

URBAN DESIGN COMMISSION APPLICATION**UDC**

City of Madison
 Planning Division
 Madison Municipal Building, Suite 017
 215 Martin Luther King, Jr. Blvd.
 P.O. Box 2985
 Madison, WI 53701-2985
 (608) 266-4635

**FOR OFFICE USE ONLY:**

Paid _____ Receipt # _____

Date received _____

Received by _____

5/2/22
12:09 p.m.**RECEIVED**

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Legistar # _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project InformationAddress: 4301 East Towne Boulevard, Madison, WI 53704Title: Culver's Drive-Thru Improvements**2. Application Type (check all that apply) and Requested Date**UDC meeting date requested June 15, 2022

- New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

- Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)
 Signage Exception

Other

- Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Joe Mayer
Street address 4201 Winfield Road, Suite 600
Telephone 630-487-5563

Company Kimley-Horn
City/State/Zip Warrenville, IL 60555
Email joe.mayer@kimley-horn.com

Project contact person Joe Mayer
Street address 4201 Winfield Road, Suite 600
Telephone 630-487-5563

Company Kimley-Horn
City/State/Zip Warrenville, IL 60555
Email joe.mayer@kimley-horn.com

Property owner (if not applicant) Dean Meier
Street address 4301 East Towne Boulevard
Telephone 608-334-3136

City/State/Zip Madison, WI 53704
Email dmeier3136@charter.net

Urban Design Commission Application (continued)**UDC****5. Required Submittal Materials** **Application Form** **Letter of Intent**

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
- For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.

 Development Plans (Refer to checklist on Page 4 for plan details) **Filing fee** **Electronic Submittal*** **Notification to the District Alder**

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jacob Moskowitz & Colin Punt on 4/21/22.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Joe Mayer

DocuSigned by:

Dean MeierRelationship to property Consultant

Authorizing signature of property owner

738C57925DEA4CE...

Date

5/2/2022**7. Application Filing Fees**

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- **Planned Multi-Use Site** or Residential Building Complex

URBAN DESIGN COMMISSION APPROVAL PROCESS



Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (*Signage applications only*)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

May 2, 2022

City of Madison
Planning Division
215 Martin Luther King Drive
Madison, WI 53701

**RE: Letter of Intent, Culver's Drive-Thru Improvements
4301 East Towne Boulevard
Madison, Wisconsin 53704**

Kimley-Horn and Associates, Inc. (Kimley-Horn), serves as the engineering consultant for Dean Meier, the owner and operator of the existing Culver's Restaurant at 4301 East Towne Boulevard in Madison, Wisconsin. On behalf of Dean Meier, Kimley-Horn has prepared applications for an Alteration to the existing Conditional Use permit and a review at the Urban Design Commission. The project involves an alteration to the existing drive thru lane, with the construction of a side-by-side double drive-thru to serve the existing restaurant. Proposed site improvements are limited to the northeast end of the site, where the existing single lane drive thru operates today. Improvements include paving, landscaping, and access modifications.

The existing 1.69-acre property is zoned C-C (Commercial Center District). Kimley-Horn understands the existing restaurant and its associated indoor seating, outdoor seating, and drive thru amenities are an approved use under the current conditional use permit. The existing Culver's restaurant is approximately 4,922 square feet with 82 parking spaces and a single lane drive-thru serving the building. Based on City parking requirements, 50 parking spaces are required to serve the existing restaurant.

Drive-thrus have been a growing aspect of Culver's Restaurant's business, even prior to the COVID pandemic. The pandemic has highlighted a need to amend restaurant operations such that they are more accommodating to the shift from sit down to drive thru sales. This second order point allows food orders to be processed more quickly, thus reducing the wait or queue time prior to the menu board. Culver's provides "order-waiting" spaces in the form of designated parking spaces to manage the wait time after the menu board. By implementing both of these procedures, Culver's will be able to manage the disruption to circulation within their parking lot and prevent any negative impact on the local roadway network. The side-by-side drive-thru is an established operating condition for other restaurant users in the area as well.

As shown on the Civil Engineering Plans prepared by Kimley-Horn, the dual order points will be installed on the north end of the property. The improvements will also involve the relocation of the existing access point on East Towne Way. At the request of the City's Traffic Engineer, this relocated access has been revised to an entrance only. The improvements on site will result in a net loss of 4 parking stalls, but the site will still meet minimum code requirements. Landscaping has been proposed in a new island around the second order point to provide screening around the proposed equipment. Kimley-Horn is not aware of any variances or deviations from the code that would be required to install the second order point.

Sincerely,



Joseph Mayer
Kimley-Horn and Associates, Inc
Phone: 630-487-5563
Email: joe.mayer@kimley-horn.com

Drawing name: K:\GIS\DATA\268025002_Culvers_Madison_MV2 Design\PlanSheets\C0.0 - TITLE SHEET.dwg C0.0 May 02, 2022 11:41am By: Travis Czerwinski
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

FINAL ENGINEERING PLANS

CULVER'S

4301 E TOWNE BLVD

MADISON, WISCONSIN 53704



UTILITY AND GOVERNING AGENCY CONTACTS

<p>COMMUNITY DEVELOPMENT AUTH. MADISON MUNICIPAL BUILDING 215 MARTIN LUTHER KING JR. BLVD #161 MADISON, WI 53703 TEL: (608) 266-6520 CONTACT: MATT WACHTER</p>	<p>POWER COMPANY MADISON GAS & ELECTRIC CO. PO BOX 1231 MADISON, WI 53701-1231 TEL: (608) 252-7222</p>
<p>PUBLIC WORKS DEPT. 2120 FISH HATCHERY RD MADISON, WI 53713 TEL: (601) 856-8958</p>	<p>NATURAL GAS COMPANY MADISON GAS & ELECTRIC CO. PO BOX 1231 MADISON, WI 53701-1231 TEL: (608) 252-7222</p>

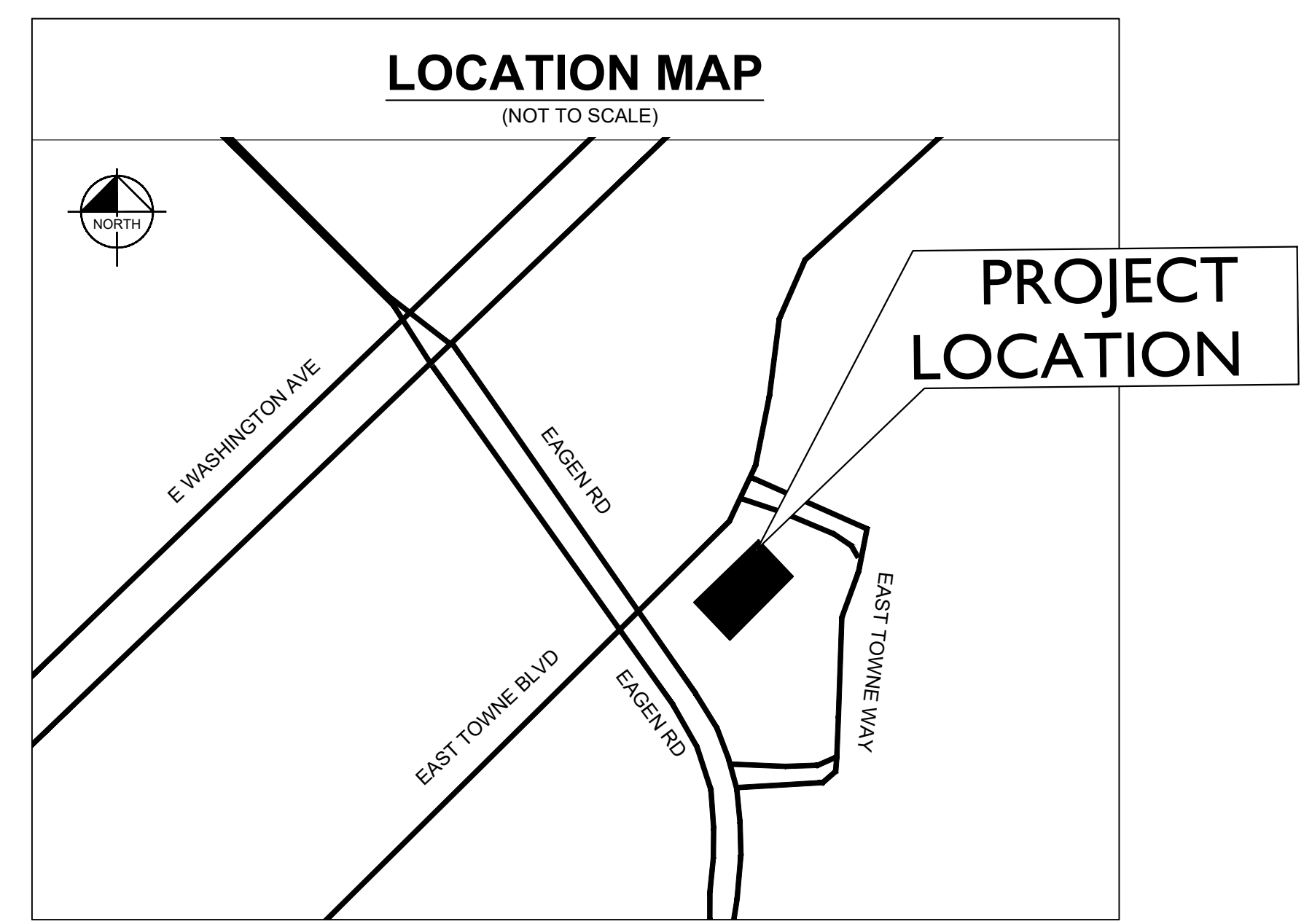
PROJECT TEAM

OWNER
 VALLEY FOODS OPS INC.
 4301 E TOWNE BLVD
 MADISON, WI 53704
 TEL: (608) 849-6599
 CONTACT: DEAN MEIER

CIVIL ENGINEER
 KIMLEY-HORN AND ASSOCIATES, INC.
 4201 WINFIELD RD, SUITE 600
 WARRENVILLE, IL 60555
 TEL: (630) 487-5550
 EMAIL: JOE.MAYER@KIMLEY-HORN.COM
 CONTACT: JOE MAYER
 EMAIL: ANDY.HEINEN@KIMLEY-HORN.COM
 CONTACT: ANDY HEINEN, P.E.

