

New single family house for for Jacqui & Steven Suleski

Drawing Index

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Abbreviations			
a	and	ab	above
ap	approximately	ac	air conditioning
as	approximately	acm	acoustic ceiling tile
d	degree	ac	air conditioning unit
n	number or pound	ad	area drain
+	plus or minus	adum	addition
-	minus	adj	adjustable
ab	anchor bolt	af	above finish floor
ac	air conditioning	ac	access hatch @ ceiling
acm	acoustic ceiling tile	ah	access hatch & ladder
ac	air conditioning unit	air	air intake for furnace
ad	area drain	al	aluminum
adum	addition	aprox	approximate
adj	adjustable	arch	architect or architectural
af	above finish floor	auto	automatic
ac	access hatch @ ceiling	aur	auring
ah	access hatch & ladder	b	bottom of
air	air intake for furnace	ba	board
al	aluminum	bd	bedroom
aprox	approximate	bgf	boiler gas-fired
arch	architect or architectural	bgp	barbecue gas grill
auto	automatic	bl	blast
aur	auring	bl	borrowed lite
b	bottom of	blg	building
ba	board	bld	building
bd	bedroom	blk	block
bgf	boiler gas-fired	bldg	building
bgp	barbecue gas grill	bldg	building
bl	blast	bldg	building
bl	borrowed lite	bldg	building
blg	building	bldg	building
bld	building	bldg	building
blk	block	bldg	building
bld	building	bldg	building
bldg	building	bldg	building
bldg	building	bldg	building
bldg	building	bldg	building
bldg	building	bldg	building

material key		symbol key	
These patterns may be used in plan or section to indicate material types. The same pattern may be used for different materials; these material identifications must be made within the context of the drawing. If there is a discrepancy between a text description of a material and a pattern as described in this key, the text description will prevail.		Reference marks, symbols & drafting conventions are used throughout the documents.	
brick	concrete	detailed reference	room reference
grout or mortar	concrete masonry units	section reference	construction line
natural or manufactured stone veneer	stone aggregate or granular fill	exterior elevation reference	hidden construction line
compacted or engineered fill	earth	interior elevation reference	overhead construction line
earth	sand or fine stone aggregate	structural grid line	center line
wood, trim, siding or fiber composites	wood, trim, siding or fiber composites	match line	property or boundary line
nominal lumber (board, stud or timber)	wood blocking (cut, planed or trimmed)	key note reference	right-of-way center line
wood blocking (cut, planed or trimmed)	metal	revision reference	setback or build-to line
metal	rigid insulation board	level line datum	ease/ment or other boundary
rigid insulation board	spray foam insulation	point datum	electric line
spray foam insulation	plank/raft/batt/loose fill insulation	door identification	telephone line
plank/raft/batt/loose fill insulation	plywood or sub-floor, roof deck & sheathing	window identification	cable line
plywood or sub-floor, roof deck & sheathing		elevation datum reference	natural gas line
			sanitary sewer line
			storm sewer line
			storm water
			vinyl tile
			vinyl tile base
			vinyl wall covering



Project Summary

governing building code
Wisconsin Uniform Dwelling Code

governing jurisdiction, setbacks & restrictions
Madison, WI 53703
Zoning District: TR-C4 District

Building Area Summary - Heated Living Space
Basement: "1,543.0 sq ft"
First Floor: "1,069.0 sq ft"
Second Floor: "1,497.0 sq ft"
Gross Area: "4,109.0 sq ft"
*Includes stair openings except on top floor
Does not include open-to-below spaces with no floor structure*

Building Area Summary - Non-Heated Structured Space
Covered Open front Porches "0,050.00 sq ft"
2nd floor deck (over living space) under roof "0,054.00 sq ft"
Vehicle Garages "0,476.00 sq ft"
Gross Area: "0,580.00 sq ft"

Misc. Area Summary - Site Items
Side deck and stairs "0,075.00 sq ft"
2nd floor deck (brackets) "0,034.50 sq ft"
1st floor deck and stairs "0,071.00 sq ft"
Grd floor patio/ stair landing/ retaining walls "0,465.00 sq ft"
Gross Area: "645.50 sq ft"

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City of Madison
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Not for Construction

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New single family house for
Jacqui & Steven Suleski
1435 Morrison Street, Madison, Wisconsin, 53703

revision index		
#	date	reference

project: 20047
date: 7/20/2021
drawn by:

