



Location

2912 Waunona Way

Project Name

Zauft Residence

Applicant

Bruce & Karen Zauft/
Bob Bouril – Bouril Design Studios

Existing Use

Single-Family Home

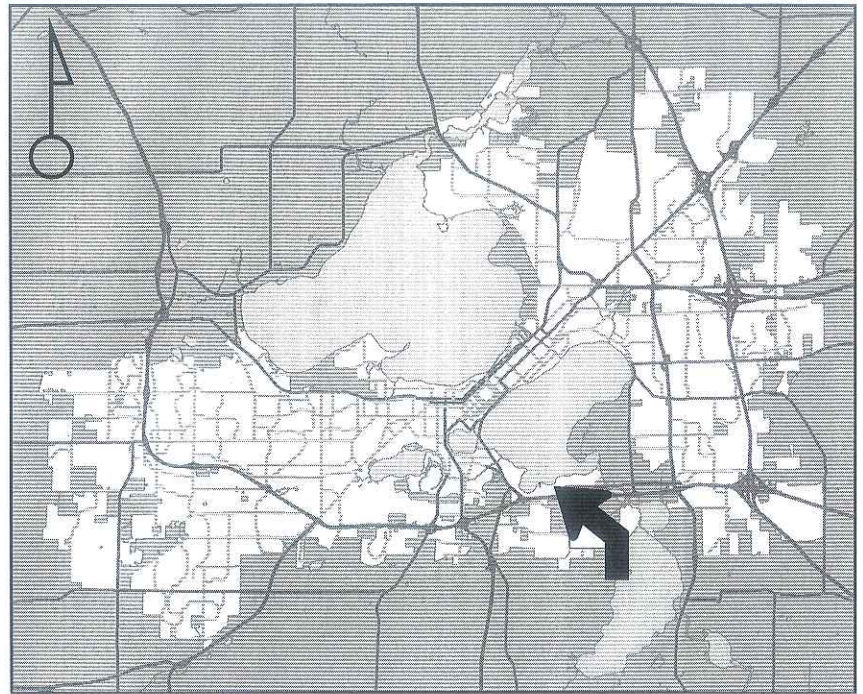
Proposed Use

Revised site plans for a new single-family home and detached garage on a waterfront lot