LANDSCAPE ARCHITECT
 KIMLEY-HORN AND ASSOCIATES, INC.
 4201 WINFIELD RD, SUITE 600
 WARRENVILLE, IL 60555
 TEL: (630) 487-5550
 EMAIL: DANIEL.GROVE@KIMLEY-HORN.COM
 CONTACT: DANIEL GROVE

SURVEYOR
 TALARCZYK LAND SURVEYS
 517 2ND AVE.
 NEW GLARUS, WI 53574
 TEL: (608) 527-5216
 CONTACT: BOB TALARCZYK



Sheet List Table	
Sheet Number	Sheet Title
C0.0	TITLE SHEET
V0.0	TOPOGRAPHIC SURVEY
C1.0	GENERAL NOTES & DETAILS
C2.0	EXISTING CONDITIONS & DEMO PLAN
C3.0	SITE PLAN
C4.0	GRADING & EROSION CONTROL PLAN
C5.0	CONSTRUCTION DETAILS
L1.0	LANDSCAPE PLAN

BENCHMARKS

SEE SURVEY (SHEETV0.0) FOR LOCATION OF SITE BENCHMARKS.

BENCHMARK:

SBM#1: CUT CROSS ON TOP OF CURB ALONG EAST PROPERTY LINE

ELEVATION = 867.82' (NAVD 88)

LEGAL DESCRIPTION

LOT 3 OF CERTIFIED SURVEY MAP 14486 (VOL. 296-314) IN THE NORTHEAST AND SOUTHEAST 1/4S OF THE SOUTHEAST 1/4 OF SECTION 28, TOWN 8 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

PROFESSIONAL ENGINEER'S CERTIFICATION

I, ANDREW HEINEN, A LICENSED PROFESSIONAL ENGINEER OF WISCONSIN, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE BUT EXCLUDING DETAILS PREPARED BY OTHERS, WAS PREPARED ON BEHALF OF CULVER'S AND VALLEY FOOD OPS INC. BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 13TH DAY OF AUGUST, A.D., 2021.

A. Heinen

WISCONSIN LICENSED PROFESSIONAL ENGINEER 36037-006
 MY LICENSE EXPIRES ON NOVEMBER 30, 2021
 DESIGN FIRM REGISTRATION NUMBER: 184002012-0006



TITLE SHEET	TITLE SHEET
CULVER'S DRIVE-THRU IMPROVEMENTS 4301 E TOWNE BLVD MADISON, WISCONSIN 53704	Kimley»Horn <small>© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600 WARRENVILLE, IL 60555 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM</small>
ORIGINAL ISSUE: 08/13/2021	REVISIONS No. BY DATE
KHA PROJECT NO. 268025002	
SHEET NUMBER C0.0	

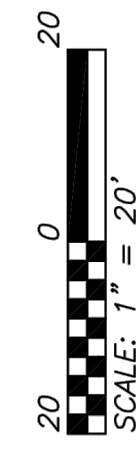
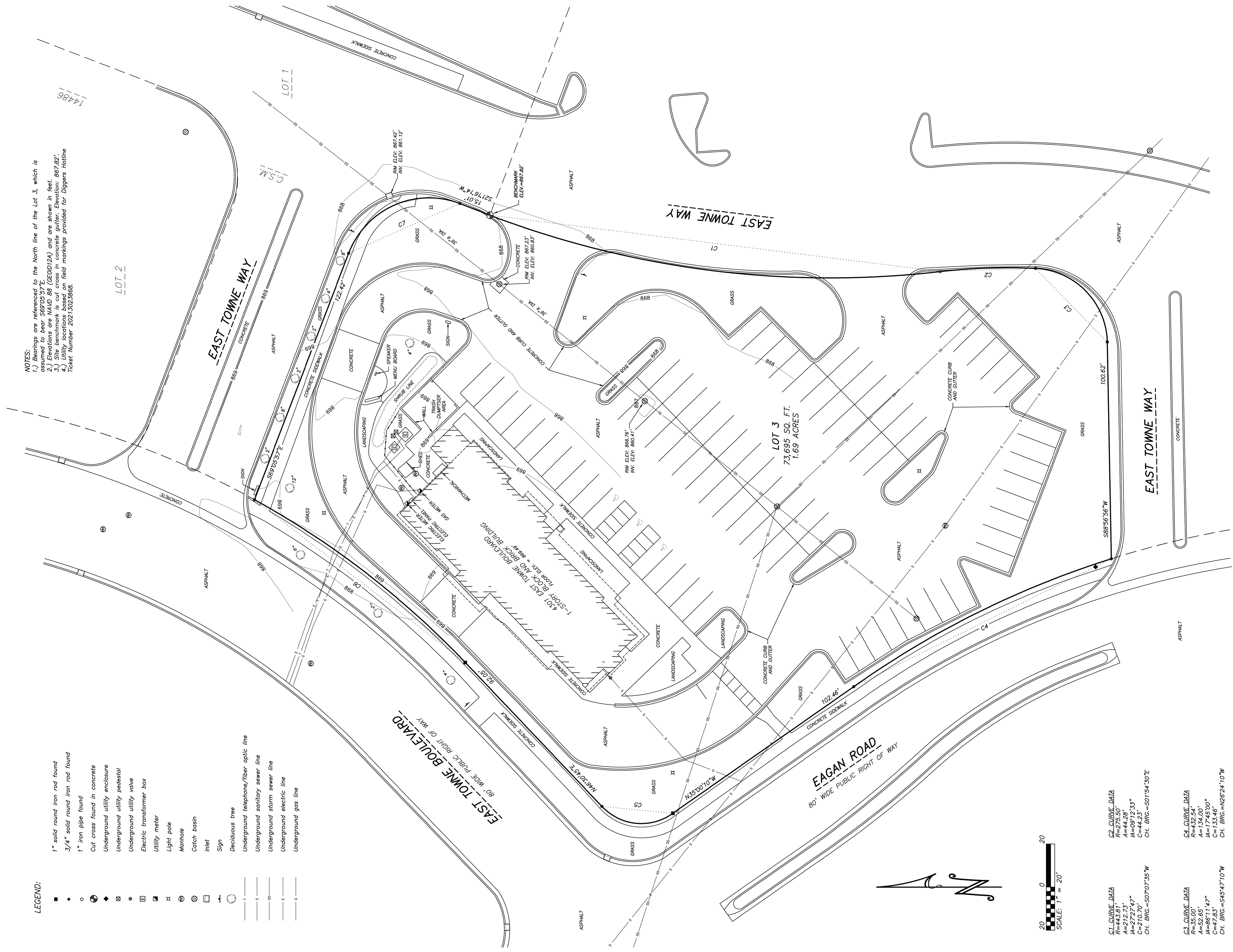
PLAT OF SURVEY WITH TOPOGRAPHIC DATA

Lot 3 of Certified Survey Map 14486 (Vol. 99, Pages 296-314) in the Northeast and Southeast 1/4s of the Southeast 1/4 of Section 28, Town 8 North, Range 10 East, City of Madison, Dane County, Wisconsin.

LEGEND:

- 1" solid round iron rod found
- 3/4" solid round iron rod found
- 1" iron pipe found
- ⊕ Cut cross found in concrete
- ◆ Underground utility enclosure
- ◇ Underground utility pedestal
- Underground utility valve
- ⊞ Electric transformer box
- ⊞ Utility meter
- ⊞ Light pole
- ⊞ Manhole
- ⊞ Catch basin
- ⊞ Inlet
- ⊞ Sign
- Deciduous tree
- Underground telephone/fiber optic line
- Underground sanitary sewer line
- Underground storm sewer line
- Underground electric line
- Underground gas line

NOTES:
 1.) Bearings are referenced to the North line of the Lot 3, which is assumed to bear S69°05'57"E.
 2.) Elevations are NAVD 88 (GEOID12A) and are shown in feet.
 3.) Site benchmark is cut cross in concrete gutter. Elevation: 867.82'.
 4.) Utility locations are shown with field markings provided for Diggers Hotline Ticket Number: 20213023868.



C1 CURVE DATA
 R=443.91'
 A=17°11'47"
 IA=272°27'47"
 C=210.70'
 CH. BRG.=S07°07'35"W

C2 CURVE DATA
 R=35.00'
 A=52.65'
 IA=86°11'47"
 CH. BRG.=S45°47'10"W

C3 CURVE DATA
 R=432.54'
 A=134.00'
 IA=17°45'00"
 CH. BRG.=N26°24'10"W

C4 CURVE DATA
 R=406.97'
 A=124.13'
 IA=90°00'11"
 C=56.57'
 CH. BRG.=N37°39'51"E

C5 CURVE DATA
 R=40.00'
 A=62.83'
 IA=90°00'11"
 C=56.57'
 CH. BRG.=S24°05'57"E



I hereby certify that this survey complies with Chapter A-E 7 of the Wisconsin Administrative Code, that the same has been made and described in accordance with the information provided, and that this map is a correct representation thereof in accordance with the information provided.
 August 6, 2021
 James M. Baker, P.L.S.