T1

Project Summary

Governing Building Code

Wisconsin Uniform Dwelling Code

Governing Jurisdiction, Setbacks & Restrictions

City of Madison
 Zoning District: TR-C4
 Parcel Number: 0711007222103
 Home Type: residential/ 2 Stories
 Lot Area: 4,734 sf (Per Survey)
 Maximum Height: 2 stories/ 35 ft
 Street Yard: 20 ft
 Side Yards: 10% of lot width (Lot is less than 50 ft)
 (38.8' * 0.1(10%) = 3'-10 1/2")
 Rear Yard: 47.80 ft (Lakefront yard median setback)
 Lot Coverage (Max.): 65% lot area = (.65 * 4,734 = 3,077 sf)
 Usable open space: 750 sf required per D.U.
 Front yard coverage: Max 40% required for driveways
 Open porches: 7'-0" encroachment into front setback
 Eaves and gutters: 3' into front setback, 2' into rear setback and 3' into side setbacks (allowable encroachment)

Proposed Building Areas

New building footprint total= 1,586 sq ft
 (Including decks)
 Proposed roof area = 1,912.00 sq ft
 Proposed Open Porch & Decks= 0,948.00 sq ft
 Proposed Driveways & Walkways = 0,304.60 sq ft
 Proposed Lot Coverage= 50% (2,370/ 4,734 = sf = 50%)
 Proposed Green Area= 2,645 sq ft = 55.88%
 Usable open space provided 2,344 sq ft
 Proposed Building Height = +/- 33'-9 3/4"
 (averaged from all four elevations)
 (33'-2" + 34'-1" + 31'-4" + 36'-8" = 135'-3" divided by 4 = 33'-9 3/4")
 Front yard driveway coverage (40% max) 40% max. for driveway
 (173.4 sq ft * 0.4 = 309.36 sq ft max.)
 (Actual driveway is 308 sq ft)

Building Area Summary - Heated Living Space

Basement/Ground Floor: 1,543.00 sq.ft
 First Floor: 1,068.72 sq.ft
 Second Floor: 1,497.13 sq.ft
Total Gross Living Area: 4,109.00 sq.ft.

Building Area Summary - Non-Heated Structured Space

Covered Open Porches 0,050.00 sq.ft.
 1st floor deck and stairs 0,071.00 sq. ft.
 2nd floor deck (brackets) 0,034.50 sq. ft.
 2nd floor deck (over living space) 0,054.00 sq. ft.
 Patio: 0,465.00 sq. ft.
Attached Garage 0,476.00 sq.ft.

Total Gross Area: 1,151.00 sq.ft.

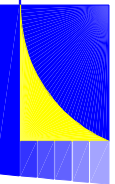
Building Area Summary - Total Heated & Non-Heated Structured Space

Total Gross Area: 5,260.00 sq.ft.

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New single family house for
Jacqui & Steven Suleski
 1435 Morrison Street, Madison, Wisconsin, 53703

revision	date	reference

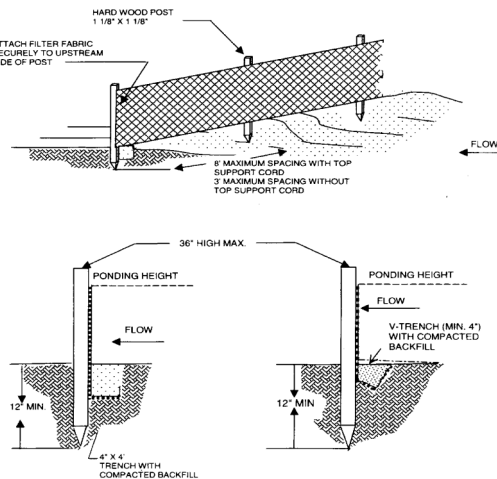
project: 20047
 date: 7/20/2021
 drawn by:

SW1

Comm 20-25 APPENDIX

WISCONSIN ADMINISTRATIVE CODE

120

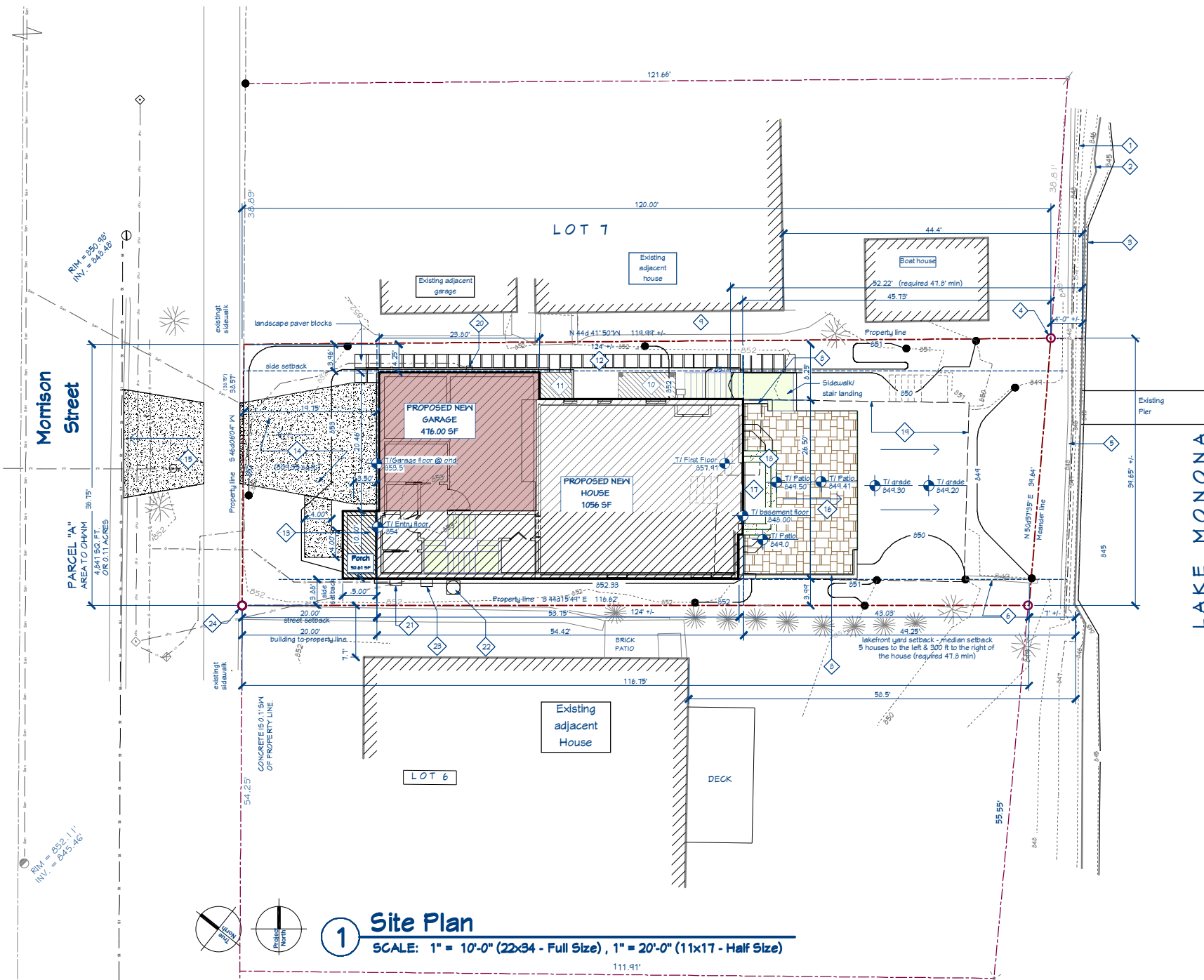


- NOTES:
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 2. THE ENDS OF THE FENCE SHALL BE TURNED UPSLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS OF THE FENCE.
 3. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY TO MAXIMIZE RECOMMENDED STORAGE HEIGHT.
 4. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

