSIBLE.
- \* ALL DIMENSIONS TO BE FIELD VERIFIED BY BUILDER/CONTRACTORS BEFORE CONSTRUCTION.
- \* INTERIOR WALLS ON PLAN DIMENSIONED TO INSIDE STUD FACE - UNLESS NOTED.
- \* OUTSIDE OF EXTERIOR WALLS DIMENSIONED TO OUTSIDE STUD FACE - UNLESS NOTED.
- \* INTERIOR HEATED ROOM S.F. AMOUNTS & DIMENSIONS FIGURED TO INTERIOR OF ROOM WALLS.
- \* UNHEATED SPACES & OVERALL PLAN S.F. AMOUNTS & DIMENSIONS FIGURED TO EXTERIOR OF ROOM WALLS.
- \* TYPICAL WALL CHARACTERISTICS AS FOLLOWS:  
- WALL HEIGHT FIGURED AS 9'-1 1/8"  
- WINDOW HEADER HT. AT 95 3/8" - UNLESS NOTED.  
- INTERIOR WALLS FIGURED USING 2x4 STUDS w/1/2" DRYWALL EA. SIDE (4 1/2" FINISH) UNLESS NOTED.  
- ALL EXTERIOR WALLS FULLY SHEATHED.  
- EXTERIOR HOUSE WALLS FIGURED USING 2x6 STUDS w/1/2" DRYWALL IN & 7/16" SHEATHING OUT.  
- UNLESS ENGINEERED TALL WALL OR AS NOTED.  
- EXTERIOR GARAGE WALLS FIGURED USING 2x4 STUDS & WALLS BORDERING HOME FIGURED w/5/8" TYPE 'X' DRYWALL FOR FIRE SEPARATION.  
- 2x6 WALLS SHOWN AS TYPICAL BEHIND TOILETS, WASHERS, MISC. PLUMBING & FOR POCKET DOORS.  
- LSI STUDS TYPICAL FOR CABINET, C.TOP, SHELVEING, BUILT-INS, MANTLES & TILE WALL (etc.) AREAS.  
- ANY ADDITIONAL PLUMB WALLS, SHIMMED WALLS, AND/OR CUSTOM WALLS AS NOTED OR T.B.D.  
- 11 7/8" T.I.J. FLOOR JOISTS AT 16" O.C. TYPICAL. SUPPLIER TO CONFIRM ALL SIZES/SPANS.  
\* TYPICAL INTERIOR DOOR RETURNS = 4 1/2" UNLESS SPACE REQUIREMENTS DO NOT ALLOW.  
\* TYPICAL HALL WIDTH = 3'-7"  
\* TYPICAL HALL WIDTH WITH 3/0 DOORS = 3'-11"  
\* FOUNDATION WALL BETWEEN HOUSE & FRONT STOOP 2" THICKER OR SHIFTED 2" FOR SLAB SUPPORT.  
\* TREATED 2x LEDGE BELOW ALL CUILT STONE AREAS.  
\* HOLD BACK GARAGE SLAB 4" AT ANY OVERHEAD DOOR CUT-OUTS TO CREATE 4" SUPPORT LEDGE FOR APPROACH SLAB TO AVOID CONC. SINK & PIN SHEAR AFTER TIME.

- BASIC LIST OF CHANGES AFTER FINAL PLAN RELEASE:**
- MOVED OVERHEAD GARAGE DOOR FROM SIDE TO FRONT
  - MOVED 60x60 WINDOW IN GARAGE FROM FRONT TO SIDE
  - CHANGE SCREENED PORCH TO 3-SEASON ROOM
  - CHANGE LP SHAKE SIDING TO B4B
  - ADD FLOWER BOX BELOW BEDROOM 2 WINDOW IN FRONT
  - ADD (2) GOOSENECK LIGHTS TO FRONT
  - ADD DECO GABLE BRACKET TO REAR GABLE
  - CHANGE OVERHEAD GARAGE DOOR STYLE
  - ADD 14" SQUARE STONE COLUMNS BELOW 3-SEASON POSTS
  - WIDEN FIREPLACE CHIMNEY & ADD SECOND GAS FLUE
  - CHANGE 24x48 WINDOW TO 30x30 ALIING IN MAIN LEVEL BATH
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN MAIN LEVEL DINETTE
  - CHANGE 24x18 WINDOW TO 18x18 FIXED IN MASTER BATH
  - REMOVE GABLE WINDOW IN GARAGE
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN LOWER SUN ROOM
  - REMOVE 30x48 WINDOW FROM LOWER 'FUTURE' BEDROOM
  - WINDOW SIZES & TYPES LABELED PER FELLA LIST
  - FLOORS & WALL LOCATIONS UPDATED PER CABINET PLANS
  - FLIP BAR CABINETS & FIREPLACE/CABINETS END-TO-END IN LOWER
  - ADDED WALL BY FRIDGE TO RECESS ARCH TO MUD ROOM
  - ADDED 60" WALL BRACING TO GARAGE/HOUSE SHARED WALL
  - MOVED PORTAL FRAME AT FRONT DOOR TO STAIR WINDOW
  - ADJUSTED WALL BRACING AS REQ'D DUE TO 3-SEASON & GARAGE

DB#2: PRELIM. PLANS / STARTER PLAN SET □ DB#3/4: EXT. ELEVS & LOWER LEVEL □ DB#6: BID SET □ DB#7: FINAL CONSTRUCTION PLANS FOR BID, BUILD & PERMITS ■ REVISIONS TO FINAL PLAN SET w/CHANGES LISTED

**SWH** Silver Wood Homes

MSM DESIGN GROUP, LLC  
www.msmdesigngroup.com  
msmdesigngroup@tiscali.net

DRAWINGS BY:

THIS DOCUMENT CONTAINS CONFIDENTIAL OR PROPRIETARY INFORMATION OF MSM DESIGN (MSM). IT IS THE PROPERTY OF MSM DESIGN AND IS NOT TO BE REPRODUCED, COPIED, DISTRIBUTED, USED, OR DISCLOSED EITHER IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF MSM DESIGN. THE PURCHASER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE, AND FEDERAL AGENCIES. ALL CARE HAS BEEN TAKEN BY MSM TO MAKE PLANS AS ACCURATE AS POSSIBLE. BUILDER OR CONTRACTOR RESPONSIBLE FOR ANY ENGINEERING AND REVISIONS TO PLAN. ALL ENGINEERING TO INCORPORATE ACTUAL SITE CONDITIONS.

REVISIONS:
7-3-19

DATE: 11-12-18

JOB NAME: MARSH VIEW

SCALE: 1/4" = 1'-0"

SHEET: A2

(OPT.) EMBED METAL CLIPS INTO CONCRETE & EXPOSE AT TOP OF WALL AND INSIDE SILL PLATE AT VARIOUS SPOTS AROUND FOUNDATION PERIMETER TO BE USED AS LOCKING POINTS FOR CONTRACTOR'S TOOL SECURITY

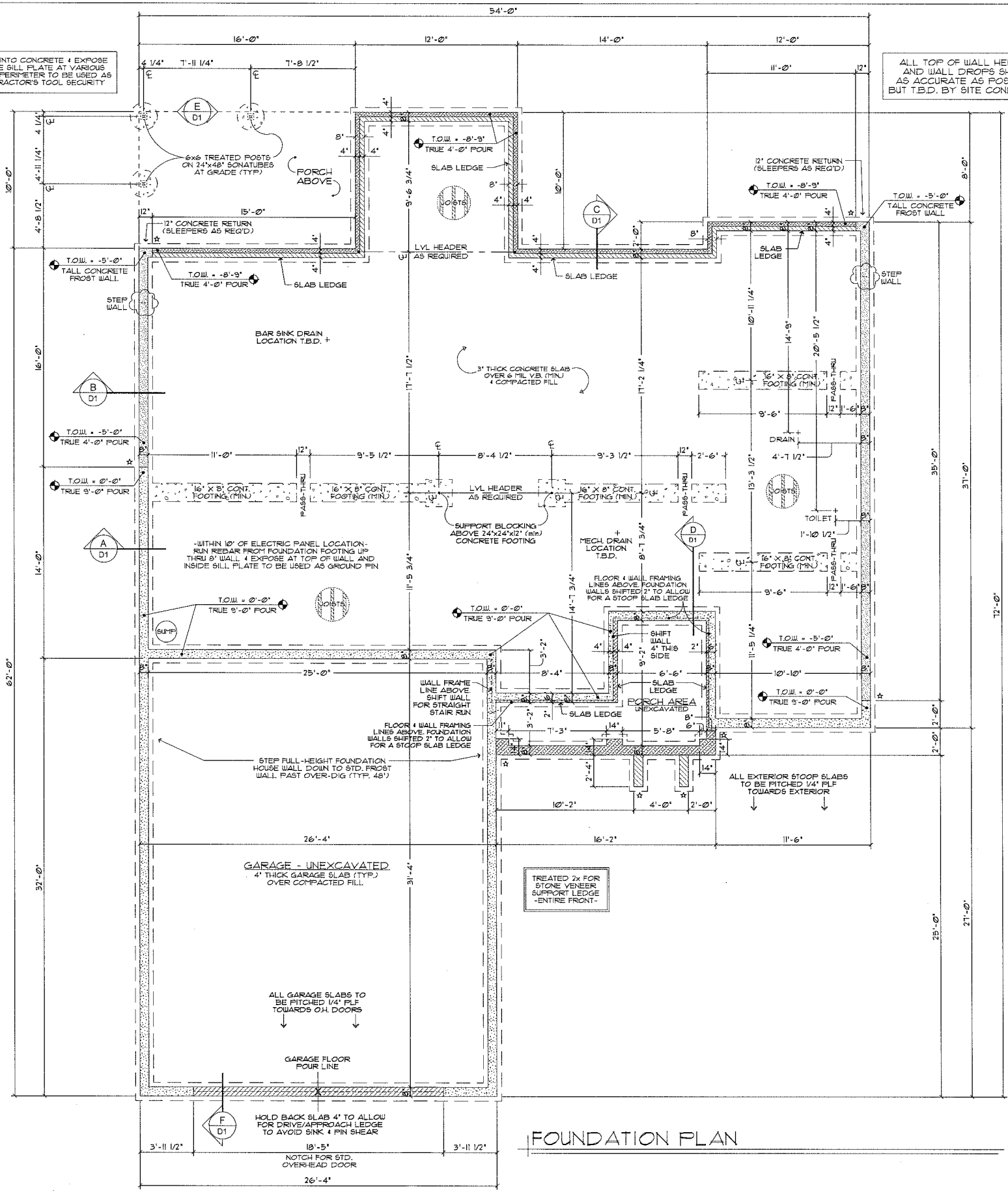
ALL TOP OF WALL HEIGHTS AND WALL DROPS SHOWN AS ACCURATE AS POSSIBLE BUT T.B.D. BY SITE CONDITIONS

