

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____

Project # _____

DATE SUBMITTED: <u>July 13, 2011</u>	Action Requested
UDC MEETING DATE: <u>July 20, 2011</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 3502 Monroe St

ALDERMANIC DISTRICT: District 10 Biran Solomon

OWNER/DEVELOPER (Partners and/or Principals)

ARCHITECT/DESIGNER/OR AGENT:

Mark Landgraf/Fred Rouse

Knothe & Bruce Architects, LLC

5964 Executive Drive

7601 University Avenue, Suite 201

Madison, WI 53719

Middleton, Wisconsin 53562

CONTACT PERSON: J. Randy Bruce/Knothe & Bruce Architects, LLC

Address: 7601 University Avenue, Suite 201

Middleton, Wisconsin 53562

Phone: 608-836-3690

Fax: 608-836-6934

E-mail address: rbruce@knothebruce.com

TYPE OF PROJECT:

(See Section A For:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District* (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel, or Motel Building Exceeding 50,000 Sq.Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee Required)
- Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

May 25, 2011

Mr. Brad Murphy
Director of Planning
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, Wisconsin 53701

Re: Letter of Intent
PUD-GDP-SIP
3502 Monroe Street
Madison, WI

Dear Mr. Murphy:

The following is submitted together with the plans, application and zoning text for staff, Plan Commission and Common Council consideration of approval.

Organizational structure:

Owner: Fred Rouse
Parman Place LLC
2428 Perry Street
Madison, WI 53713
608-251-5382
608-251-5350 fax
Contact: Fred Rouse
info@rousemgmt.com

Architect: Knothe & Bruce Architects, LLC
7601 University Avenue, Ste 201
Middleton, WI 53562
608-836-3690
608-836-6934 fax
Contact: Randy Bruce
rbruce@knothebruce.com

Engineer: Vierbicher
Contact: Dave Glusick
999 Fourier Drive Ste 201
Madison, WI 53717
608-826-0532
608-826-0530 fax
dglu@vierbicher.com

Landscape Design: Peter Nause
Second Nature Landscapes
706 Leonard Street
Madison, WI 53711
608-206-1463
608-233-3612
pan@secondnature.biz

Introduction:

The proposed site is located on the northwest corner of Monroe Street and Glenway and is currently occupied by Parman's Service Station. The Parmans have operated a service station at this location since the 1940's but Keith Parman is now planning on closing the station. The applicant has been working with the alderperson, the neighborhood and City staff for several months on a redevelopment proposal for this site. The proposed development will implement a portion of the Monroe Street Commercial District Plan and provide new commercial and housing options for the neighborhood.

The Monroe Street Commercial District Plan:

The Monroe Street commercial District Plan that was adopted in March, 2007 was created to ensure appropriate contextual redevelopment of Monroe Street. The plan specifically addresses this block (Block 39 in the plan) and identifies it as an excellent location for commercial/residential mixed-use development. In addition to the general design guidelines, the plan lists the following site specific guidelines:

- Buildings to be built up to the existing sidewalk.
- Building heights of 2 to 4 stories.
- Monroe Street and Glenway Street facades should have storefronts with architectural details attractive to pedestrians.
- Principle entries should be off Monroe Street with additional entries off Glenway.
- Parking and service access should be provided from the rear (north side) of the site.

The proposed redevelopment plan was designed to meet these guidelines.

Demolition Standards:

This proposed development envisions the deconstruction of the existing service garage that currently exists on the site. A recycling and re-use plan for the building will be prepared and submitted to staff for review and approval prior to applying for the demolition permit.

Section 28.04(22) of the Madison Zoning Code outlines the standards by which a demolition permit may be issued. These standards require that the Plan Commission find that the requested demolition and proposed use are compatible with the intent and purposes of the zoning code. Although the zoning code clearly encourages the preservation of existing structures, its purpose also includes promoting the general welfare of the city, encouraging the most appropriate land uses and conserving and enhancing the taxable value of lands and buildings.

As the Plan Commission considers the demolition request the following standards are to be considered:

- The effects the proposed demolition and use would have on the normal and orderly development and improvement of the surrounding properties.
- Reasonableness of efforts to relocate the buildings including the costs of relocation and the limits that the location of the building would have on its relocation.
- Availability of affordable housing after giving due consideration of the master plan.
- Encourage the reuse and recycling of the materials from the buildings.

Given the recommendations of the Monroe Street Commercial District Plan we believe that the demolition standards can be met.

Project Description:

The project consists of 18 apartments over 3400 s.f. of ground floor commercial space. The building is designed to fit within the immediate context defined by a mix of commercial and residential uses as well as the arboretum south of Monroe Street. The building is placed close to the sidewalk to reinforce a traditional shopping streetscape. The well-detailed exterior uses a combination of brick and fiber-cement siding to reflect the residential use and the arboretum setting.

The building has two stories of housing over the commercial and parking levels. A small elevator penthouse and stairway projects to the fourth level and provides access to a common roof terrace for the residential tenants.

Vehicular access to the site is achieved from Wyota Avenue to the north of the site. A ground level parking area provides parking for 9 cars and a loading zone for the commercial users. Underground parking for 18 cars is provided for the residents. Bicycle parking is well distributed in the basement and on-grade at the front and back of the building.

The exterior open space of the development provides attractive private and public areas for the residents and guests. In addition to private terraces and balconies, the common roof terrace provides residents with an outdoor gathering area and expansive views to the arboretum and Monroe Street. The roof terrace is surrounded by a green roof system to absorb storm water, cool the air and provide a visually pleasing rooftop environment

Site Development Data:

Dwelling Unit Mix:

Efficiency	2
One-Bedroom	14
<u>Two-Bedroom</u>	<u>2</u>
Total Dwelling Units	18

Areas:

Commercial Area	3,441 S.F.
<u>Residential Area</u>	<u>16,183 S.F.</u>
Total Gross Area	19,624 S.F.

Densities:

Lot Area	12,097.8 or .28 Acres
Lot Area / D.U.	672.1 SF/unit
Density	64.3 units/acre

Building Height:

Three Stories

Vehicle Parking:

Underground-Residential	18 stalls
<u>Surface- Commercial</u>	<u>9 stalls</u>
Total	27 stalls

Bicycle Parking:

Underground	14 stalls + wall mounted
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Letter of Intent – PUD-SIP
3502 Monroe Street
March 25, 2011
Page 4 of 4

Surface- standard 2'x6'
Total

5 stalls
19+ stalls (18 required)

Project Schedule:

It is anticipated that the new construction phase will start in Fall 2011 and be completed in Summer 2012.

Social & Economic Impacts:

This development will have a positive social and economic impact. The re-development of this property will provide a pedestrian and transit-oriented development, implement a portion of the Monroe Street Commercial District Plan and provide additional high quality in-fill housing.

