

SITE PLAN LEGEND

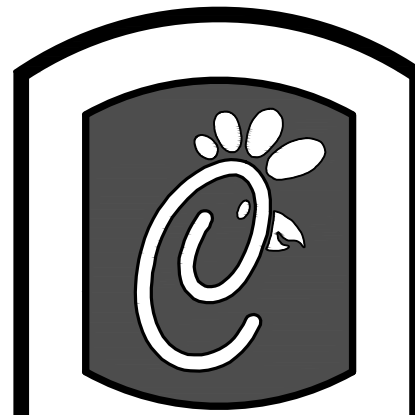
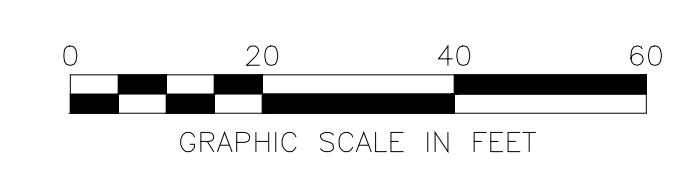
- PROPOSED CURB AND GUTTER
- ACCESSIBLE RAMP
- DETECTABLE WARNING

SITE KEY NOTES

- NO. DESCRIPTION
- 1 "STOP" SIGN
 - 2 "DO NOT ENTER" SIGN
 - 3 "PEDESTRIAN CROSSING" SIGN
 - 4 "LEFT TURN ONLY" SIGN
 - 5 "YIELD" SIGN
 - 6 ACCESSIBLE PARKING SIGN
 - 7 PAINTED ACCESSIBLE PARKING SYMBOL
 - 8 STOP BAR
 - 9 CONCRETE SIDEWALK
 - 10 DIRECTIONAL ARROW
 - 11 DRIVE-THRU GRAPHICS
 - 12 MENU BOARD & CANOPY ORDERING STATION
 - 13 THREE-SIDED PYLON SIGN (30' HEIGHT)
 - 14 DIRECTIONAL SIGN
 - 15 ALUMINUM HANDRAIL, DARK BRONZE
 - 16 REFUSE ENCLOSURE (SEE ARCH. PLANS FOR DETAILS)
 - 17 4" STRIPE, TRAFFIC YELLOW PAINT
 - 18 4" STRIPE, TRAFFIC WHITE PAINT
 - 19 PAINT 4" WIDE STRIPES @ 4' O.C. AT 45° ANGLE, TRAFFIC WHITE PAINT
 - 20 PAINT 4" WIDE STRIPES @ 4' O.C. AT 45° ANGLE, TRAFFIC YELLOW PAINT
 - 21 "DO NOT ENTER" SIGN
 - 22 EXISTING STRIPING TO REMAIN
 - 23 PROPOSED STAIRS
 - 24 PROPOSED BIKE RACK

SITE DATA

SITE AREA: ±1.26 ACRES (54,722 S.F.)	
CURRENT ZONING: CC	
EXISTING BUILDING AREA: 3,797 S.F. (6.9%)	PROPOSED BUILDING AREA: 5,012 S.F. (9.2%) FLOOR AREA RATIO =0.092
EXISTING PAVEMENT AREA: 30,524 S.F. (55.8%)	PROPOSED PAVEMENT AREA: 37,083 S.F. (67.8%)
EXISTING LANDSCAPE AREA: 20,401 S.F. (37.3%)	PROPOSED LANDSCAPE AREA: 12,627 S.F. (23.0%)
PARKING DATA:	
ON-SITE PARKING:	
55 REGULAR SPACES PROVIDED	
3 ACCESSIBLE SPACES PROVIDED	
58 PARKING SPACES PROVIDED	
REQUIRED PARKING:	
PARKING SPACES REQUIRED: 1/100 SF GROSS FLOOR AREA	
GROSS FLOOR AREA = 5,012 SF	
50 PARKING SPACES REQUIRED	