- BASIC LIST OF CHANGES AFTER FINAL PLAN RELEASE:**
- MOVED OVERHEAD GARAGE DOOR FROM SIDE TO FRONT
  - MOVED 60x60 WINDOW IN GARAGE FROM FRONT TO SIDE
  - CHANGE SCREENED PORCH TO 3-SEASON ROOM
  - CHANGE LP SHAKE SIDING TO B4B
  - ADD FLOWER BOX BELOW BEDROOM 2 WINDOW IN FRONT
  - ADD (2) GOOSENECK LIGHTS TO FRONT
  - ADD DECO GABLE BRACKET TO REAR GABLE
  - CHANGE OVERHEAD GARAGE DOOR STYLE
  - ADD 14" SQUARE STONE COLUMNS BELOW 3-SEASON POSTS
  - WIDEN FIREPLACE CHASE & ADD SECOND GAS FLUE
  - CHANGE 24x48 WINDOW TO 30x30 ALIEN IN MAIN LEVEL BATH
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN MAIN LEVEL DINETTE
  - CHANGE 24x18 WINDOW TO 18x18 FIXED IN MASTER BATH
  - REMOVE GABLE WINDOW IN GARAGE
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN LOWER SUN ROOM
  - REMOVE 30x48 WINDOW FROM LOWER FUTURE BEDROOM
  - WINDOW SIZES & TYPES LABELED PER FELLA LIST
  - PLANS & WALL LOCATIONS UPDATED PER CABINET PLANS
  - FLIP BAR CABINETS & FIREPLACE/CABINETS END-TO-END IN LOWER
  - ADDED WALL BY FRIDGE TO RECESS ARCH TO MID ROOM
  - ADDED 60" WALL BRACING TO GARAGE/HOUSE SHARED WALL
  - MOVED PORTAL FRAME AT FRONT DOOR TO STAIR WINDOW
  - ADJUSTED WALL BRACING AS REQ'D DUE TO 3-SEASON & GARAGE

- CONCRETE (TYP.) DIFFERENT CONCRETE FILL STYLES DENOTES CHANGES IN T.O.W. HEIGHTS.
- ★ CONCRETE T.O.W. HEIGHT BREAKS (NOT LEDGES)
- 11 1/8" T.J.I.'S AT 16" O.C. (ABOVE) w/BRIDGING AND BLOCKING AS REQUIRED.

**GENERAL FOUNDATION NOTES:**

\* EXTERIOR CONCRETE DIMENSIONS ASSUMED TO WOOD CONSTRUCTION ABOVE AND DO NOT INCLUDE STRUCTURAL RIGID SHEATHING ON HOUSE.  
 ANY ADDITION OF EXTERIOR INSULATION IS TO BE ADJUSTED FOR BY BUILDERS & CONTRACTORS.  
 \* FOUNDATION IS TO BE CONSTRUCTED TO MEET REQUIREMENTS OF LATEST CODES & CONDITIONS AND HAS BEEN DESIGNED USING STANDARD BUILDING PRACTICES. ALL INTERIOR WALL LAYOUTS, POST/RAD SIZES & LOCATIONS, AND SUPPORT BEAMS & FOOTING LAYOUTS ARE SUGGESTED ONLY AND MAY VARY DUE TO FLOOR FRAMING & FINAL MATERIAL SPEC'S. BUILDERS & CONTRACTORS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND LOADS PRIOR TO ANY CONSTRUCTION.  
 \* ALL TOP OF WALL HEIGHTS & WALL DROPS SHOWN AS ACCURATE AS POSSIBLE BUT T.B.D. BY ACTUAL JOB SITE CONDITIONS & ADJUSTED AS REQUIRED.



FOUNDATION PLAN

DB#7: PRELIM. PLANS / STARTER PLAN SET □ DB#6: BID SET □ DB#7: FINAL CONSTRUCTION PLANS FOR BID, BUILD & PERMITS ■ REVISIONS TO FINAL PLAN SET w/CHANGES LISTED

DRAWINGS BY: **MSM DESIGN GROUP**  
 www.msmdesigngroup.com  
 msmdesigngroup@msm.com

CUSTOM DESIGN AT 5201 PERFECT DRIVE FOR: **SWH Silver Wood Homes**

REVISIONS:
11-21-18
7-3-19

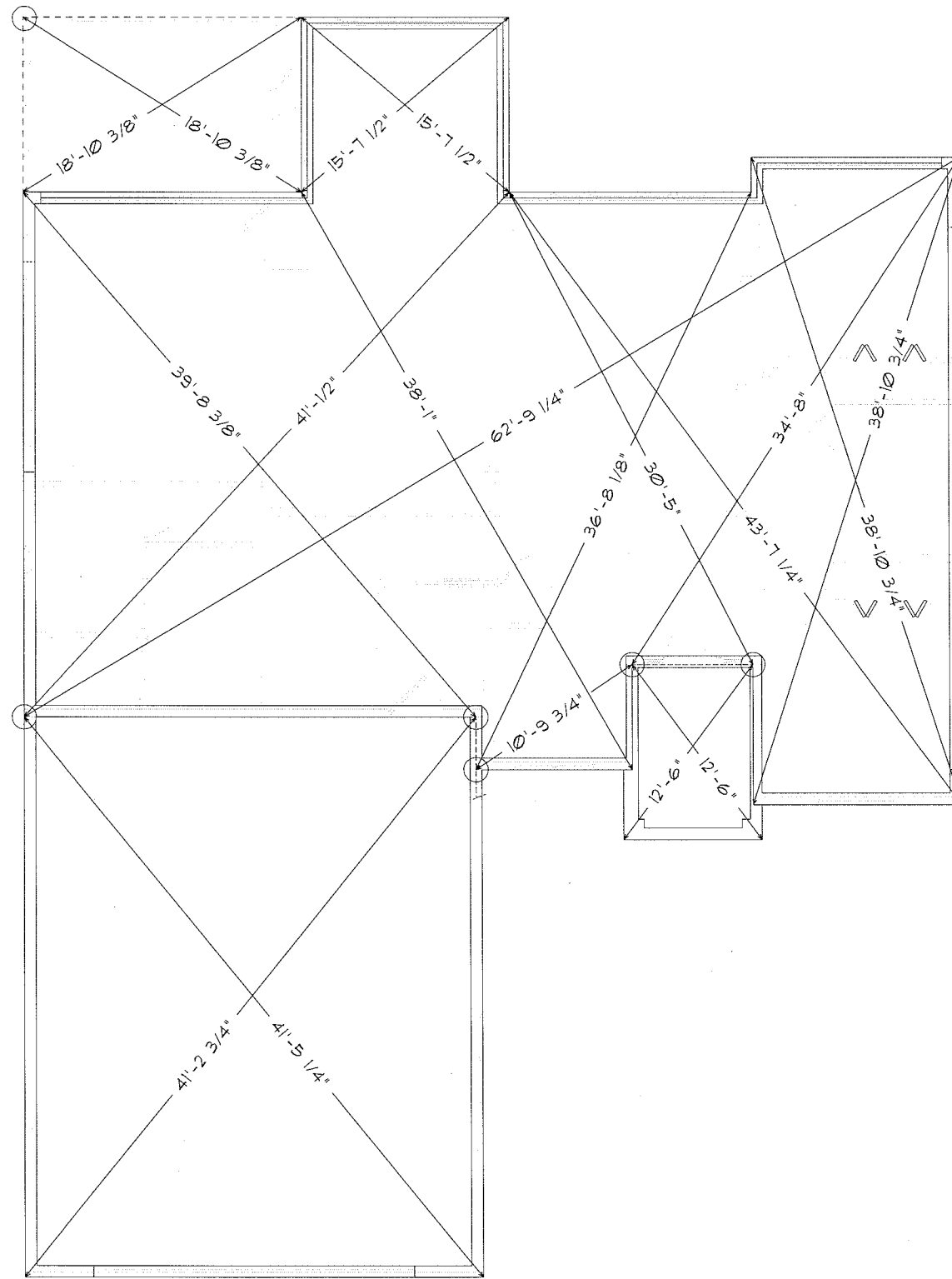
DATE: 11-13-18

JOB NAME: MARSH VIEW

SCALE: 1/4" = 1'-0"

SHEET: **F1**





**FOUNDATION & FRAMING VERIFICATION**

TYPICAL MEASUREMENTS GIVEN TO BOTH WOOD & CONCRETE BELOW

○ = TO WOOD FRAMING

- BASIC LIST OF CHANGES AFTER FINAL PLAN RELEASE:**
- MOVED OVERHEAD GARAGE DOOR FROM SIDE TO FRONT
  - MOVED 60x60 WINDOW IN GARAGE FROM FRONT TO SIDE
  - CHANGE SCREENED PORCH TO 3-SEASON ROOM
  - CHANGE LP SHAKE SIDING TO B4B
  - ADD FLOWER BOX BELOW BEDROOM 2 WINDOW IN FRONT
  - ADD 72 GOOSENECK LIGHTS TO FRONT
  - ADD DECO GABLE BRACKET TO REAR GABLE
  - CHANGE OVERHEAD GARAGE DOOR STYLE
  - ADD 14" SQUARE STONE COLUMNS BELOW 3-SEASON POSTS
  - WIDEN FIREPLACE CHIMNEY & ADD SECOND GAS FLUE
  - CHANGE 24x48 WINDOW TO 30x30 AWNING IN MAIN LEVEL BATH
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN MAIN LEVEL DINETTE
  - CHANGE 24x18 WINDOW TO 18x18 FIXED IN MASTER BATH
  - REMOVE GABLE WINDOW IN GARAGE
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN LOWER SUN ROOM
  - REMOVE 30x48 WINDOW FROM LOWER 'FUTURE' BEDROOM
  - WINDOW SIZES & TYPES LABELED PER PELLA LIST
  - FLOOR & WALL LOCATIONS UPDATED PER CABINET PLANS
  - FLIP BAR CABINETS & FIREPLACE/CABINETS END-TO-END IN LOWER
  - ADDED WALL BY FRIDGE TO RECESS ARCH TO MUD ROOM
  - ADDED 60" WALL BRACING TO GARAGE/HOUSE SHARED WALL
  - MOVED PORTAL FRAME AT FRONT DOOR TO STAIR WINDOW
  - ADJUSTED WALL BRACING AS REQ'D DUE TO 3-SEASON & GARAGE