Thank you for your time in reviewing our proposal.

Very Truly Yours,

J. Randy Bruce, AIA
Managing Member

Zoning Text
PUD- GDP-SIP
3502 Monroe Street
May 25, 2011

Legal Description:

Lots 6, 7 and 8, Block 3, Wingra Hill, located in part of the NE ¼ of the SW ¼ of Section 28, Township 07 North, Range 09 East, City of Madison, Dane County, Wisconsin, more fully described as follows:

Commencing at the West quarter corner of said Section 28; thence S89°48'29"E along the north line of said SW ¼, 2154.12 feet; thence S00°11'31"W, 147.80 feet to the Point of Beginning; thence S38°36'27"E along the northeasterly line of said Block 3, 66.41 feet to the southeast corner of said Lot 8; thence S47°55'02"W along the southeasterly line of said Block 3, 110.92 feet to the most southerly corner of said Lot 6; thence N41°28'41"W along the southwesterly line of said Lot 6, 98.28 feet to the most westerly corner of said Lot 6; thence N00°06'26"W along the west line of said Lot 6, 52.94 feet to the north line of said Block 3; thence S89°48'57"E along the north line of said Block 3, 106.08 feet to the Point of Beginning. Said description contains 12,098 square feet or 0.278 acres more or less.

A. ***Statement of Purpose:*** This zoning district is established to allow for the construction of a mixed use building with 3,400 square feet of commercial space and 18 dwelling units.

B. ***Permitted Uses:*** Following are permitted uses:

1. The following commercial uses:
 - a. Artist, photographer, studio, etc.
 - b. Insurance office, real estate office, sales office
 - c. General office
 - d. Clinic – Health
 - e. Physical, occupational or massage therapy
 - f.. Veterinary clinic
 - g. Animal grooming
 - h. Bank, Financial institution
 - i. Business sales and services
 - j. Food and related goods sales
 - k. General retail
 - l. Laundromat, self-service
 - m. Liquor store
 - n. Photocopying
 - o. Post office
 - p. Service business
 - q. Small appliance repair
 - r. Sporting goods store, bait shop
 - s. Tattoo shop
 - t. Tobacco shop
 - u. Coffee shop, tea house
 - v. Restaurant
 - w. Artisan workshop
 - x. Printing and publishing

Zoning Text

Amended PUD – SIP
1907-1911 Monroe Street
April 27, 2011
Page 2

2. Multifamily residential uses as shown in approved plans.
 3. Accessory uses including but not limited to:
 - a. Accessory uses directly associated with those permitted uses including parking for residents and guests, and outdoor seating areas as shown on approved specific implementation plans.
 - b. Temporary buildings for storage of building materials and equipment for construction purposes when on the same lot as a principle use for a period not to exceed the duration of such construction.
- C. ***Lot Area:*** As shown on the approved plans.
- D. ***Height Regulations:*** As shown on the approved plans.
- E. ***Yard Regulations:*** As shown on the approved plans.
- F. ***Landscaping:*** Site Landscaping will be provided as shown on the approved plans.
- G. ***Usable Open Space Requirements:*** Usable open space will be provided as shown on the approved plans.
- H. ***Parking & Loading:*** Off-street parking and loading shall be provided as shown on the approved plans .All underground parking stalls will be assigned to specific units by the developer.
- I. ***Family Definition:*** A family shall be defined as a household not to exceed three unrelated persons.
- J. ***Signage:*** Signage for the residential buildings will be allowed as per the R-5 zoning district or as provided in the approved SIP plans or as a minor alteration to the approved PUD-SIP.
- K. ***Alterations and Revisions:*** No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Planning Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Architectural Review Committee, Director Of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.

SHEET INDEX

C-1.1	SITE PLAN
C-2.1	SITE GRADING PLAN
C-3.1	SITE UTILITY PLAN
C-4.1	LANDSCAPE PLAN
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND & THIRD FLOOR PLAN
A-1.3	ROOF PLAN
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS

SITE STATISTICS

Dwelling Unit Mix:	
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	Three Stories
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Bicycle Parking:	
Underground	14 stalls
Surface- standard 2'x6'	5 stalls
Total	19 stalls (18 required)

Notes

- A SIDE WALK WITH A PITCH GREATER THAN 1:20 IS A RAMP. THE MAXIMUM PITCH OF ANY RAMP OR WALK SHALL BE 1:12. RAMPS OVERCOMING MORE THAN 6' CHANGE IN ELEVATION TO HAVE HANDRAILS ON BOTH SIDES.
- ALL DRIVEWAYS, CURB ADJACENT TO DRIVEWAYS, AND SIDEWALK CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY, SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION BY A CONTRACTOR CURRENTLY LICENSED BY THE CITY.
- ALL TRASH AND RECYCLING TO BE COLLECTED IN TRASH ROOMS IN THE BUILDING.
- SEE SITE GRADING AND UTILITY PLANS FOR ADDITIONAL INFORMATION.
- ALL WORK IN THE RIGHT OF WAY SHALL BE PERFORMED BY A CITY OF MADISON LICENSED CONTRACTOR.
- BIKE STALLS TO BE IN ACCORDANCE TO MADISON GENERAL ORDINANCE 28.11, (SEE SUBSECTIONS (3)(a) AND (3)(b)(2)).
- ALL CITY SIDEWALK, CURB AND GUTTER, WHICH IS DAMAGED DURING CONSTRUCTION OR THAT THE CITY ENGINEER DETERMINES TO BE NECESSARY SHALL BE REPLACED.
- ANY DAMAGE TO STREET PAVEMENT WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY'S PATCHING CRITERIA.
- SIGNAGE APPROVALS ARE NOT GRANTED BY THE PLAN COMMISSION. SIGNAGE MUST BE APPROVED BY THE URBAN DESIGN COMMISSION OR STAFF. SIGN PERMITS MUST BE ISSUED BY THE ZONING SECTION OF THE DEPARTMENT OF PLANNING AND COMMUNITY AND ECONOMIC DEVELOPMENT PRIOR TO SIGN INSTALLATIONS.