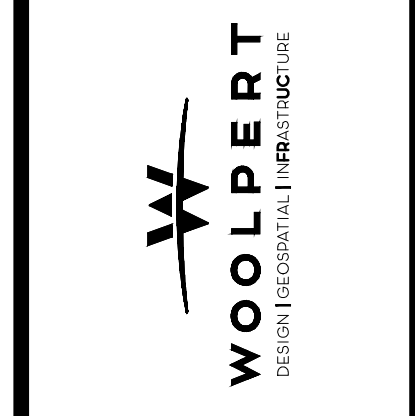


Chick-fil-C
5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
△		
△		
△		

1815 South Meyers Road
Suite 120
Oakbrook Terrace, IL 60181
630.424.9080
FAX: 630.495.3731



STORE #3352
MADISON
S08C

432 S. GAMMON ROAD
MADISON, WISCONSIN

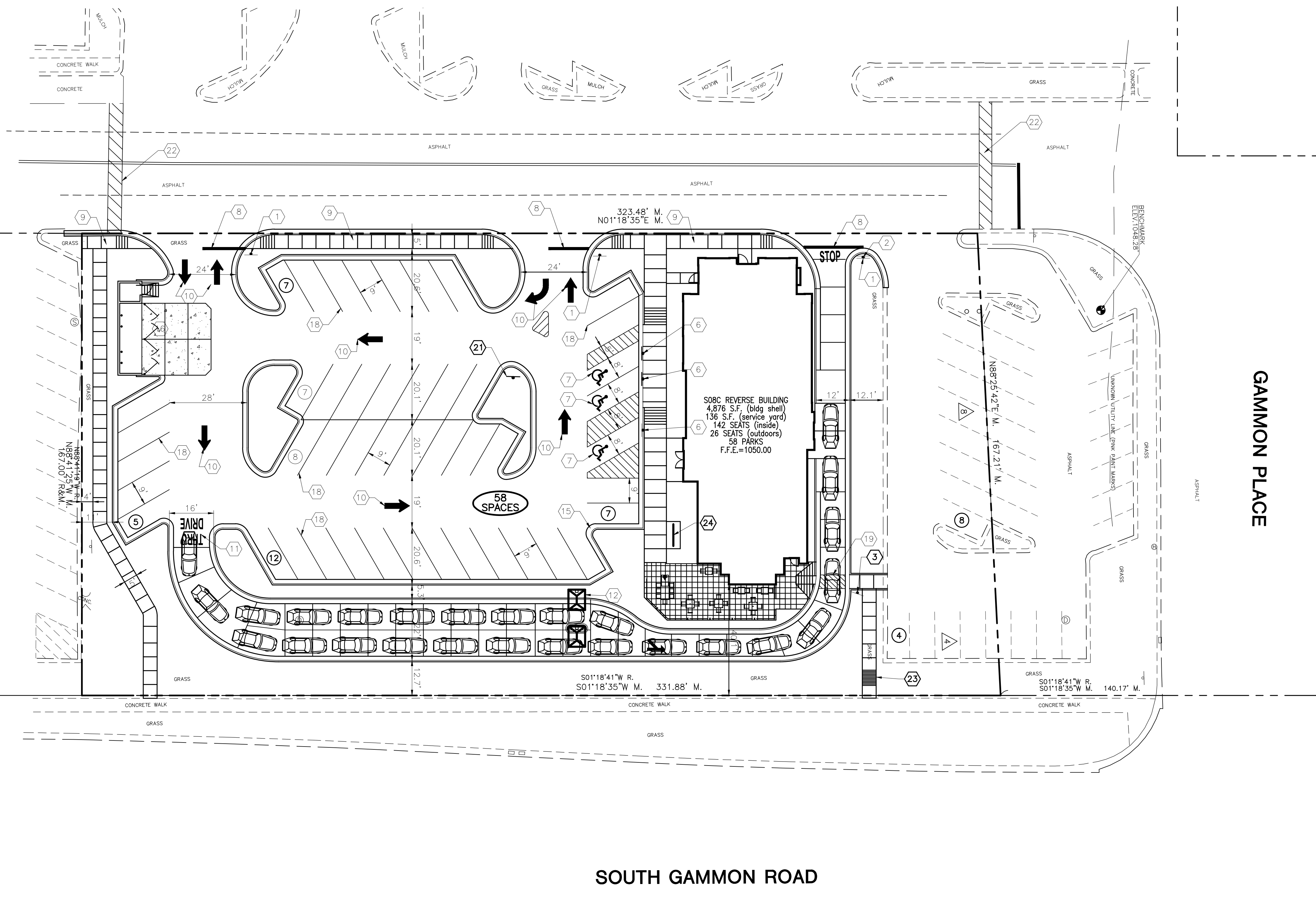
SHEET TITLE
SITE PLAN

DWG EDITION 07.1
REVISION 1

Job No. : 073820
Store : 3352
Date : 12/20/13
Drawn By : DLH
Checked By: EJU

Sheet

SP



Layout Tab Name: C-2.0, Images: buildable area CFA.jpg, MAPS.jpg, Xrefs: 01-3352-P.dwg, 01-3352-TBLK.dwg, 01-3352-X.dwg
Last Saved By: Bycebulski, 2/11/2014 9:26:53 AM
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February 10, 2014

Mr. Kevin Firchow, AICP
Planner, Planning Division
City of Madison Department of Planning &
Community and Economic Development
Madison Municipal Building Suite LL-100
215 Martin Luther King, Jr. Blvd
PO Box 2985
Madison, WI 53701-2985

Dear Mr. Firchow:

The purpose of this letter is to serve as the Letter of Intent for a proposed restaurant development located at 432 S. Gammon Road in Madison.

Project Team

Applicant:
Chick-fil-A, Inc.
5200 Buffington Road
Atlanta, GA 30349
Contact: Jason D. Hill

Architect:
Chipman Design Architecture, Inc.
2700 South River Road, Suite 400
Des Plaines, IL 60018
Contact: Steve Ajster

Civil Engineer:
Woolpert, Inc.
1815 South Meyers Road, Suite 120
Oakbrook Terrace, IL 60181
Contact: Jon Grzywa

Existing Site Conditions

The site is an outlot along the east side of the West Towne Mall shopping center. The site area is approximately 1.26 acres. There is an existing bank with a drive-thru and a parking lot on the site.

Project Schedule

The project is anticipated to begin construction in July of 2014 with a projected opening date in December of 2014

Proposed Uses

The project will consist of the construction of a single story restaurant with a drive-thru.

Hours of Operation

6:30 AM-10:00 PM, Monday through Saturday. Closed every Sunday.

Building Square Footage

The proposed building size is 5,012 SF.

Number of Dwelling Units

There will not be any dwelling units constructed as part of this project.

Auto and Bike Parking Stalls

58 Auto parking stalls and 8 bicycle parking spaces are proposed. 50 auto parking and 8 bicycle parking stalls are required.

Lot Coverage & Usable Open Space Calculations

The proposed building will cover 5,012 square feet, or 9.2% of the site. The proposed parking will cover approximately 37,083 square feet, or 67.8% of the site. The proposed landscape area will cover approximately 12,267 square feet, or 23.0% of the site.

Value of Land

The value of the land is estimated to be \$390,000

Estimated Project Cost

The estimated construction cost is \$1,400,000

Number of Construction & Full-Time Jobs Created

40 full time and approximately 100 construction jobs will be created as part of this project.

Public Subsidy Requested

None.

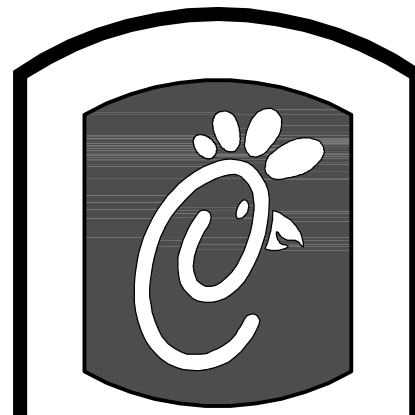
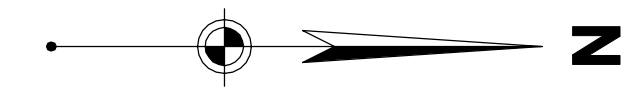
Sincerely,

Woolpert, Inc.



Jon Grzywa, PE

Layout Tab Name: C-2.1, Images: Aerial.jpg, buildable area CFA.jpg, MAPS.jpg, Xrefs: 01-3352-P.dwg; 01-3352-TBLK.dwg; 01-3352-X.dwg
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Chick-fil-A

5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

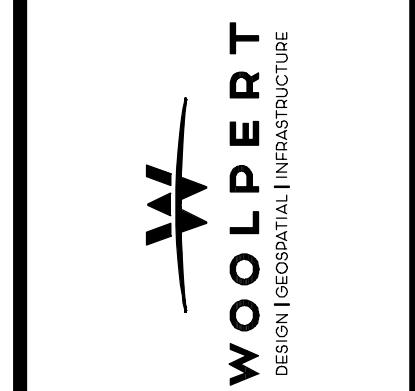
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STORE #3352
 MADISON
 S08C

432 S. GAMMON ROAD
 MADISON, WISCONSIN

SHEET TITLE
**OVERALL
 SITE PLAN**

DWG EDITION 07.1
 REVISION 1

Job No. : 073820
 Store : 3352
 Date : 12/20/13
 Drawn By : JAC
 Checked By: JLG

Sheet

C-2.1



LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1, CURRENT EDITION.
2. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE MADISON LANDSCAPE ORDINANCE.
3. ALL PLANTED AREAS AND LANDSCAPE ISLANDS SHALL RECEIVE A 3" LAYER OF SHREDDED HARDWOOD BARK MULCH.
4. THE SIZES OF PLANT MATERIAL SHOWN IN THE PLANT CHART ARE THE MINIMUM REQUIRED AT THE TIME OF PLANTING. CONTRACTOR TO PROVIDE INFORMATION AT TIME OF BIDDING IF ALTERNATE MATERIALS ARE SUGGESTED.
5. ALL LANDSCAPE MATERIAL INSTALLED SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR UNTIL FINAL ACCEPTANCE BY THE OWNER.
6. ALL DISTURBED AREAS NOT RECEIVING PLANTINGS (INCLUDING RIGHT-OF-WAYS) SHALL RECEIVE EIGHT INCHES OF TOPSOIL, SOD, AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED, (5,400 SF).