JOB NO. 21111
 POINTS 21111_3
 DRWG. 21111_3
 DRAWN BY JMB

PREPARED FOR:
 Kimley-Horn and Associates, Inc.
 4201 Winfield Road, Suite 600
 Warrenville, IL 60555
 (630) 467-5500

GENERAL NOTES

- 1. EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY PREPARED BY: TALARCZYK LAND SURVEYS... 2. COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER... 3. THE CONTRACTOR SHALL PHOTOGRAPH THE WORK AREA PRIOR TO CONSTRUCTION... 4. EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS WHICH ARE HEREBY MADE A PART HEREOF: A. "ROADWAY STANDARD SPECIFICATIONS, WISCONSIN DEPARTMENT OF TRANSPORTATION," AS PREPARED BY WISDOT... 5. STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS, AND RECURRING SPECIAL PROVISIONS, CONSTRUCTION PLANS, AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT... 6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL ITEMS REQUIRED FOR CONSTRUCTION OF THE PROJECT, AS SHOWN ON THE PLANS, ARE INCLUDED IN THE CONTRACT... 7. THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF "APPROVED" ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION... 8. THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK... 9. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR... 10. CONSTRUCTION MATERIALS AND/OR EQUIPMENT MAY NOT BE STORED IN THE RIGHT-OF-WAY, AS DIRECTED BY THE OWNER... 11. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHT-OF-WAYS ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS... 12. OWNER SHALL OBTAIN EASEMENTS AND APPROVAL OF PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES... 13. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED... 14. NOTIFICATION OF COMMENCING CONSTRUCTION: 14.A. THE CONTRACTOR SHALL NOTIFY AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION... 14.B. FAILURE OF THE CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN THE TESTING COMPANIES TO BE UNABLE TO VISIT THE SITE AND PERFORM TESTING WILL CAUSE THE CONTRACTOR TO SUSPEND THE OPERATION TO BE TESTED UNTIL THE TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS... 15. ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL EMERGENCY TRAFFIC, AS DIRECTED BY THE CITY OF MADISON... 16. ANY EXISTING SIGNS, LIGHT STANDARDS, AND UTILITY POLES THAT INTERFERE WITH CONSTRUCTION OPERATIONS AND ARE NOT NOTED ON THE PLANS FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE... 17. ALL TREES TO BE SAVED SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION BY THE LANDSCAPE ARCHITECT AND SHALL BE PROTECTED PER WSDOT SECTION 202... 18. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT, FORESTER, OR ARBORIST... 19. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL... 20. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT, AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION... 21. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC., SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR... 22. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS, AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT... 23. NO UNDERGROUND WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE CITY OF MADISON... 24. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND PIPE SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE... 25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION... 26. THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV, PHONE, ELECTRIC, GAS AND IRRIGATION SERVICES... 27. CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AT ALL PROPOSED UTILITY CONNECTION LOCATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK... 28. ANY FIELD TILES ENCOUNTERED SHALL BE INSPECTED BY THE ENGINEER... 29. ALL FRAMES AND LIDS FOR STORM AND SANITARY SEWERS, VALVE VAULT COVERS, FIRE HYDRANTS, AND B-BOXES ARE TO BE ADJUSTED TO MEET FINISHED GRADE...

- 30. HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ONTO THE ROAD SUBGRADES... 31. TRENCH BACKFILL WILL BE REQUIRED TO THE FULL DEPTH ABOVE SEWERS AND WATERMAIN WITHIN TWO (2) FEET HORIZONTAL OF PROPOSED OR EXISTING PAVEMENT... 32. IF SOFT, SPONGY, OR OTHER UNSUITABLE SOILS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSE ARE ENCOUNTERED AT THE BOTTOM OF THE TRENCH... 33. THE TRENCHES FOR PIPE INSTALLATION SHALL BE KEPT DRY AT ALL TIMES DURING PIPE PLACEMENT... 34. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE PROPER INLET PROTECTION EROSION CONTROL AT LOCATIONS INDICATED BY THE ENGINEER... 35. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS... 36. EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES REGULATIONS AND WISDOT STANDARDS... 37. THE CONTRACTOR SHALL CONFORM TO ALL EROSION CONTROL REQUIREMENTS AS SET FORTH BY THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES THROUGH THE NPDES PHASE II PERMIT PROGRAM... 38. THE PAVEMENT SHALL BE KEPT FREE OF MUD AND DEBRIS AT ALL TIMES... 39. ALL DISTURBED AREAS OF THE RIGHT-OF-WAY SHALL BE FULLY RESTORED TO PRE-CONSTRUCTION CONDITIONS WITH A MINIMUM OF SIX (6) INCHES OF TOPSOIL... 40. ALL PROPOSED GRADES SHOWN ON PLANS ARE FINISHED SURFACE ELEVATIONS... 41. ALL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR... 42. PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS... 43. WHEN REQUIRED, THE CONTRACTOR SHALL NOTIFY THE OWNER WHEN RECORD DRAWINGS CAN BE PREPARED... 44. BEFORE ACCEPTANCE, ALL WORK SHALL BE INSPECTED BY THE CITY OF MADISON, AS NECESSARY.

EARTHWORK NOTES

- 1. GENERAL 1.1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE... 1.2. ANY QUANTITIES IN THE BID PROPOSAL ARE INTENDED AS A GUIDE FOR THE CONTRACTOR'S USE IN DETERMINING THE SCOPE OF THE COMPLETED PROJECT... 1.3. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE AND THAT PAVEMENT THICKNESS, TOPSOIL, ETC., MUST BE ACCOUNTED FOR... 1.4. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION AND PREVENT STORMWATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS... 1.5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES... 1.6. PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL ERECT A CONSTRUCTION FENCE AROUND ANY TREE DESIGNATED TO BE PRESERVED... 1.7. EXISTING SUBSURFACE CONDITIONS WERE OBTAINED FROM A GEOTECHNICAL PREPARED BY:

- 1. TOPSOIL EXCAVATION INCLUDES: 1.1. EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED EARTH FILL MATERIAL... 1.2. PLACEMENT OF EXCAVATED MATERIAL IN OWNER-DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS WHERE MAINTAINING PROPER DRAINAGE... 1.3. TOPSOIL STOCKPILED FOR RESPREAD SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIAL BETWEEN THE TOPSOIL AND CLAY... 1.4. TOPSOIL RESPREAD SHALL INCLUDE HAULING AND SPREADING SIX (6) INCHES OF TOPSOIL DIRECTLY OVER AREAS TO BE LANDSCAPED... 1.5. MODERATE COMPACTION IS REQUIRED IN NON-STRUCTURAL FILL AREAS.

- 2. EARTH EXCAVATION INCLUDES: 2.1. EXCAVATION OF SUBSURFACE MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL... 2.2. PLACEMENT OF SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL... 2.3. STRUCTURAL FILL MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL... 2.4. COMPACTION OF SUITABLE MATERIALS SHALL BE TO AT LEAST 93% OF THE MODIFIED PROCTOR DRY DENSITY... 3. UNSUITABLE MATERIAL: UNSUITABLE MATERIALS SHALL BE CONSIDERED MATERIAL THAT IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION... 4. MISCELLANEOUS: THE CONTRACTOR SHALL: 4.1. SPREAD AND COMPACT UNIFORMITY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS... 4.2. SCARIFY, DISC, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED, THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL... 4.3. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT... 4.4. BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION... 5. TESTING AND FINAL ACCEPTANCE 5.1. THE CONTRACTOR SHALL PROVIDE AS A MINIMUM A FULLY LOADED SIX-WHEEL TANDEM AXLE TRUCK FOR PROOF ROLLING THE PAVEMENT SUBGRADE... 5.2. ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL OR OTHERWISE CORRECTED AND APPROVED BY THE ENGINEER.

PAVING NOTES

- 1. GENERAL 1.1. PAVING WORK INCLUDES FINAL SUBGRADE SHAPING, PREPARATION, AND COMPACTION... 1.2. COMPACTION REQUIREMENTS [REFERENCE ASTM D-1557 (MODIFIED PROCTOR)] SUBGRADE = 95% SUBGRADE = 95% AGGREGATE BASE COURSE = 95% BITUMINOUS COURSE = 95% OF MAXIMUM DENSITY... 1.3. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING WARNING DEVICES... 2. SUBGRADE PREPARATION 2.1. EARTHWORK FOR PROPOSED PAVEMENT SUBGRADE SHALL BE FINISHED TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF PLAN ELEVATION... 2.2. PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE PROOF-ROLLED AND INSPECTED FOR UNSUITABLE MATERIALS... 2.2.1. SCARIFY, DISC, AND AERATE. 2.2.2. REMOVE AND REPLACE WITH STRUCTURAL CLAY FILL. 2.2.3. REMOVE AND REPLACE WITH GRANULAR MATERIAL. 2.2.4. USE OF GEOTEXTILE FABRIC. 2.3. PRIOR TO THE CONSTRUCTION OF THE CURB AND GUTTER AND THE PLACEMENT OF THE BASE MATERIAL... 2.4. PRIOR TO PLACEMENT OF THE BASE COURSE, THE SUBGRADE SHALL BE APPROVED BY THE TESTING ENGINEER. 3. CONCRETE WORK 3.1. ALL EXTERIOR CONCRETE SHALL BE PORTLAND CEMENT CONCRETE WITH AIR ENTRAINMENT... 3.2. CONCRETE CURB AND/OR COMBINATION CURB AND GUTTER SHALL BE OF THE TYPE SHOWN ON THE PLANS... 3.3. CURBS SHALL BE DEPRESSED AND MEET THE SLOPE REQUIREMENTS OF THE FEDERAL ADA STANDARDS... 3.4. THE CURBS SHALL BE BACKFILLED AFTER THEIR CONSTRUCTION... 3.5. CONCRETE SIDEWALK SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS... 3.6. CONCRETE CURING AND PROTECTION SHALL BE PER WSDOT STANDARDS... 3.7. THE COST OF AGGREGATE BASE OR SUBBASE UNDER CONCRETE WORK SHALL BE INCLUDED IN THE COST OF THE RESPECTIVE CONCRETE ITEM. 4. FLEXIBLE PAVEMENT 4.1. THE PAVEMENT MATERIALS FOR BITUMINOUS STREETS, PARKING LOTS, AND DRIVE AISLES SHALL BE AS DETAILED ON THE PLANS... 4.2. ALL TRAFFIC SHALL BE KEPT OFF THE COMPLETED AGGREGATE BASE UNTIL THE BINDER COURSE IS LAID... 4.3. PRIOR TO PLACEMENT OF THE SURFACE COURSE, THE BINDER COURSE SHALL BE CLEANED AND TACK-COATED IF DUSTY OR DIRTY... 4.4. SEAMS IN BAM, BINDER, AND SURFACE COURSE SHALL BE STAGGERED A MINIMUM OF 6 INCHES. 5. TESTING AND FINAL ACCEPTANCE 5.1. THE CONTRACTOR SHALL FOLLOW THE QUALITY CONTROL TESTING PROGRAM FOR CONCRETE AND PAVEMENT MATERIALS ESTABLISHED BY THE MATERIALS TESTING ENGINEER... 5.2. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE... 5.3. WHEN REQUIRED BY THE CITY OF MADISON, THE CONTRACTOR SHALL OBTAIN SPECIMENS OF THE FULL DEPTH BITUMINOUS CONCRETE PAVEMENT STRUCTURE... 5.4. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND CHECKING REQUIREMENTS CITED ABOVE.