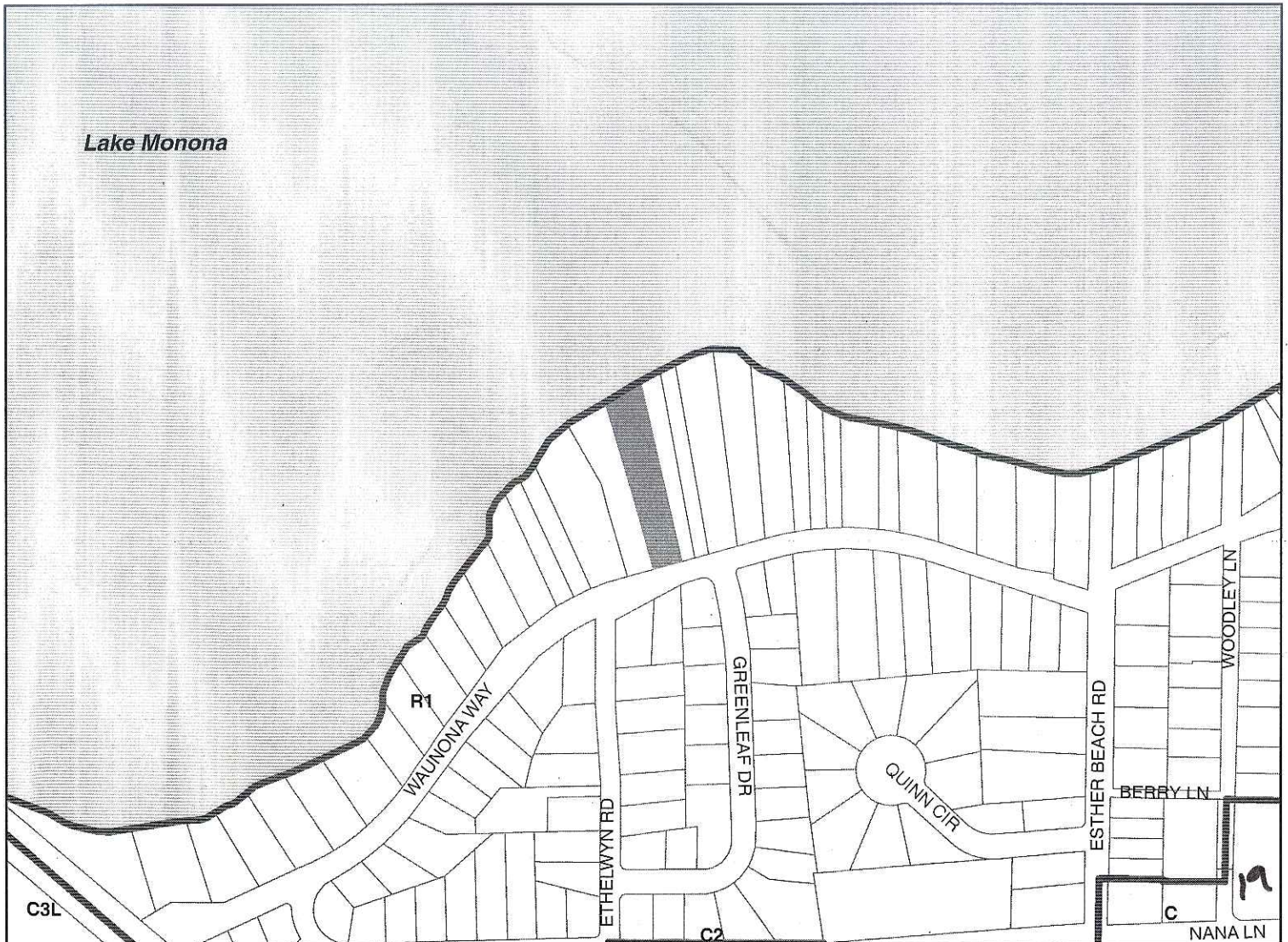
Public Hearing Date

Plan Commission

23 July 2007



For Questions Contact: Kevin Firchow at: 267-1150 or kfirchow@cityofmadison.com or City Planning at 266-4635



Lake Monona

Scale : 1" = 400'

Planning Unit, Department of Planning and Development : RPJ : Date : 12 July 2007