**REVISIONS:**

7-3-19	

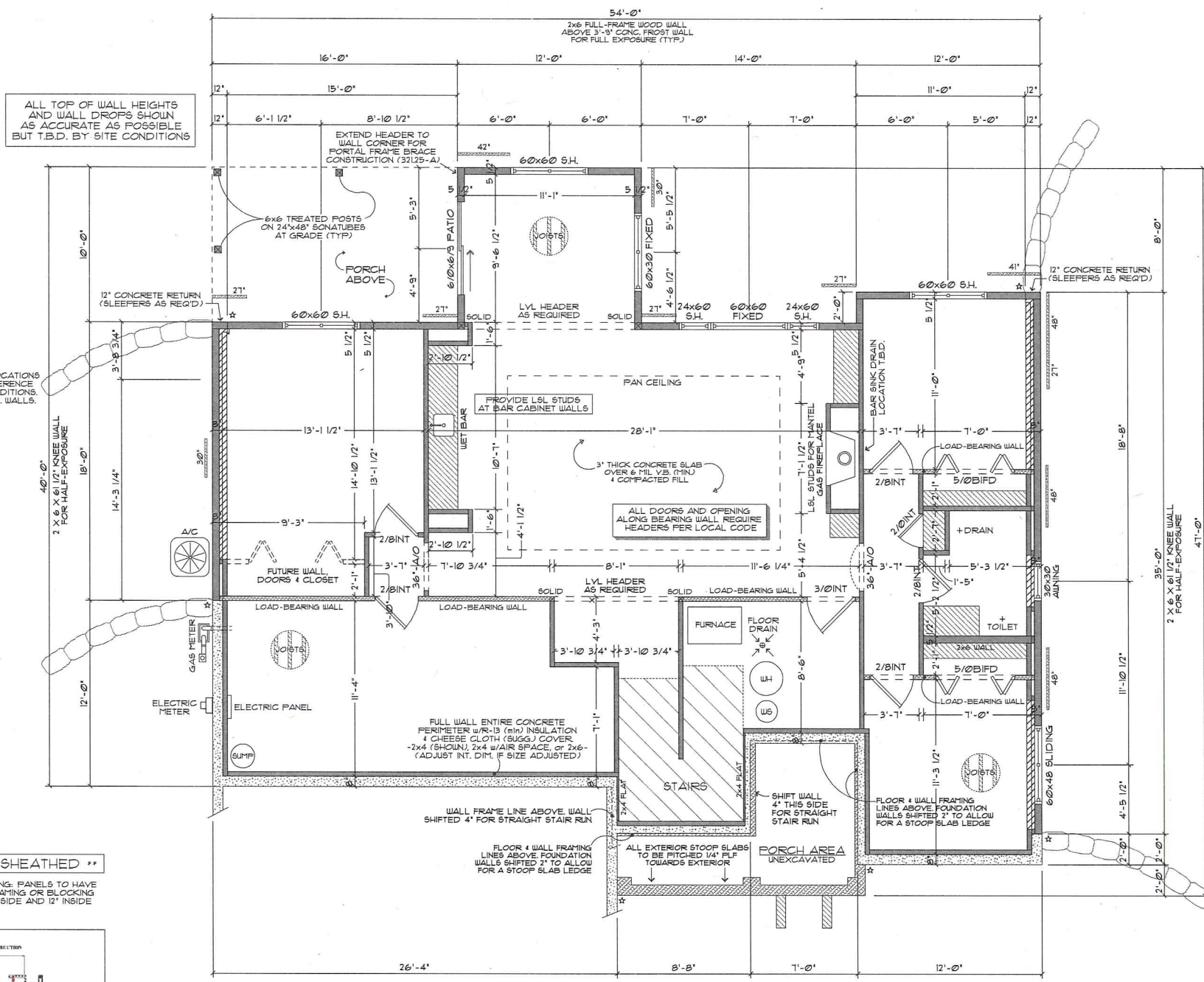
DATE:	11-13-18
JOB NAME:	MARSH VIEW
SCALE:	1/4" = 1'-0"
SHEET:	F2

THIS DOCUMENT CONTAINS CONFIDENTIAL OR PROPRIETARY INFORMATION OF MSW DESIGN (MSM), INC. AND IS NOT TO BE REPRODUCED, COPIED, OR DISCLOSED EITHER IN WHOLE OR IN PART EXCEPT AS AUTHORIZED BY MSW, MSW ASSUMES NO LIABILITY FOR HOME CONSTRUCTION FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO HAVE BUILDER OR CONTRACTOR OBTAIN ALL NECESSARY PERMITS AND TO VERIFY ALL LOCAL CODES AND CONDITIONS. ALL CARE HAS BEEN TAKEN BY MSW TO MAKE PLANS ACCURATE. PLANS ARE FOR LOCATIONS AND REFERENCE ONLY. BUILDER OR CONTRACTOR RESPONSIBLE FOR ANY ENGINEERING AND REVISIONS TO PLAN. ALL ENGINEERING TO INCORPORATE ACTUAL SITE CONDITIONS.

REVISIONS TO FINAL PLAN SET w/CHANGES LISTED

DRAWINGS BY: **MSM DESIGN GROUP, LLC**  
www.msmdesigngroup.com  
msmdesigngroup@msm.com

CUSTOM DESIGN AT 5201 PERFECT DRIVE FOR: **SWH Silver Wood Homes**

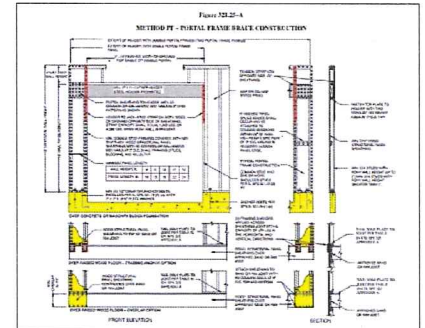


ALL TOP OF WALL HEIGHTS AND WALL DROPS SHOWN AS ACCURATE AS POSSIBLE BUT T.B.D. BY SITE CONDITIONS

RETAINING WALL SIZES & LOCATIONS SHOWN ON PLAN FOR REFERENCE ONLY & T.B.D. BY SITE CONDITIONS. COMPACT BELOW ALL RET. WALLS.

\*\* ALL EXT. WALLS FULLY SHEATHED \*\*

STRUCTURAL PANEL SHEATHING: PANELS TO HAVE ALL EDGES FASTENED TO FRAMING OR BLOCKING IN A 6" NAILING PATTERN OUTSIDE AND 12" INSIDE AND ANCHORED TO FLOOR.



LOWER LEVEL FRAMING PLAN 1,328 SQ. FT. FINISHED LIVING SPACE

\* DOES NOT INCLUDE STAIRS, STORAGE OR MECHANICALS \*

- X DIMENSION TO STRUCTURAL ITEM STARTING EITHER 'X-BACK' OR 'X-FORWARD' PER LOCATION ON PLAN
- FUTURE WOOD-FRAMED INTERIOR WALLS
- C-TOPS, CABINETS, SHELVING, AND/OR CUSTOM BUILT-IN LOCATIONS - L.S.L. STUDS & ADD'L BLOCKING AS REQ'D.
- 1/2-WALLS & FIRRED 1/2-WALLS BY CONCRETE BELOW KNEE-WALLS FOR 1/2-EXPOSURE
- TYPICAL WOOD-FRAMED WALLS
- LOAD-BEARING INTERIOR WOOD-FRAMED WALLS OVER CONTINUOUS CONCRETE FOOTINGS
- CONCRETE (TYP.) DIFFERENT CONCRETE FILL STYLES DENOTES CHANGES IN T.O.W. HEIGHTS.
- CONCRETE T.O.W. HEIGHT BREAKS (NOT LEDGES)
- 11 7/8" T.J.I.'S AT 16" O.C. (ABOVE) w/BRIDGING AND BLOCKING AS REQUIRED.

GENERAL PLAN NOTES:

- \* ALL DOORS & OPENINGS ALONG INTERIOR LOAD-BEARING WALLS REQUIRE HEADERS ENGINEERED PER CODE.
- \* BUILDER/CONTRACTORS RESPONSIBLE FOR ALL CONSTRUCTION CODES & CONDITIONS.
- \* DRAWING IS SHOWN FOR OWNER'S REFERENCE ONLY. ALL CARE HAS BEEN TAKEN BY MSM TO MAKE PLANS AS ACCURATE AS POSSIBLE.
- \* ALL DIMENSIONS TO BE FIELD VERIFIED BY BUILDER/CONTRACTORS BEFORE CONSTRUCTION.
- \* INTERIOR WALLS ON PLAN DIMENSIONED TO INSIDE STUD FACE - UNLESS NOTED.
- \* OUTSIDE OF EXTERIOR WALLS DIMENSIONED TO OUTSIDE STUD FACE OR CONCRETE - UNLESS NOTED.
- \* INTERIOR HEATED ROOM S.F. AMOUNTS & DIMENSIONS FIGURED TO INTERIOR OF ROOM WALLS.
- \* UNHEATED SPACES & OVERALL PLAN S.F. AMOUNTS & DIMENSIONS FIGURED TO EXTERIOR OF ROOM WALLS.
- \* TYPICAL WALL CHARACTERISTICS AS FOLLOWS:
  - CONCRETE WALL HEIGHT FIGURED AS TRUE 9'-0"
  - WINDOW HEADER HEIGHT FIGURED w/KNEE-WALL WINDOWS INSTALLED AT TOP w/ILL PLATE ABOVE TRUE 4'-0" FOUNDATION FROST WALL.
  - INTERIOR WALLS FIGURED USING 2x4 STUDS w/1/2" DRYWALL EA. SIDE (1/2" FINISH) UNLESS NOTED.
  - ALL EXTERIOR WOOD WALLS FULLY SHEATHED.
  - EXTERIOR WOOD WALLS FIGURED USING 2x6 STUDS w/1/2" DRYWALL IN & 7/16" SHEATHING OUT.
  - UNLESS ENGINEERED TALL WALL OR AS NOTED.
  - 2x6 WALLS SHOWN AS TYPICAL BEHIND TOILETS, WASHERS, MISC. PLUMBING & FOR POCKET DOORS.
  - L.S.L. STUDS TYPICAL FOR CABINET, C.TOP, SHELVING, BUILT-INS, MANTLES & T.I.J. WALLS (etc.) AREAS.
  - ANY ADDITIONAL PLUMB WALLS, SHEATHED WALLS, AND/OR CUSTOM WALLS AS NOTED OR T.B.D.
  - 11 7/8" T.J.I. FLOOR JOISTS AT 16" O.C. TYPICAL SUPPLIER TO CONFIRM ALL SIZES/SPANS.
  - TYPICAL INTERIOR DOOR RETURNS 4-1/2" UNLESS SPACE REQUIREMENTS DO NOT ALLOW.
  - TYPICAL HALL WIDTH = 3'-7"
  - TYPICAL HALL WIDTH WITH 30 DOORS = 3'-11"
  - FOUNDATION WALL BETWEEN HOUSE & FRONT STOOP 2" THICKER OR SHIFTED 2" FOR SLAB SUPPORT.
  - TREATED 2x LEDGE BELOW ALL CULT. STONE AREAS.