FIG. E - 1
 SILT FENCE

2 Silt Fence Detail

SCALE: NTS



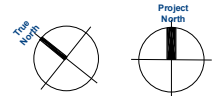
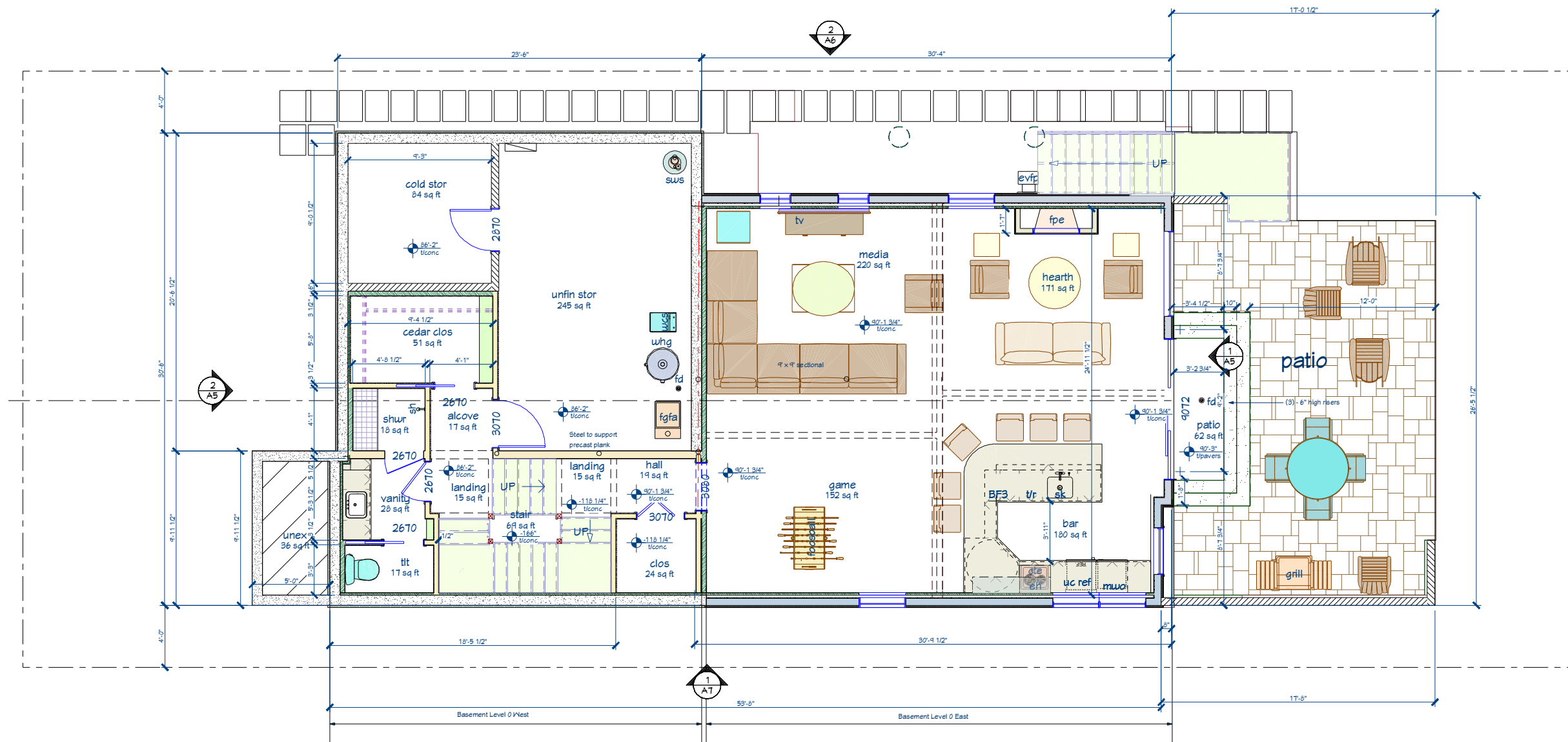
- General notes - Site Plan**
- 1 Existing house to be demolished.

- Keynotes - Site Plan**
- 1 Flood plain line elevation = 847.67'
 - 2 Ordinary high water mark elevation = 845.77'
 - 3 Edge of water (9/11/21) elevation = 844.42'
 - 4 Site Benchmark "B" top of rebar = 849.24'
 - 5 Existing concrete wall
 - 6 Existing retaining wall
 - 7 Omit not used
 - 8 New landscape retaining walls
 - 9 New deck steps
 - 10 New open deck
 - 11 New conc slope
 - 12 New landscape landscape path
 - 13 New Open covered entry porch
 - 14 New paved driveway
 - 15 New concrete apron to street
 - 16 New paver patio
 - 17 New conc slopes
 - 18 New 3 steps (3- 6" risers = 18")
 - 19 Dashed lines indicate original house location
 - 20 New esm, electric service meter (approx.)
 - 21 New gsm, gas service meter (approx.)
 - 22 New condensing unit location (approx.)
 - 23 New uwm, water service meter location (approx.)
 - 24 Site Benchmark "A" top of rebar = 851.70'

1 Site Plan

SCALE: 1" = 10'-0" (22x34 - Full Size), 1" = 20'-0" (11x17 - Half Size)

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1 Basement Floor Plan
SCALE: 1/4" = 1'-0"

revision	index
#	date reference

project: 20041
date: 7/20/2021
drawn by:

A1

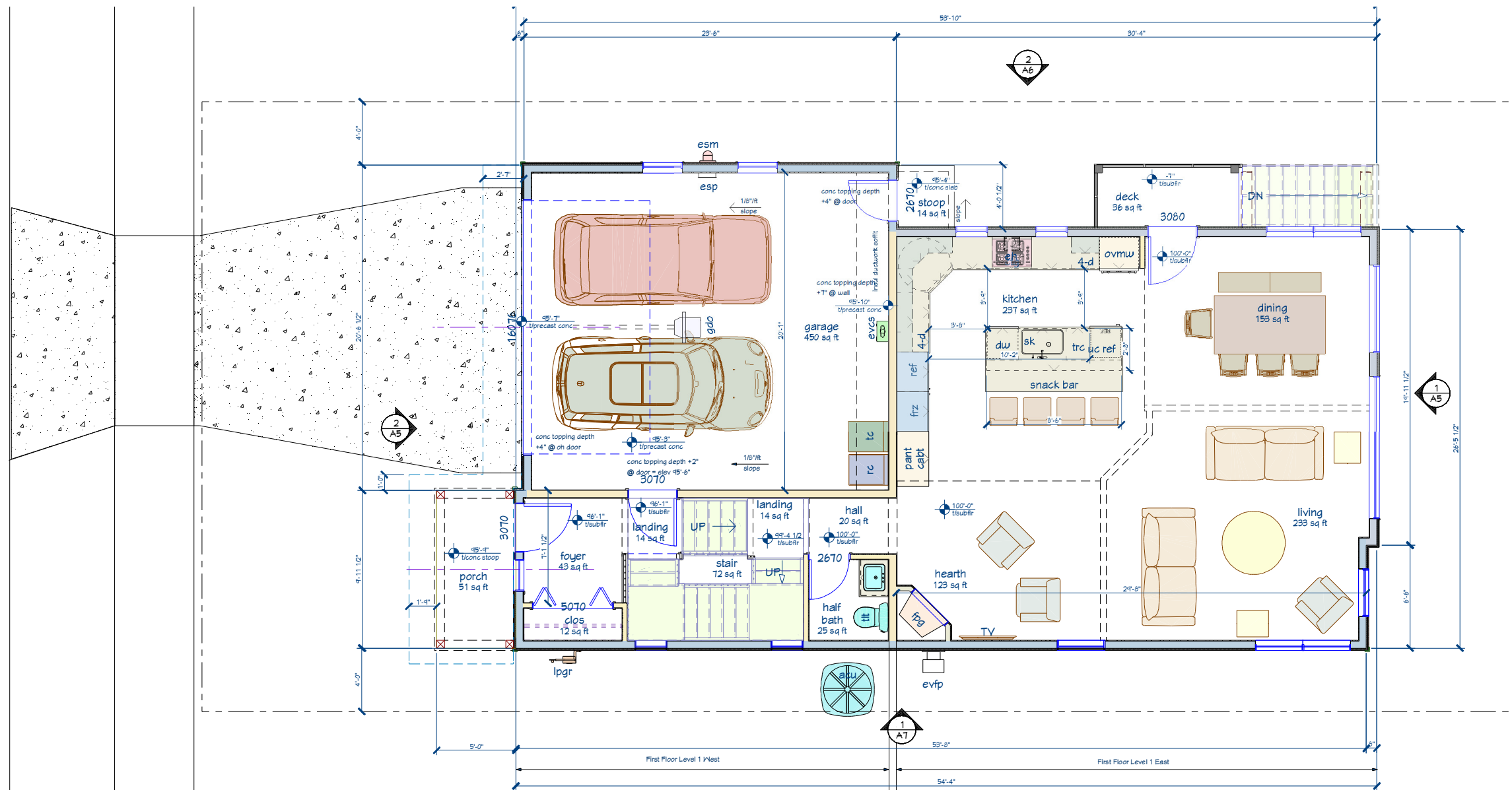
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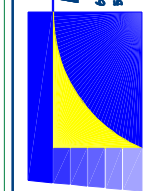
1 First Floor Plan
SCALE: 1/4" = 1'-0"

revision index		
#	date	reference

project: 20041