Revisions

UDC Submittal - July 13, 2011

Project Title

Parman Place
3502 Monroe Street

Drawing Title

Site Plan

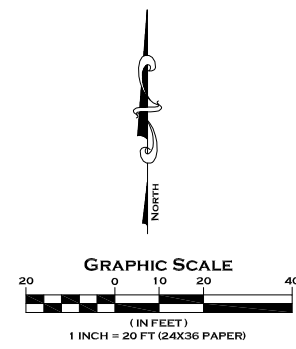
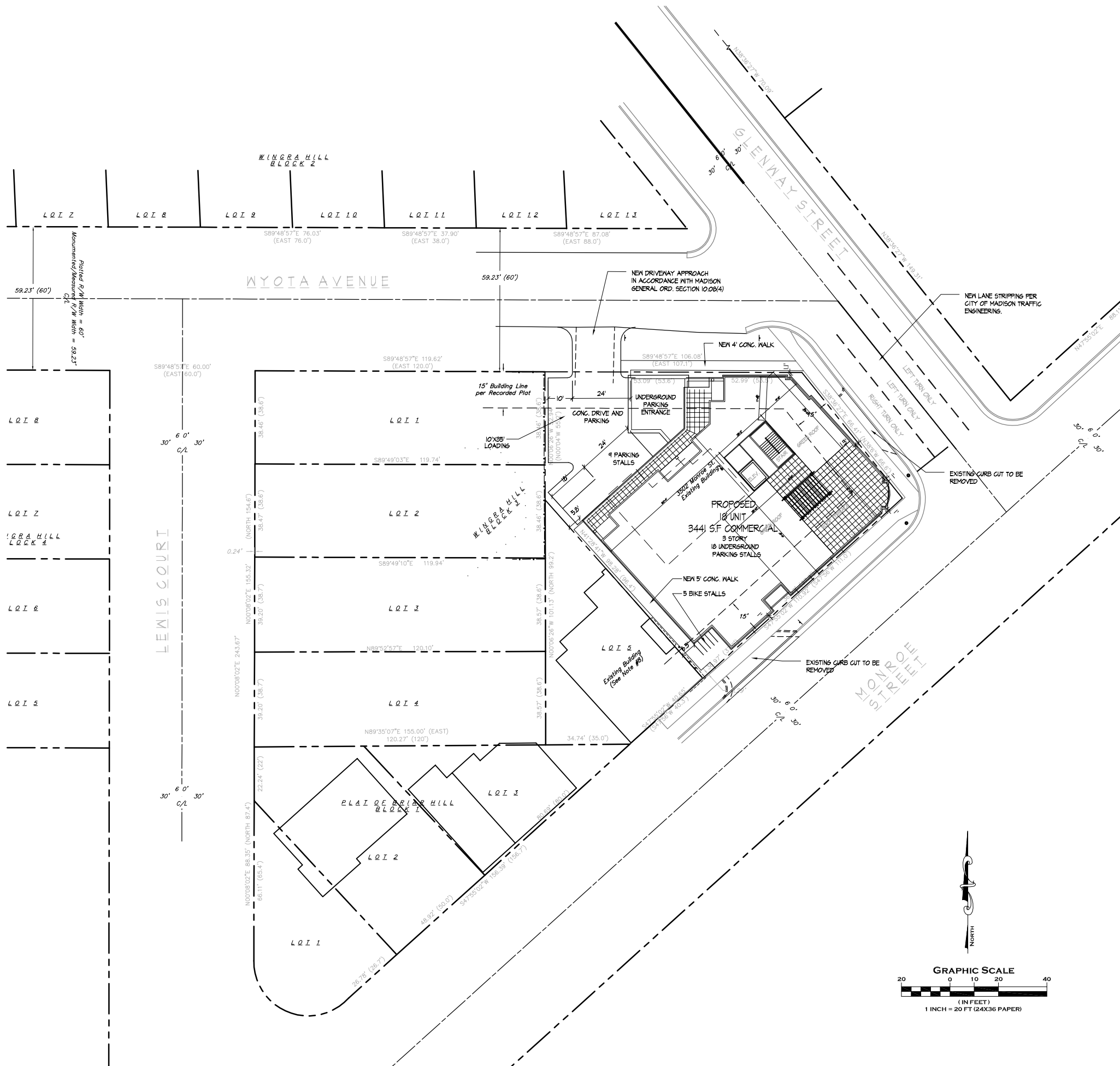
Project No.

1038

Drawing No.

C-1.1

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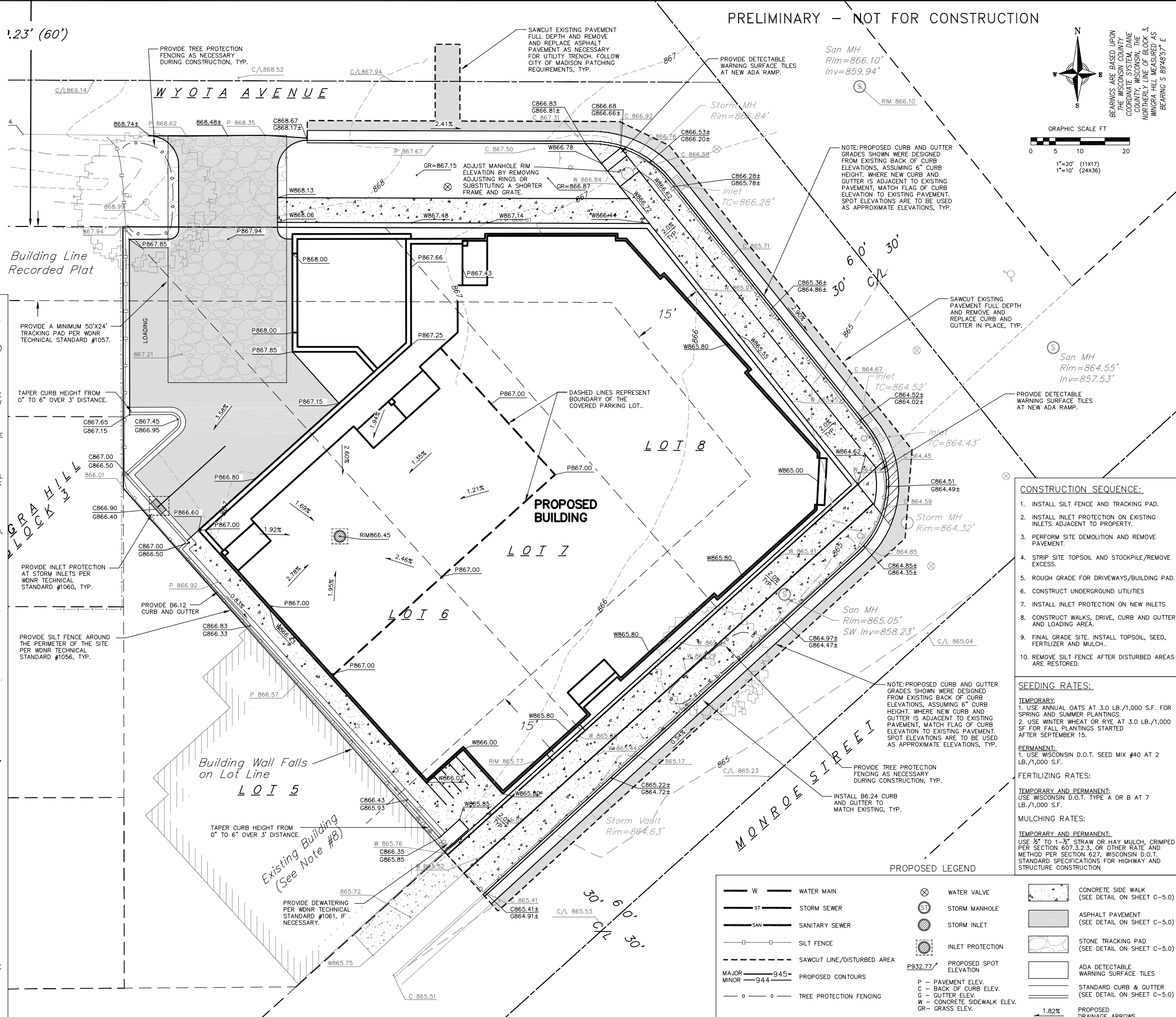
25 May 2011 9:55a M:\Parman Place\35107454_3502 Monroe St Survey\ENGINEERING\Civil_3D\35107454-base.dwg By: jdoj