LANDSCAPE CODE SUMMARY

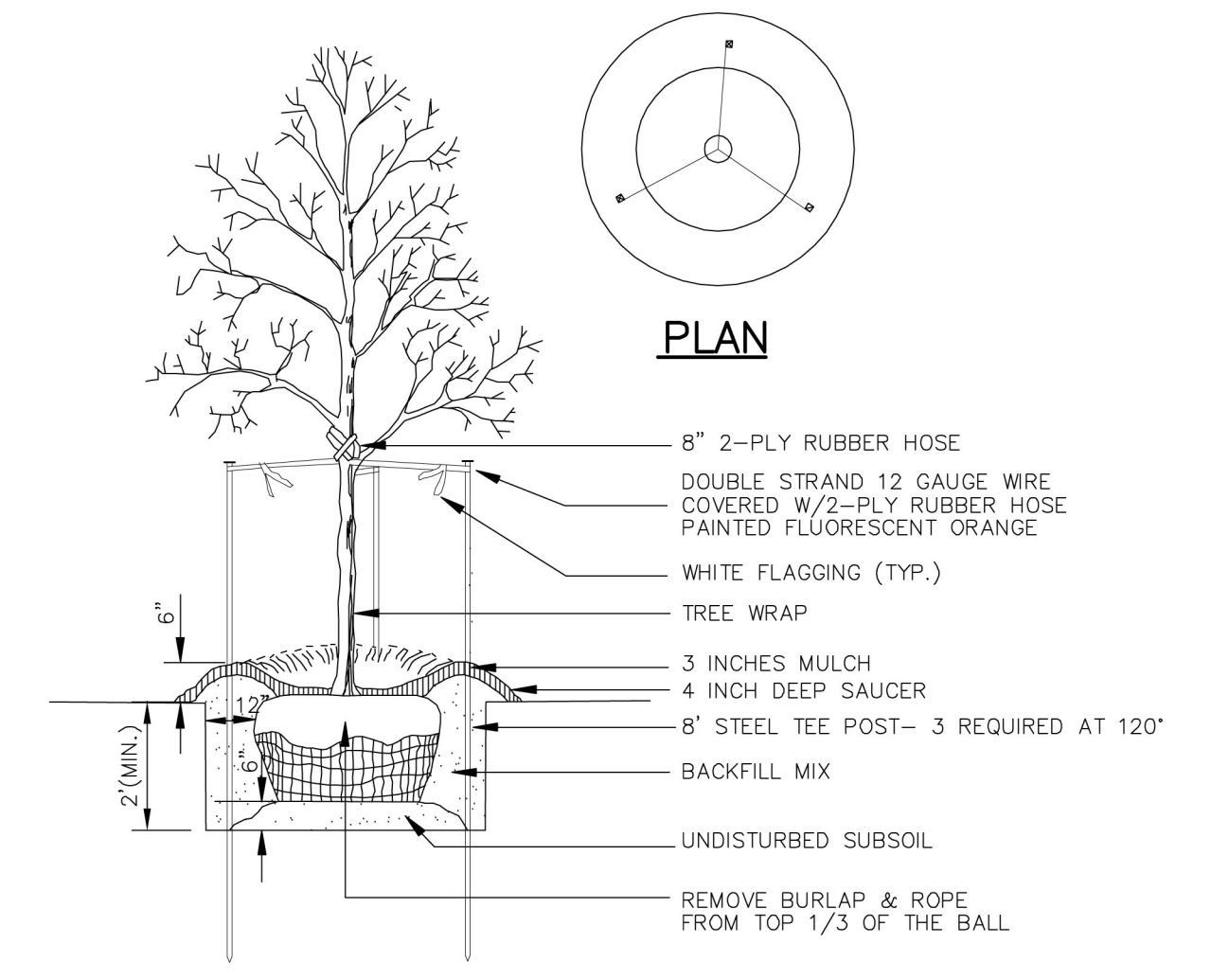
DEVELOPMENT FRONTAGE 28.142(5)
 REQUIREMENT: 1 OVERSTORY TREE AND 5 SHRUBS PER 30 LF
 REQUIRED (331.9 LF): 11.06 TREES & 55.3 SHRUBS
 PROVIDED: 9 SHADE TREES
 3 ORNAMENTAL TREES
 35 EVERGREEN SHRUBS
 21 DECIDUOUS SHRUBS

INTERIOR PARKING LOT 28.142(6)
 REQUIREMENT: 1 OVERSTORY TREE PER 160 SF OF LANDSCAPE AREA
 REQUIRED: 2071 SF OF REQUIRED LANDSCAPE AREA
 12.95 OVERSTORY TREES
 PROVIDED: 1 EXISTING SHADE TREE
 8 SHADE TREES
 8 ORNAMENTAL TREES
 41 EVERGREEN SHRUBS
 60 DECIDUOUS TREES
 20 ORNAMENTAL GRASSES

FOUNDATION PLANTINGS 28.142(7)
 PROVIDED: 54 EVERGREEN SHRUBS
 19 DECIDUOUS SHRUBS
 16 ORNAMENTAL GRASSES
 230 GROUNDCOVER/ANNUALS
 9 PERENNIALS

LANDSCAPE POINT CALCULATION
 REQUIREMENT: TOTAL DEVELOPED AREA SF DIVIDED BY 300 TIMES 5
 REQUIRED: 54,722/300 = 182
 182 X 5 = 910 LANDSCAPE POINTS REQUIRED
 PROVIDED: 1,489 LANDSCAPE POINTS

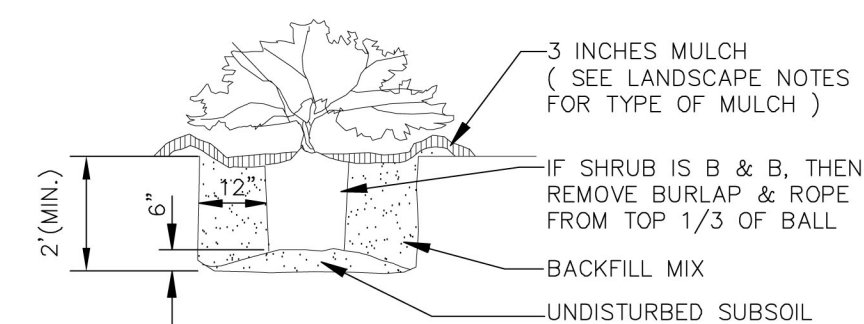
TAG	QTY	SCIENTIFIC NAME	COMMON NAME	COND.	SIZE	REMARKS
SHADE TREE						
AF	4	Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	B&B	2.5" cal. 14'ht. 7'wd	Full, well shaped
CO	2	Celtis occidentalis	Common Hackberry	B&B	2.5" cal. 14'ht. 7'wd	Full, well shaped
GD	5	Gymnocladus dioica 'Espresso'	Fruitless KY Coffeetree	B&B	2.5" cal. 14'ht. 7'wd	Full, well shaped
QA	4	Quercus alba	White Oak	B&B	2.5" cal. 14'ht. 7'wd	Full, well shaped
TA	4	Tilia americana 'Boulevard'	Boulevard American Linden	B&B	2.5" cal. 14'ht. 7'wd	Full, well shaped
ORNAMENTAL / EVERGREEN TREE						
AG	3	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	B&B	1.5" cal. 8'ht. 4'wd	Full, well shaped, single-stem
CC	3	Cercis canadensis	Eastern Redbud	B&B	1.5" cal. 8'ht. 4'wd	Full, well shaped, single-stem
CE	3	Crataegus crus-galli var. inermis	Thornless Cockspur Hawthorn	B&B	1.5" cal. 8'ht. 4'wd	Full, well shaped, single-stem
OV	3	Ostrya virginiana	Ironwood	B&B	1.5" cal. 8'ht. 4'wd	Full, well shaped, single-stem
EVERGREEN SHRUB						
BC	24	Buxus x 'Chicagoland Green'	Chicagoland Green Boxwood	#3 cont.	18"ht. 18"wd	Full, vigorous
BUC	22	Buxus x 'Green Mountain'	Green Mountain Boxwood	#3 cont.	18"ht. 18"wd	Full, vigorous
JC	27	Juniperus chinensis 'Sea Green'	Sea Green Juniper	#3 cont.	24"ht. 24"wd	Full, vigorous
TM	31	Taxus x media 'Densiformis'	Dense Yew	#3 cont.	18"ht. 18"wd	Full, vigorous
TO	6	Thuja occidentalis 'Smaragd'	Emerald Arborvitae	#3 cont.	36"ht. 18"wd	Full, vigorous
TW	13	Thuja occidentalis 'Woodwardii'	Woodward Arborvitae	#3 cont.	18"ht. 18"wd	Full, vigorous
DECIDUOUS SHRUB						
CL	6	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	#3 cont.	18"ht. 18"wd	Full, vigorous
CS	10	Cornus sericea var. 'Bergeson'	Bergeson Dogwood	#3 cont.	24"ht. 24"wd	Full, vigorous
HQ	12	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	#3 cont.	24"ht. 24"wd	Full, vigorous
HP	2	Hydrangea quercifolia 'Snow Queen'	Oakleaf Hydrangea	#3 cont.	24"ht. 24"wd	Full, vigorous
IL	15	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	#3 cont.	24"ht. 24"wd	Full, vigorous, 1 M to 3 F
IV	31	Itea virginica 'Little Henry'	Little Henry Sweetspire	#3 cont.	18"ht. 18"wd	Full, vigorous
RA	37	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	#3 cont.	12"ht. 18"wd	Full, vigorous
RO	12	Rosa 'Carefree Sunshine'	Carefree Sunshine Rose	#3 cont.	24"ht. 24"wd	Full, vigorous
SJ	15	Spiraea japonica 'Magic Carpet'	Magic Carpet Spirea	#3 cont.	12"ht. 18"wd	Full, vigorous
SM	10	Syringa meyeri 'Palibin'	Meyer Lilac	#3 cont.	24"ht. 24"wd	Full, vigorous
ORNAMENTAL GRASS						
CA	13	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	#3 cont.		Full, vigorous
PV	23	Panicum virgatum 'Heavy Metal'	Heavy Metal Switchgrass	#3 cont.		Full, vigorous
GROUNDCOVER						
JS	21	Juniperus chinensis sargentii 'Viridis'	Green Sargent Juniper	#3 cont.	4' on center	
LS	150	Liriope spicata	Creeping Lilyturf	quart	12" on center	
PERENNIAL / ANNUAL COLOR						
GE	27	Geranium 'Rozanne'	Hardy Geranium	#1 cont.		
HO	13	Hosta 'Guacamole'	Guacamole Hosta	#1 cont.		
SA	33	Sedum 'Autumn Joy'	Autumn Joy Stonecrop	#1 cont.		
ANN	95	Annual Color (varies)		4" pot	12" on center	