BASIC LIST OF CHANGES AFTER FINAL PLAN RELEASE:

- MOVED OVERHEAD GARAGE DOOR FROM SIDE TO FRONT
- MOVED 60x60 WINDOW IN GARAGE FROM FRONT TO SIDE
- CHANGE 6x6 BEAMED FLOOR TO 3-SEASON ROOM
- CHANGE LP SHAKE SIDING TO B4B
- ADD FLOWER BOX BELOW BEDROOM 2 WINDOW IN FRONT
- ADD (2) GOOSENECK LIGHTS TO FRONT
- ADD DECO GABLE BRACKET TO REAR GABLE
- CHANGE OVERHEAD GARAGE DOOR STYLE
- ADD 14" SQUARE STONE COLUMNS BELOW 3-SEASON POSTS
- WIDEN FIREPLACE CHASE & ADD SECOND GAS FLUE
- CHANGE 24x48 WINDOW TO 30x30 AWNING IN MAIN LEVEL BATH
- CHANGE 60x60 WINDOW TO 60x30 FIXED IN MAIN LEVEL DINETTE
- CHANGE 24x18 WINDOW TO 18x18 FIXED IN MASTER BATH
- REMOVE GABLE WINDOW IN GARAGE
- CHANGE 60x60 WINDOW TO 60x30 FIXED IN LOWER SUN ROOM
- REMOVE 30x48 WINDOW FROM LOWER 'FUTURE' BEDROOM
- WINDOW SIZES & TYPES LABELED PER FELLA LIST
- PLANS & WALL LOCATIONS UPDATED PER CABINET PLANS
- FLIP BAR CABINETS & FIREPLACE/CABINET'S END-TO-END IN LOWER
- ADDED WALL BY FRIDGE TO RECESS ARCH TO MUD ROOM
- ADDED 60" WALL BRACING TO GARAGE/HOUSE SHARED WALL
- MOVED PORTAL FRAME AT FRONT DOOR TO STAIR WINDOW
- ADJUSTED WALL BRACING AS REQ'D DUE TO 3-SEASON & GARAGE

REVISIONS TO FINAL PLAN SET w/CHANGES LISTED  
 CUSTOM DESIGN AT 5201 PERFECT DRIVE FOR:  
**MSM DESIGN GROUP, LLC**  
 www.msmdesigngroup.com  
 manufacturing@msm.com

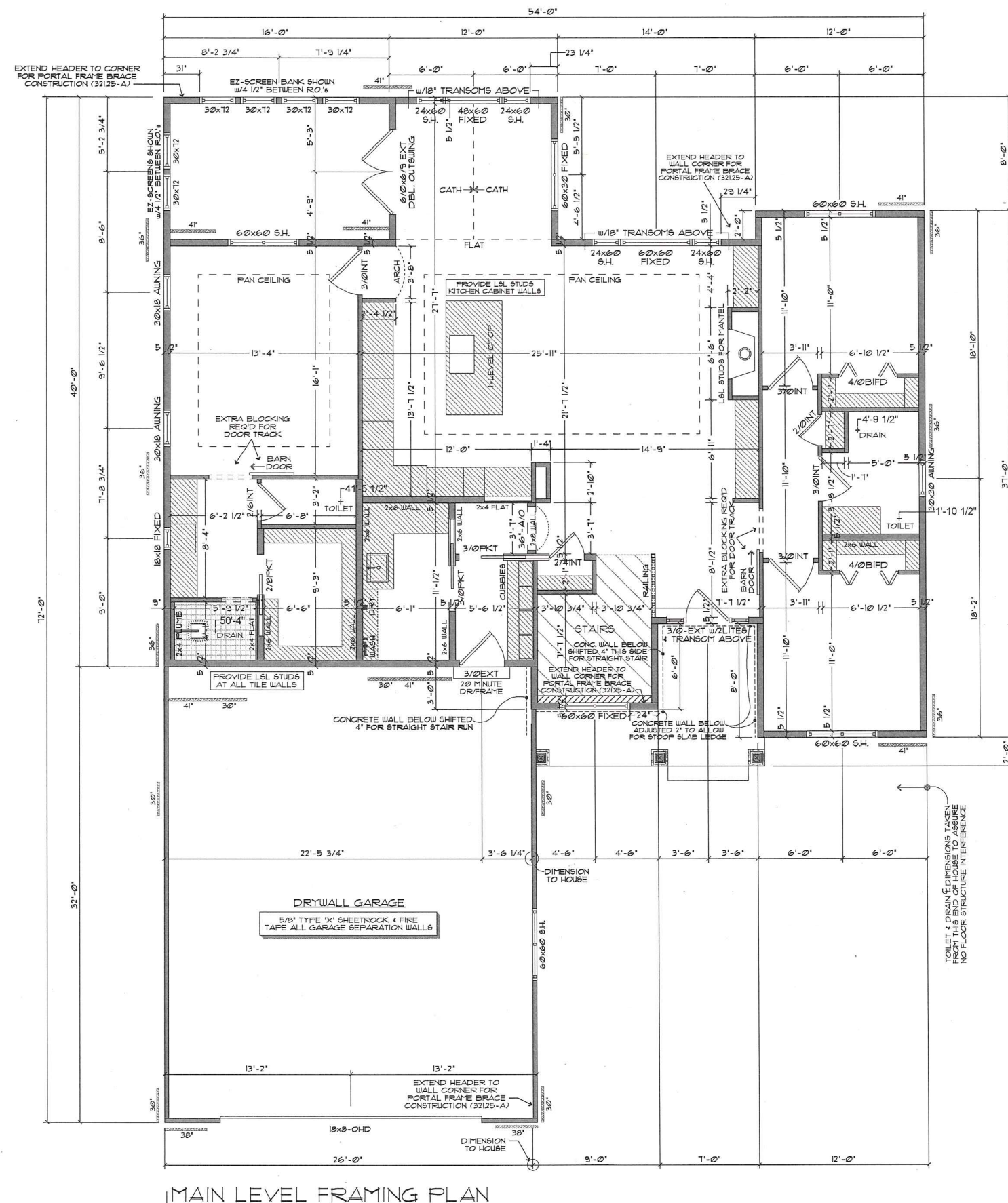
DRAWINGS BY:  
**MSM DESIGN GROUP, LLC**  
 www.msmdesigngroup.com  
 manufacturing@msm.com

THIS DOCUMENT CONTAINS CONFIDENTIAL OR PROPRIETARY INFORMATION OF MSM DESIGN (MSM). NEITHER THIS DOCUMENT NOR THE INFORMATION HEREIN IS TO BE REPRODUCED, COPIED, DISTRIBUTED, EITHER WHOLLY OR IN PART, OR FOR ANY PURPOSES WITHOUT THE WRITTEN PERMISSION OF MSM DESIGN. THE PURCHASER OF THIS PLAN TO HAVE BUILDER OR CONTRACTOR VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. BUILDER OR CONTRACTOR HAS BEEN ADVISED BY MSM TO MAKE PLANS ACCURATE. PLANS ARE FOR LOCATIONS AND REFERENCE ONLY. BUILDER OR CONTRACTOR RESPONSIBLE FOR ANY ENGINEERING AND REVISIONS TO PLAN. ALL ENGINEERING TO INCORPORATE ACTUAL SITE CONDITIONS.

REVISIONS:	DATE:
11-21-18	
7-3-19	

DATE: 11-13-18  
 JOB NAME:  
 MARSH VIEW  
 SCALE: 1/4" = 1'-0"  
 SHEET: **FR1**

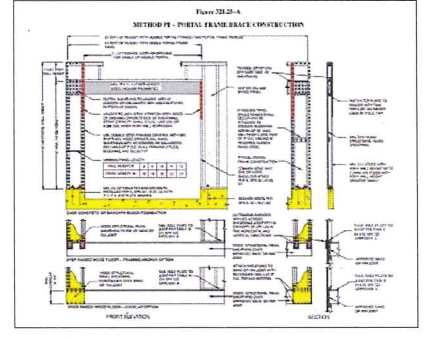
DB#2: PRELIM. PLANS / STARTER PLAN SET  
 DB#3/4: EXT. ELEVELS & LOWER LEVEL  
 DB#6: BID SET  
 DB#7: FINAL CONSTRUCTION PLANS FOR BID, BUILD & PERMITS



**MAIN LEVEL FRAMING PLAN**  
1,828 SQ. FT. HEATED LIVING SPACE

**\*\* ALL EXT. WALLS FULLY SHEATHED \*\***

• STRUCTURAL PANEL SHEATHING: PANELS TO HAVE ALL EDGES FASTENED TO FRAMING OR BLOCKING IN A 6" NAILING PATTERN OUTSIDE AND 12" INSIDE AND ANCHORED TO FLOOR.



▨ C/TOPS, CABINETS, SHELVING, AND/OR CUSTOM BUILT-IN LOCATIONS = L&L STUDS 4 ADD'L BLOCKING AS REQ'D.