SIGNAGE AND PAVEMENT MARKING NOTES

- 1. ALL SIGNING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) STANDARDS... 2. SIGNS: SIGNS SHALL BE CONSTRUCTED OF 0.090-INCH THICK FLAT ALUMINUM PANELS WITH REFLECTORIZED LEGEND ON THE FACE... 3. POSTS: SIGN POSTS SHALL BE A HEAVY-DUTY STEEL "U" SHAPED CHANNEL WEIGHING 3.0 POUNDS/FOOT... 4. SIGNS AND POSTS SHALL BE INSTALLED IN ACCORDANCE WITH WISDOT STANDARDS... 5. PAVEMENT MARKINGS: ALL PAVEMENT MARKINGS IN THE PUBLIC RIGHT-OF-WAY, SUCH AS STOP LINES, CENTERLINES, CROSSWALKS, AND DIRECTIONAL ARROWS... 6. PAVEMENT MARKINGS ON BIKE PATHS, PARKING LOT STALLS, AND SIMILAR "LOW-WEAR" APPLICATIONS... 7. COLOR, WIDTH, STYLE, AND SIZE OF ALL MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND LOCAL CODE... 8. THERMOPLASTIC MARKINGS SHALL BE INSTALLED WHEN THE PAVEMENT TEMPERATURE IS 55 DEGREES FAHRENHEIT AND RISING... 9. THE CONTRACTOR SHALL PROVIDE AS A MINIMUM A FULLY LOADED SIX-WHEEL TANDEM AXLE TRUCK FOR PROOF ROLLING THE PAVEMENT SUBGRADE... 5.2. ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL OR OTHERWISE CORRECTED AND APPROVED BY THE ENGINEER.



Table with columns: No., DATE, REVISIONS

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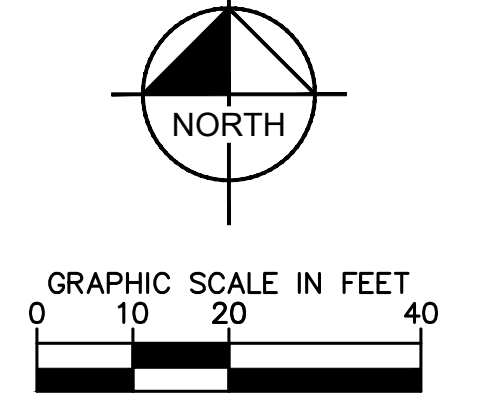


CULVER'S DRIVE-THRU IMPROVEMENTS & DETAILS 4301 E TOWNE BLVD MADISON, WISCONSIN 53704

ORIGINAL ISSUE: 08/13/2021 KHA PROJECT NO. 268025002 SHEET NUMBER C1.0

Drawing name: K:\GIS_LDEV\268025002\Culvers_Madison_MV_Design\Drawings\CAD\Drawings\C1.0 - GENERAL NOTES AND DETAILS.dwg C1.0 May 02, 2022 11:10am by: Tomasz Grawicki

Drawing name: K:\GIS\DEV\268025002\Culvers_Madison_MV2 Design\PlanSheets\C2.0 - EXISTING CONDITIONS AND DEMO PLAN.dwg C2.0 May 02, 2022 11:41am by: Troy.Grywiel
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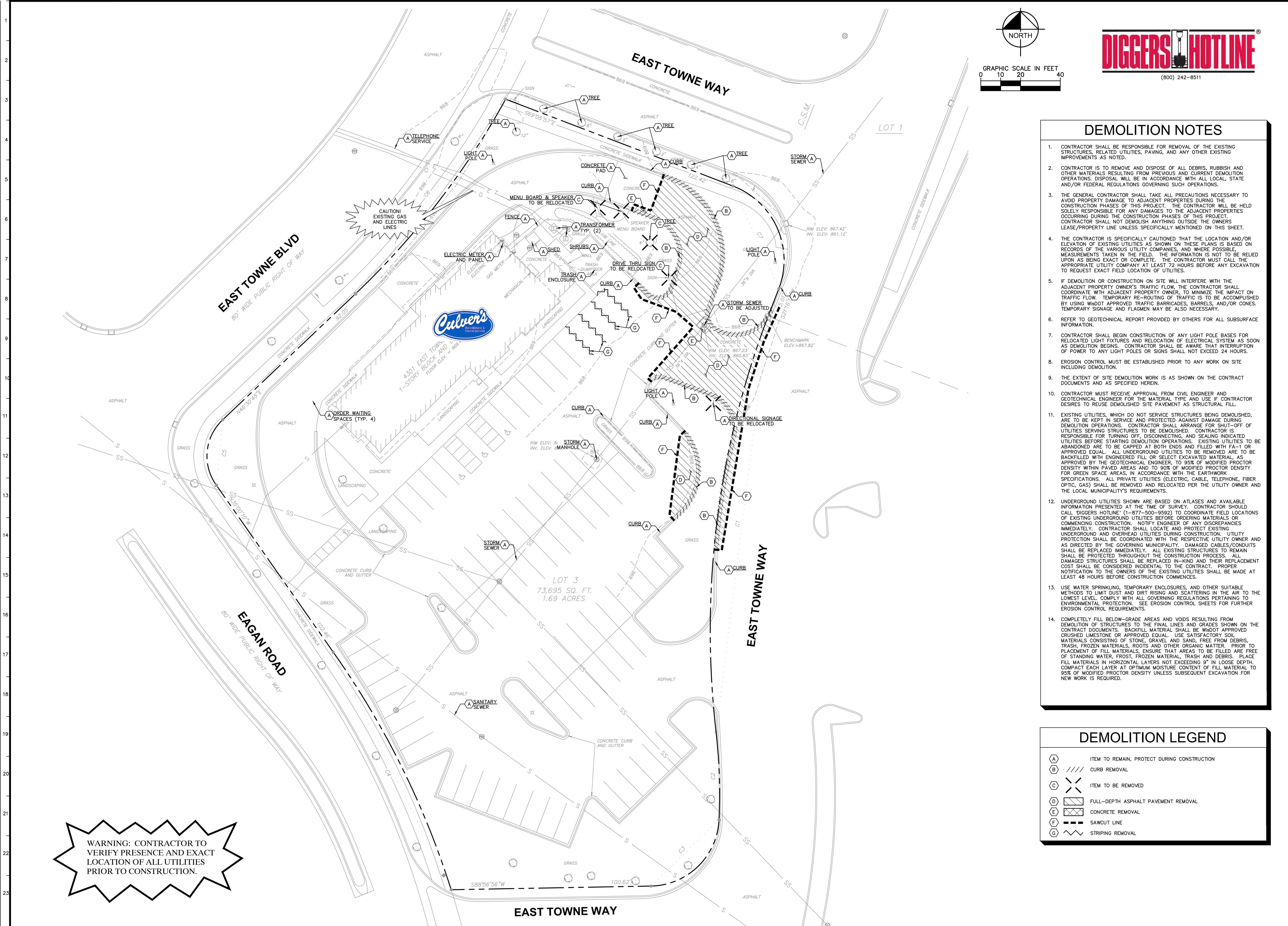
DEMOLITION NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
2. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
3. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
5. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING WisDOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
6. REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION.
7. CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
8. EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION.
9. THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN.
10. CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
11. EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY WITHIN PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS, IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
12. UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL 'DIGGERS HOTLINE' (1-877-500-9592) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.
13. USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL, COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.
14. COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE WisDOT APPROVED CRUSHED LIMESTONE OR APPROVED EQUAL. USE SATISFACTORY SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. PRIOR TO PLACEMENT OF FILL MATERIALS, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 9" IN LOOSE DEPTH. COMPACT EACH LAYER AT OPTIMUM MOISTURE CONTENT OF FILL MATERIAL TO 95% OF MODIFIED PROCTOR DENSITY UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.

DEMOLITION LEGEND

- (A) ITEM TO REMAIN, PROTECT DURING CONSTRUCTION
- (B) - - - - - CURB REMOVAL
- (C) X X X X X ITEM TO BE REMOVED
- (D) [Diagonal Hatching] FULL-DEPTH ASPHALT PAVEMENT REMOVAL
- (E) [Cross Hatching] CONCRETE REMOVAL
- (F) [Dashed Line] SAWCUT LINE
- (G) [Wavy Line] STRIPING REMOVAL