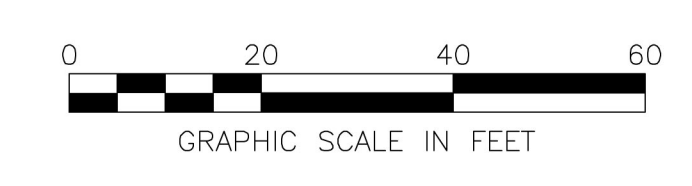
NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

TREE PLANTING
N.T.S.

PERMANENT SOD BLEND
 90% FINE LEAF FESCUE (FESTUCA ARUNDINACEA) REBEL, REBEL II, WRANGLER, BONANZA, MOJAVE OR EQUAL
 10% KENTUCKY BLUEGRASS (POA PRATENSIS) MIDNIGHT, RUOBY II, MIDIRON VARIETIES OR EQUAL
 98% PURITY AND 85% GERMINATION
 95% WEED FREE



SHRUB PLANTING
N.T.S.



5200 Buffington Rd.
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30349-2998

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STORE #3352
MADISON
S08C

432 S. GAMMON ROAD
MADISON, WISCONSIN

SHEET TITLE
LANDSCAPE
PLAN

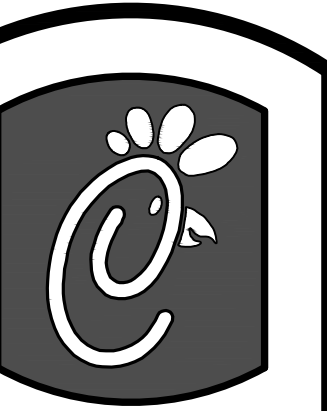
DWG EDITION 07.1
REVISION

Job No. : 073820
Store : 3352
Date : 2/04/14
Drawn By : DLH
Checked By: EJU

Sheet

L-1.0

Layout Tab Name: L-1.0, Images: buildable area CFA.jpg, MAPS.jpg, Xrefs: 01-3352-P.dwg, 01-3352-TBLK.dwg, 01-3352-X.dwg
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Chick-fil-A

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STORE #3352
MADISON
S08C

432 S. GAMMON ROAD
MADISON, WISCONSIN

SHEET TITLE
GRADING PLAN

DWG EDITION 07.1
REVISION -

Job No. : 073820

Store : 3352

Date : 2/04/14

Drawn By : JAC

Checked By: JLG

Sheet

C-3.0

GRADING LEGEND

	EXISTING BOUNDARY
	PROPOSED BOUNDARY
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	PROPOSED 1' CONTOUR
	PROPOSED 5' CONTOUR
	PROPOSED STORM SEWER
	PROPOSED UNDERDRAIN
	PROPOSED RETAINING WALL
	SPILLING CURB & GUTTER
	CATCHING CURB & GUTTER
	DIRECTION OF FLOW
	OVERLAND FLOW ROUTE
	ELEVATION AT TOP OF CURB
	ELEVATION AT TOP OF PAVEMENT
	ELEVATION AT TOP OF SLAB
	ELEVATION AT TOP OF WALK
	ELEVATION AT STRUCTURE RIM
	EXISTING ELEVATION
	PROPOSED CATCH BASIN
	PROPOSED CURB INLET
	PROPOSED STORM MANHOLE
	PROPOSED FLARED END SECTION

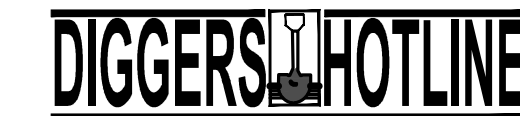
GRADING NOTES

1. CONTOURS SHOWN ARE FOR REFERENCE ONLY.
2. PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT OR GREEN AREAS.
3. RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH A MINIMUM EXISTING CONDITIONS.
4. CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
5. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS, SIZES, AND MATERIAL OF ALL EXISTING UTILITIES WHICH ARE TO BE TAPPED OR EXTENDED ON SITE. ANY DEVIATIONS FROM PLAN INFORMATION SHALL BE PROVIDED TO THE ENGINEER IN WRITING WITHIN 24 HOURS AND PRIOR TO THE START OF CONSTRUCTION ON THAT SYSTEM(S). SHOULD THE CONTRACTOR START WORK WITHOUT NOTIFICATION TO THE ENGINEER OF ANY DISCREPANCIES, HE WILL ASSUME ALL RESPONSIBILITY OF THE WORK NECESSARY TO COMPLETE THE PROJECT.
6. ALL FIELD TILE ENCOUNTERED SHALL BE REPLACED AND/OR CONNECTED TO THE STORM SEWER SYSTEM AND LOCATED AND IDENTIFIED ON RECORD PLANS BY THE CONTRACTOR.
7. FOR ALL CURB ISLANDS, CENTER OF ISLANDS SHALL BE A MINIMUM OF 6" HIGHER THAN TOP OF CURB.
8. ALL STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF INDIANAPOLIS.
9. ALL STORM SEWER SHALL BE CLASS IV REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76 UNLESS INDICATED OTHERWISE. TRENCH SHALL BE BACKFILLED WITH COMPACTED CA-6.
10. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
11. PROPER TRANSITION TO BE PROVIDED FROM END OF PROPOSED STORM SEWERS, DITCHES, ROADWAY, ETC. TO EXISTING GRADE. RESTORATION OF DISTURBED AREAS OUTSIDE OF THE CONSTRUCTION LIMITS IS THE RESPONSIBILITY OF THE CONTRACTOR. AREAS SHALL BE RESTORED TO PRECONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE OWNER.
12. CONTRACTOR TO ADJUST ALL EXISTING UTILITY STRUCTURES TO PROPOSED GRADE.
13. INVERTS AT BOTTOM OF MANHOLES AND CATCH BASINS MUST BE CHANNELIZED.
14. PROVIDE UNDERDRAINS FROM SEEPS OR SPRINGS ENCOUNTERED. EXTEND TO STORM SEWER SYSTEM OR DAYLIGHT AT THE BOTTOM OF THE FILL SLOPE.
15. ALL DISTURBED AREAS ON-SITE SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL DISTURBED AREAS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE RESTORED WITH SOD.
16. CONTRACTOR TO ENSURE THAT ACCESSIBLE PARKING SPACES AND ACCESS AISLES ARE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS IN ACCORDANCE WITH ADAAG 4.6.3.