Location
2912 Waunona Way

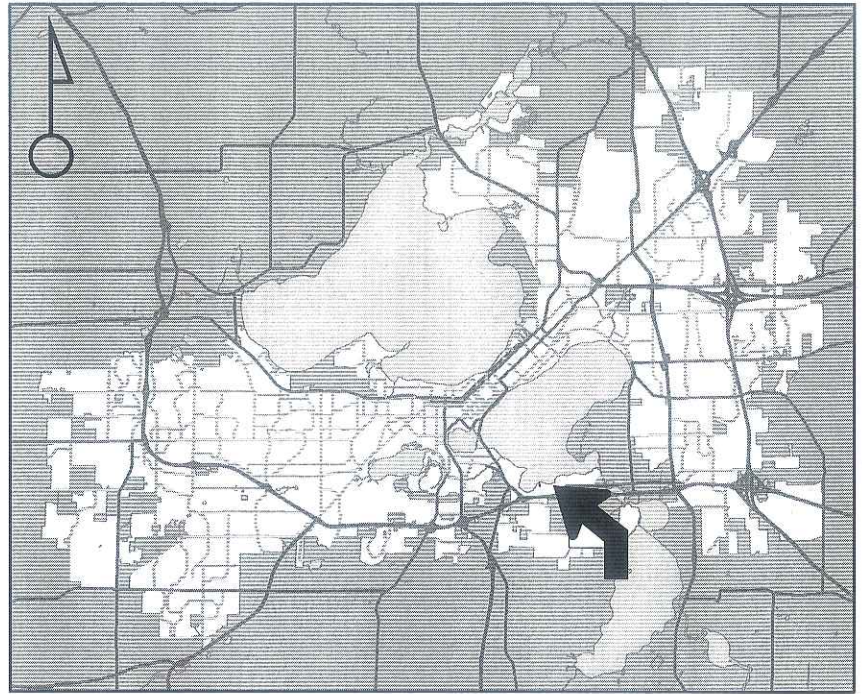
Project Name
Zauft Residence

Applicant
Bruce & Karen Zauft/
Bob Bouril - Bouril Design Studios

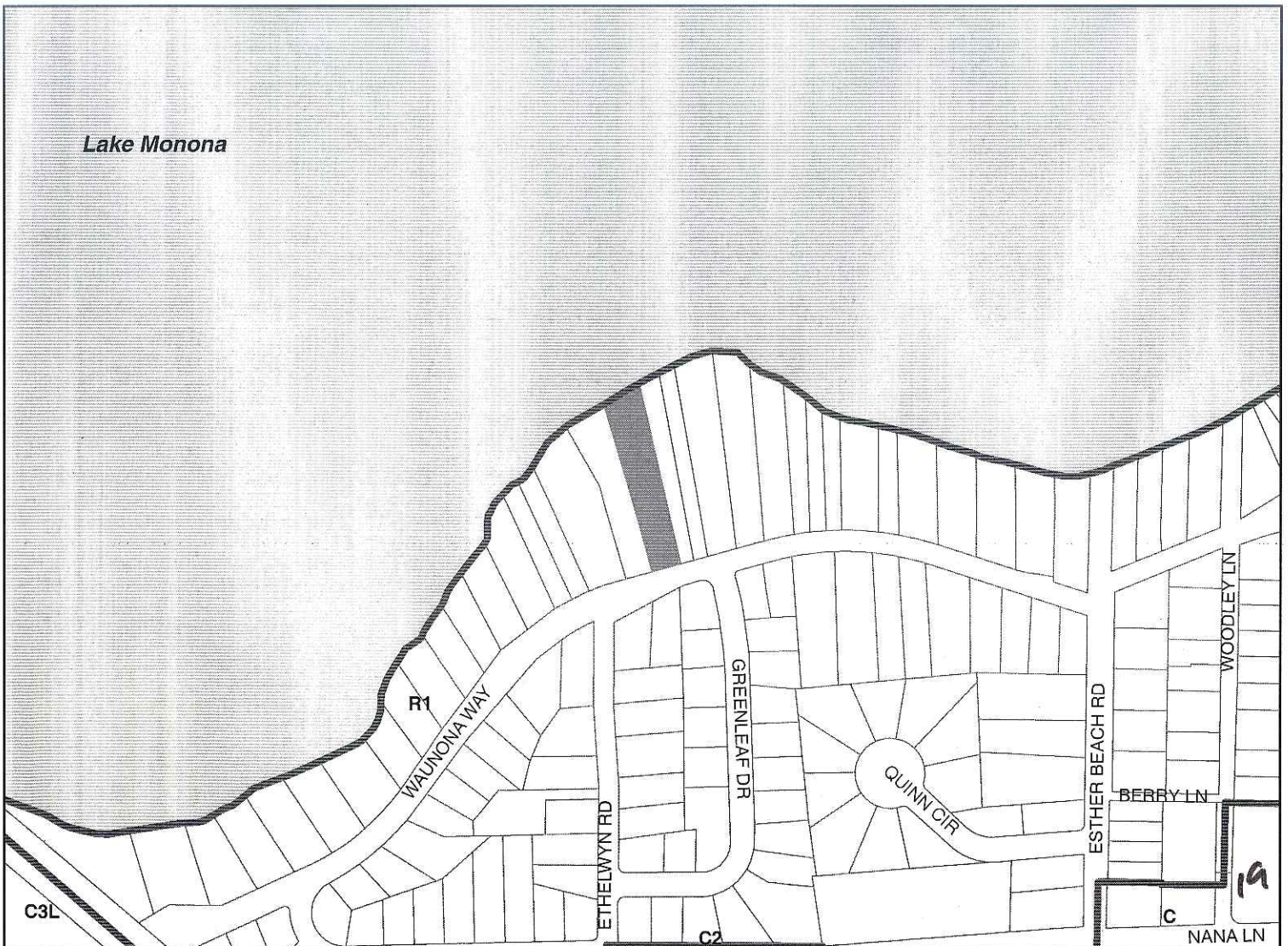
Existing Use
Single-Family Home

Proposed Use
Revised site plans for a new single-family home and detached garage on a waterfront lot

Public Hearing Date
Plan Commission
23 July 2007



For Questions Contact: Kevin Firchow at: 267-1150 or kfirchow@cityofmadison.com or City Planning at 266-4635



July 9, 2007

Karen & Bruce Zauft
2912 Waunona Way
Madison, WI 53713
H 608/221-0777
C 608/576-6035
W 608/221-7887

City of Madison Planning

We request that you add us to the agenda of the July 23 council meeting. We would like you to consider moving our house north 8' and our detached garage south 10'. They are presently to close to a tree line of 90' tall tamarack and white pine. Our builder Mark Stewart of Landmark LLC C712-2795 and Landscaper/Arborist Lori Rogers C628-5153 of Arbor Scapes suggested it as a minimum safe distance to save these 100 year old trees. Our house is still 5' from the north/lake side set back of 78' 6". Our home would not be in front of our neighbors. If you run a string between our neighbor's homes on both sides our foundation would just touch that point at one corner and drop back from there. Our side yards are 14'7" west and 18'3" east also well short of the allowed 7'. There is no opposition to moving the detached garage south 10' we still would have a set back of 149'6". We have approval from one neighbor but presently not the other. Their concern is the loss of side view to the west and possible loss of breeze. Although we appreciate their concerns we feel we cannot take down a magnificent tree with out exhausting all our options. Thank you for your consideration, we look forward to our meeting.

