

The Edgewater

688 Macomber Avenue
Medford, MA 02155

Owner:
Landmark X, LLC
22 Essex Street, Suite 800
Medford, MA 02155

Developer:
Hammes Company
22 Essex Street, Suite 800
Medford, MA 02155

Civil Engineer:
BT Squared, Inc.
280 Dury Drive
Medford, MA 02155

PROJECT NUMBER: 08-18-09

DATE: 04.11.2009

REVISIONS

08/18/09

SCALE: 1" = 20'-0"

DRAWING NAME:

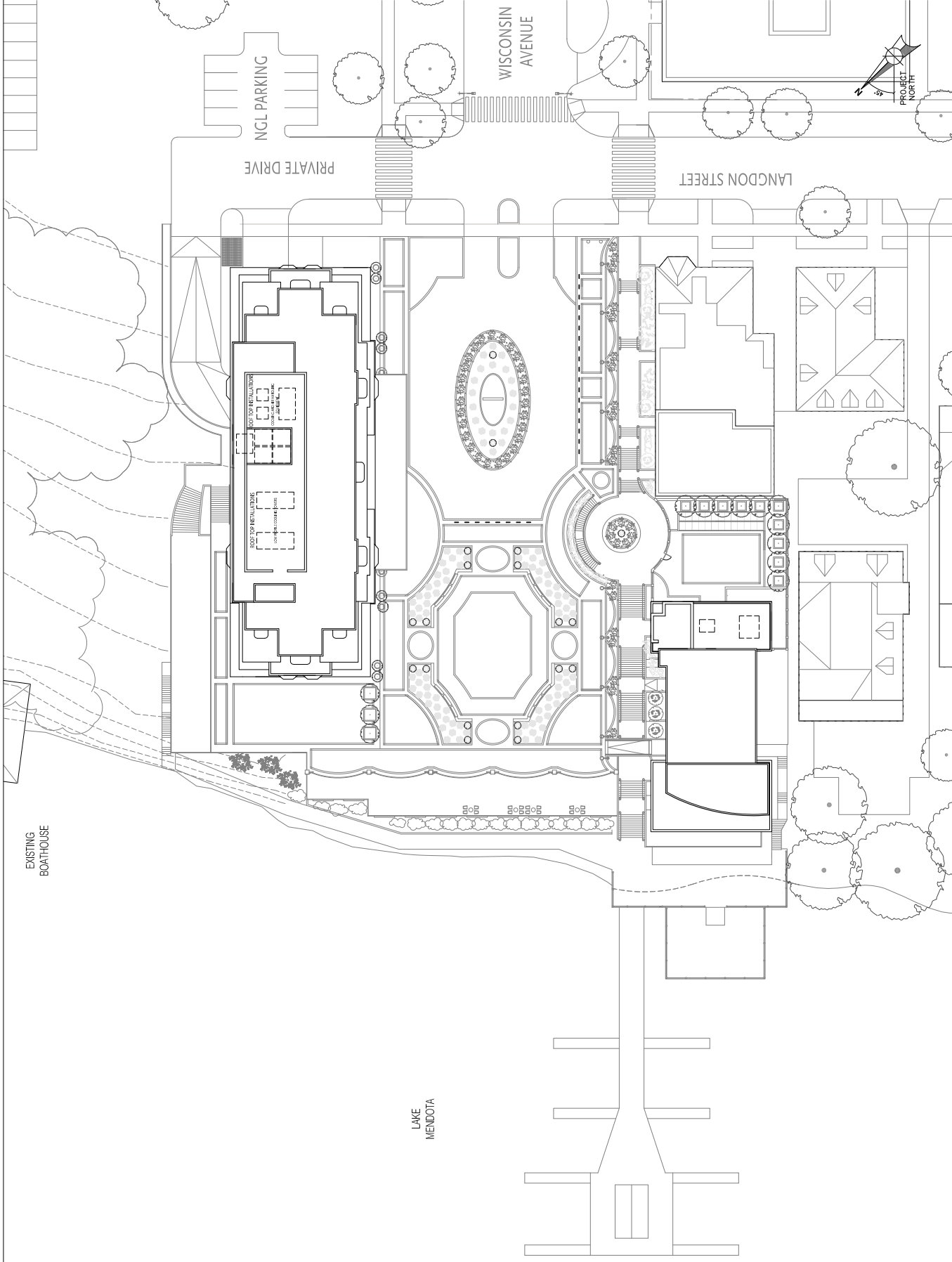
New Hotel Roof Plan

Existing Edgewater Hotel

Roof

DRAWING NUMBER:

A1.12



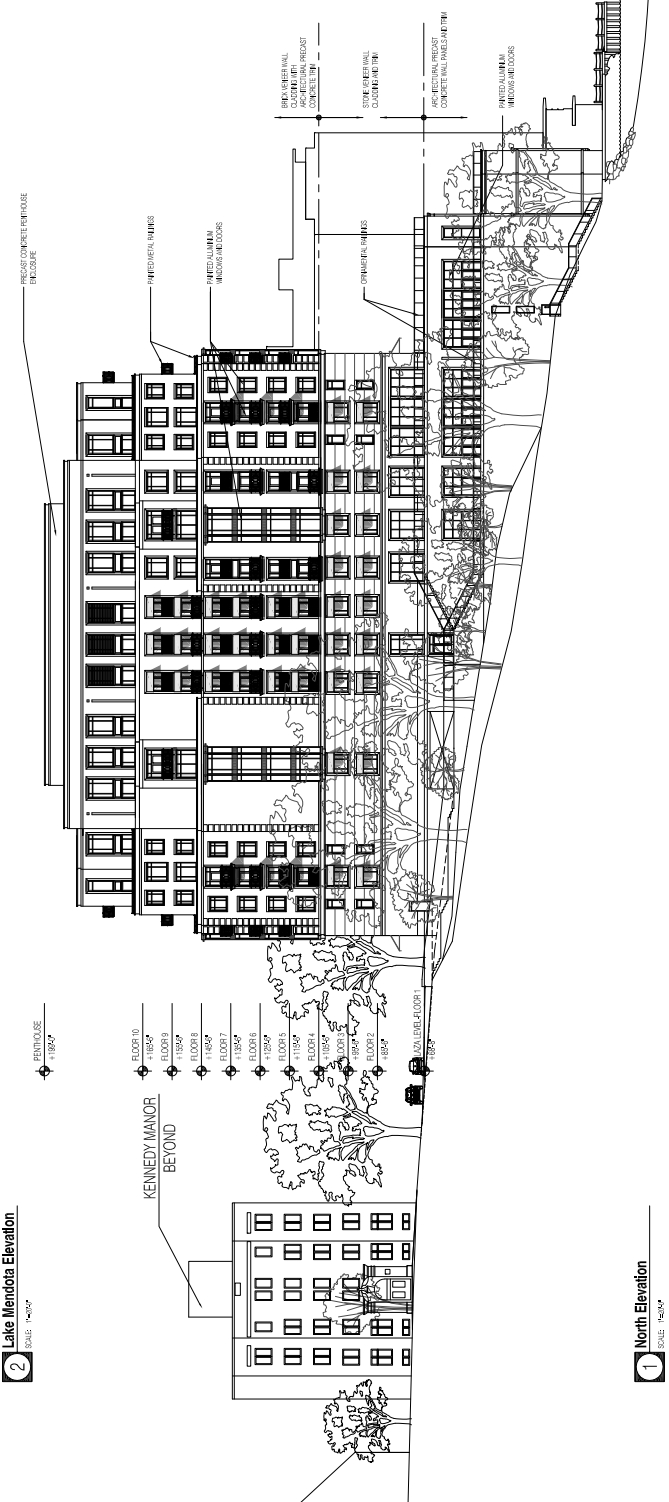
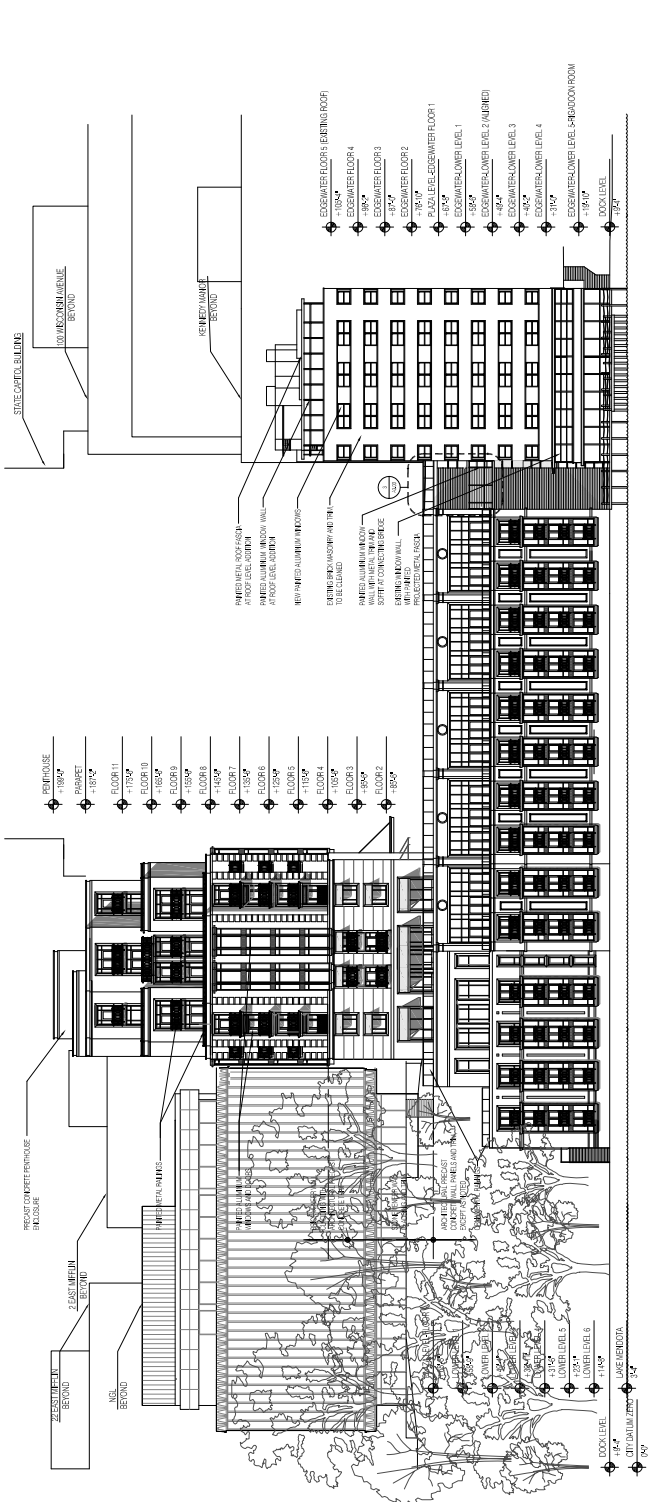
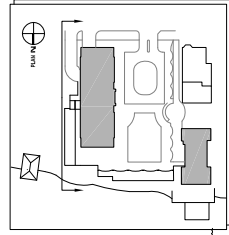
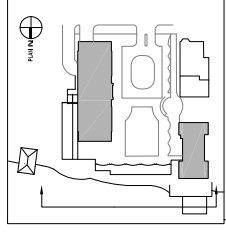
The Edgewater