GENERAL NOTES:

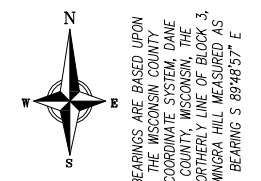
- 1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR...

EROSION CONTROL MEASURES

- 1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.



PRELIMINARY - NOT FOR CONSTRUCTION



GRAPHIC SCALE FT 0 5 10 20

- CONSTRUCTION SEQUENCE: 1. INSTALL SILT FENCE AND TRACKING PAD. 2. INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY.

- SEEDING RATES: TEMPORARY: 1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.

PROPOSED LEGEND table with symbols for water main, storm sewer, sanitary sewer, silt fence, sawcut line, water valve, storm manhole, storm inlet, inlet protection, concrete side walk, asphalt pavement, stone tracking pad, ADA detectable warning surface tiles, standard curb & gutter, and proposed drainage arrows.

GRADING AND EROSION CONTROL PLAN

PARMEN PLACE 3502 MONROE STREET CITY OF MADISON, WISCONSIN

Table with columns: REVISIONS, NO., DATE, REMARKS, and SHEET 2 OF 3.

vierbicher logo and contact information: REEDSBURG - MADISON - PRAIRIE DU CHIEN 999 Prairie du Chien Rd. (608) 824-9330 Fax: (608) 824-9330

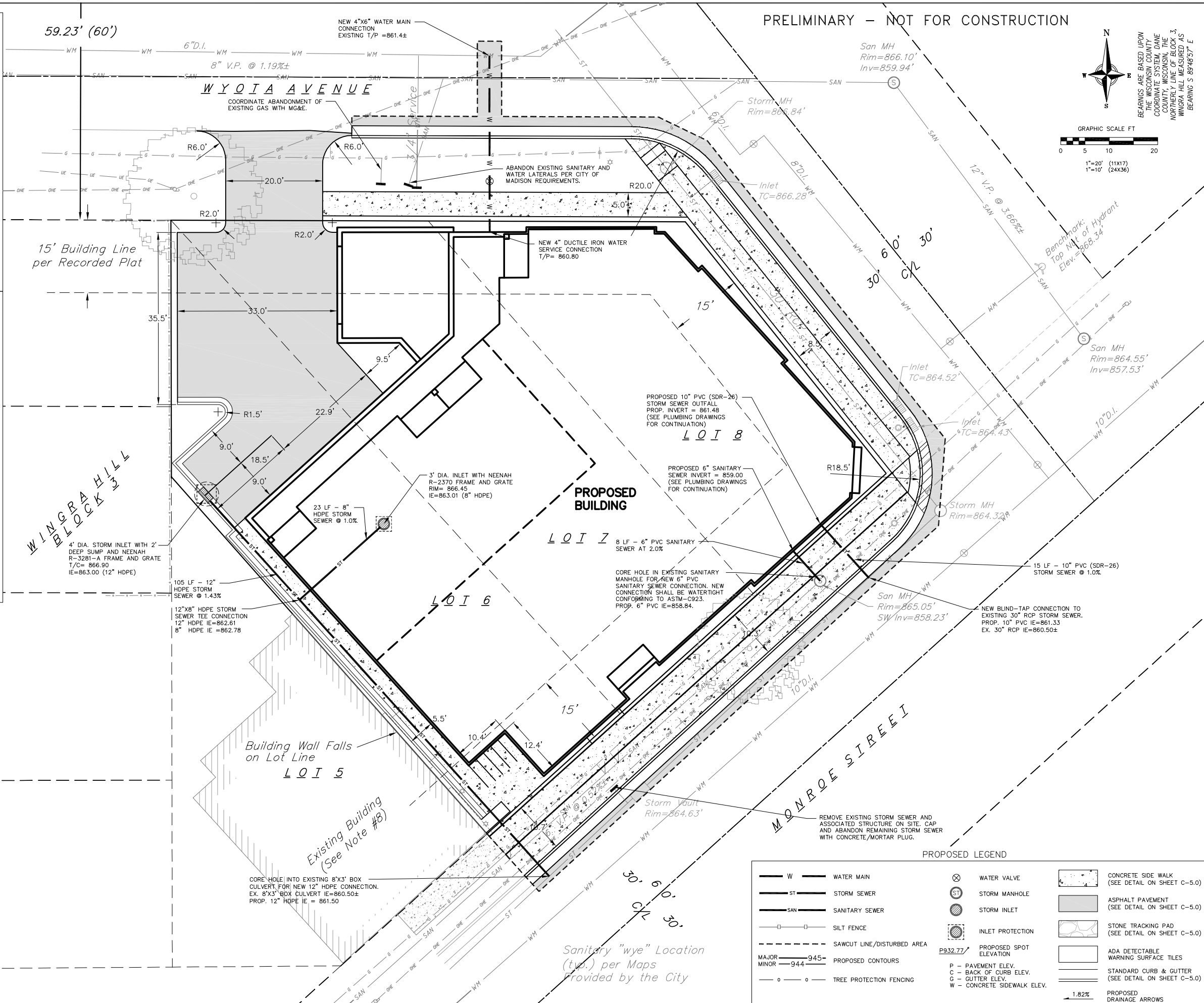
25 May 2011 - 9:56a M:\Parman Place\35107454_3502 Monroe St Survey\ENGINEERING\Civil_3D\35107454-base.dwg by: jdoj ©2009 Vierbicher Associates, Inc.