WARNING: CONTRACTOR TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



NO. _____ DATE _____ BY _____

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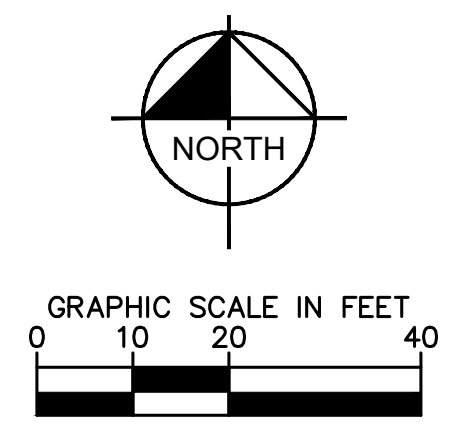
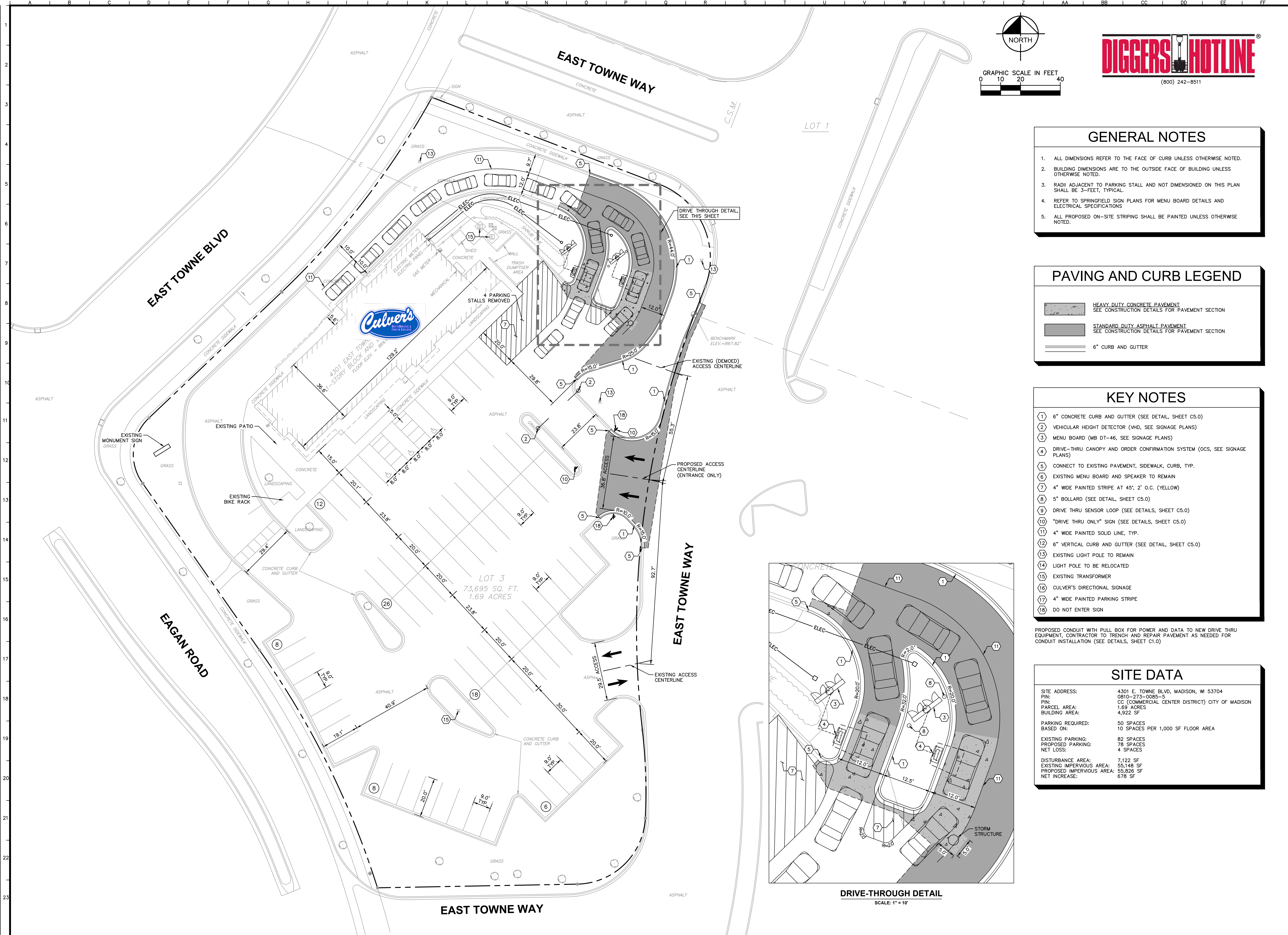
Culver's
 BUILT FOR BUSINESS & FUTURE CUSTOMER

EXISTING CONDITIONS & DEMO PLAN

CULVER'S DRIVE-THRU IMPROVEMENTS
 4301 E TOWNE BLVD
 MADISON, WISCONSIN 53704

ORIGINAL ISSUE: 08/13/2021
 KHA PROJECT NO. 268025002
 SHEET NUMBER **C2.0**

Drawing name: K:\GIS_DEVELOPMENT\268025002_Culvers_Madison_MV2 Design\PlanSheets\C3.0 - SITE PLAN.dwg C3.0 May 02, 2022 11:41am by: Travis Oyesaski
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- ### GENERAL NOTES
1. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 3. RADIi ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3'-FEET, TYPICAL.
 4. REFER TO SPRINGFIELD SIGN PLANS FOR MENU BOARD DETAILS AND ELECTRICAL SPECIFICATIONS
 5. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

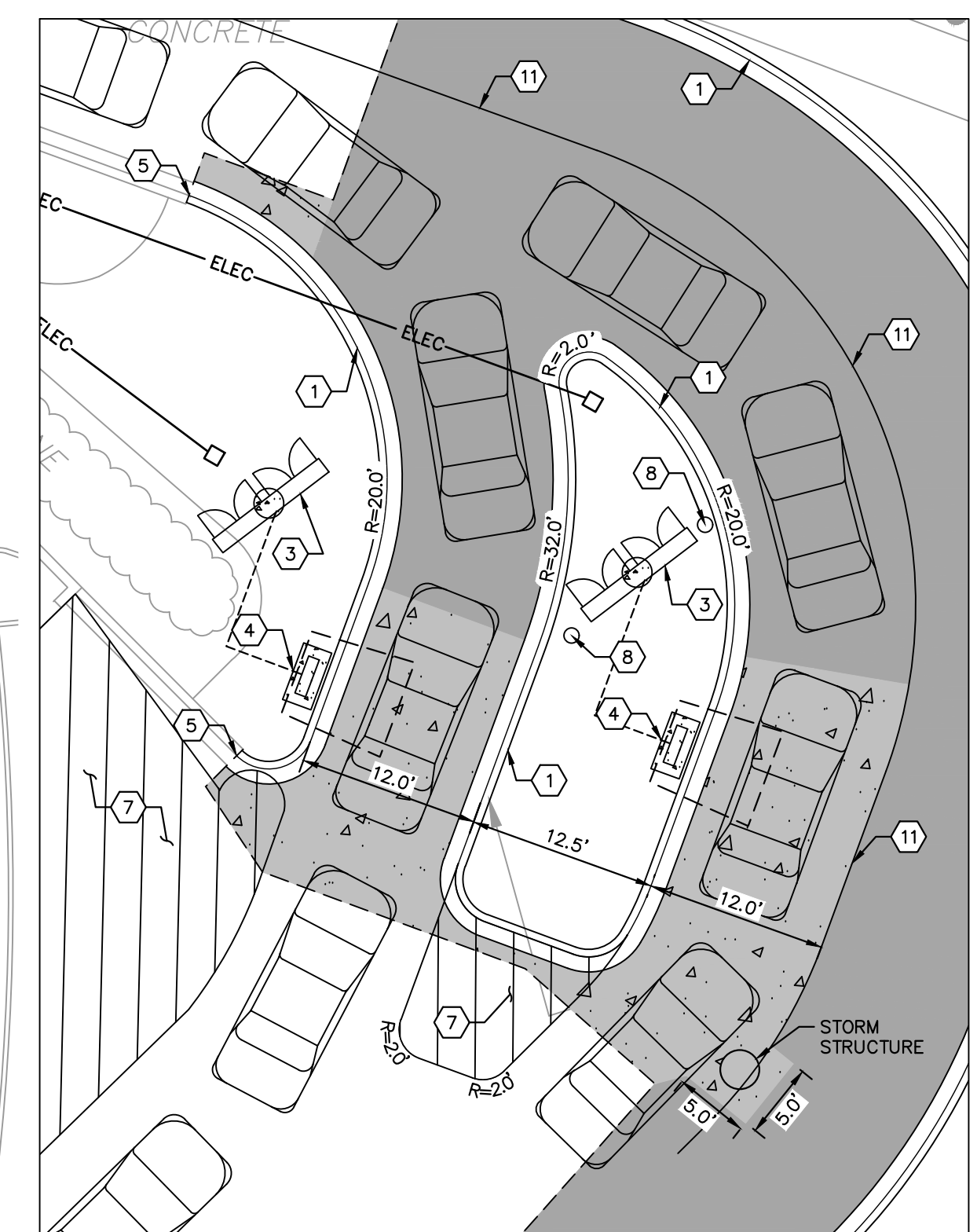
- ### PAVING AND CURB LEGEND
- HEAVY DUTY CONCRETE PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
 - STANDARD DUTY ASPHALT PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
 - 6" CURB AND GUTTER

- ### KEY NOTES
- 1 6" CONCRETE CURB AND GUTTER (SEE DETAIL, SHEET C5.0)
 - 2 VEHICULAR HEIGHT DETECTOR (VHD, SEE SIGNAGE PLANS)
 - 3 MENU BOARD (MB DT-46, SEE SIGNAGE PLANS)
 - 4 DRIVE-THRU CANOPY AND ORDER CONFIRMATION SYSTEM (OCS, SEE SIGNAGE PLANS)
 - 5 CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
 - 6 EXISTING MENU BOARD AND SPEAKER TO REMAIN
 - 7 4" WIDE PAINTED STRIPE AT 45°, 2' O.C. (YELLOW)
 - 8 5" BOLLARD (SEE DETAIL, SHEET C5.0)
 - 9 DRIVE THRU SENSOR LOOP (SEE DETAILS, SHEET C5.0)
 - 10 "DRIVE THRU ONLY" SIGN (SEE DETAILS, SHEET C5.0)
 - 11 4" WIDE PAINTED SOLID LINE, TYP.
 - 12 6" VERTICAL CURB AND GUTTER (SEE DETAIL, SHEET C5.0)
 - 13 EXISTING LIGHT POLE TO REMAIN
 - 14 LIGHT POLE TO BE RELOCATED
 - 15 EXISTING TRANSFORMER
 - 16 CULVER'S DIRECTIONAL SIGNAGE
 - 17 4" WIDE PAINTED PARKING STRIPE
 - 18 DO NOT ENTER SIGN

PROPOSED CONDUIT WITH PULL BOX FOR POWER AND DATA TO NEW DRIVE THRU EQUIPMENT, CONTRACTOR TO TRENCH AND REPAIR PAVEMENT AS NEEDED FOR CONDUIT INSTALLATION (SEE DETAILS, SHEET C1.0)