688 Middlesex Avenue
Medford, MA 02155

Owner:
Landmark X, LLC
22 Essex Street, Suite 800
Medford, MA 02155

Developer:
Hennes Company
22 Essex Street, Suite 800
Medford, MA 02155

Civil Engineer:
BT Squared, Inc.
280 Dury Drive
Medford, MA 02155



2 Lake Mendota Elevation
SCALE: 1/8" = 1'-0"

1 North Elevation
SCALE: 1/8" = 1'-0"

The Edgewater
688 Massachusetts
Medford, MA 02155

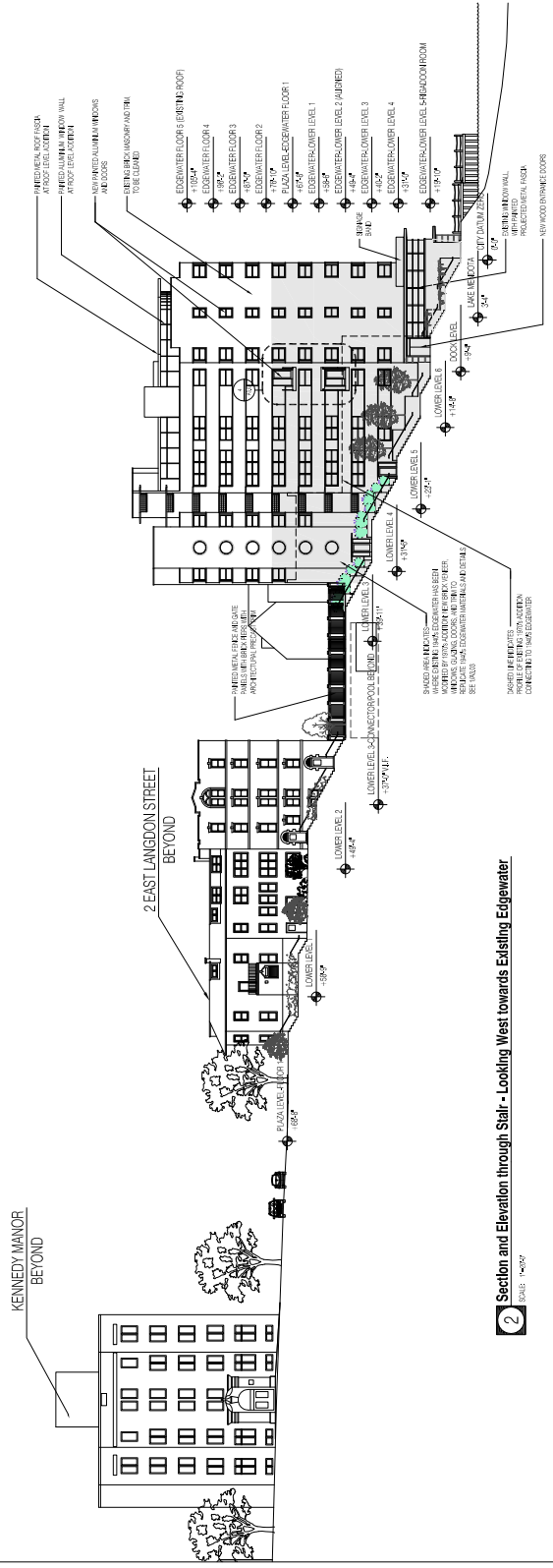
Owner:
Landmark X, LLC
22 Essex Street, Suite 800
Medford, MA 02155

Developer:
Hennes Company
22 Essex Street, Suite 800
Medford, MA 02155

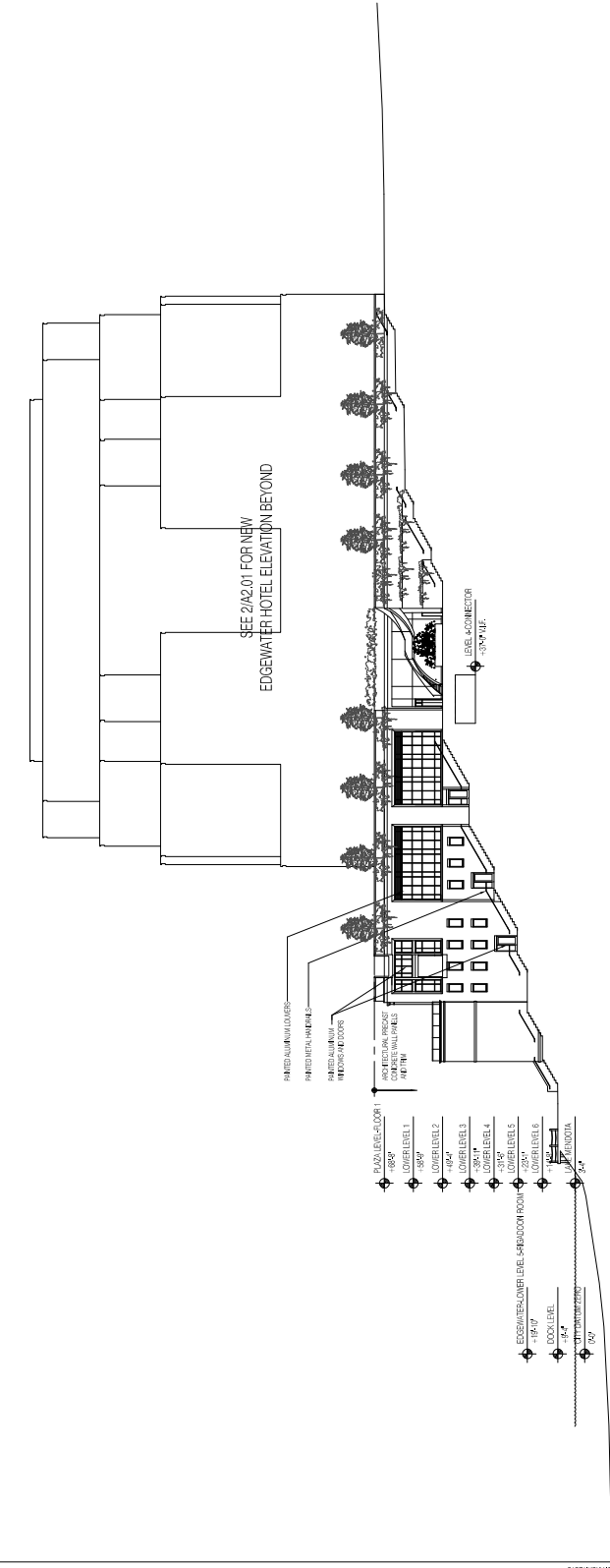
Architect:
Elkus | Manfredi, Inc.
1000 State Street
Medford, MA 02155

PROJECT NUMBER: 20-0220
DATE: JAN 31, 2020
REVISIONS
08/15/20
SCALE: 1" = 3/4"
DRAWING NAME: Elevations and Sections
DRAWING NUMBER: A2.03

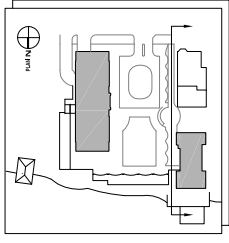
A2.03



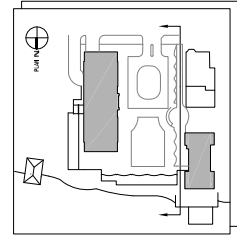
2 Section and Elevation through Stair - Looking West towards Existing Edgewater.
SCALE: 1/8" = 1'-0"