GENERAL NOTES:

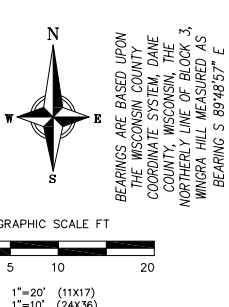
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
- ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
- ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.
- THESE DRAWINGS ASSUME THAT THE CONTRACTOR WILL UTILIZE AN ELECTRONIC DRAWING FILE AND STAKE ALL SITE IMPROVEMENTS USING COORDINATES TIED INTO CONTROL POINTS. THE DIMENSIONS INDICATED ON THE DRAWINGS ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY.
- PRIOR TO THE USE OF THESE DRAWINGS FOR CONSTRUCTION PURPOSES, THE USER SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF BUILDINGS WITH THE FOUNDATION DRAWINGS AND ARCHITECTURAL SITE PLAN. IF CONFLICTS EXIST THE USER OF THESE DRAWINGS SHALL CONTACT THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL NOTIFY THE OWNER, ENGINEER AND THE CITY OF MADISON AT (608) 266-4751. A MINIMUM OF 48 HOURS IN ADVANCE OF PERFORMING ANY WORK.

UTILITY NOTES:

- PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52).
- PRIVATE SANITARY SEWER AND LATERALS SHALL BE PVC (ASTM D3034 - SDR 35).
- SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
- CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
- PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
- ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
- CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
- EXISTING WATER AND SANITARY LATERALS MUST BE PROPERLY ABANDONED PER CITY REQUIREMENTS.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.



PRELIMINARY - NOT FOR CONSTRUCTION



vierbicher
 planners | engineers | advisors
 REDSBURG - MADISON - PRAIRIE DU CHIEN
 999 Folsom Street, Suite 200
 Phone: (608) 824-0332 Fax: (608) 824-0300

UTILITY PLAN
 PARMEN PLACE
 3502 MONROE STREET
 CITY OF MADISON, WISCONSIN

REVISIONS	
NO.	DATE

SCALE	1"=20' (11x17) 1"=10' (24x36)
DATE	5-25-11
DRAFTER	TCOY
CHECKED	JDOJ
PROJECT NO.	35107454
SHEET	3 OF 3
DWG. NO.	C-3.1

PROPOSED LEGEND

W	WATER MAIN	⊗	WATER VALVE	▨	CONCRETE SIDE WALK (SEE DETAIL ON SHEET C-5.0)
ST	STORM SEWER	⊙	STORM MANHOLE	▩	ASPHALT PAVEMENT (SEE DETAIL ON SHEET C-5.0)
SAN	SANITARY SEWER	⊘	STORM INLET	▧	STONE TRACKING PAD (SEE DETAIL ON SHEET C-5.0)
---	SILT FENCE	⊚	INLET PROTECTION	▤	ADA DETECTABLE WARNING SURFACE TILES
---	SAWCUT LINE/DISTURBED AREA	⊛	PROPOSED SPOT ELEVATION	▬	STANDARD CURB & GUTTER (SEE DETAIL ON SHEET C-5.0)
MAJOR --- 945	PROPOSED CONTOURS	⊜	P - PAVEMENT ELEV.	▬	1.82% PROPOSED DRAINAGE ARROWS
MINOR --- 944		⊝	C - BACK OF CURB ELEV.		
○	TREE PROTECTION FENCING	⊞	G - GUTTER ELEV.		
		⊟	W - CONCRETE SIDEWALK ELEV.		

Preliminary Landscape Plan

Parman Place
3502 Monroe Street
Madison Wisconsin

Wyota

3 White Birch Clumps
Betula papyrifera
Underplanted with:
Canada Anemone
Columbine
American Alum Root
Pennsylvania Sedge
Zigzag Goldenrod

Anemone Canadensis
Aquilegia canadensis
Heuchera Americana
Carex pennsylvanica
Soldidago flexicaulis

Wood Phlox
Bigleaf Aster
Virginia Bluebells
Wild Geranium
Shooting Stars
White Turtlehead
Birdsfoot Violet

Phlox divaricata
Aster macrophyllus
Mertensia virginica
Geranium maculatum
Dodocatheon meadia
Chelone glabra
Viola pdeata

Multistem Black Haw
Viburnum

Black Gum
Nyssa sylvatica

Underplanted with:
Wild Ginger
Canada Anemone
Jacobs Ladder
Solomon's Plume
Columbine

Asarum canadense
Anemone Canadensis
Polemonium
Smilacina racemosa
Aquilegia canadensis

Fenceline Plantings:
Lenten Rose
'Ghost' Fern
Periwinkle

Helleborus
Athyrium hyb.
Vinca minor

Multistem Witchhazel (*Hamamelis*)
-or- Bottlebrush Buckeye (*Aesculus*)
Underplanted with:
Barronwort
Epimedium grandiflorum

4 *Diervilla lonicera*
Dwarf Bush Honeysuckle

3 Climbing Hydrangea
Vine on Lattice

Underground
Parking Entry

Green Roof

Roof Deck

Decorative Plantings &
Container Plantings as
Balcony Dividers

Green Roof

Highly Maintained Decorative
Flowering Annuals, Perennials
& Ornamental Grasses

Glenway Street

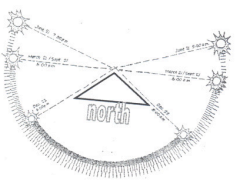
Highly Maintained Decorative
Flowering Annuals, Perennials
& Ornamental Grasses