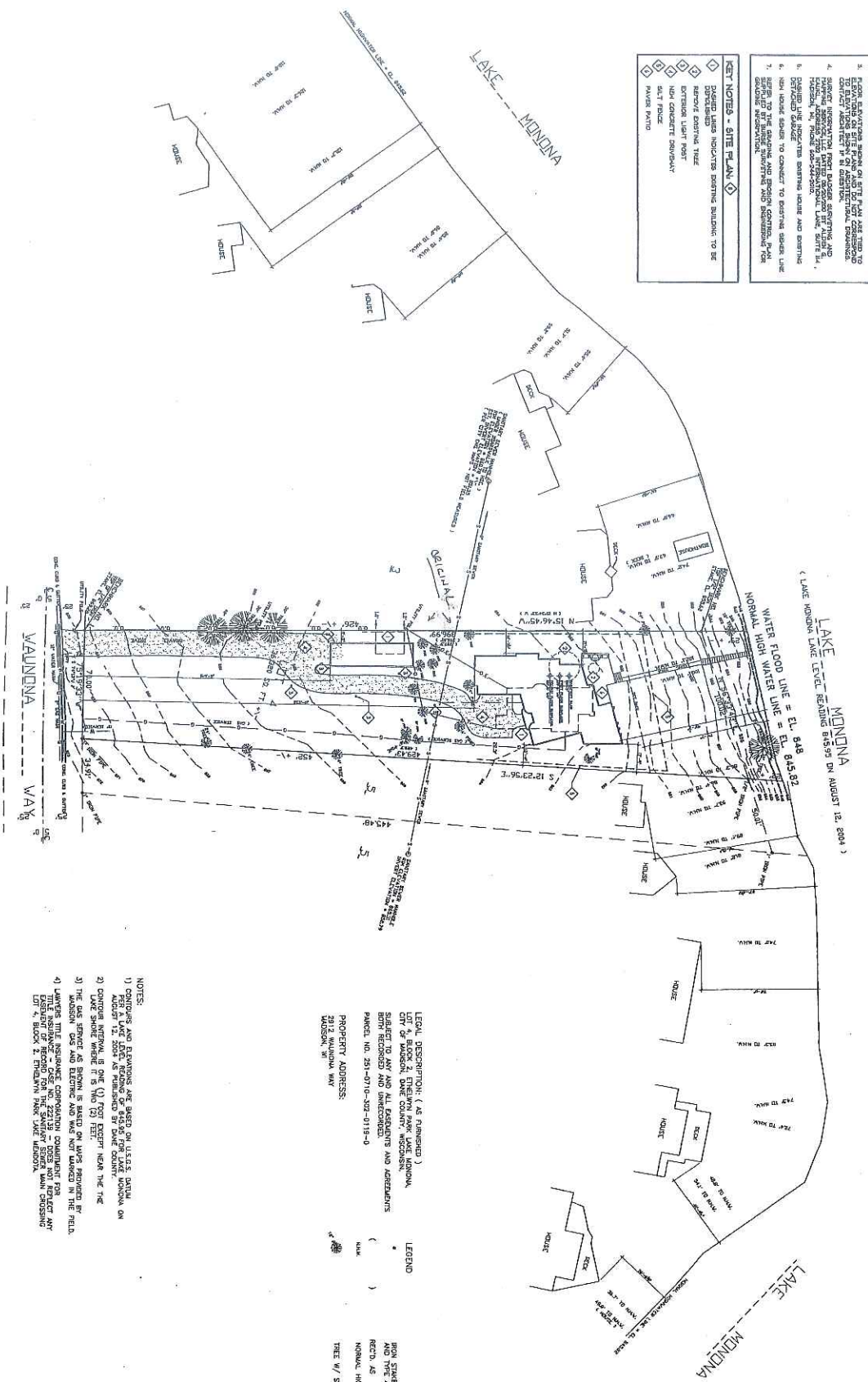
Sincerely,

Karen & Bruce Zauft

GENERAL NOTES - SITE PLAN

1. CONTRACTOR TO VERIFY CONSTRUCTION LOCATIONS OF (1) EXISTING UTILITY LINES AND (2) EXISTING FOUNDATION WALLS THAT AFFECT CONSTRUCTION.
2. FURNISH CONCRETE FROM PROXY STRUCTURE.
3. ELEVATIONS ON SITE PLAN AND TO BE CONSIDERED CONTRACT DOCUMENTS IN ALL DISPUTES.
4. EXISTING FOUNDATION WALLS TO BE REMOVED AND REPLACED WITH NEW FOUNDATION WALLS.
5. DOWNSIDE OF THE EXISTING EXTERIOR HOUSE AND EXTERIOR HOUSE TO BE REMOVED AND REPLACED WITH NEW EXTERIOR HOUSE AND EXTERIOR HOUSE.
6. NEW HOUSE FOUNDATION TO BE CONSTRUCTED TO EXISTING HOUSE LINE.
7. SETBACKS TO THE EXISTING AND PROPOSED CONCRETE-PAVEMENT DRIVEWAY AND DRIVEWAY TO BE MAINTAINED FOR THE EXISTING DRIVEWAY.

- KEY NOTES - SITE PLAN**
- ◆ CONCRETE FOUNDATION WALLS INDICATES EXTERIOR BUILDING TO BE
 - ◆ EXISTING FOUNDATION WALLS
 - ◆ EXISTING EXTERIOR HOUSE
 - ◆ EXISTING EXTERIOR LIGHT POST
 - ◆ HIGH CONCRETE DRIVEWAY
 - ◆ SPLIT FENCE
 - ◆ PAVED DRIVEWAY



- NOTES:**
- 1) CONTOURS AND ELEVATIONS ARE BASED ON U.S.G.S. DATA FOR A LOW WATER LEVEL. ELEVATIONS OF 845.82 FOR LAKE MONONA ON THE DATE OF THE SURVEY. CONTOUR FROM THE LAKE MONONA ON THE DATE OF THE SURVEY IS ONE (1) FOOT DEEPER THAN THE LAKE MONONA ON THE DATE OF THE SURVEY. THE LAKE MONONA ON THE DATE OF THE SURVEY IS ONE (1) FOOT DEEPER THAN THE LAKE MONONA ON THE DATE OF THE SURVEY.