1 Section and Elevation through Stair - Looking East.
SCALE: 1/8" = 1'-0"



Plan Diagram



Plan Diagram

The Edgewater

688 Macomber Avenue
Madison, WI 53703

Owner:
Landmark X, LLC
22 Essex Street, Suite 800
Madison, WI 53703

Developer:
Hammes Company
22 Essex Street, Suite 800
Madison, WI 53703

Civil Engineer:
BT Squared, Inc.
280 Doby Drive
Madison, WI 53718

PROJECT NUMBER: 0811009

DATE: JAN. 31, 2009

REVISIONS

08/11/09

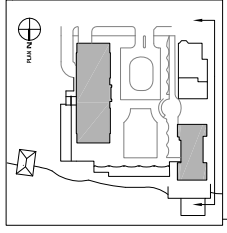
SCALE: 1" = 3/4"

DRAWING NAME:
Elevations and Sections

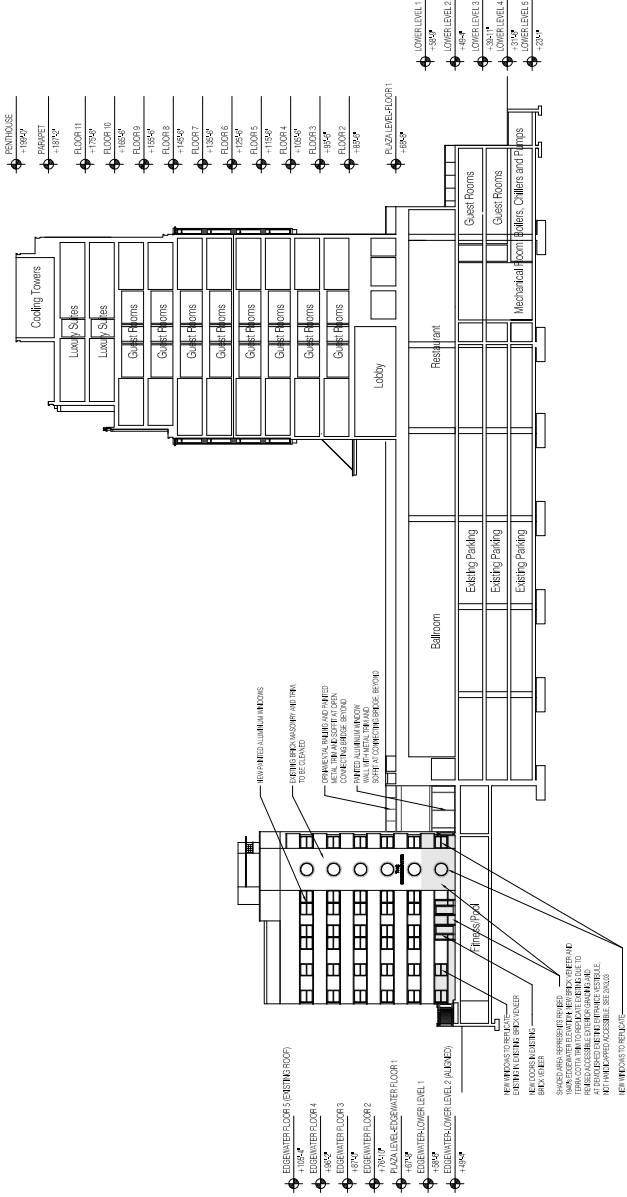
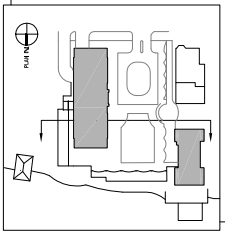
DRAWING NUMBER:

A2.04

Plan Diagram



Plan Diagram

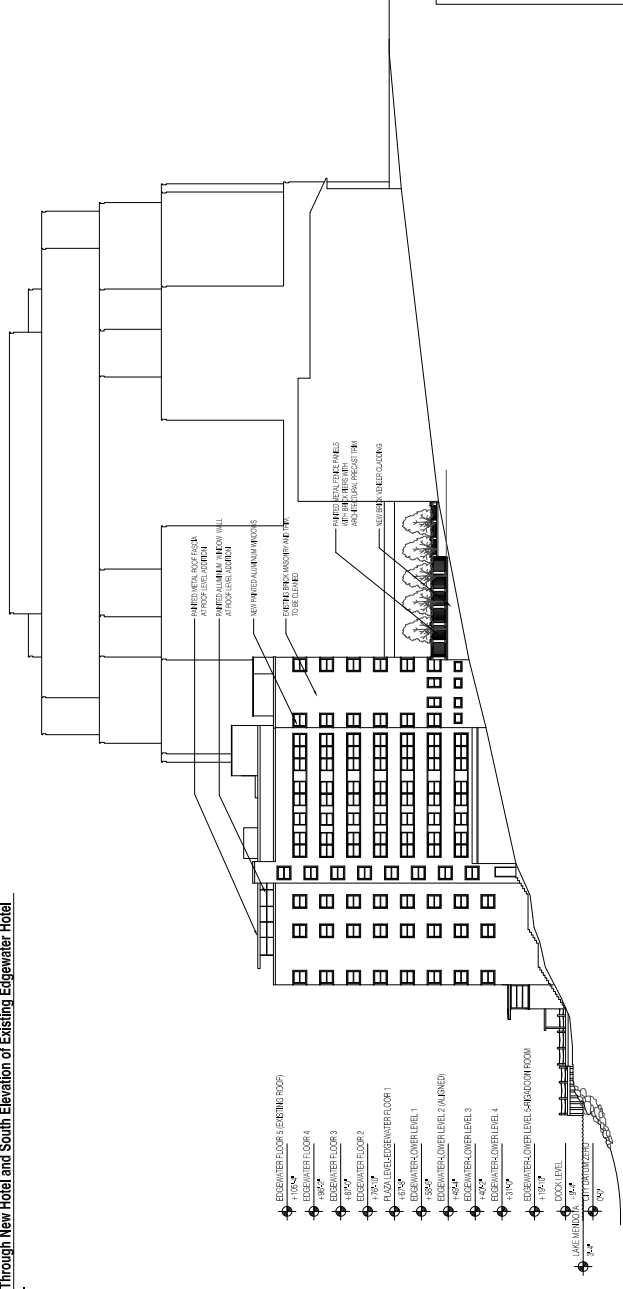


2 Section Through New Hotel and South Elevation of Existing Edgewater Hotel.

SCALE: 1/8" = 1'-0"

1 West Elevation of Existing Edgewater Hotel.

SCALE: 1/8" = 1'-0"