SITE DATA

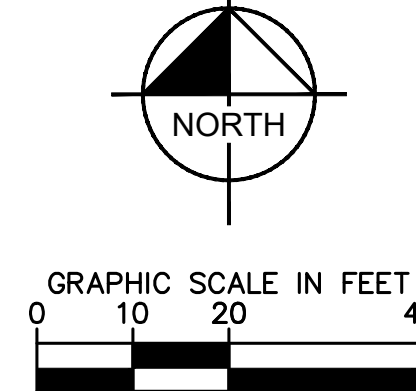
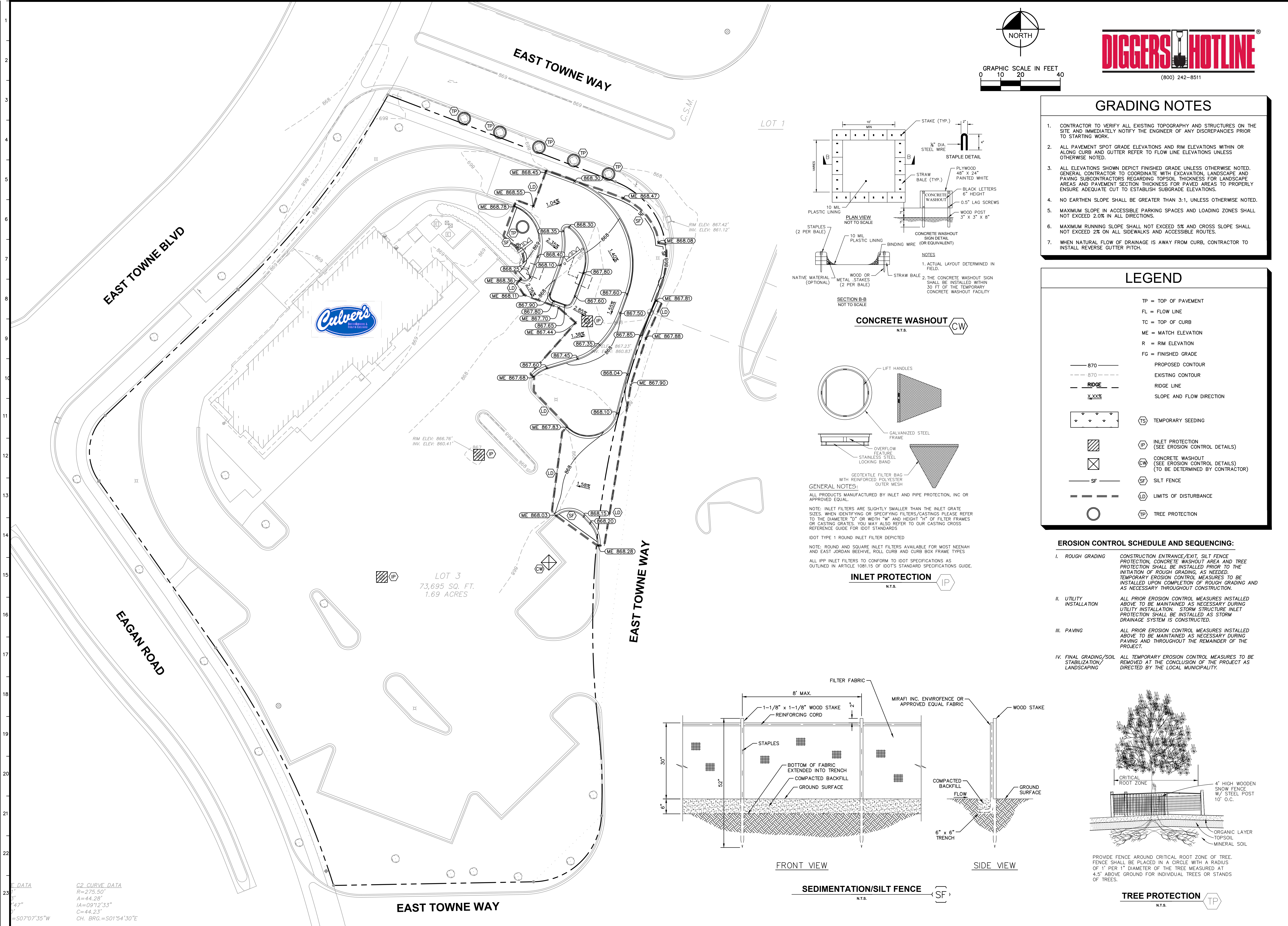
SITE ADDRESS:	4301 E. TOWNE BLVD, MADISON, WI 53704
PIN:	0810-273-0085-5
PARCEL AREA:	CC (COMMERCIAL CENTER DISTRICT) CITY OF MADISON
BUILDING AREA:	1.69 ACRES 4,922 SF
PARKING REQUIRED:	50 SPACES
BASED ON:	10 SPACES PER 1,000 SF FLOOR AREA
EXISTING PARKING:	82 SPACES
PROPOSED PARKING:	78 SPACES
NET LOSS:	4 SPACES
DISTURBANCE AREA:	7,122 SF
EXISTING IMPERVIOUS AREA:	55,148 SF
PROPOSED IMPERVIOUS AREA:	55,826 SF
NET INCREASE:	678 SF



DRIVE-THRU DETAIL
SCALE: 1" = 10'

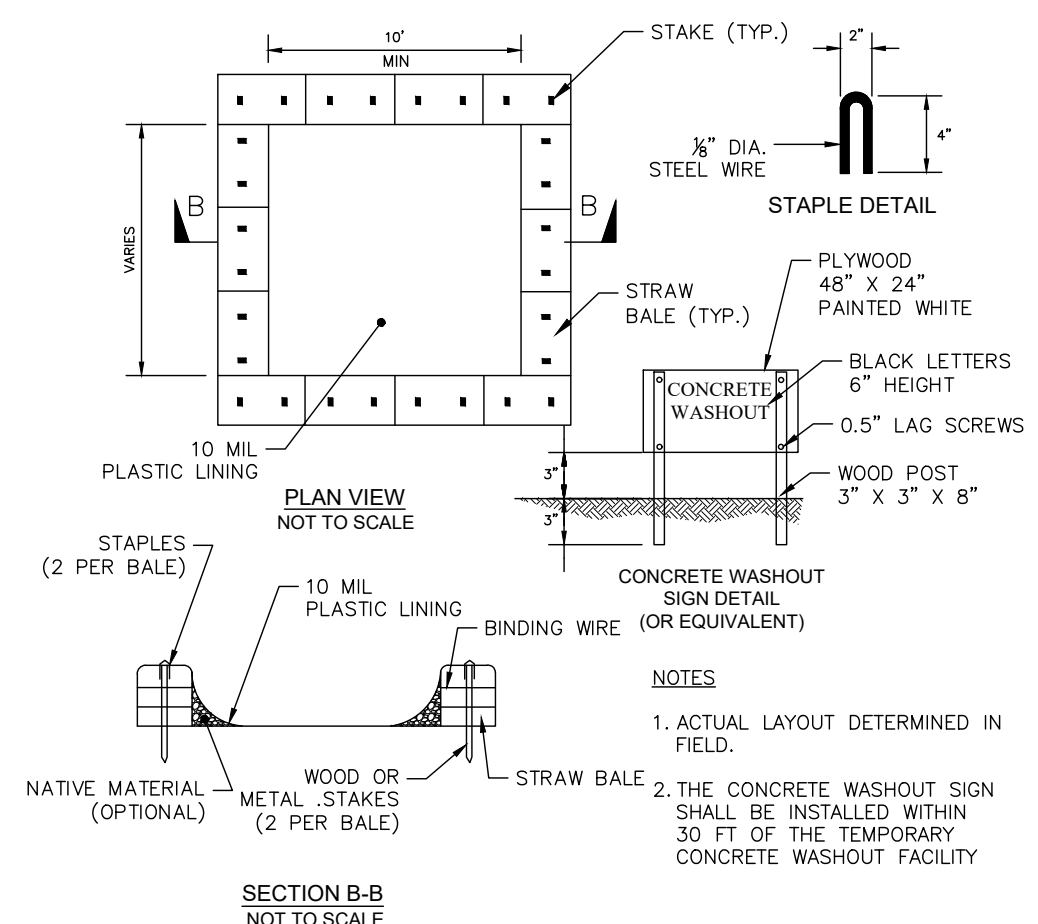
 © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600 MADISON, WI 53704 PHONE: 608-487-2550 WWW.KIMLEY-HORN.COM	Culver's BOUTIQUE & FRESH CUSTARD
SITE PLAN	CULVER'S DRIVE-THRU IMPROVEMENTS 4301 E TOWNE BLVD MADISON, WISCONSIN 53704
ORIGINAL ISSUE: 08/13/2021 KHA PROJECT NO. 268025002 SHEET NUMBER C3.0	REVISIONS No. DATE BY

Drawing name: K:\CHS_LDEV\268025002_Culvers_Madison_MV2 Design\PlanSheets\C4.0 - GRADING AND EROSION CONTROL PLAN.dwg C4.0 May 02, 2022 11:41am By: Travis O'Connell
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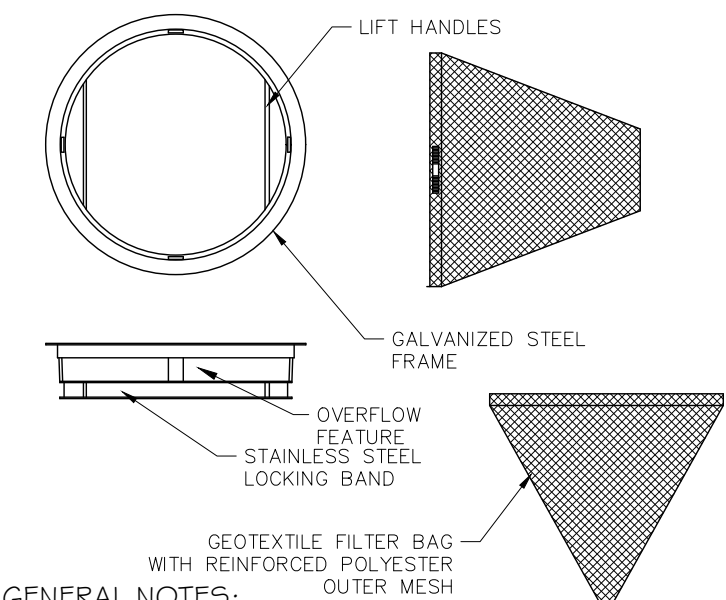


- ### GRADING NOTES
- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
 - ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
 - ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
 - NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
 - MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
 - MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
 - WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.