**GENERAL PLAN NOTES:**

- \* BUILDER/CONTRACTOR RESPONSIBLE FOR ALL CONSTRUCTION CODES & CONDITIONS.
- \* DRAWING IS SHOWN FOR OWNER'S REFERENCE ONLY. ALL CARE HAS BEEN TAKEN BY MSM TO MAKE PLANS AS ACCURATE AS POSSIBLE.
- \* ALL DIMENSIONS TO BE FIELD VERIFIED BY BUILDER/CONTRACTORS BEFORE CONSTRUCTION.
- \* INTERIOR WALLS ON PLAN DIMENSIONED TO INSIDE STUD FACE - UNLESS NOTED.
- \* OUTSIDE OF EXTERIOR WALLS DIMENSIONED TO OUTSIDE STUD FACE - UNLESS NOTED.
- \* INTERIOR HEATED ROOM S.F. AMOUNTS & DIMENSIONS FIGURED TO INTERIOR OF ROOM WALLS.
- \* UNHEATED SPACES & OVERALL PLAN S.F. AMOUNTS & DIMENSIONS FIGURED TO EXTERIOR OF ROOM WALLS.
- \* TYPICAL WALL CHARACTERISTICS AS FOLLOWS:  
- WALL HEIGHT FIGURED AS 9'-1 1/8"  
- WINDOW HEADER HT. AT 95.58" - UNLESS NOTED.  
- INTERIOR WALLS FIGURED USING 2x4 STUDS W/1/2" DRYWALL EA. SIDE (4 1/2" FINISH) UNLESS NOTED.  
- ALL EXTERIOR WALLS FULLY SHEATHED.  
- EXTERIOR HOUSE WALLS FIGURED USING 2x6 STUDS W/1/2" DRYWALL IN & 7/16" SHEATHING OUT.  
- UNLESS ENGINEERED TALL WALL OR AS NOTED.  
- EXTERIOR GARAGE WALLS FIGURED USING 2x4 STUDS & WALLS BORDERING HOME FIGURED W/5/8" TYPE 'X' DRYWALL FOR FIRE SEPARATION.  
- 2x6 WALLS SHOWN AS TYPICAL BEHIND TOILETS, WASHERS, MISC. PLUMBING & FOR POCKET DOORS.  
- L&L STUDS TYPICAL FOR CABINET, C/TOP, SHELVING, BUILT-INS, MANTLES & TILE WALL (ETC.) AREAS.  
- ANY ADDITIONAL PLUMB WALLS, SHIMMED WALLS, AND/OR CUSTOM WALLS AS NOTED OR T.B.D.  
- #1 78" T.I. FLOOR JOISTS AT 16" O.C. TYPICAL. SUPPLIER TO CONFIRM ALL SIZES/SPANS.  
- TYPICAL INTERIOR DOOR RETURNS = 4 1/2" UNLESS SPACE REQUIREMENTS DO NOT ALLOW.  
- TYPICAL HALL WIDTH = 3'-7".  
- TYPICAL HALL WIDTH WITH 3/0 DOORS = 3'-11".  
- FOUNDATION WALL BETWEEN HOUSE & FRONT STOOP 2" THICKER OR SHIFTED 2" FOR SLAB SUPPORT.  
- TREATED 2x LEDGE BELOW ALL CUTL. STONE AREAS.  
- HOLD BACK GARAGE SLAB 4" AT ANY OVERHEAD DOOR CUT-OUTS TO CREATE 4" SUPPORT LEDGE FOR APPROACH SLAB TO AVOID CONC. SINK & PIN SHEAR AFTER TIME.

- BASIC LIST OF CHANGES AFTER FINAL PLAN RELEASE:**
- MOVED OVERHEAD GARAGE DOOR FROM SIDE TO FRONT
  - MOVED 60x60 WINDOW IN GARAGE FROM FRONT TO SIDE
  - CHANGE SCREENED PORCH TO 3-SEASON ROOM
  - CHANGE LP SHAKE SIDING TO B4B
  - ADD FLOWER BOX BELOW BEDROOM 2 WINDOW IN FRONT
  - ADD (2) GOOSENECK LIGHTS TO FRONT
  - ADD DECO. GABLE BRACKET TO REAR GABLE
  - CHANGE OVERHEAD GARAGE DOOR STYLE
  - ADD 14" SQUARE STONE COLUMNS BELOW 3-SEASON POSTS
  - WIDEN FIREPLACE CHIMNEY & ADD SECOND GAS FLUE
  - CHANGE 24x48 WINDOW TO 30x30 AWNING IN MAIN LEVEL BATH
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN MAIN LEVEL DINETTE
  - CHANGE 24x18 WINDOW TO 18x18 FIXED IN MASTER BATH
  - REMOVE GABLE WINDOW IN GARAGE
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN LOWER SUN ROOM
  - REMOVE 30x48 WINDOW FROM LOWER 'FUTURE' BEDROOM
  - WINDOW SIZES & TYPES LABELED PER FELLA LIST
  - FLOOR & WALL LOCATIONS UPDATED PER CABINET PLANS
  - FLIP BAR CABINETS & FIREPLACE/CABINETS END-TO-END IN LOWER
  - ADDED WALL BY FRIDGE TO RECESS ARCH TO MUD ROOM
  - ADDED 60" WALL BRACING TO GARAGE/HOUSE SHARED WALL
  - MOVED PORTAL FRAME AT FRONT DOOR TO STAIR WINDOW
  - ADJUSTED WALL BRACING AS REQ'D DUE TO 3-SEASON & GARAGE

THIS DOCUMENT CONTAINS CONFIDENTIAL OR PROPRIETARY INFORMATION OF MSM DESIGN (MSM). IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS TO BE REPRODUCED, DISTRIBUTED, COPIED, OR DISCLOSED EITHER IN WHOLE OR IN PART WITHOUT THE WRITTEN AUTHORIZATION OF MSM. MSM ASSUMES NO LIABILITY FOR HOME CONSTRUCTION FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO OBTAIN ALL NECESSARY PERMITS AND TO VERIFY ALL LOCAL CODES AND CONDITIONS. ALL CARE HAS BEEN TAKEN BY MSM TO MAKE PLANS ACCURATE. PLANS ARE FOR LOCATIONS AND REFERENCE ONLY. BUILDER OR CONTRACTOR RESPONSIBLE FOR ANY ENGINEERING AND REVISIONS TO PLAN. ALL ENGINEERING TO INCORPORATE ACTUAL SITE CONDITIONS.

DB#2: PRELIM. PLANS / STARTER PLAN SET □ DB#3/4: EXT. ELEV & LOWER LEVEL □ DB#6: BID SET □ DB#7: FINAL CONSTRUCTION PLANS FOR BID, BUILD & PERMITS ■ REVISIONS TO FINAL PLAN SET w/CHANGES LISTED

DRAWINGS BY: **MSM DESIGN GROUP, LLC**  
www.msmdesigngroup.com  
msmdesigngroup@icloud.net

CUSTOM DESIGN AT 5201 PERFECT DRIVE FOR: **SWH** Silver Wood Homes

REVISIONS:	
11-21-18	
4-11-19	
7-3-19	

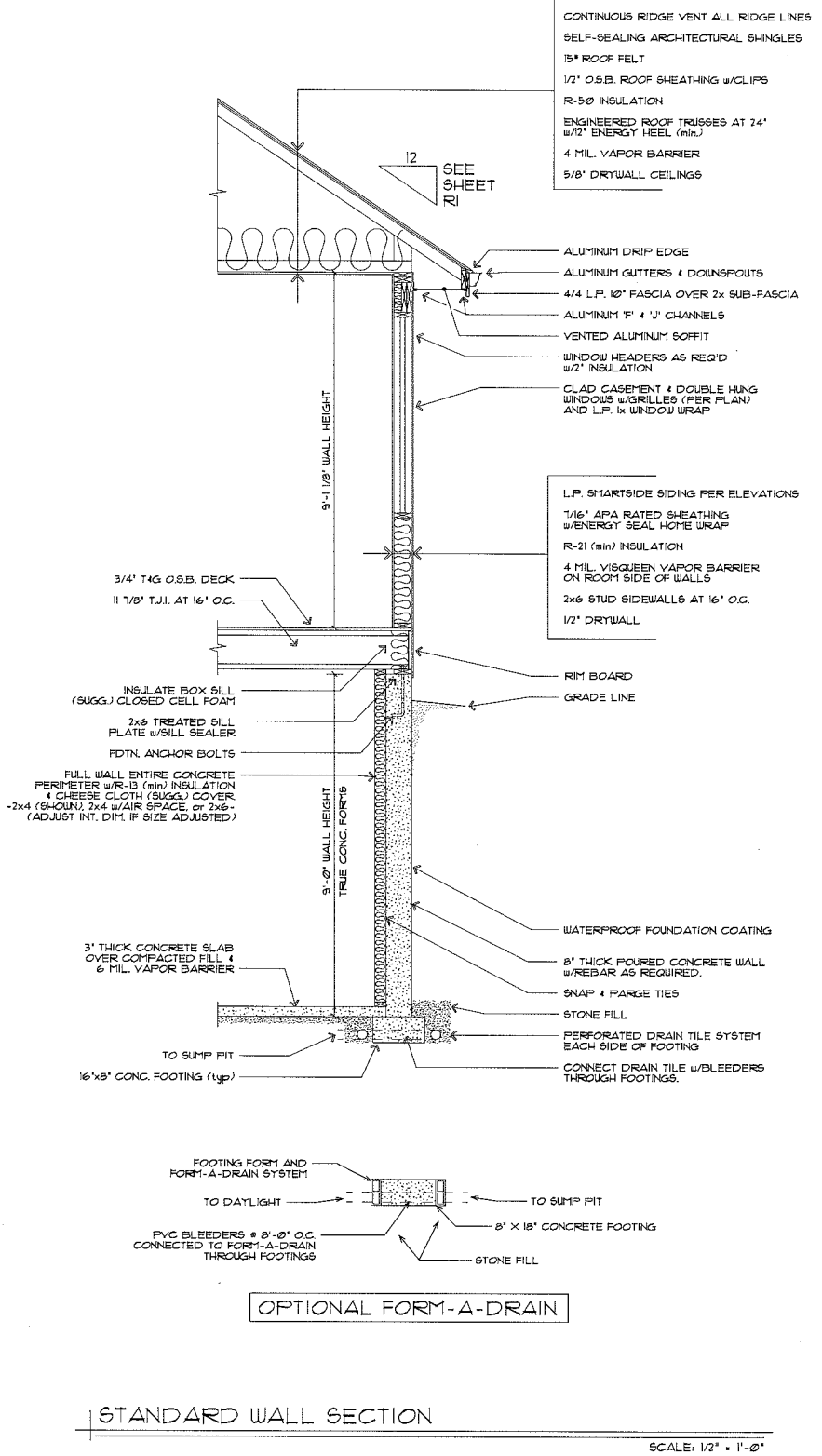
DATE: 11-12-18

JOB NAME: MARSH VIEW

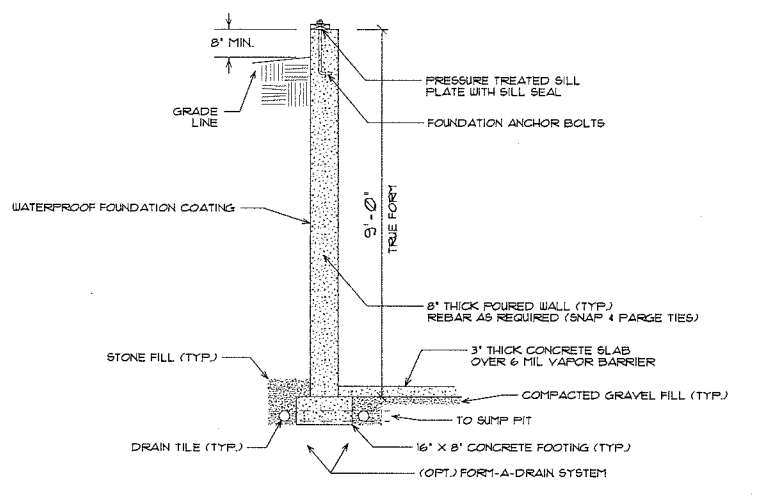
SCALE: 1/4" = 1'-0"