 - 2) THE GAS SERVICE AS SHOWN IS BASED ON LINES PROVIDED BY MADISON GAS AND ELECTRIC. GAS AND ELECTRIC WAS NOT LAYED IN THE FIELD.
 - 3) LAYOUTS WITH INSURANCE COMMISSION COMMENT FOR THE EXISTENCE OF RECORD FOR THE SANITARY SEWER MAIN CROSSING UNDER THE DRIVEWAY FROM LAKE MONONA.

LEGAL DESCRIPTION: (AS PLANNED)
 LOT 2, BLOCK 2, ERIEVIEW PARK, LAKE MONONA,
 MADISON, WISCONSIN.
 SUBJECT TO ANY AND ALL EASEMENTS AND INTERESTS
 RECORDED AND UNRECORDED.
 PARCEL NO. 291-0719-302-0113-0

PROPERTY ADDRESS:
 2912 WAUNONA WAY
 MADISON, WI

LEGEND

- IRON STAKE FOUND (SITE AND TIE AS NOTED)
- NORMAL HIGH WATER LINE
- NORMAL HIGH WATER LINE
- TREE 1/2" SIZE AND TIE AS NOTED

PROPOSED SITE PLAN
 SCALE: 1" = 30'-0"



DATE	08/08/2017
DESIGNER	SW
PROJECT NO.	1
REVISION	
DATE	
BY	

A NEW RESIDENCE FOR
KAREN & BRUCE ZAUFF
 2912 WAUNONA WAY
 MADISON, WI, 53713

Bouril Design Studio, LLC
 architects

4002 Grand Island Park, #181, Madison, WI 53714-1801
 Phone: (608) 833-8600 Fax: (608) 833-3100
 Email: info@bourilstudio.com

CONSTRUCTION DOCUMENTS
 BUILDING SHELL

THE DESIGN REPRESENTED BY THESE DRAWINGS IS THE PROPERTY OF BOURIL DESIGN STUDIO, LLC. THESE DRAWINGS, WHETHER PRINTED OR IN ELECTRONIC FORM, MAY NOT BE COPIED OR REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF BOURIL DESIGN STUDIO, LLC OF MADISON, WISCONSIN.



HOPE TO SAVE THIS TREE

LOST VIEW ← → REMAINING VIEW →