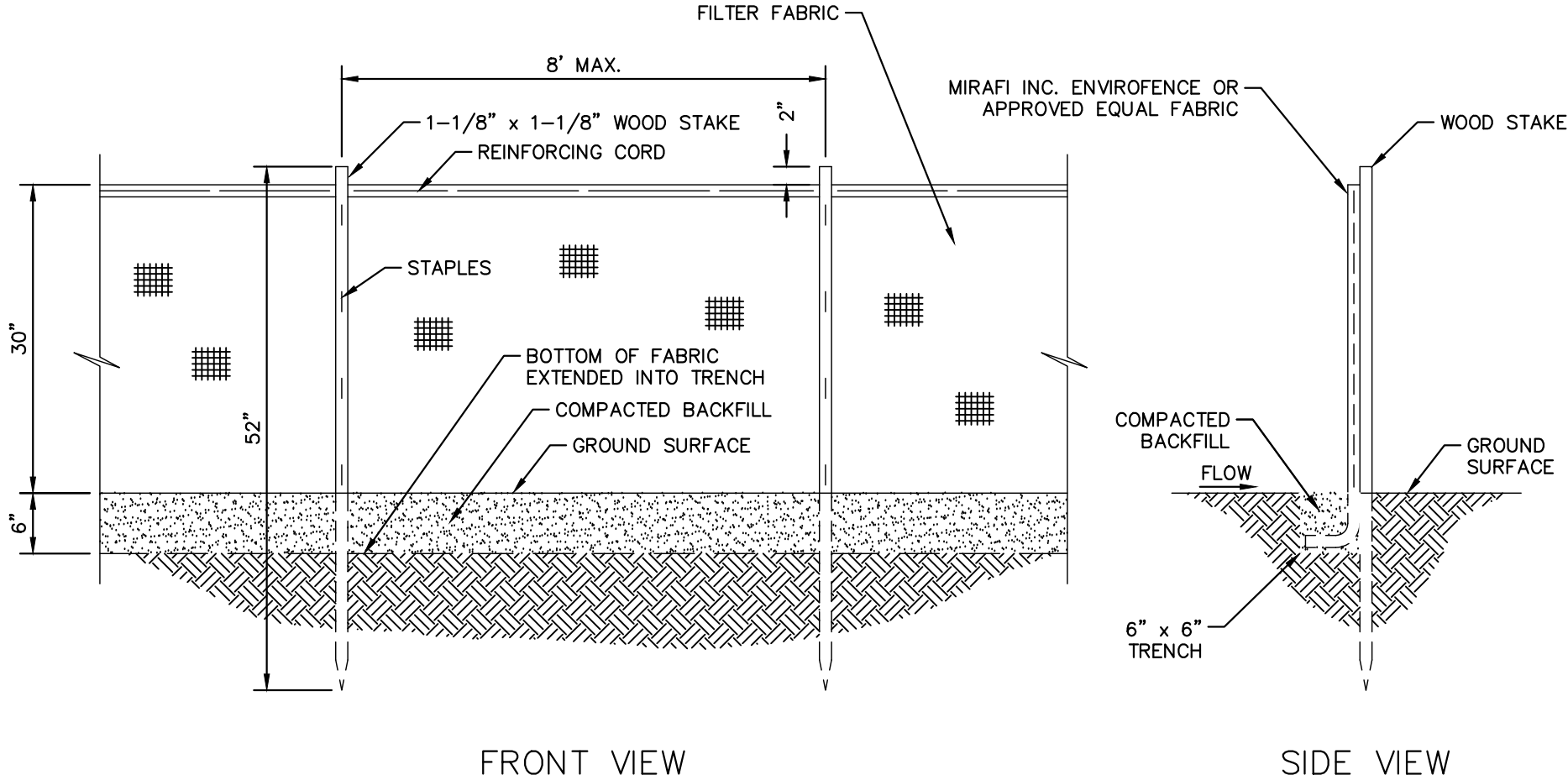
- ### LEGEND
- TP = TOP OF PAVEMENT
 - FL = FLOW LINE
 - TC = TOP OF CURB
 - ME = MATCH ELEVATION
 - R = RIM ELEVATION
 - FG = FINISHED GRADE
 - PROPOSED CONTOUR (870)
 - EXISTING CONTOUR (870)
 - RIDGE LINE (870)
 - SLOPE AND FLOW DIRECTION (X/XX%)
 - TEMPORARY SEEDING (TS)
 - INLET PROTECTION (SEE EROSION CONTROL DETAILS) (IP)
 - CONCRETE WASHOUT (SEE EROSION CONTROL DETAILS) (TO BE DETERMINED BY CONTRACTOR) (CW)
 - SILT FENCE (SF)
 - LIMITS OF DISTURBANCE (LD)
 - TREE PROTECTION (TP)



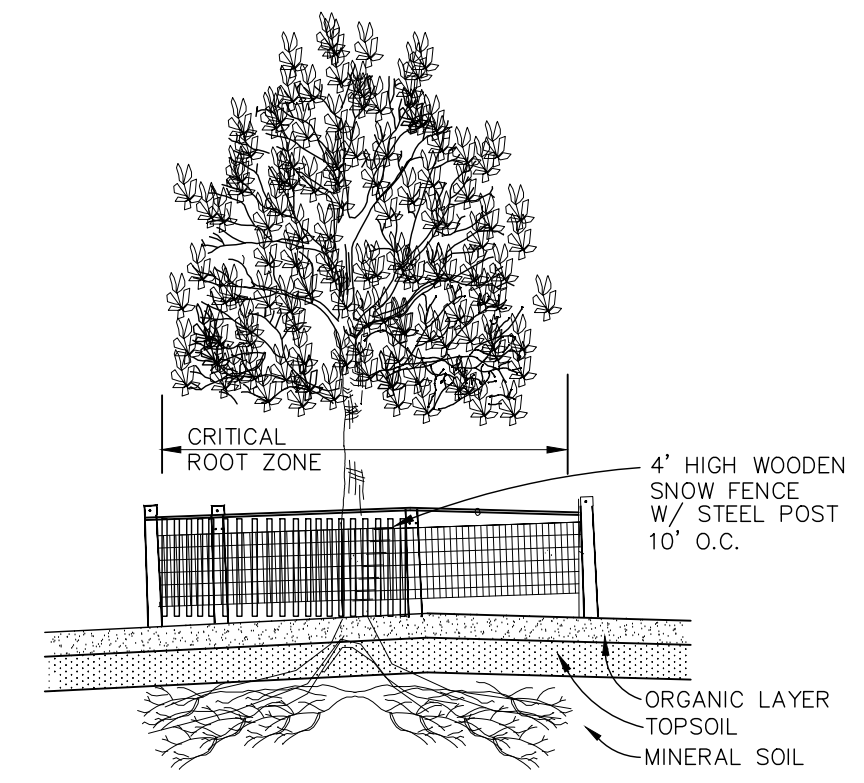
CONCRETE WASHOUT (N.T.S.)



INLET PROTECTION (N.T.S.)



SEDIMENTATION/SILT FENCE (N.T.S.)



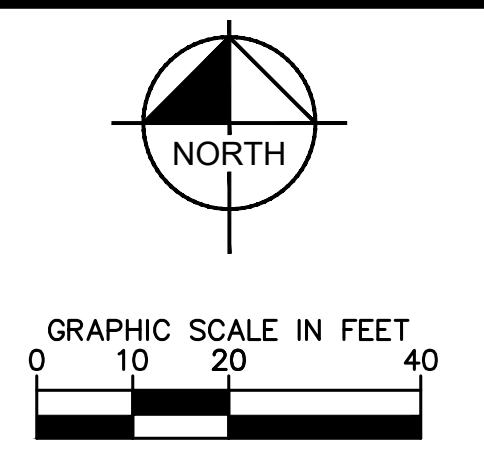
TREE PROTECTION (N.T.S.)

- ### EROSION CONTROL SCHEDULE AND SEQUENCING:
- ROUGH GRADING:** CONSTRUCTION ENTRANCE/EXIT, SILT FENCE PROTECTION, CONCRETE WASHOUT AREA AND TREE PROTECTION SHALL BE INSTALLED PRIOR TO THE INITIATION OF ROUGH GRADING, AS NEEDED. TEMPORARY EROSION CONTROL MEASURES TO BE INSTALLED UPON COMPLETION OF ROUGH GRADING AND AS NECESSARY THROUGHOUT CONSTRUCTION.
 - UTILITY INSTALLATION:** ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING UTILITY INSTALLATION. STORM STRUCTURE INLET PROTECTION SHALL BE INSTALLED AS STORM DRAINAGE SYSTEM IS CONSTRUCTED.
 - PAVING:** ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING PAVING AND THROUGHOUT THE REMAINDER OF THE PROJECT.
 - FINAL GRADING/SOIL STABILIZATION/LANDSCAPING:** ALL TEMPORARY EROSION CONTROL MEASURES TO BE REMOVED AT THE CONCLUSION OF THE PROJECT AS DIRECTED BY THE LOCAL MUNICIPALITY.