SHEET: **FR2**

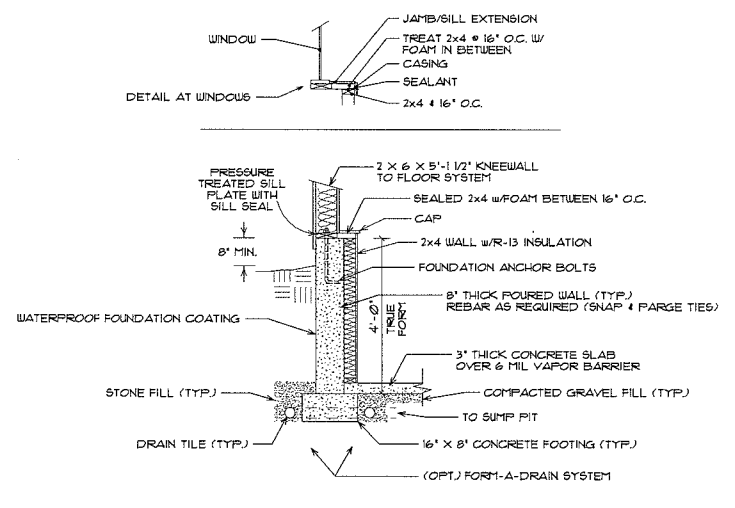
PLANS DRAWN PER SECTIONS & DETAILS SHOWN BELOW. ANY ADJUSTMENTS OR REVISIONS ON-SITE OR AFTER FINAL PLAN RELEASE TO BE CONSISTENT THROUGHOUT ENTIRE PLAN SET. REFER TO SECTIONS/DETAILS AS BENCHMARK FOR CHANGES.



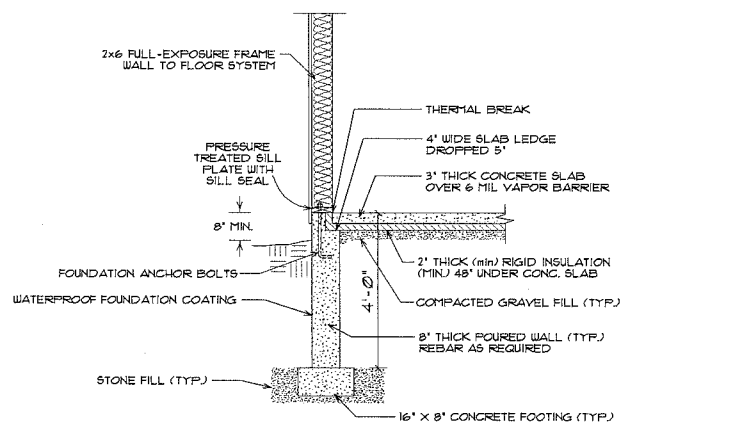
STANDARD WALL SECTION  
SCALE: 1/2" = 1'-0"



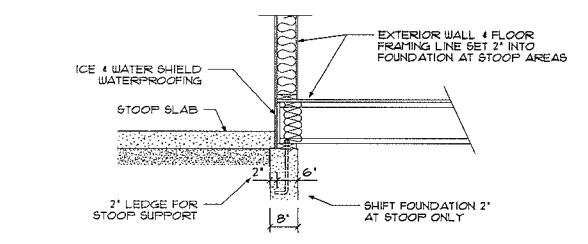
FOUNDATION DETAIL FROM SHEET F1  
SCALE: 1/2" = 1'-0"



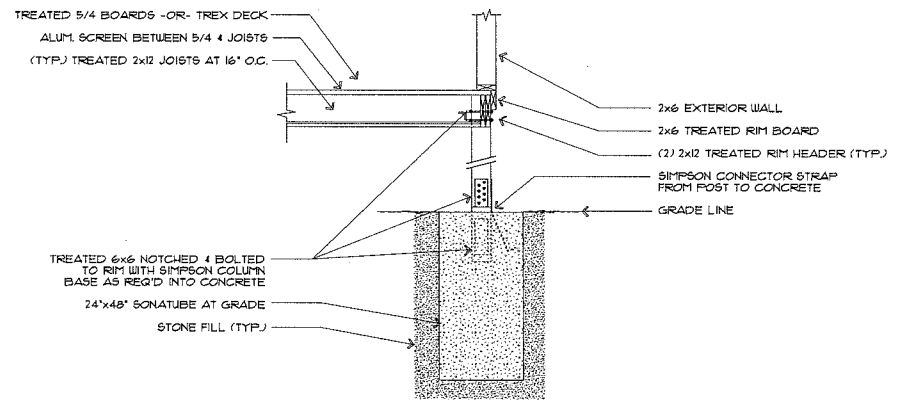
FOUNDATION DETAIL FROM SHEET F1  
SCALE: 1/2" = 1'-0"



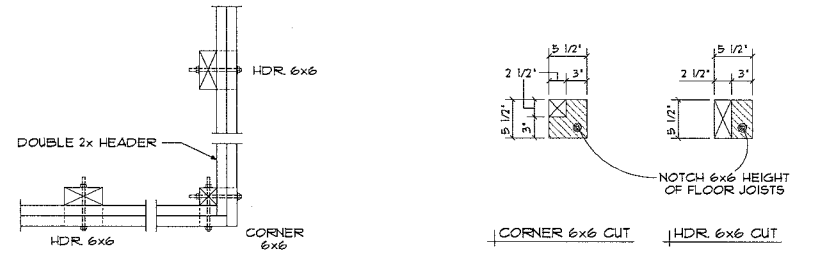
FOUNDATION DETAIL FROM SHEET F1  
SCALE: 1/2" = 1'-0"



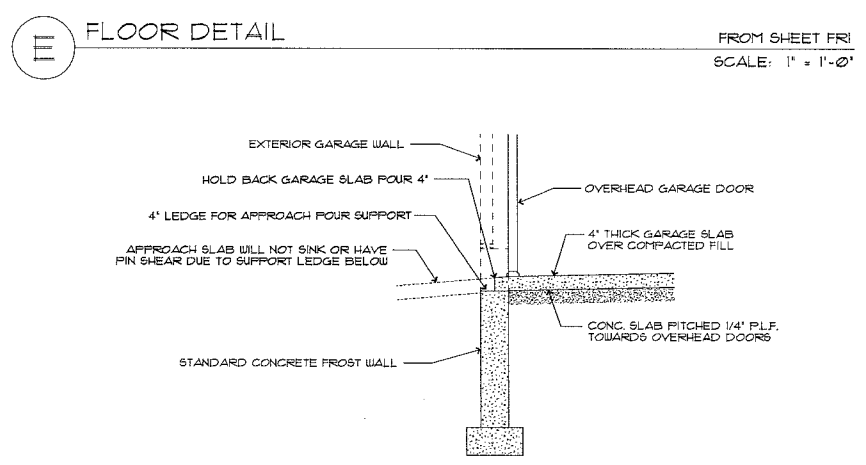
STOOP LEDGE DETAIL FROM SHEET F1  
SCALE: 1/2" = 1'-0"



SIDE-VIEW POSTS/RIMS/WALLS  
SCALE: 1/2" = 1'-0"



TOP-VIEW RIMS/POSTS TOP-VIEW POST SECTIONS-AA



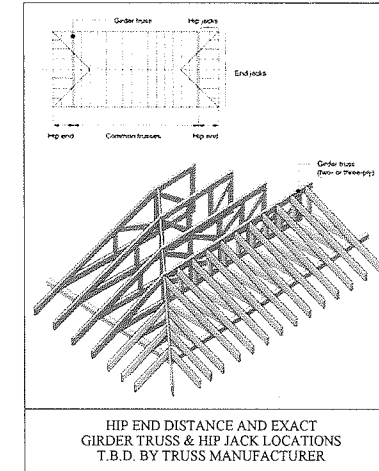
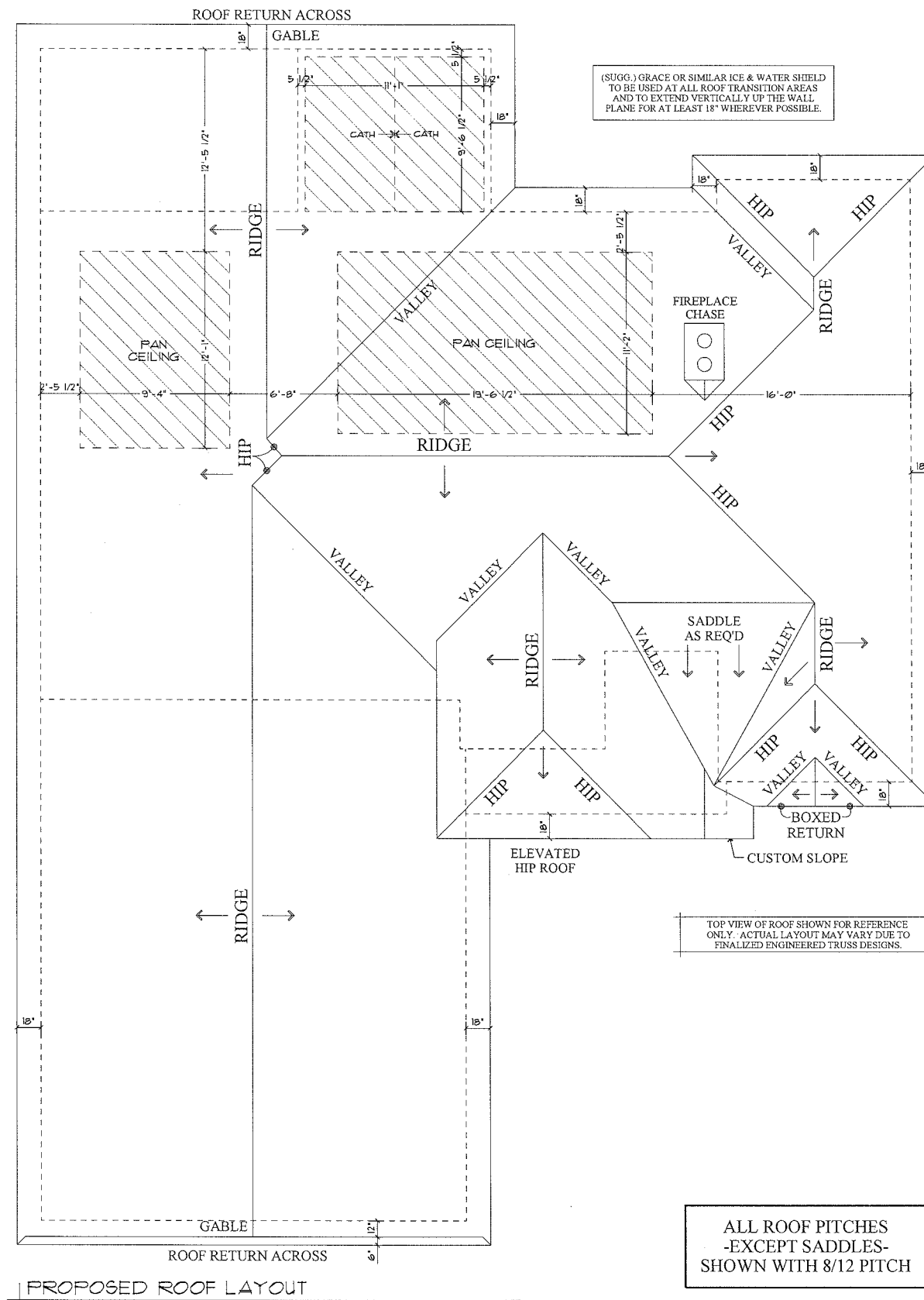
GARAGE O.H. DOOR DETAIL FROM SHEET F1  
SCALE: 1/2" = 1'-0"