1 West Elevation of Existing Edgewater Hotel.

SCALE: 1/8" = 1'-0"

The Edgewater

668 Macgregor Avenue
Madison, WI 53703

Owner:
Landmark X, LLC
22 East Main Street, Suite 800
Madison, WI 53703

Developer:
Hammes Company
22 East Main Street, Suite 800
Madison, WI 53703

Civil Engineer:
BT Squared, Inc.
2850 Dairy Drive
Madison, WI 53718



5 Bench Detail
SCALE: 1/4" = 1'-0"



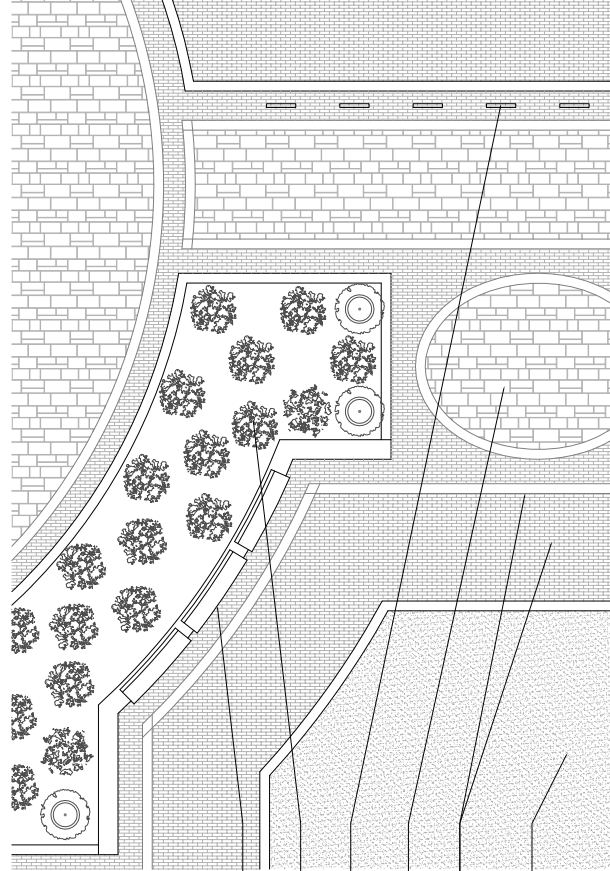
4 Lawn with Granite Curb and Brick Paving with Granite Trim Details
SCALE: 1/4" = 1'-0"



3 Planted Area with Granite Curb Detail
SCALE: 1/4" = 1'-0"



2 Bicycle Rack Detail
SCALE: 1/4" = 1'-0"



1 Enlarged Plan at Plaza
SCALE: 1/4" = 1'-0"



PROJECT NUMBER: 2016-010
DATE: MAY 31, 2016
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The Edgewater

688 Massachusetts
Medford, MA 02155

Owner:
Landmark X, LLC
22 Essex Street, Suite 800
Medford, MA 02155

Developer:
Hennes Company
22 Essex Street, Suite 800
Medford, MA 02155

Architect:
Elkus | Manfredi, Inc.
280 Dury Lane
Medford, MA 02155

PROJECT NUMBER: 2016-02-02
DATE: MAY 31, 2016
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5 Brick and Stone Wall Cladding Reference Image
SCALE: N.T.S.



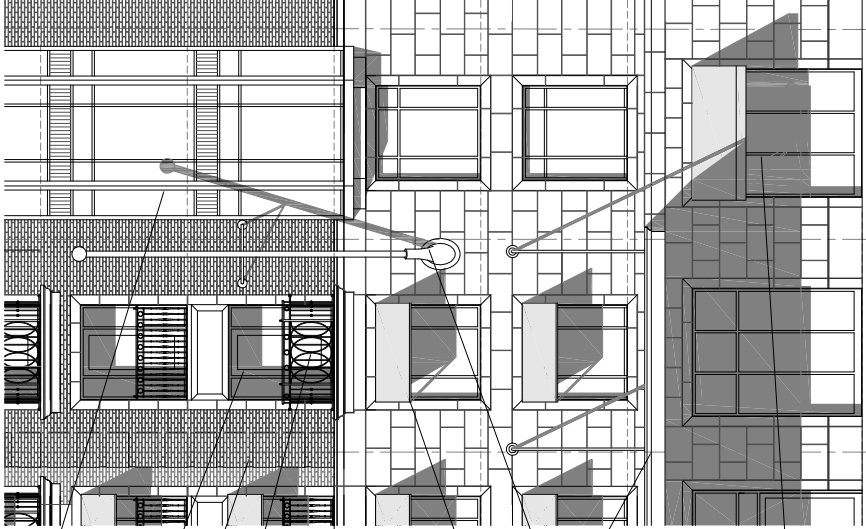
4 Storefront, Awning, and Stone Detail Reference Image
SCALE: N.T.S.



3 Bay Window Reference Image
SCALE: N.T.S.



2 Painted Metal Railing Reference Image
SCALE: N.T.S.



- PAINTED ALUMINUM FRAME
PAINTED ALUMINUM PANELS
ON WINDOW
- PAINTED ALUMINUM
WINDOW ACCESS
- PROJECTED BRICK CLADDING
- PAINTED METAL RAILING
- PAINTED ALUMINUM
ARCHITECTURAL MISC.
CORNER PILL
- STONE CLADDING WALL
CLADDING METAL
- FABRIC AWNING ON
PAINTED ALUMINUM
FRAME
- ANODIZED ALUMINUM
FLUSHERS
- METAL CLADDING
SUPPORTS
- PAINTED ALUMINUM STOREFRONT