Brick Pavers

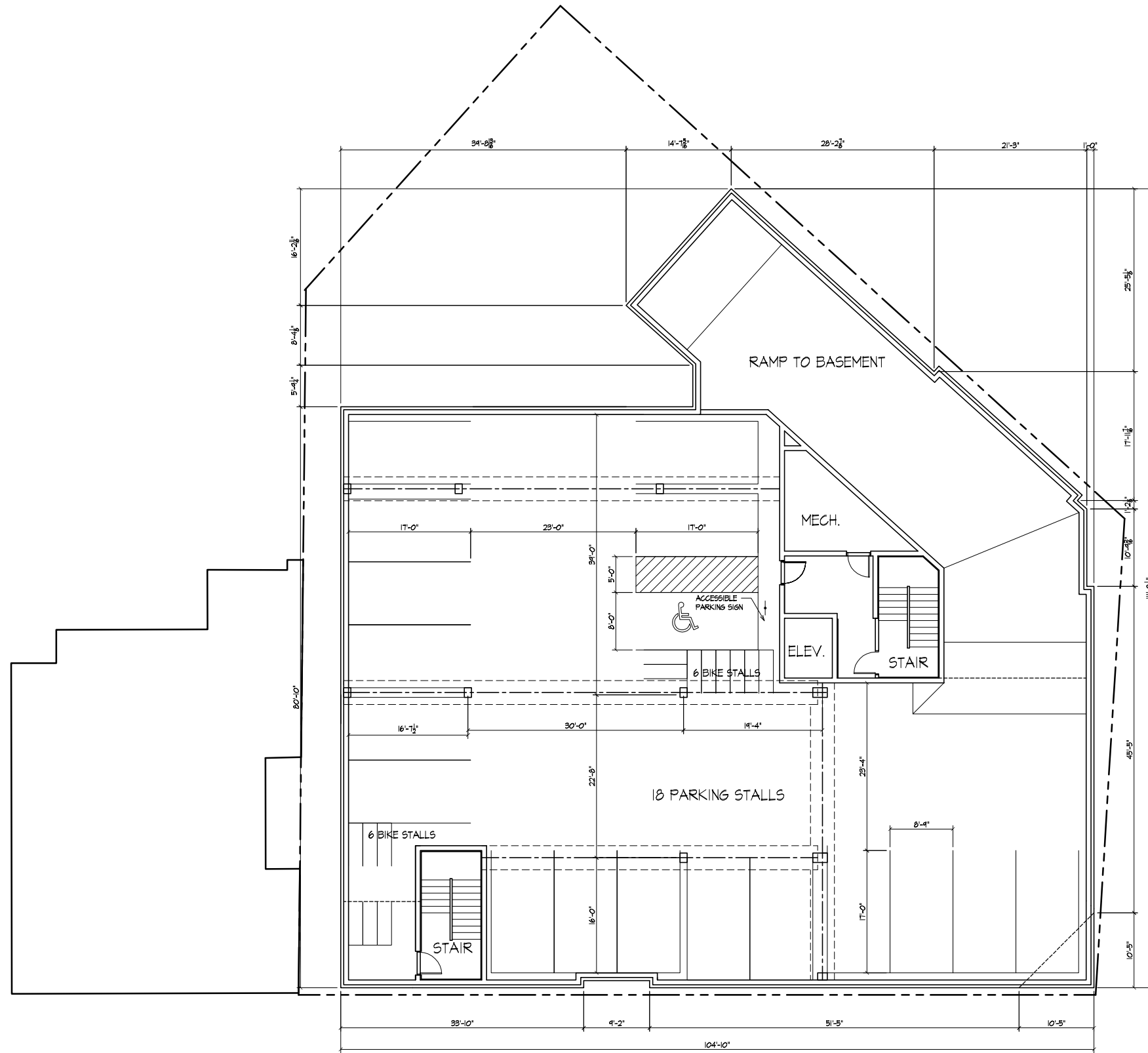
Monroe Street

Second Nature
Landscapes

SCALE: 1 IN = 8 FT
ARCH: PAN
DATE: 24 MAY 2011
REV: 13 June 2011
REV: 12 July 2011



PROJECT
PARMAN
SHEET
1



 **BASEMENT PLAN**
1/8" = 1'-0"

Revisions

- Issued To Planning - May 25, 2011
- Owner Review - June 13, 2011
- Owner Review - June 23, 2011
- UDC - July 13, 2011

Project Title

Parman Place
18 Unit Building
Madison, WI

Drawing Title

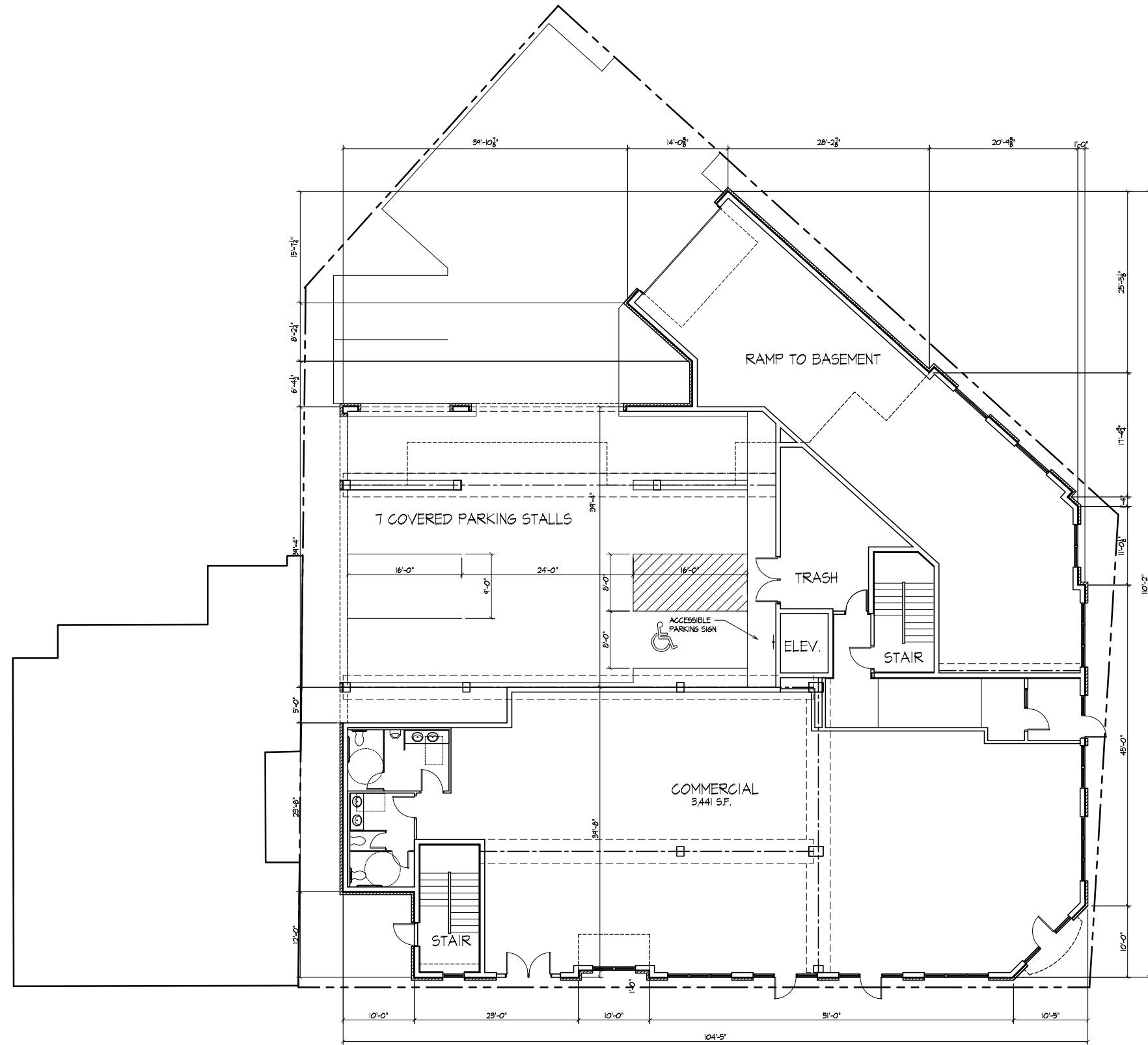
Basement Plan

Project No.