DB#2: PRELIM. PLANS / STARTER PLAN SET  
 DB#3/4: EXT. ELEVS & LOWER LEVEL  
 DB#6: BID SET  
 DB#7: FINAL CONSTRUCTION PLANS FOR BID, BUILD & PERMITS  
 REVISIONS TO FINAL PLAN SET w/CHANGES LISTED

CUSTOM HOME DESIGN FOR: **SWH** Silver Wood Homes  
 DRAWINGS BY: **MSM** DESIGN GROUP, LLC

REVISIONS:	
7-3-19	

DATE: 11-15-18  
 JOB NAME:  
 MARSH VIEW  
 SCALE: AS NOTED  
 SHEET: **D1**

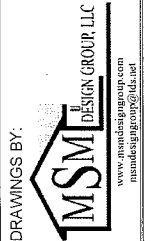


ALL ROOF PITCHES  
-EXCEPT SADDLES-  
SHOWN WITH 8/12 PITCH

- BASIC LIST OF CHANGES AFTER FINAL PLAN RELEASE:
- MOVED OVERHEAD GARAGE DOOR FROM SIDE TO FRONT
  - MOVED 60x60 WINDOW IN GARAGE FROM FRONT TO SIDE
  - CHANGE SCREENED PORCH TO 3-SEASON ROOM
  - CHANGE LP SHAKE SIDING TO B4B
  - ADD FLOUER BOX BELOW BEDROOM 2 WINDOW IN FRONT
  - ADD (2) GOOSENECK LIGHTS TO FRONT
  - ADD DECO. GABLE BRACKET TO REAR GABLE
  - CHANGE OVERHEAD GARAGE DOOR STYLE
  - ADD 14" SQUARE STONE COLUMNS BELOW 3-SEASON POSTS
  - WIDEN FIREPLACE CHASE 4 ADD SECOND GAS FLUE
  - CHANGE 24x48 WINDOW TO 30x30 ALINING IN MAIN LEVEL BATH
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN MAIN LEVEL DINETTE
  - CHANGE 24x18 WINDOW TO 18x18 FIXED IN MASTER BATH
  - REMOVE GABLE WINDOW IN GARAGE
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN LOWER SUN ROOM
  - REMOVE 30x48 WINDOW FROM LOWER 'FUTURE' BEDROOM
  - WINDOW SIZES 4 TYPES LABELED PER FELLA LIST
  - PLANS 4 WALL LOCATIONS UPDATED PER CABINET PLANS
  - FLIP BAR CABINETS 4 FIREPLACE/CABINETS END-TO-END IN LOWER
  - ADDED WALL BY FRIDGE TO RECESS ARCH TO MUD ROOM
  - ADDED 60" WALL BRACING TO GARAGE/HOUSE SHARED WALL
  - MOVED PORTAL FRAME AT FRONT DOOR TO STAIR WINDOW
  - ADJUSTED WALL BRACING AS REQ'D DUE TO 3-SEASON 4 GARAGE

REVISIONS TO FINAL PLAN SET w/CHANGES LISTED  
CUSTOM DESIGN AT 5201 PERFECT DRIVE FOR:

**SWH**  
Silver Wood Homes

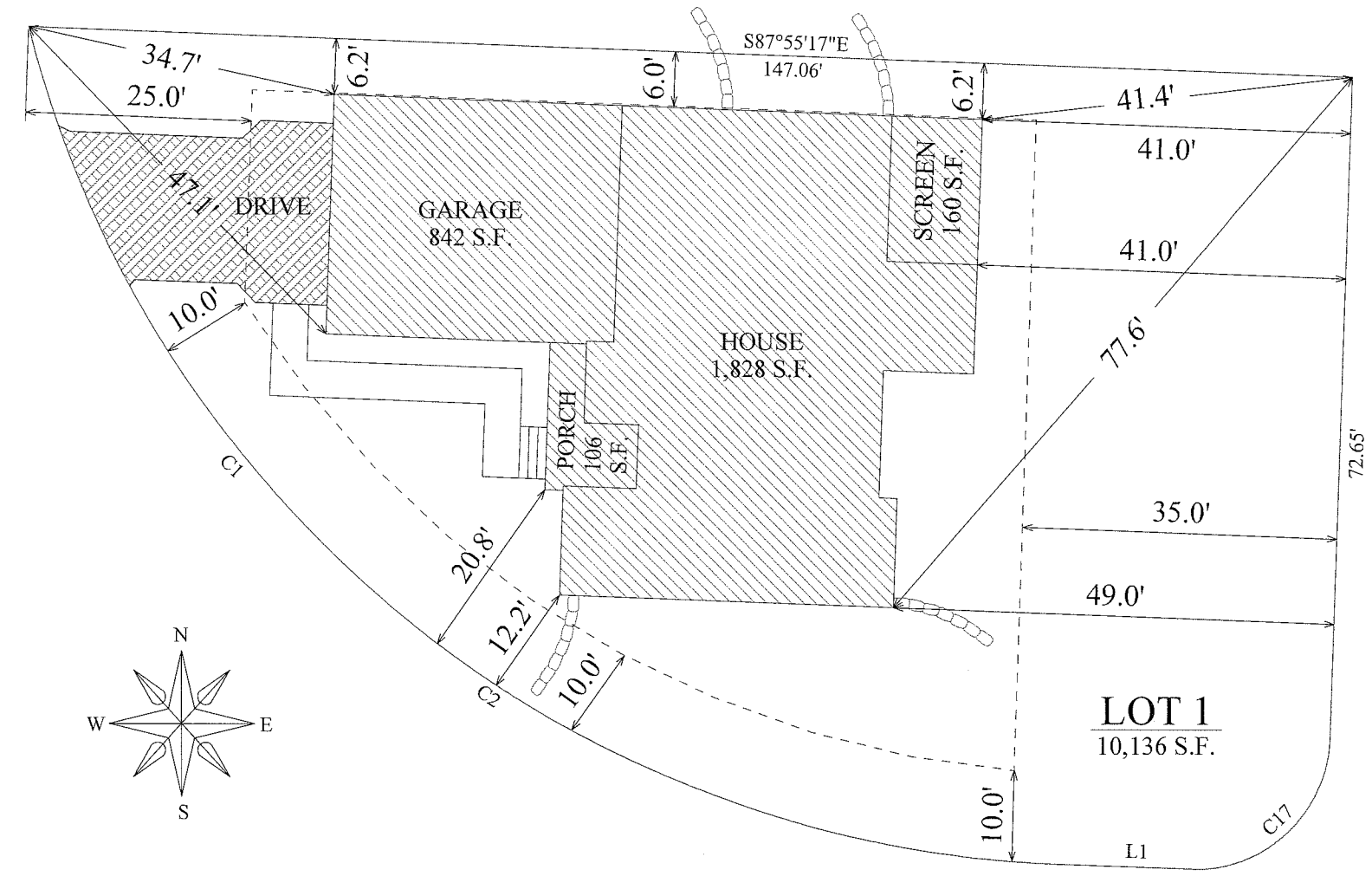


DRAWINGS BY:

THIS DOCUMENT CONTAINS CONFIDENTIAL OR PROPRIETARY INFORMATION OF MSM DESIGN (MSM). IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO HAVE THE BUILDER OR CONTRACTOR VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. ALL DIMENSIONS SHALL BE TAKEN TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TAKEN TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TAKEN TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TAKEN TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TAKEN TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TAKEN TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED.

REVISIONS:	
7-3-19	
DATE:	11-15-18
JOB NAME:	MARSH VIEW
SCALE:	1/4" = 1'-0"
SHEET:	R1

IT IS THE POSITION OF MSM DESIGN THAT A PROFESSIONAL SURVEYOR CONDUCT ALL FINAL SITE PLAN DRAWINGS AND ANY FOOTPRINT SETTING AND/OR STAKING. BASIC SITE LAYOUT IS SHOWN FOR REFERENCE ONLY.