1 Elevation Detail
SCALE: 1/4" = 1'-0"

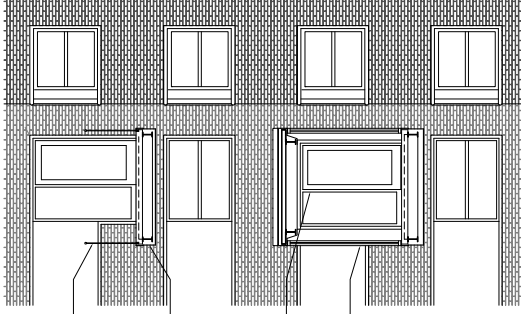
The Edgewater

688 Massachusetts
Medford, MA 02155

Owner:
Landmark X, LLC
22 Essex Street, Suite 800
Medford, MA 02155

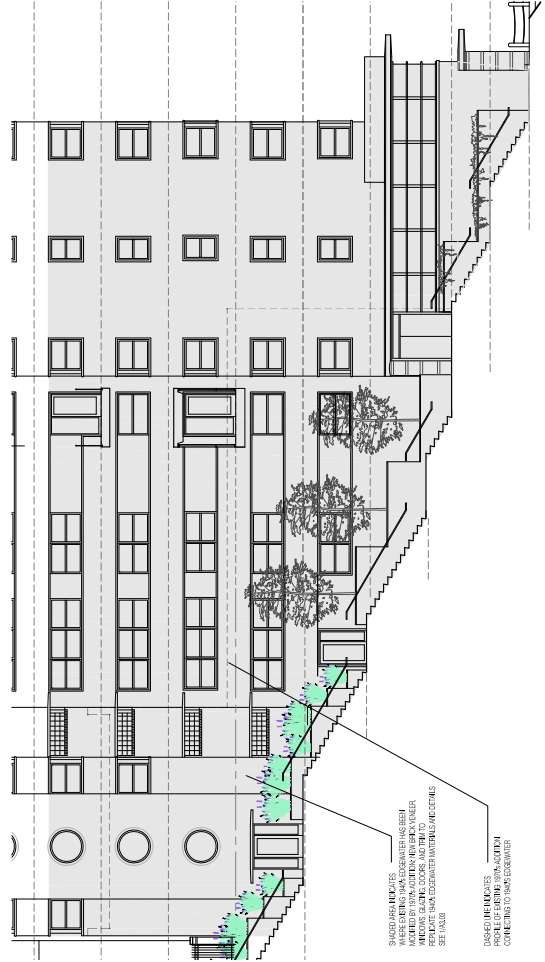
Developer:
Hemmes Company
22 Essex Street, Suite 800
Medford, MA 02155

Architect:
Elkus | Manfredi, Inc.
280 Daily Place
Medford, MA 02155

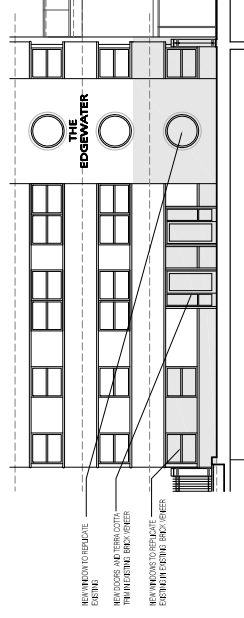


3 Partial Enlarged Elevation at Connections to 1940's Building
SCALE: 1/8"=1'-0"

4 Cross Section at Connections to 1940's Building
SCALE: 1/4"=1'-0"



1 Partial Enlarged Elevation at New Construction
SCALE: 1/8"=1'-0"



2 Partial Enlarged Elevation at New Construction
SCALE: 1/8"=1'-0"

PROJECT NUMBER: 20-0020
DATE: MAY 31, 2020
REVISIONS:
08/11/2020

SHEET NUMBER: 1940'S BUILDING PARTIAL ENLARGED ELEVATIONS
DRAWING NAME:
SCALE: VARIATES

DRAWING NUMBER:



2530 DARY DRIVE
MADISON, WI 53704
PHONE: (608) 224-2830
FAX: (608) 224-2839

The Edgewater

688 Wisconsin Avenue
Madison, WI 53706

OWNER:

Landscape-X, LLC
20 East Main Street, Suite 100
Madison, WI 53703

DESIGNER:

Harmon Company
20 East Main Street, Suite 100
Madison, WI 53703

CIVIL ENGINEER:

BT Engineers, Inc.
2530 Dary Drive
Madison, WI 53704

PROJECT NUMBER:

DATE:

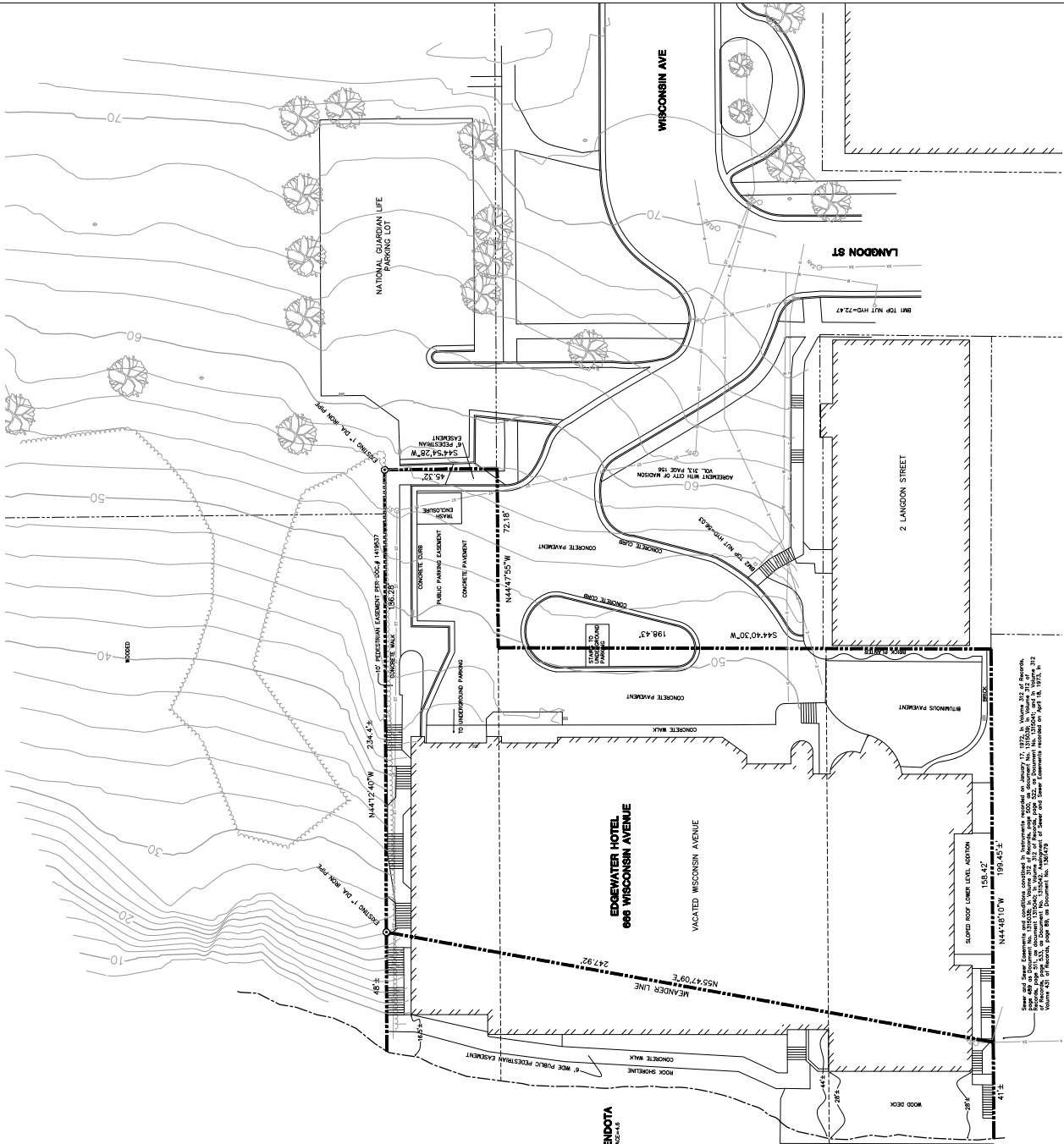
SCALE:

DATE:

PROJECT:

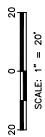
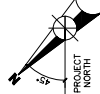
PROJECT NUMBER:

C1.01



LEGEND

- (2' contour)
- (10' contour)
- (TREELINE/VEGETATION)
- (SHORELINE)
- (PROPERTY LINE (SUBJECT PROPERTY))
- (PARCEL LINE (SUBJECT PROPERTY))
- (PROPERTY LINE/RIGHT-OF-WAY)
- (FENCE)
- (ELECTRIC UTILITY)
- (GAS MAIN)
- (SANITARY SEWER)
- (STORM SEWER)
- (WATER MAIN)
- (HYDRANT)
- (STORM INLET)
- (MANHOLE)
- (UTILITY/LIGHT POLE)
- (TREE)



NOTES:

1. SUBJECT PROPERTY LINE AND EXISTING BUILDING LOCATIONS BASED ON ALTA SURVEY PREPARED BY BAGGER SURVEYING AND MAPPING SERVICE, JULY 17, 1997.
2. RIGHT-OF-WAY AND OTHER PROPERTY LINES BASED ON DRAWING OBTAINED FROM THE CITY OF MADISON.
3. TOPOGRAPHIC CONTOURS, VEGETATION, AND UTILITY LOCATIONS BASED ON SITE SURVEY PERFORMED BY BT, INC. ON JUNE 20, 2009.
4. ELEVATIONS ARE BASED ON CITY OF MADISON DATUM.
5. EXISTING EDGEWATER PARCEL = 1.08 ACRES MORE OR LESS. BASED ON THE JANUARY 2009 FLOOD INSURANCE RATE MAP (PARCEL 688 OF 688). THE SITE IS NOT IN A FLOOD PLAIN.

LAKE MENDOTA WATER SURFACE=4.8



EDGEWATER

Based on the January 2009 Flood Insurance Rate Map (Parcel 688 of 688), the site is not in a flood plain. Volume 02 of Plans, page 86, as Document No. 1321075.



2530 DAIRY DRIVE
MADISON, WI 53713
PHONE: (608) 224-2830
FAX: (608) 224-2839

The Edgewater

680 Wisconsin Avenue
Madison, WI 53706

OWNER:

Landscape-X, LLC
25 East Main Street, Suite 100
Madison, WI 53703

DEVELOPER:

Henneman Company
25 East Main Street, Suite 100
Madison, WI 53703

CIVIL ENGINEER:

BT Engineers, Inc.
2530 Dairy Drive
Madison, WI 53713

PROJECT NUMBER:

DATE:

PROJECT:

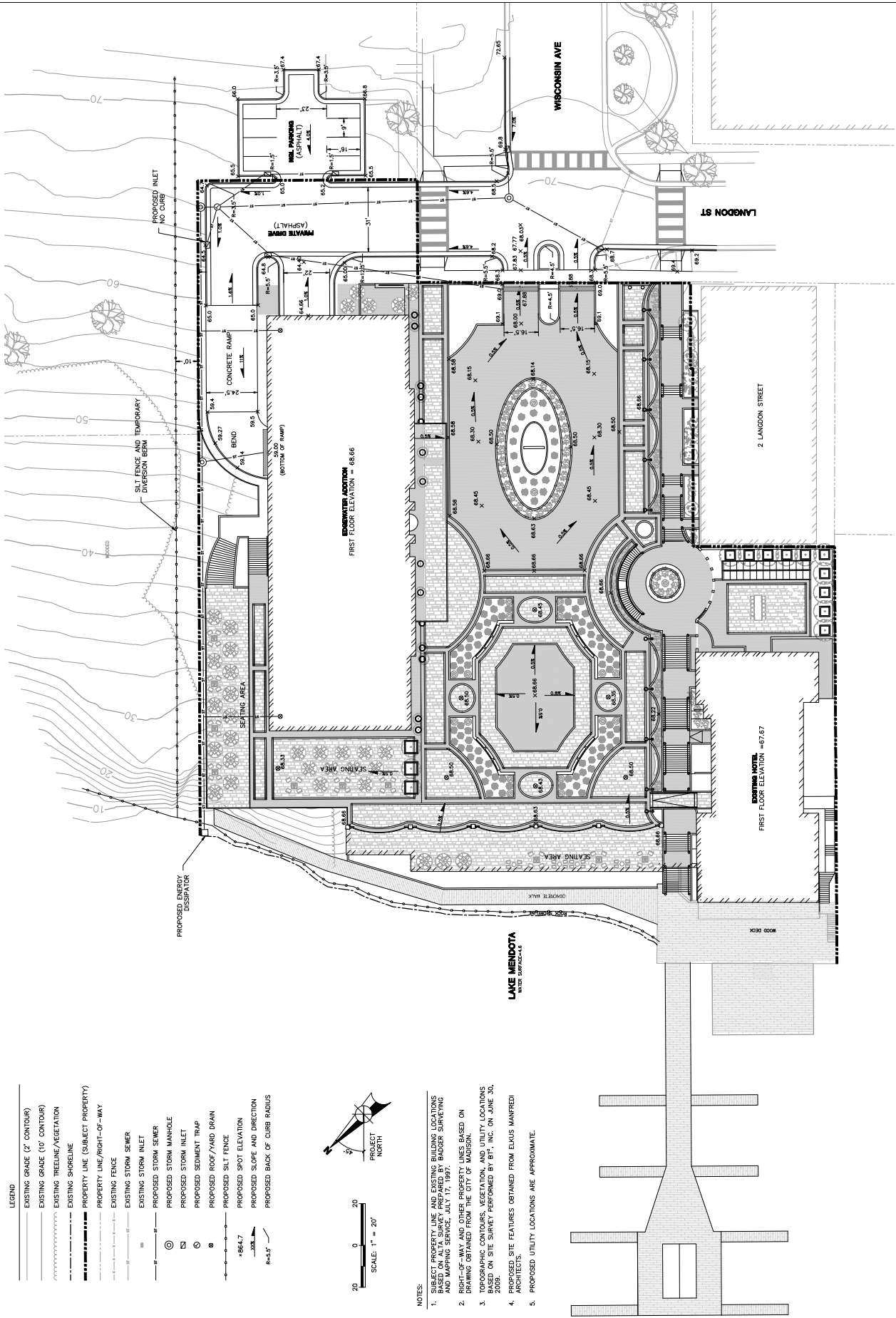
SCALE:

DRAWING TITLE:

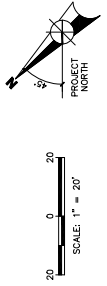
BUILDING AND EROSION CONTROL PLAN

PROJECT NUMBER:

C1.03



- LEGEND**
- EXISTING GRADE (2' CONTOUR)
 - - - EXISTING GRADE (10' CONTOUR)
 - ~ ~ ~ EXISTING TREELINE/VEGETATION
 - EXISTING SHORELINE
 - - - PROPERTY LINE (SUBJECT PROPERTY)
 - - - PROPERTY LINE (RIGHT-OF-WAY)
 - - - EXISTING FENCE
 - EXISTING STORM SEWER
 - EXISTING STORM INLET
 - PROPOSED STORM SEWER
 - PROPOSED STORM MANHOLE
 - PROPOSED STORM INLET
 - PROPOSED SEDIMENT TRAP
 - PROPOSED ROOF/YARD DRAIN
 - PROPOSED SILT FENCE
 - PROPOSED SPOT ELEVATION
 - PROPOSED SLOPE AND DIRECTION
 - PROPOSED BACK OF CURB RADIUS



- NOTES:**
1. SUBJECT PROPERTY LINE AND EXISTING BUILDING LOCATIONS BASED ON ALTA SURVEY PREPARED BY BADGER SURVEYING AND MAPPING SERVICE, JULY 17, 1997.
 2. EXISTING BUILDING LOCATIONS AND UTILITY LOCATIONS DRAWING OBTAINED FROM THE CITY OF MADISON.
 3. TOPOGRAPHIC CONTOURS, VEGETATION, AND UTILITY LOCATIONS BASED ON SITE SURVEY PERFORMED BY BT, INC. ON JUNE 30, 2009.
 4. PROPOSED SITE FEATURES OBTAINED FROM ELIUS MANFREDI ARCHITECTS.
 5. PROPOSED UTILITY LOCATIONS ARE APPROXIMATE.

LAKE MENDOTA
WATER SURFACE=4.6

EXISTING HOTEL
FIRST FLOOR ELEVATION =67.67

EDGEWATER ADDITION
FIRST FLOOR ELEVATION = 68.66

LANGDON ST

WISCONSIN AVE

2 LANGDON STREET

WOOD DECK

PROPOSED ENERGY DISSIPATOR

SILT FENCE AND TEMPORARY DIVERSION BERM

CONCRETE RAMP

SEATING AREA

SEATING AREA

SEATING AREA

SEATING AREA

MOSE PARKING (CONCRETE)

PRIVATE DRIVE (ASPHALT)

CONCRETE WALK

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2830 DARY DRIVE
MADISON, WI 53718-6791
TEL: (608) 441-4750
FAX: (608) 224-2839

The Edgewater

600 Wisconsin Avenue
Madison, WI 53703

Owner:
Leinhardt's, LLC
22 East Lakeshore, Suite 100
Madison, WI 53703

Developer:
Herrmann Company
22 East Lakeshore, Suite 100
Madison, WI 53703

Civil Engineer:
BTI Engineering, Inc.
2830 Dary Drive
Madison, WI 53718

PROJECT NUMBER: 100

DATE: August 18, 2009

REVISIONS:

SCALE: 1" = 40'

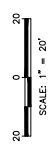
DRAWING NUMBER:

UTILITY PLAN

DATE PLOTTED:

C1.04

- LEGEND**
- EXISTING GRADE (2' CONTOUR)
 - EXISTING GRADE (10' CONTOUR)
 - EXISTING TREELINE/VEGETATION
 - EXISTING SHORELINE
 - PROPERTY LINE (SUBJECT PROPERTY)
 - PROPERTY LINE (RIGHT-OF-WAY)
 - EXISTING FENCE
 - EXISTING ELECTRIC UTILITY
 - EXISTING GAS MAIN
 - EXISTING SANITARY SEWER
 - EXISTING STORM SEWER
 - EXISTING WATER MAIN
 - EXISTING HYDRANT
 - EXISTING MANHOLE
 - EXISTING UTILITY/LIGHT POLE
 - PROPOSED ELECTRIC UTILITY
 - PROPOSED GAS MAIN
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER
 - PROPOSED WATER MAIN
 - PROPOSED STORM MANHOLE
 - PROPOSED STORM INLET
 - PROPOSED SEDIMENT TRAP
 - PROPOSED SANITARY MANHOLE



- NOTES:**
1. SUBJECT PROPERTY LINE AND EXISTING BUILDING LOCATIONS BASED ON ALTA SURVEY PREPARED BY BADGER SURVEYING AND MAPPING SERVICE, JULY 17, 1997.
 2. RIGHT-OF-WAY AND OTHER PROPERTY LINES BASED ON SURVEYING OBTAINED FROM THE CITY OF MADISON.
 3. EXISTING UTILITY LOCATIONS BASED ON SITE SURVEY PERFORMED BY BTI, INC. ON JUNE 30, 2009.
 4. PROPOSED SITE FEATURES OBTAINED FROM ELIUS MANFREDI ARCHITECTS.
 5. PROPOSED UTILITY LOCATIONS ARE APPROXIMATE.