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A2

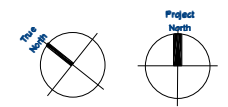
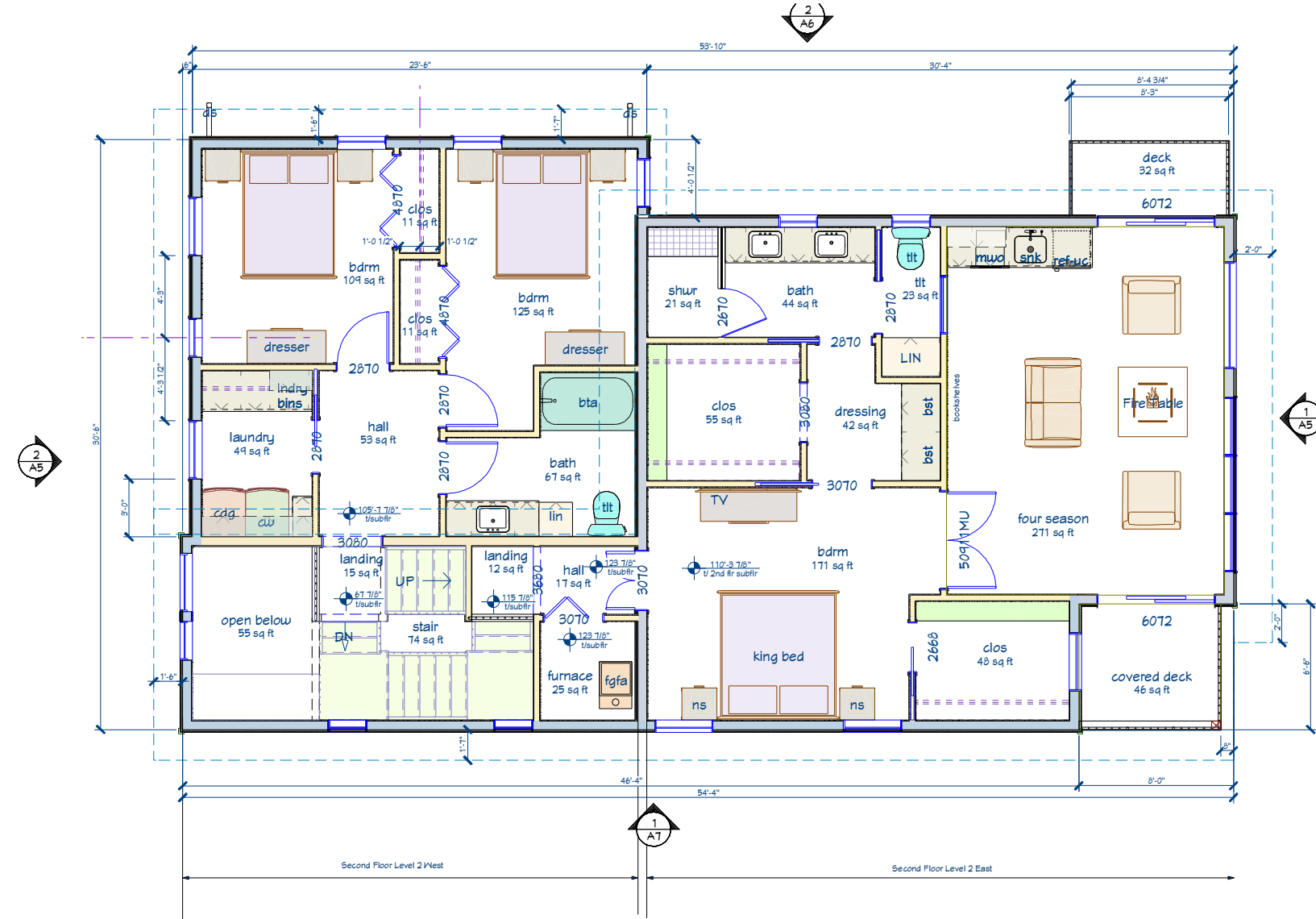
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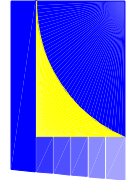