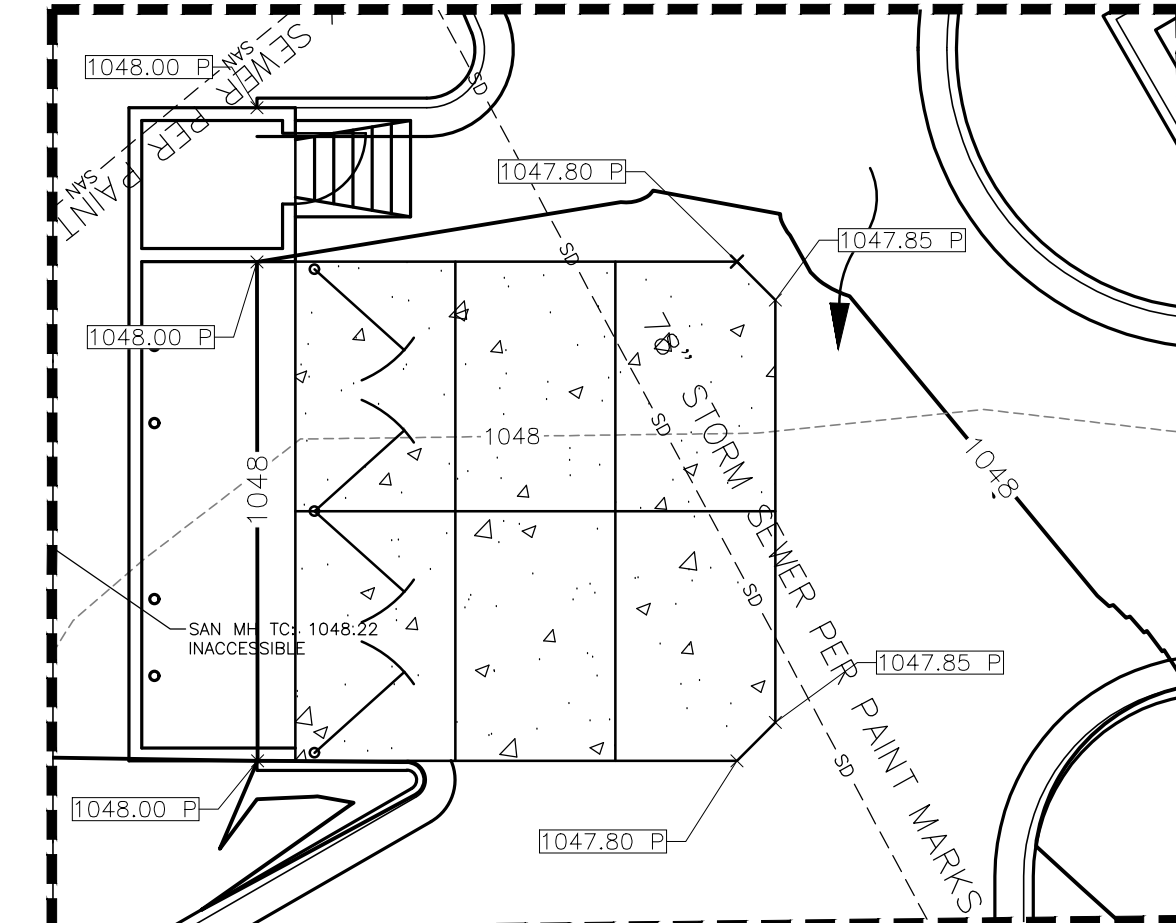
BENCHMARK:

THE BASIS OF ELEVATIONS HEREON IS NAVD 88.
IRON ROD SET - SEE DRAWING FOR LOCATION.