BASIC SITE PLAN  
LOT 1 - 5201 PERFECT DRIVE

- BASIC LIST OF CHANGES AFTER FINAL PLAN RELEASE:**
- MOVED OVERHEAD GARAGE DOOR FROM SIDE TO FRONT
  - MOVED 60x60 WINDOW IN GARAGE FROM FRONT TO SIDE
  - CHANGE SCREENED PORCH TO 3-SEASON ROOM
  - CHANGE LP SHAKE SIDING TO B&B
  - ADD FLOUNDER BOX BELOW BEDROOM 2 WINDOW IN FRONT
  - ADD (2) GOOSENECK LIGHTS TO FRONT
  - ADD DECO GABLE BRACKET TO REAR GABLE
  - CHANGE OVERHEAD GARAGE DOOR STYLE
  - ADD 14" SQUARE STONE COLUMNS BELOW 3-SEASON POSTS
  - WIDEN FIREPLACE CHASE & ADD SECOND GAS FLUE
  - CHANGE 24x48 WINDOW TO 30x30 AWNING IN MAIN LEVEL BATH
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN MAIN LEVEL DINETTE
  - CHANGE 24x18 WINDOW TO 18x18 FIXED IN MASTER BATH
  - REMOVE GABLE WINDOW IN GARAGE
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN LOWER SUN ROOM
  - REMOVE 30x48 WINDOW FROM LOWER "FUTURE" BEDROOM
  - WINDOW SIZES & TYPES LABELED PER FELLA LIST
  - PLANS & WALL LOCATIONS UPDATED PER CABINET PLANS
  - FLIP BAR CABINETS & FIREPLACE/CABINETS END-TO-END IN LOWER
  - ADDED WALL BY FRIDGE TO RECESS ARCH TO MUD ROOM
  - ADDED 60" WALL BRACING TO GARAGE/HOUSE SHARED WALL
  - MOVED PORTAL FRAME AT FRONT DOOR TO STAIR WINDOW
  - ADJUSTED WALL BRACING AS REQ'D DUE TO 3-SEASON & GARAGE

CUSTOM HOME DESIGN FOR:  
**SWH**  
Silver Wood Homes

DRAWINGS BY:  
**MSM DESIGN GROUP, LLC**  
www.msmdesigngroup.com  
msmdesigngroup@icloud.com

THIS DOCUMENT CONTAINS CONFIDENTIAL OR PROPRIETARY INFORMATION OF MSM DESIGN (MSM). NEITHER THIS DOCUMENT NOR THE INFORMATION HEREIN IS TO BE REPRODUCED, DISTRIBUTED, USED, OR DISCLOSED EITHER IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF MSM DESIGN. THE PURCHASER OF THIS PLAN TO HAVE BUILDER OR CONTRACTOR VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. BUILDER OR CONTRACTOR MUST ALSO VERIFY COMPLIANCE WITH ALL LOCAL CODES AND CONDITIONS OF SALE. MSM DESIGN GROUP, LLC IS NOT RESPONSIBLE FOR ANY ENGINEERING AND REVISIONS TO PLAN. ALL ENGINEERING TO INCORPORATE ACTUAL SITE CONDITIONS.

REVISIONS:






7-3-19	

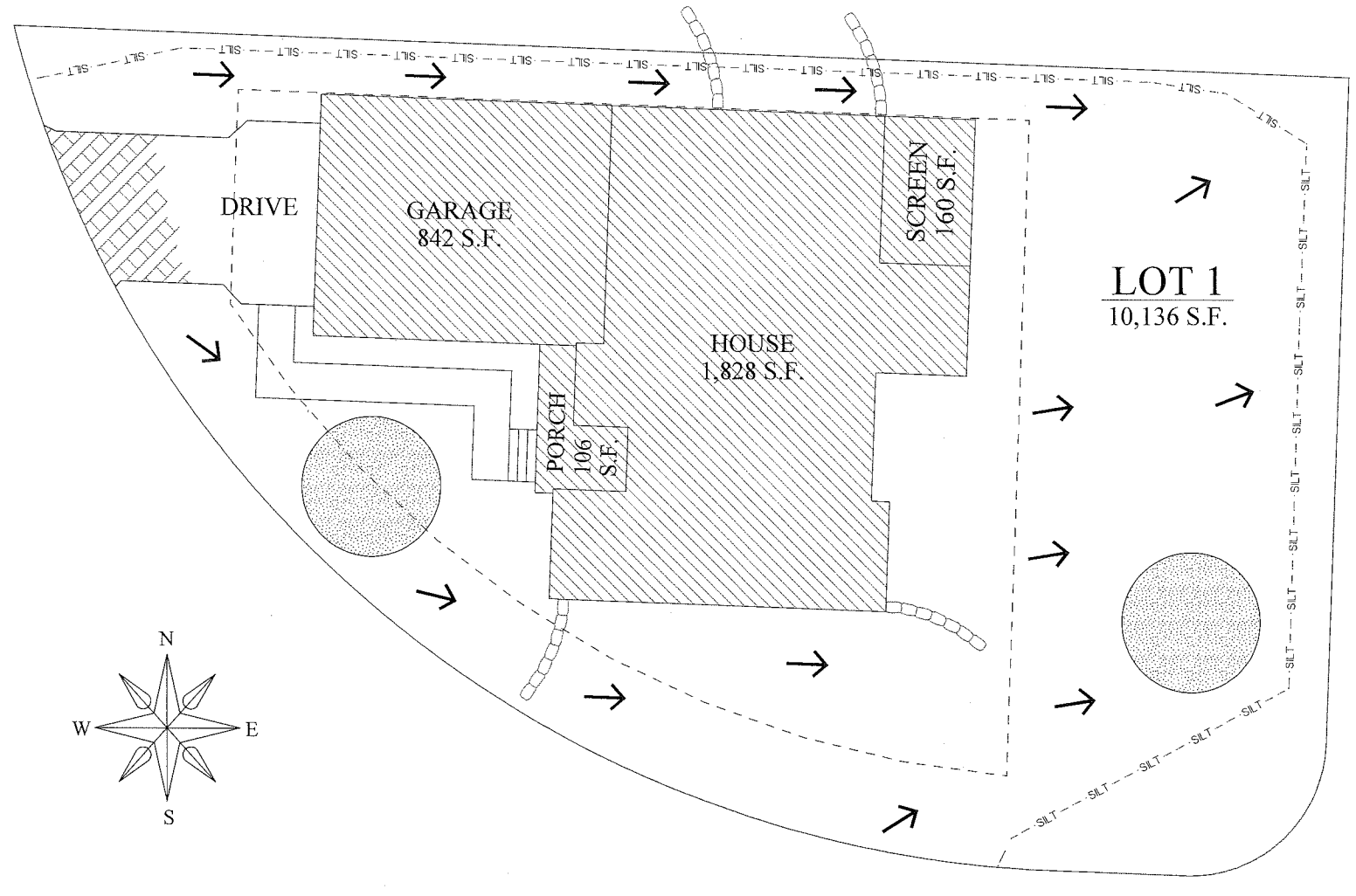
DATE: 11-15-18  
JOB NAME: MARSH VIEW  
SCALE: 1/8" = 1'-0"  
SHEET: S.1

DB#2: PRELIM. PLANS / STARTER PLAN SET  
DB#3/4: EXT. ELEVS & LOWER LEVEL  
DB#6: BID SET  
DB#7: FINAL CONSTRUCTION PLANS FOR BID, BUILD & PERMITS  
REVISIONS TO FINAL PLAN SET w/CHANGES LISTED

IT IS THE POSITION OF MSM DESIGN THAT A PROFESSIONAL SURVEYOR CONDUCT ALL FINAL SITE PLAN DRAWINGS AND ANY FOOTPRINT SETTING AND/OR STAKING. BASIC SITE LAYOUT IS SHOWN FOR REFERENCE ONLY.

**LEGEND:**

-  COVERED FOOTPRINT
-  STOCKPILED SOIL
-  TRACK PAD
-  - SLT - SILT FENCE/SOCK
-  ← DRAINAGE



**BASIC EROSION CONTROL PLAN**  
 LOT 1 - 5201 PERFECT DRIVE

- BASIC LIST OF CHANGES AFTER FINAL PLAN RELEASE:**
- MOVED OVERHEAD GARAGE DOOR FROM SIDE TO FRONT
  - MOVED 60x60 WINDOW IN GARAGE FROM FRONT TO SIDE
  - CHANGE SCREENED PORCH TO 3-SEASON ROOM
  - CHANGE LP SHAKE SIDING TO B4B
  - ADD FLOWER BOX BELOW BEDROOM 2 WINDOW IN FRONT
  - ADD (2) GOOSENECK LIGHTS TO FRONT
  - ADD DECO GABLE BRACKET TO REAR GABLE
  - CHANGE OVERHEAD GARAGE DOOR STYLE
  - ADD 14" SQUARE STONE COLUMNS BELOW 3-SEASON POSTS
  - WIDEN FIREPLACE CHASE & ADD SECOND GAS FLUE
  - CHANGE 24x48 WINDOW TO 30x30 AWNING IN MAIN LEVEL BATH
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN MAIN LEVEL DINETTE
  - CHANGE 24x18 WINDOW TO 18x18 FIXED IN MASTER BATH
  - REMOVE GABLE WINDOW IN GARAGE
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN LOWER SUN ROOM
  - REMOVE 30x48 WINDOW FROM LOWER FUTURE BEDROOM
  - WINDOW SIZES & TYPES LABELED PER FELLA LIST
  - PLANS & WALL LOCATIONS UPDATED PER CABINET PLANS
  - FLIP BAR CABINETS & FIREPLACE/CABINETS END-TO-END IN LOWER
  - ADDED WALL BY FRIDGE TO RECESS ARCH TO MUD ROOM
  - ADDED 60" WALL BRACING TO GARAGE/HOUSE SHARED WALL
  - MOVED PORTAL FRAME AT FRONT DOOR TO STAIR WINDOW
  - ADJUSTED WALL BRACING AS REQ'D DUE TO 3-SEASON & GARAGE

CUSTOM HOME DESIGN FOR: **SWH** Silver Wood Homes  
 DRAWINGS BY: **MSM DESIGN GROUP, LLC**  
 www.msmdesigngroup.com  
 msmdesigngroup@icloud.net

THIS DOCUMENT CONTAINS CONFIDENTIAL OR PROPRIETARY INFORMATION OF MSM DESIGN (MSM). NEITHER THIS DOCUMENT NOR THE INFORMATION HEREIN IS TO BE REPRODUCED, DISTRIBUTED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF MSM DESIGN, ANY SUCH REPRODUCTION OR TRANSMISSION IS STRICTLY PROHIBITED. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO HAVE BUILDER OR CONTRACTOR VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. BUILDER OR CONTRACTOR MUST ALSO VERIFY COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND PERMITS. ALL DIMENSIONS ARE APPROXIMATE. PLANS ARE FOR INFORMATION AND REFERENCE ONLY. BUILDER OR CONTRACTOR RESPONSIBLE FOR ANY ENGINEERING AND REVISIONS TO PLAN. ALL ENGINEERING TO INCORPORATE ACTUAL SITE CONDITIONS.

REVISIONS:	DATE:
	11-15-18

DB#2: PRELIM. PLANS / STARTER PLAN SET    DB#3/4: EXT. ELEVS & LOWER LEVEL    DB#6: BID SET    DB#7: FINAL CONSTRUCTION PLANS FOR BID, BUILD & PERMITS    REVISIONS TO FINAL PLAN SET w/CHANGES LISTED

MARSH VIEW  
 SCALE: 1/8" = 1'-0"  
 SHEET: **S.2**