1 Second Floor Plan
SCALE: 1/4" = 1'-0"

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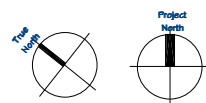
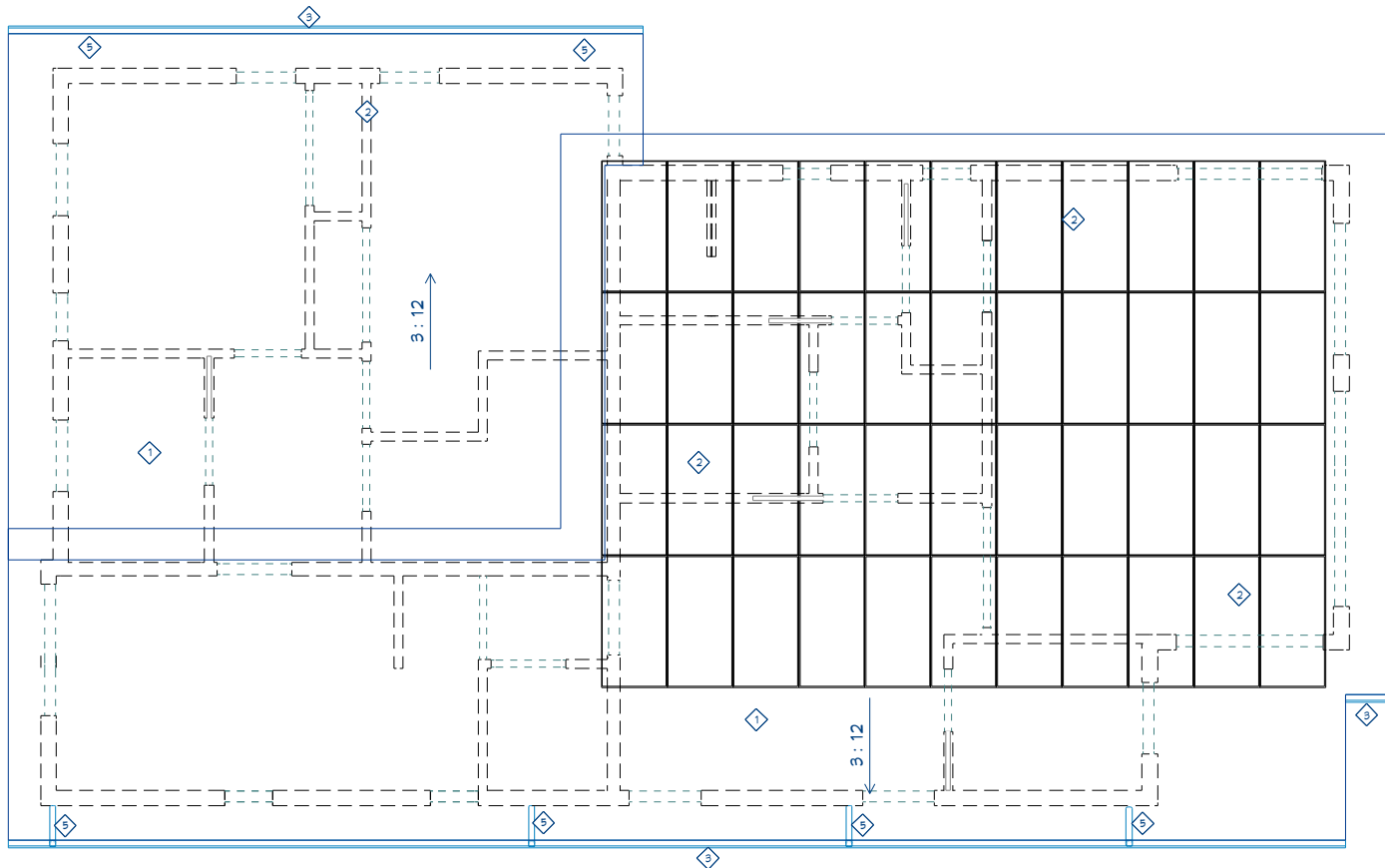
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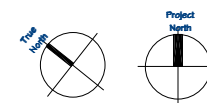
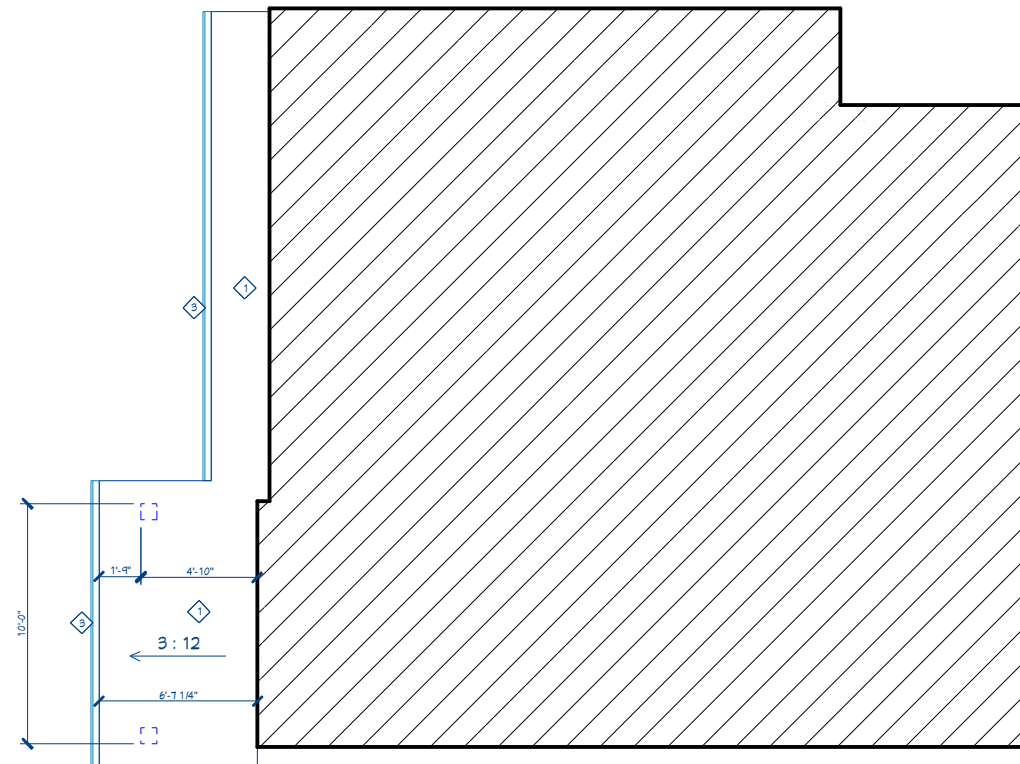
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drawn by:

A3

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1 Upper Roof Plan
SCALE: 1/4" = 1'-0"