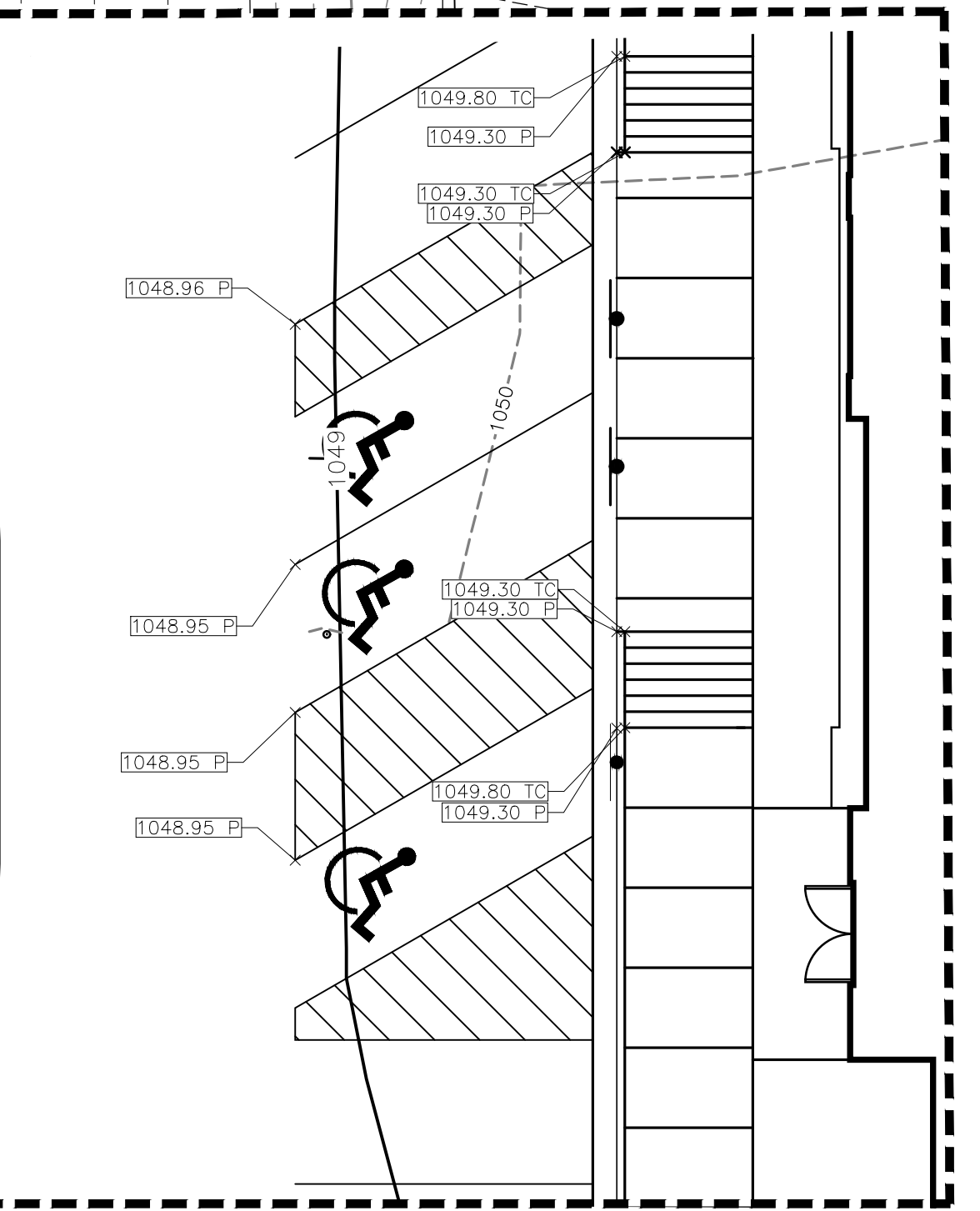
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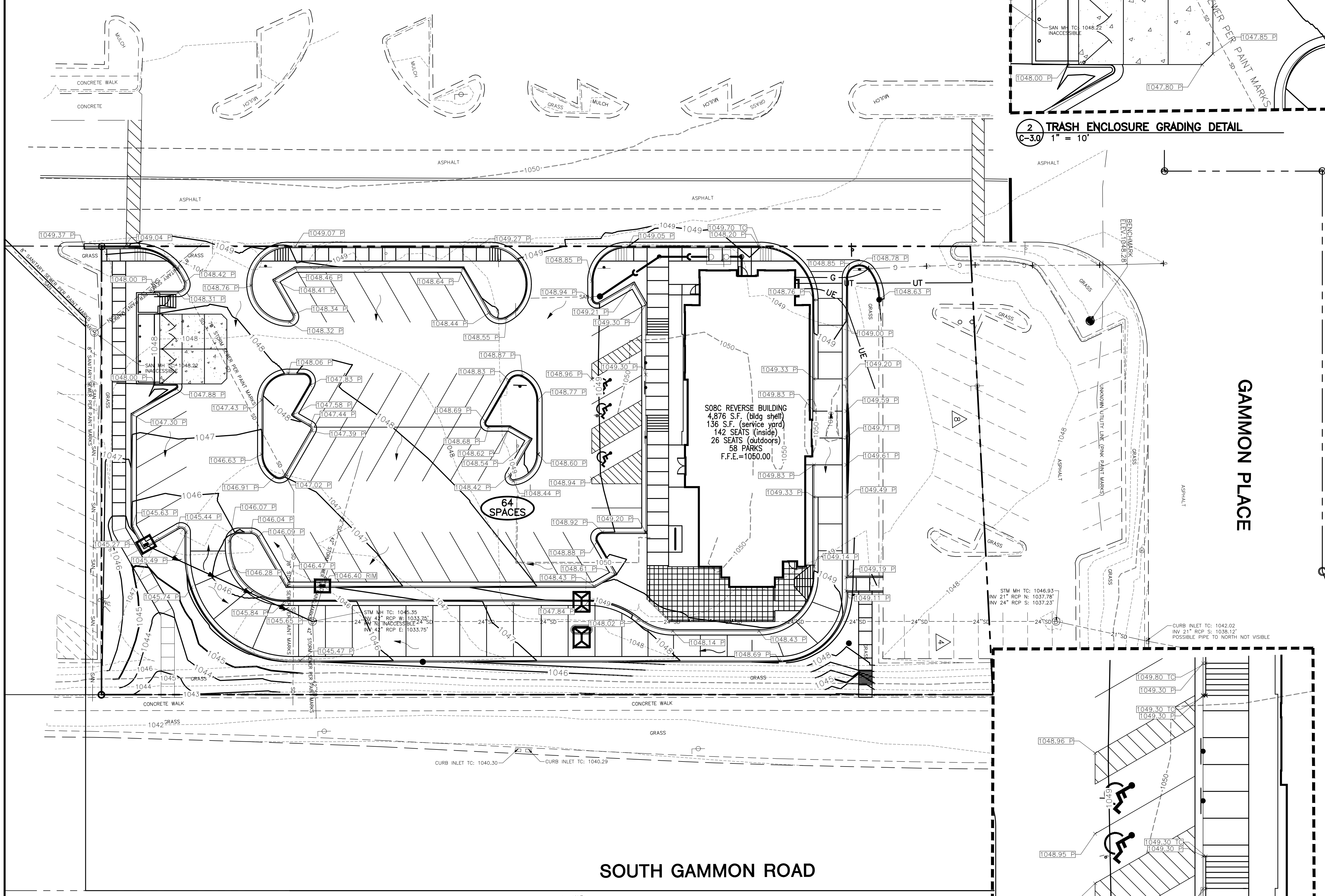
Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com



2 TRASH ENCLOSURE GRADING DETAIL
C-3.0 1" = 10'



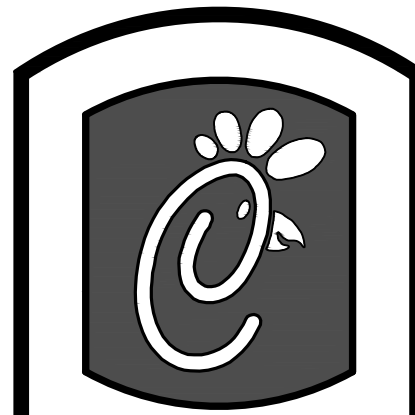
1 ADA GRADING DETAIL
C-3.0 1" = 10'



SOUTH GAMMON ROAD

GAMMON PLACE

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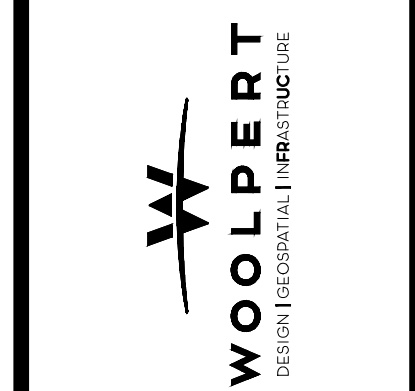
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SHEET TITLE
**UTILITY
PLAN**

DWG EDITION 07.1
REVISION

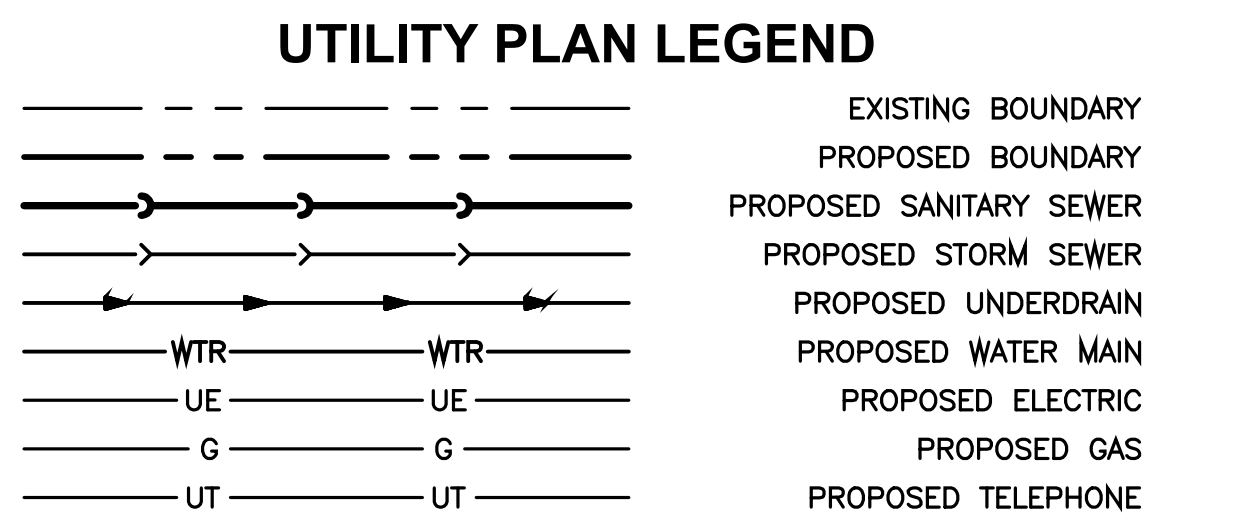
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Checked By : JLG