1038

Drawing No.

A-1.0



FIRST FLOOR PLAN
1/8" = 1'-0"

Revisions

Issued To Planning - May 25, 2011
Owner Review - June 13, 2011
Owner Review - June 23, 2011
UDC - July 13, 2011

Project Title

Parman Place
18 Unit Building
Madison, WI

Drawing Title

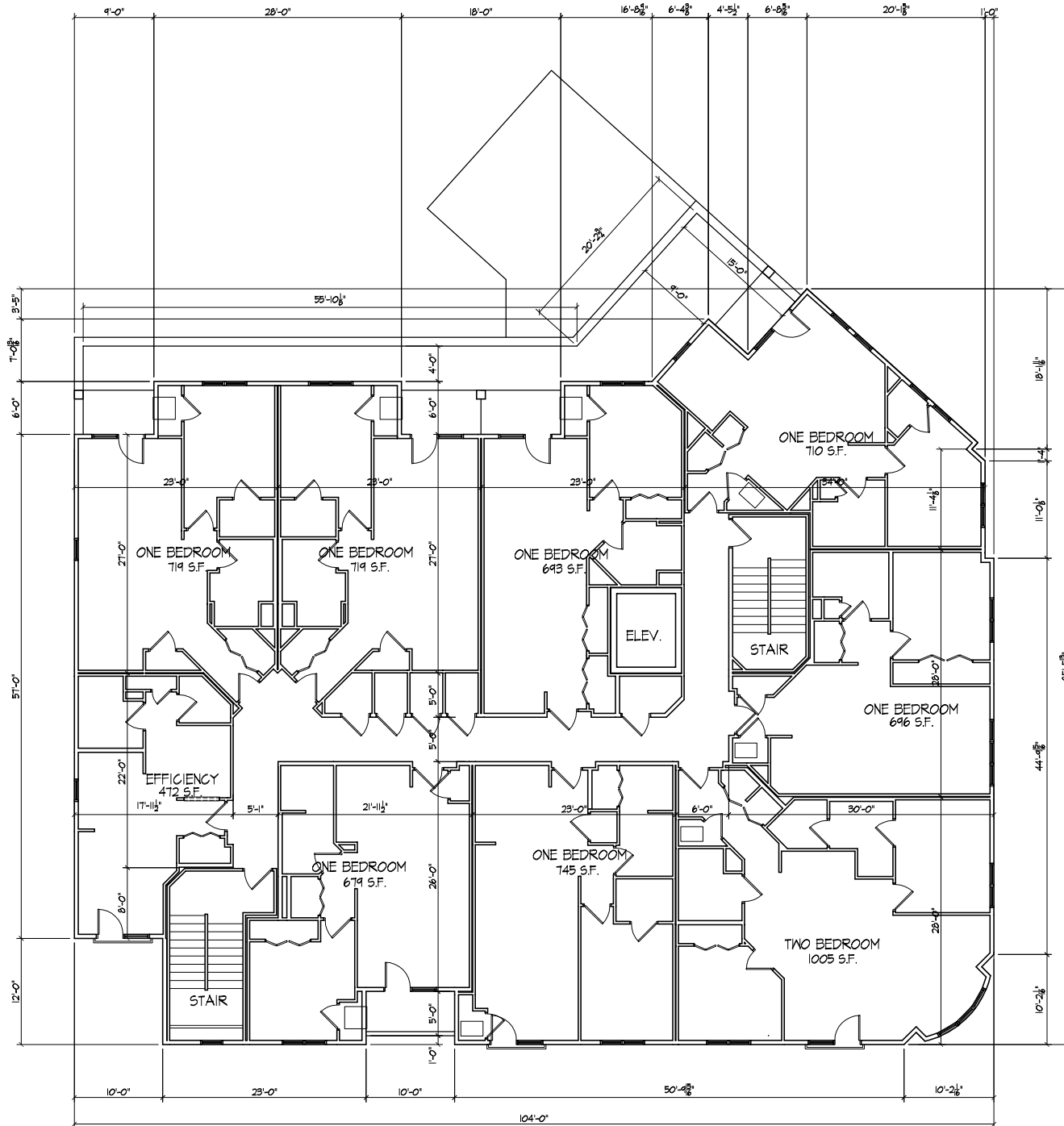
First Floor Plan


Project No.

1038

Drawing No.

A-1.1



 SECOND & THIRD FLOOR PLAN
 1/8" = 1'-0"

Revisions

- Issued To Planning - May 25, 2011
- Owner Review - June 13, 2011
- Owner Review - June 23, 2011
- UDC - July 13, 2011