2 Lower Roof Plan
SCALE: 1/4" = 1'-0"

General Notes - Roof Plan

- All dimensions are to the face of dimensional members (stud, blocking, framing, board, etc). Dimensions do not reference sheathing, wall board, or other finish items unless noted otherwise.
- Verify rough opening requirements for all framed openings (skylights, solar tubes, chimneys, etc).
- Install waterproof membrane as follows: at all vertical penetrations through the roof, including chimneys, vents & stacks; along the entire length of eaves to 12" inside the projected exterior wall line; in 36" wide strips along the entire length of valleys, intersecting walls, changes in roof pitch & other vertical surfaces; over the entire surface of any roof, crickets, or over-build with a slope 4:12 or less. All areas not covered by waterproof membrane will be covered with 15# roofing felt applied horizontally from eave to ridge.
- Install hip & ridge exhaust vents along all vented attic (cold roof) spaces. Vent intake will be accomplished with perforated soffit at all under-eave areas open to the vented attic space. Roof overbuild areas should not be sheathed beneath the overbuild framing to maintain free air flow throughout the attic volume.
- Gutters, downspouts, and leaders shall be roll-formed from 0.032" aluminum coil stock in a color to match the eave fascia. Gutter lengths shall be seamless; K Style profile & shall provide 20sq in (min) of net cross-sectional area and shall have a depth to width ratio of not less than 1.25 (eg a 4" deep x 5" high U-shaped gutter satisfies this requirement). All gutters shall receive a fully covered leaf guard system. Downspouts & leaders shall be a 4"x3" rectangular profile. Downspouts which discharge to a leader at grade shall be provided with a decorative aggregate concrete splash block at the leader termination. Downspouts which discharge to a drain receptor shall terminate into a 4x3x4 PVC offset downspout tile adaptor mated to a buried 4" SDR35 drain pipe receptor. Buried drain pipe shall slope at 1/4":12 and drain to daylight; all pipe fittings shall be permanently welded or use gaskets; all bends shall be 45 degrees or less.

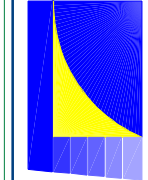
Key Notes - Roof Plan

- Prefinished standing seam metal roof
- Photovoltaic (solar) panels
- Prefinished metal Gutter
- Prefinished metal Downspout and leader - discharge to grade
- Prefinished metal Downspout - discharge into a drain receptor
- Prefinished metal Downspout and leader - discharge to roof below

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project: 20041
date: 7/20/2021
drawn by:

A4

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1 South Exterior Elevations
SCALE: 1/4" = 1'-0"

General Notes - Exterior Elevations

1. Typical exterior materials are noted on 1/A6 West elevation. Only unique materials are noted on other Exterior Elevations.

Keynotes - Exterior Elevations

- 1 Standing seam metal roof
- 2 Prefinished metal gutter
- 3 Prefinished metal downspout
- 4 Composite w/d fascia
- 5 Composite w/d shadow Board
- 6 Composite w/d Frieze trim
- 7 Engineered wood lap siding, type1, color 1
- 8 Engineered wood lap siding, type2, color 2
- 9 Prefinished vertical metal siding
- 10 Composite 4" corner trim, type 3, match siding color
- 11 Composite window trim
- 12 Composite door trim
- 13 Composite w/d fascia
- 14 Composite post trim wrap
- 15 36" high (above decking) guard rail system
- 16 36" high stair rail and guardrail system
- 17 Deck wood Timber Brackets
- 18 gas fireplace termination vent
- 19 Electric meter
- 20 gas meter
- 21 condensing unit
- 22 Timber columns
- 23 Timber beam
- 24 Deck conc fdn formed by sonatube
- 25 Composite 5/4 decking
- 26 Photovoltaic (solar) panels
- 27 Prefinished metal soffit
- 28 Composite trim over structural column
- 29 Composite trim over structural beam
- 30 Prefinished metal panels - Type 4

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project: 22047
date: 1/20/2021
drawn by:

A7

1 Exterior Elevations

SCALE: 1/4" = 1'-0"

General Notes - Exterior Elevations

- 1. Typical exterior materials are noted on 1/A6 West elevation
- Only unique materials are noted on other Exterior Elevation

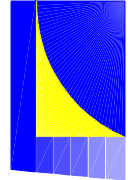
Keynotes - Exterior Elevations

- 1 Standing seam metal roof
- 2 Prefinished metal gutter
- 3 Prefinished metal downspout
- 4 Composite u/d fascia
- 5 Composite u/d shadow Board
- 6 Composite u/d Frieze trim
- 7 Engineered wood lap siding, type1, color 1
- 8 Engineered wood lap siding, type2, color 2
- 9 Prefinished vertical metal siding
- 10 Composite 4" corner trim, type 3, match siding color
- 11 Composite window trim
- 12 Composite door trim
- 13 Composite u/d fascia
- 14 Composite post trim wrap
- 15 36" high (above decking) guard rail system
- 16 36" high stair rail and guardrail system
- 17 Deck wood Timber Brackets
- 18 gas fireplace termination vent
- 19 Electric meter
- 20 gas meter
- 21 condensing unit
- 22 Timber columns
- 23 Timber beam
- 24 Deck conc fdn formed by sonatube
- 25 Composite 5/4 decking
- 26 Photovoltaic (solar) panels
- 27 Prefinished metal soffit
- 28 Composite trim over structural column
- 29 Composite trim over structural beam
- 30 Prefinished metal panels - Type 4

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