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C-4.0

SANITARY STRUCTURE TABLE			
STRUCTURE ID	DESCRIPTION	RIM	INVERT
1.0	External Drop Manhole	1049.47	6" EX = 1040.65 (S) 6" = 1044.43 (NW)
1.1	Clean Out	1049.39	6" = 1044.70 (N) 6" = 1044.70 (SE)
1.2	Clean Out	1049.26	6" = 1044.92 (E) 6" = 1044.92 (S)

CONTRACTOR TO FIELD
VERIFY EXISTING INVERT



- PROPOSED CATCH BASIN
- PROPOSED CURB INLET
- PROPOSED STORM MANHOLE
- PROPOSED SANITARY MANHOLE
- PROPOSED FLARED END SECTION
- PROPOSED CLEAN OUT
- PROPOSED FIRE HYDRANT
- PROPOSED VALVE
- PROPOSED VALVE VAULT
- PROPOSED ELECTRICAL MANHOLE
- PROPOSED TELEPHONE MANHOLE
- PROPOSED LIGHT POLE
- ① INDICATES DETAIL LOCATION
(DETAIL NUMBER/DETAIL SHEET)
- PROPOSED SANITARY STRUCTURE CALLOUT
- PROPOSED STORM STRUCTURE CALLOUT
- PROPOSED UTILITY LAYOUT CALLOUT
- ◇ PROPOSED UTILITY CROSSING CALLOUT

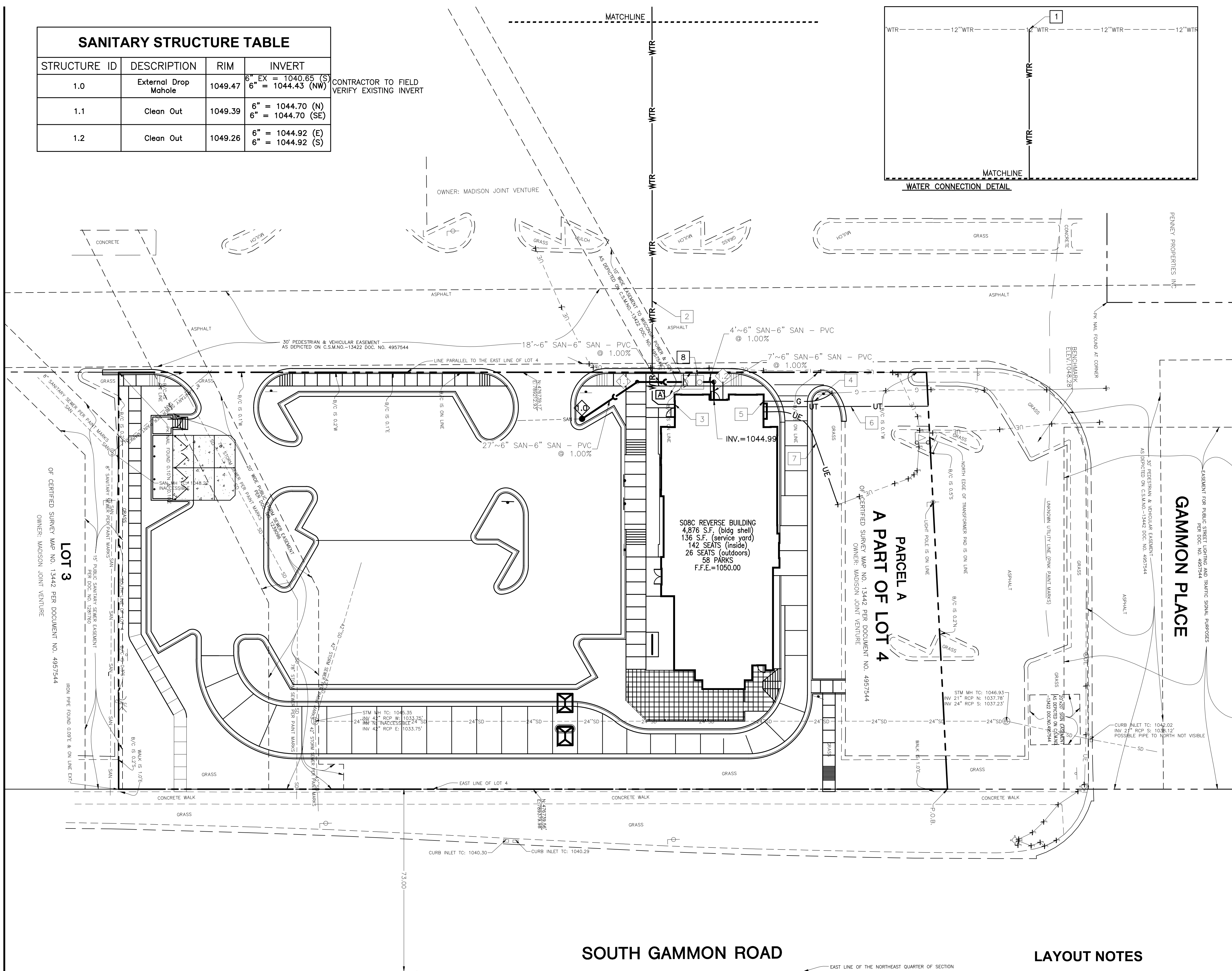
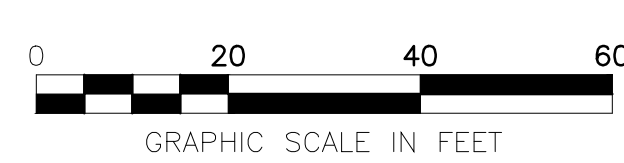
UTILITY NOTES