DATA
 C2 CURVE DATA
 R=275.50'
 A=44.28°
 IA=09°12'33"
 C=44.23'
 CH. BRG.=S01°54'30"E
 =S07°07'35"W

SCALE:	AS NOTED	DESIGNED BY: JPM	DRAWN BY: ANA	CHECKED BY: ANH	DATE:	BY:
GRADING & EROSION CONTROL PLAN						
CULVER'S DRIVE-THRU IMPROVEMENTS						
4301 E TOWNE BLVD MADISON, WISCONSIN 53704						
ORIGINAL ISSUE: 08/13/2021 KHA PROJECT NO. 268025002 SHEET NUMBER C4.0						

Drawing name: K:\GIS\DEV\268025002_Culver's_Madison_MV2 Design\CAD\PlanSheets\1.0 - LANDSCAPE PLAN.dwg L1.0 May 02, 2022 11:41am by: Trove,Cyreski
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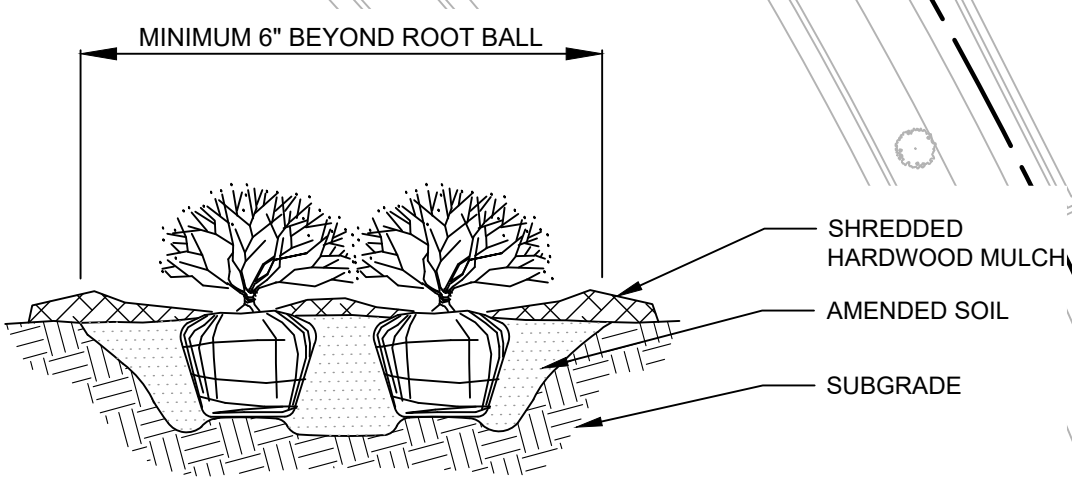
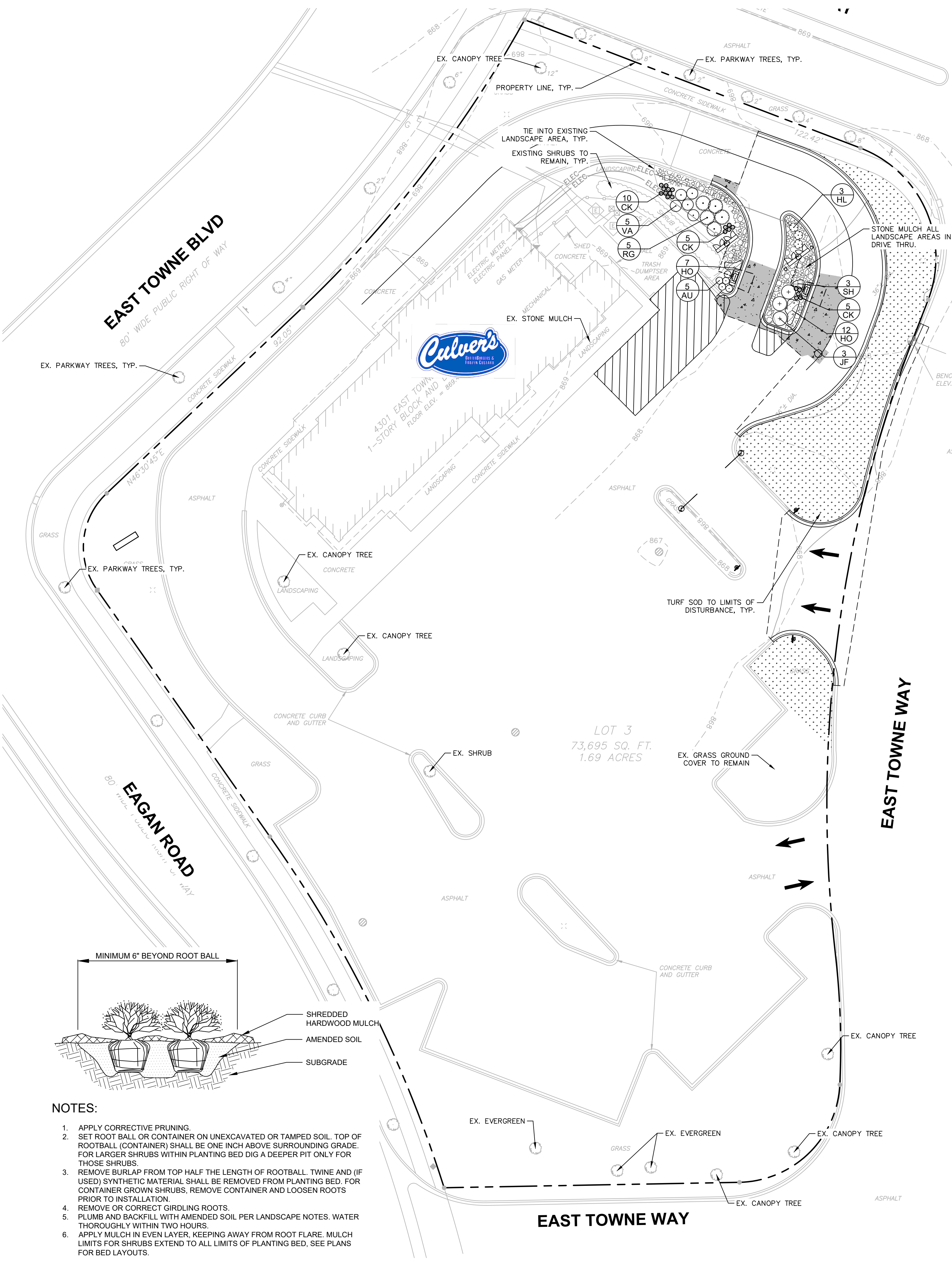


PLANT SCHEDULE

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	AU	5	ARONIA MELANOCARPA 'UCONNAM166' / LOW SCAPE HEDGER CHOKEBERRY	-	SEE PLAN	6" HT MIN
	HL	3	HYDRANGEA PANICULATA 'LITTLE LIME' / LITTLE LIME HYDRANGEA	3 GAL	SEE PLAN	18" HT MIN
	RG	5	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	-	SEE PLAN	12" HT MIN
	VA	5	VIBURNUM DENTATUM 'CHRISTOM' / BLUE MUFFIN VIBURNUM	3 GAL	SEE PLAN	48" HT MIN
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	JF	3	JUNIPERUS CHINENSIS 'SEA GREEN' / SEA GREEN JUNIPER	3 GAL	SEE PLAN	24" SPREAD
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	CK	20	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	SEE PLAN	
PERENNIALS AND GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	HO	19	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	1 GAL	18" OC	
	SH	3	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSEED	1 GAL	24" OC	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
			CM11 STONE MULCH			
			TURF SOD			

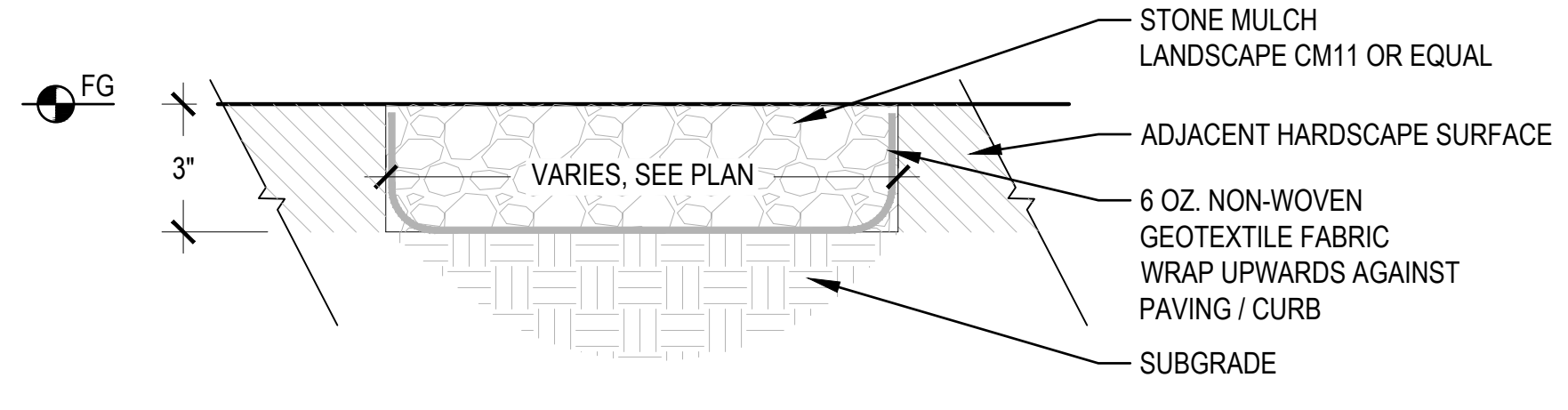
LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- ALL PLANTS TO BE SPECIMEN GRADE, WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, AND SCARS. PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES. PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS PART OF THIS CONTRACT.
- THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
- ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNERS WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PRUNE PLANTS AS NECESSARY- PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- TOPSOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
- PLANTING AREA TOPSOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 70% PULVERIZED SOIL FOR ALL NON TURF SEED MIX AREAS, SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS.
- SEED/SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED/SOD ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED/SOD MIXES.
- EDGING TO BE A SPADED EDGE UNLESS INDICATED OTHERWISE ON THE PLANS. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
- CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL, AND GROUND COVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH.
- INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND UTILITY LINES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.
- DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
- ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. SOD/SEED SHALL BE LOCAL HARDY TURF GRASS MIX UNLESS, OTHERWISE NOTED.
- PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.



NOTES:

- APPLY CORRECTIVE PRUNING.
- SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.
- REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL. TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
- REMOVE OR CORRECT GIRDLING ROOTS.
- PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
- APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.



1 SHRUB PLANTING

2 CM11 STONE MULCH

3" = 1'-0"

No.	REVISIONS	DATE	BY
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