Project Title

Parman Place
 18 Unit Building
 Madison, WI

Drawing Title

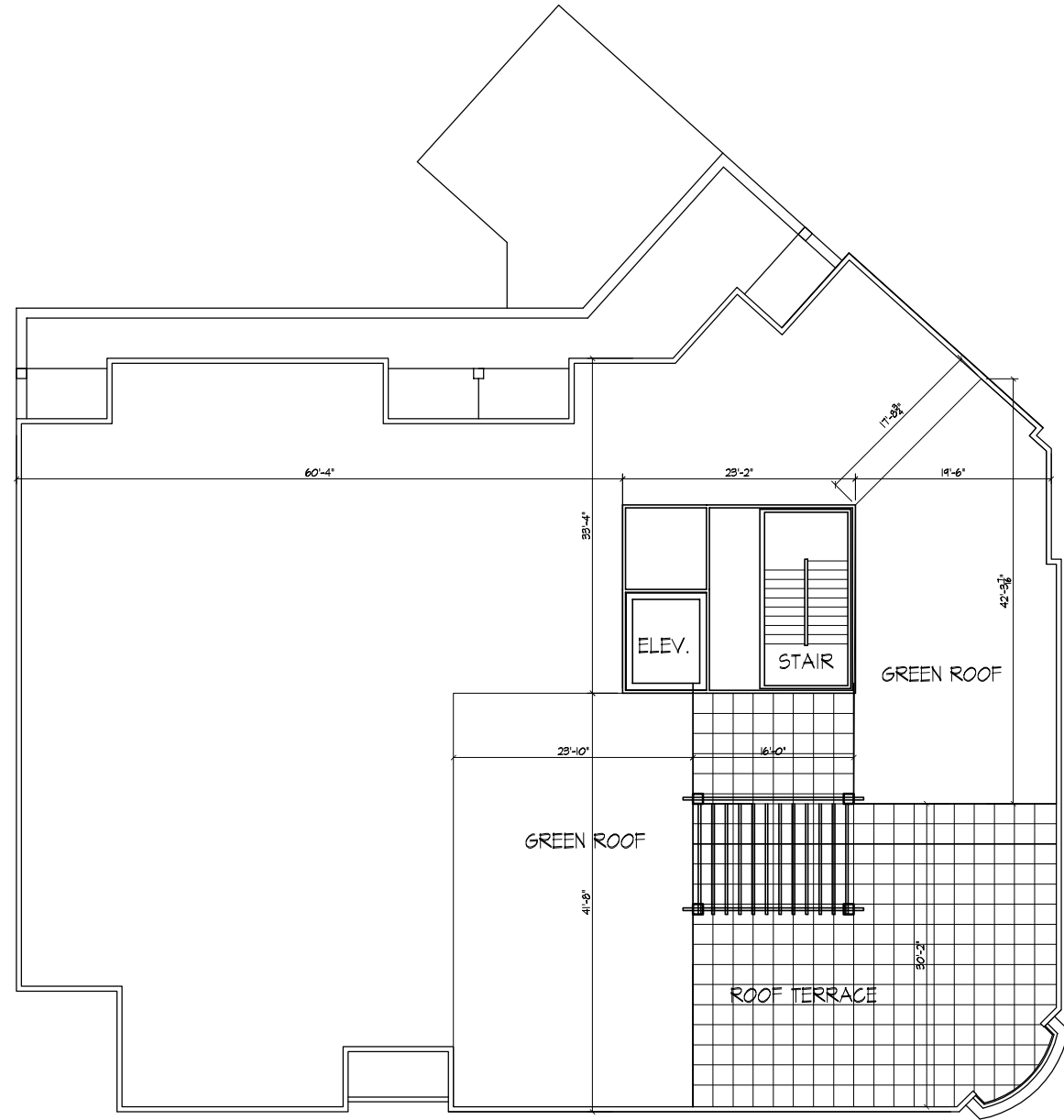
Second & Third
 Floor Plan

Project No.

1038

Drawing No.

A-1.2



ROOF PLAN
 1/8" = 1'-0"

Revisions

- Issued To Planning - May 25, 2011
- Owner Review - June 13, 2011
- Owner Review - June 23, 2011
- UDC - July 13, 2011

Project Title

Parman Place
 18 Unit Building
 Madison, WI

Drawing Title

Roof Plan

Project No.

1038

Drawing No.

A-1.3

Consultant

Notes



○ ELEVATION ALONG MONROE STREET

Revisions
Issued To Planning - May, 25, 2011
Owner Review - June 13, 2011
Owner Review - June 23, 2011

Project Title
Parman Place
18 Unit Building
Madison, WI

Drawing Title
Elevations

Project No. 1038 **Drawing No.** A-2.1

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Consultant

Notes



ELEVATION ALONG MONROE STREET
1/8" = 1'-0"



ELEVATION ALONG GLENWAY
1/8" = 1'-0"

Revisions

- Issued To Planning - May, 25, 2011
- Owner Review - June 13, 2011
- Owner Review - June 23, 2011

Project Title
Parman Place
18 Unit Building
Madison, WI

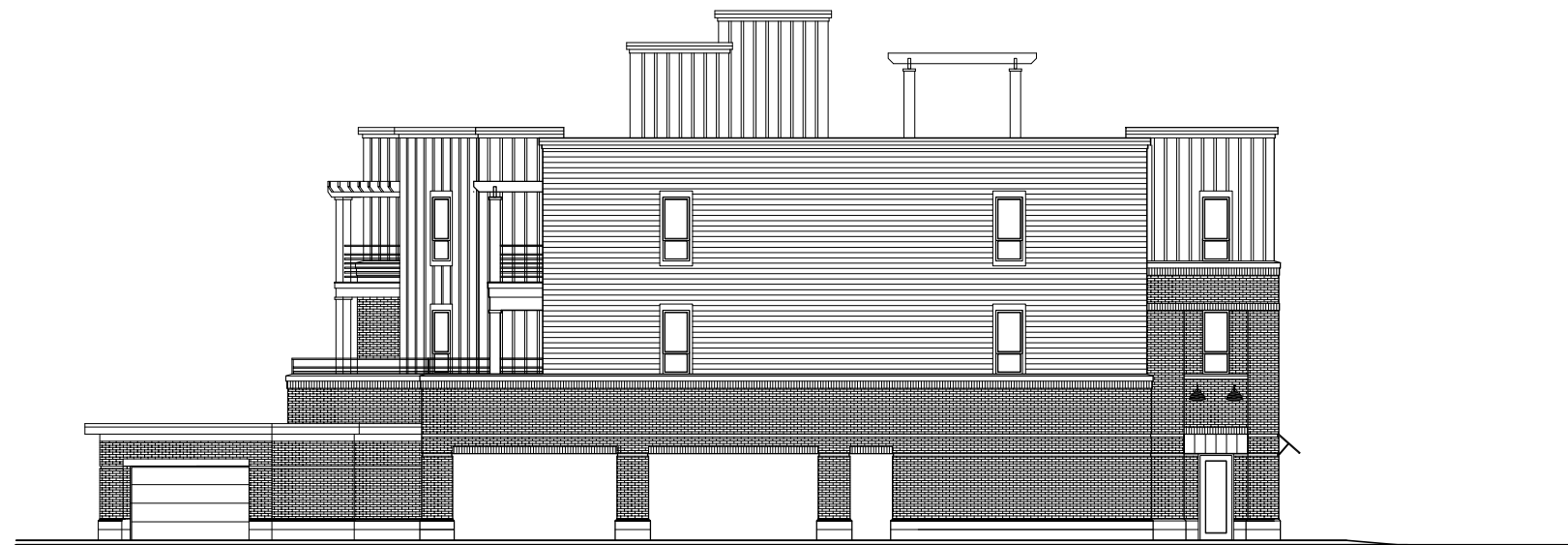
Drawing Title
Elevations

Project No. 1038
Drawing No. A-2.1

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ELEVATION ALONG WYOTA
 1/8" = 1'-0"



SOUTHWEST ELEVATION
 1/8" = 1'-0"

Revisions

- Issued To Planning - May 25, 2011
- Owner Review - June 13, 2011
- Owner Review - June 23, 2011
- UDC - July 13, 2011

Project Title

Parman Place
 18 Unit Building
 Madison, WI

Drawing Title

Elevations

Project No.

1038

Drawing No.

A-2.2