- MADISON GAS AND ELECTRIC WILL INSTALL THE GAS METER. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE GAS COMPANY AND MARKING THE LOCATION OF THE METER. METER MAY NOT BE CLOSER THAN 3 FEET FROM ANY ELECTRICAL POWER SOURCE.
- CONTRACTOR TO FURNISH AND INSTALL (1)-4" SCHEDULE 40 PVC CONDUIT AND PULL ROPE FOR TELEPHONE SERVICE FROM PROPERTY LINE TO THE BUILDING. CONTRACTOR TO FURNISH 4'X4'X3" SERVICE BOARD PRIOR TO AT&T COMING TO SITE FOR INSTALLATION. CONTRACTOR TO FURNISH #6 GROUND.
- PRIMARY ELECTRICAL SERVICE TO BE PROVIDED BY ALLIANT ENERGY AND LIGHT COMPANY FROM RIGHT-OF-WAY TO TRANSFORMER PAD.
- CONTRACTOR TO FURNISH AND INSTALL (2)-4" SCHEDULE 40 PVC CONDUITS AND BURY IN A 36" DEEP TRENCH SUCH THAT TOP OF CONDUIT IS MINIMUM OF 30" BELOW FINISHED GRADE.
- ALL SANITARY SEWER CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE CITY OF MADISON UTILITIES DEPARTMENT.
- ALL SANITARY SEWER SHALL BE CONSTRUCTED OF PVC SDR-35, CONFORMING TO ASTM D-3034, UNLESS INDICATED OTHERWISE.
- ALL WATER MAIN CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE CITY OF MADISON UTILITY DEPARTMENT. ALL WATER MAIN SHALL BE CONSTRUCTED OF PRESSURE CLASS 350 DUCTILE IRON PIPE.
- ALL FITTINGS, BENDS, HYDRANTS, AND ALL JOINTS SHALL BE PROPERLY BRACED BY MEANS OF RESTRAINED JOINT ASSEMBLIES AS FOLLOWS:
 - ALL MECHANICAL JOINT FITTINGS, BENDS AND HYDRANTS SHALL BE PROPERLY ANCHORED BY MEANS OF EBAA SERIES 1100 "MEGALUG" MECHANICAL JOINT RESTRAINTS.
 - ALL PUSH-ON JOINTS SHALL BE PROPERLY ANCHORED BY MEANS OF EBAA SERIES 1700 "MEGALUG" RESTRAINT HARNESSSES OR APPROVED EQUAL.
- CONTRACTOR TO COORDINATE SHUTDOWN OF ALL WATER MAINS WITH THE CITY OF MADISON UTILITY DEPARTMENT. CITY SHALL BE GIVEN 5 WORKING DAYS NOTICE.
- CONTRACTOR SHALL ADJUST EXISTING STRUCTURES TO MEET FINAL GRADE.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- INVERTS AT BOTTOM OF MANHOLES AND CATCH BASINS MUST BE CHANNELIZED.
- PROVIDE UNDERDRAINS FROM SEEPS OR SPRINGS ENCOUNTERED. EXTEND TO STORM SEWER SYSTEM OR DAYLIGHT AT THE BOTTOM OF THE FILL SLOPE.
- ALL PROPOSED PIPE CONNECTIONS TO EXISTING OR PROPOSED MANHOLES SHALL CONFORM TO ASTM-C923.
- WHERE PROPOSED SEWER CROSSES ABOVE A WATERMAIN, PROPOSED SEWER SHALL BE CONSTRUCTED OF WATERMAIN QUALITY PIPE FOR A MINIMUM OF 10' ON EITHER SIDE OF CROSSING.

LAYOUT NOTES

- PRESSURE CONNECTION TO EXISTING WATER SERVICE WITH VALVE AND VALVE VAULT
- D.I. COMBINED FIRE PROTECTION/DOMESTIC WATER SERVICE CONNECT TO BUILDING WATER SERVICE (COORDINATE WITH PLUMBING PLANS)
- COORDINATE GAS METER INSTALLATION WITH GAS COMPANY
- UNDERGROUND PRIMARY TELEPHONE SERVICE (SEE NOTE 2)
- UNDERGROUND SECONDARY ELECTRIC SERVICE (SEE NOTE 3)
- GREASE INTERCEPTOR (1,000 GALLON)

DIGGERS HOTLINE
Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com



UTILITY CROSSINGS

▲ BOTTOM OF PROPOSED 6" SAN = 1044.6
TOP OF PROPOSED 6" WTR = 1043.5

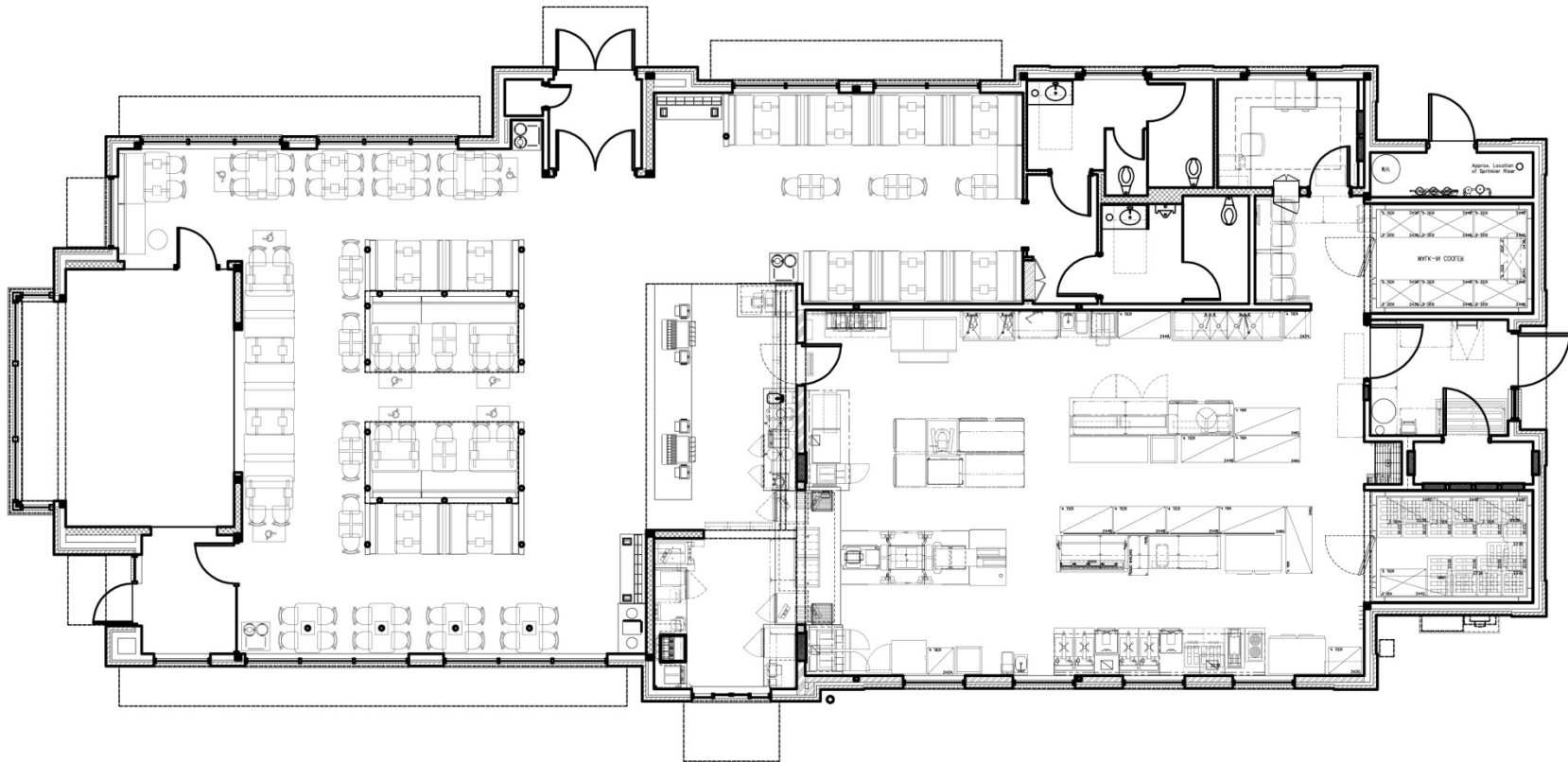
BENCHMARK:
THE BASIS OF ELEVATIONS HEREON IS NAVD 88.
IRON ROD SET - SEE DRAWING FOR LOCATION.
ELEVATION = 1048.28'

Layout Tab Name: C-4.0, Images: buildable area CFA.jpg, MAPS.jpg, Xrefs: 01-3352-P.dwg, 01-3352-X.dwg, 01-3352-TBLK.dwg
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 OF CERTIFIED SURVEY MAP NO. 13442 PER DOCUMENT NO. 4957544
 OWNER: MADISON JOINT VENTURE

S08 V8 Building C - Reverse | Floor plan

Heated Area: 4876 sf

Seat Count: 134



West Towne FSU, Madison, WI – Store # 03352



S08 V8 Building C - Reverse | Exterior Elevations



West Towne FSU, Madison, WI – Store # 03352



S08 V8 Building C - Reverse | Exterior Elevations



West Towne FSU, Madison, WI – Store # 03352

